

S4.55 MODIFICATION

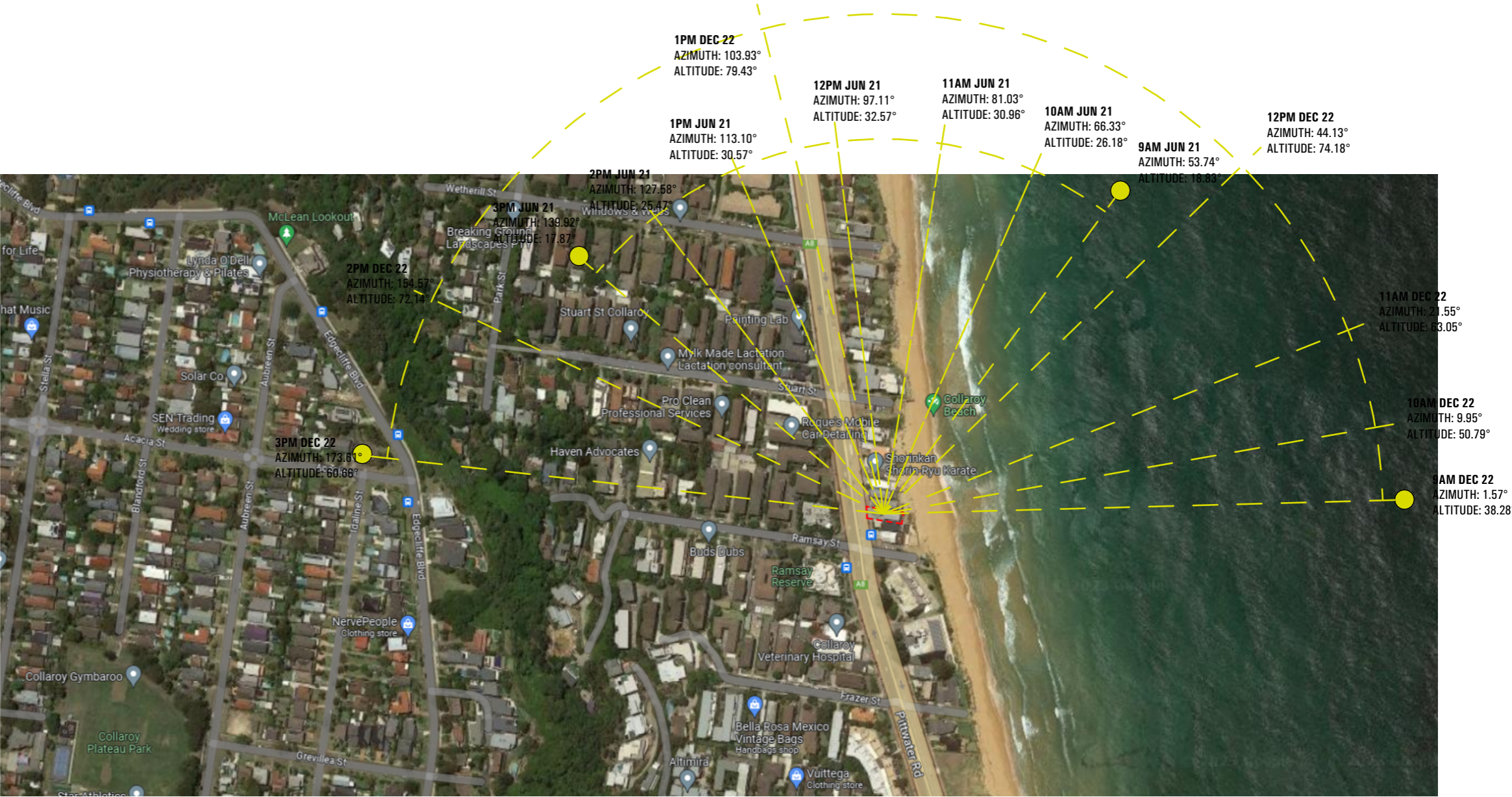
Drawing No.	Title
D0000	COVER SHEET
D0001	BUILDING SPECIFICATIONS
D0002	BASIX
D0003	SITE PLAN
D1000	DEMOLITION PLAN
D2100	GROUND FLOOR PLAN
D2101	FIRST FLOOR PLAN
D2102	CELLAR FLOOR PLAN
D2103	ROOF PLAN
D3000	NORTH/EAST ELEVATION
D3001	SOUTH/WEST ELEVATION
D3002	COURTYARD ELEVATIONS
D3100	SECTION AA
D3101	SECTION BB
D3102	SECTION CC/DD
D4000	SHADOW DIAGRAMS
D5000	AREA SCHEDULE

S4.55 MODIFICATIONS	
Change ID	Name
Ch-01	Courtyard wall moved into courtyard
Ch-02	Alfresco deck reshaped
Ch-03	New window to first floor bathroom (W29)
Ch-04	Western wall on first floor moved forward by 650mm & balcony removed
Ch-05	New window to ground floor Dining (W20)
Ch-06	W04 - Kitchen window size change
Ch-07	Skylights relocated from stairwell to hallway
Ch-08	Eastern balcony screen reduced in length
Ch-09	Cellar footprint revised to include sauna

DEVELOPMENT SCHEDULE

SITE AREA	385.70m <sup>2</sup>
BUILDING FOOTPRINT	
ALLOWABLE:	128.40m <sup>2</sup> (33.3% x SITE AREA)
EXISTING:	125.38m <sup>2</sup> (32%)
PROPOSED:	184.35 m <sup>2</sup> (48%)

BUILDER TO ALLOW FOR WALL AND FLOOR FINISHES			NOTES
ISSUE	AMENDMENT	DATE	
A	FOR DA	15.09.23	
B	FOR DA - RFI	09.02.24	
C	ISSUE FOR ENGINEERING	09.04.24	
D	S4.55 MODIFICATION	24.05.24	
			ALL WORK SHOULD COMPLY WITH RELEVANT AUSTRALIAN STANDARDS AND BUILDING CODE OF AUSTRALIA (BCA) ALL WORK SHALL CONFORM TO THE CONTRACT DOCUMENTS WHICH INCLUDE SPECIFICATIONS, THE DRAWINGS, ALL ADDENDUMS, FINISHES SCHEDULES. ALL THE CONSTRUCTION DRAWINGS SHALL BE READ IN CONJUNCTION W/ ALL CONSULTANTS AND CONTRACTOR DRAWINGS, SCHEDULES AND SPECIFICATIONS. IN CASE OF CONFLICT BETWEEN ARCHITECTS AND CONSULTANTS DRAWINGS IN LOCATING STRUCTURAL ELEMENTS, MATERIALS / EQUIPMENT.
			This drawing is issued as a preliminary concept design and must not be used for construction, cost estimation or any purpose other than for preliminary design purposes, unless noted as 'for construction'. Do not scale off this drawing, use figured dimensions where provided, verify all dimensions on site.
			©This drawing and the design contained herein, in whole or in part, is subject to copyright and cannot be reproduced in whole or in any part without the written permission of map architects Pty Ltd.



No. 1130 PITTWATER ROAD COLLAROY - EXISTING REAR ELEVATION



No. 1130 PITTWATER ROAD COLLAROY - FRONT ELEVATION

**NOTE:**  
**DESIGN COMPLIES WITH BUILDING CODE OF AUSTRALIA 2022 & ABCB HOUSING PROVISIONS - FOR CONSTRUCTION**



Nominated NSW Architects Reg. 9401 - Mark P. Alves  
ABN: 37 615 694 356  
Suite 4, Building B, 37 Alexandra St. Hunters Hill 2110

ph: 02 8085 6975  
e: mark@maparch.com.au  
www.maparch.com.au

SUBMISSION

S4.55 MODIFICATION		
project	1130 PITTWATER RD	
	COLLAROY	
drawing	COVER SHEET	
drawn	SM / PC	checked MA
date	09.02.24	scale @ A3
project no	2_23_10	drawing no D0000
		issue D

[www.maparch.com.au](http://www.maparch.com.au)

BASIX®Certificate

Building Sustainability Index www.basix.nsw.gov.au

Single Dwelling

Certificate number: 1412073S\_03

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 10/09/2020 published by the Department. This document is available at www.basix.nsw.gov.au

This certificate is a revision of certificate number 1412073S lodged with the consent authority or certifier on 04 October 2023 with application DA2023/1438.

It is the responsibility of the applicant to verify with the consent authority that the original, or any revised certificate, complies with the requirements of Schedule 1 Clause 2A, 4A or 6A of the Environment Planning and Assessment Regulation 2000

Secretary  
Date of issue: Friday, 24 May 2024  
To be valid, this certificate must be lodged within 3 months of the date of issue.



Water Commitments
Fixtures
The applicant must install showerheads with a minimum rating of 4 star (> 6 but <= 7.5 L/min plus spray force and/or coverage tests) in all showers in the development.
The applicant must install a toilet flushing system with a minimum rating of 4 star in each toilet in the development.
The applicant must install taps with a minimum rating of 4 star in the kitchen in the development.
The applicant must install basin taps with a minimum rating of 4 star in each bathroom in the development.
Alternative water
Rainwater tank
The applicant must install a rainwater tank of at least 2000 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.
The applicant must configure the rainwater tank to collect rain runoff from at least 100 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam).
The applicant must connect the rainwater tank to: <ul style="list-style-type: none"><li>all toilets in the development</li><li>at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.)</li></ul>

Thermal Comfort Commitments
Construction
Where there is an in-slab heating or cooling system, the applicant must install insulation with an R-value of not less than 1.0 around the vertical edges of the perimeter of the slab, and underneath the slab if it is a suspended floor.
The applicant must construct the floors and walls of the dwelling in accordance with the specifications listed in the table below.

Floor and wall construction	Area
floor - concrete slab on ground	117.0 square metres
floor - suspended floor/enclosed subfloor	6.0 square metres

BUILDER TO ALLOW FOR WALL AND FLOOR FINISHES NOTES		
ISSUE	AMENDMENT	DATE
A	FOR DA	15.09.23
B	FOR DA - RFI	09.02.24
C	ISSUE FOR ENGINEERING	09.04.24
D	\$4.55 MODIFICATION	24.05.24
This drawing is issued as a preliminary concept design and must not be used for construction, cost estimation or any purpose other than for preliminary design purposes, unless noted as 'for construction'. Do not scale off this drawing, use figured dimensions where provided, verify all dimensions on site.		
©This drawing and the design contained herein, in whole or in part, is subject to copyright and cannot be reproduced in whole or in any part without the written permission of map architects Pty Ltd.		

Project summary		
Project name	1130 Pittwater Rd HEC1482_03	
Street address	1130 PITTWATER ROAD COLLAROY 2097	
Local Government Area	Northern Beaches Council	
Plan type and plan number	Deposited Plan 121939	
Lot no.	1	
Section no.	-	
Project type	separate dwelling house	
No. of bedrooms	4	
Project score		
Water	✔ 40	Target 40
Thermal Comfort	✔ Pass	Target Pass
Energy	✔ 50	Target 50

Certificate Prepared by
Name / Company Name: House Energy Certified
ABN (if applicable): 81601166561

Energy Commitments
<ul style="list-style-type: none"><li>at least 1 of the living / dining rooms; dedicated</li><li>the kitchen; dedicated</li><li>all bathrooms/toilets; dedicated</li><li>the laundry; dedicated</li><li>all hallways; dedicated</li></ul>
Natural lighting
The applicant must install a window and/or skylight in the kitchen of the dwelling for natural lighting.
The applicant must install a window and/or skylight in 3 bathroom(s)/toilet(s) in the development for natural lighting.
Alternative energy
The applicant must install a photovoltaic system with the capacity to generate at least 1.6 peak kilowatts of electricity as part of the development. The applicant must connect this system to the development's electrical system.
Other
The applicant must install a gas cooktop & gas oven in the kitchen of the dwelling.

Energy Commitments
Hot water
The applicant must install the following hot water system in the development, or a system with a higher energy rating: gas instantaneous with a performance of 5 stars.
Cooling system
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: 1-phase airconditioning; Energy rating: 2.5 Star (old label)
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom: 1-phase airconditioning; Energy rating: 2.5 Star (old label)
Heating system
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area: electric floor heating; Energy rating: n/a
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 bedroom: 1-phase airconditioning; Energy rating: 2.5 Star (old label)
Ventilation
The applicant must install the following exhaust systems in the development: At least 1 Bathroom: individual fan, ducted to façade or roof; Operation control: manual switch on/off  Kitchen: individual fan, ducted to façade or roof; Operation control: manual switch on/off  Laundry: individual fan, ducted to façade or roof; Operation control: manual switch on/off
Artificial lighting
The applicant must ensure that the "primary type of artificial lighting" is fluorescent or light emitting diode (LED) lighting in each of the following rooms, and where the word "dedicated" appears, the fittings for those lights must only be capable of accepting fluorescent or light emitting diode (LED) lamps: <ul style="list-style-type: none"><li>at least 4 of the bedrooms / study; dedicated</li></ul>

Nationwide House Energy Rating Scheme

NatHERS Certificate No. #HR-A9EO3G-04

Generated on 24 May 2024 using Hero 4.0 (Chenath v3.21)

Property

Address1130 Pittwater Road, Collaroy, NSW, 2097

Lot/DP1/121939

NCC Class\*1a

TypeNew

Plans

Main Plan2-23-10

Prepared byMA/JG

Construction and environment

Assessed floor area (m²)282.4

Exposure TypeExposed

Unconditioned\*21.2

NatHERS climate zone56 - Mascot AMO

Total342.5

Garage38.9

Accredited assessor

NamePaul Gradwell

Business nameHouse Energy Certified

Emailpaul@houseenergycertified.com

Phone+61 410310381

Accreditation NoDMN/18/4423

Assessor Accrediting OrganisationDMN

Declaration of interestNo Conflict of Interest

Thermal Performance

Heating38.5 MJ/m²

Cooling22.9 MJ/m²

About the rating

NatHERS software models the expected thermal energy loads using information about the design and construction, climate and common patterns of household use. The software does not take into account appliances, apart from the airflow impacts from ceiling fans.

Verification

To verify this certificate, scan the QR code or visit <http://www.hero-software.com.au/pdf/HR-A9EO3G-04>. When using either link, ensure you are visiting <http://www.hero-software.com.au>

National Construction Code (NCC) requirements

The NCC's requirements for NatHERS-rated houses are detailed in J0.2 and J5 to J8 of the NCC Volume One.

In NCC 2019, these requirements include minimum star ratings and separate heating and cooling load limits that need to be met by buildings and apartments through the NatHERS assessment. Requirements additional to the NatHERS assessment that must also be satisfied include, but are not limited to: insulation installation methods, thermal breaks, building sealing, water heating and pumping, and artificial lighting requirements. The NCC and NatHERS Heating and Cooling Load Limits (Australian Building Codes Board Standard) are available at [www.abcb.gov.au](http://www.abcb.gov.au).

State and territory variations and additions to the NCC may also apply.

Assessor Construction Summary				
Issued for information only - refer to the NatHERS Certificate(s).				
Project:	Address:	1130 Pittwater Road Collaroy NSW 2097	File Ref:	HEC1482aa
Applicant:	Name:	AzzwicHoldings Pty Ltd	Designer:	Map Architects Pty Ltd
Assessor:	Name:	Paul Gradwell	Company:	House Energy Certified
	Address:	PO BOX 3136 Tamarama NSW 2026	Number:	DMN/18/4423
	Contact:	02 9130 2068	Email:	paul@houseenergycertified.com
Ext. Walls:	Construction	Insulation	Colour	Details
	Cavity Brick	25mm Isotherm K5 or equiv (R1.3)	Light	As per plans
	Metal Clad	R2.5 added	Dark	As per plans
Int. Walls:	Construction	Insulation		Details
	Plasterboard on Stud	None		First floor
	Single Brick	None		Ground floor
Floors:	Construction	Insulation		Details
	Concrete	R1.0 added		To slab edge where underfloor heating
	Concrete	R1.1 added		Where open below/Above cellar
	Concrete	R4.0 added		Above garage
Ceilings:	Construction	Insulation		Details
	Plasterboard	R4.0 added		Where flat
	Plasterboard	R2.5 added		Where raked
Roof:	Construction	Insulation	Colour	Details
	Concrete	90mm PIR or equiv (R4.1)	Medium	Ground floor roof
	Metal Deck	60mm Arlonic (R1.3)	Dark	First floor roof
Windows:	Product ID	Glass	Frame	Uw/SHGCw
Group A	ALM-003-03 A	Double Clear	Aluminium	4.3/0.47
Group B	ALM-004-03 A	Double Clear	Aluminium	4.3/0.53
Group B	ALM-002-01 A	Single Clear	Aluminium	6.7/0.70
Skylights:	Product ID	Glass	Type	Uw/SHGCw
	VEL-011-01 W	Double Fixed	Roof Light	2.6/0.24
	GEN-04-005a	Double Clear	Skylight	As per plans
Other:	Orientation	Terrain	Rangehood	Recessed Downlights
	0	Exposed	Ducted	Sealed LED - 1 per 2.5m²
				Software Version
				HERO

Notes  
R2.5 added to the walls to roof space  
Add 1 x 1200 mm ceiling fan to living room

Nominated NSW Architects Reg. 9401 - Mark P. Alves  
ABN: 37 615 694 356  
Suite 4, Building B, 37 Alexandra St. Hunters Hill 2110

ph: 02 8085 6975  
e: mark@maparch.com.au  
www.maparch.com.au

SUBMISSION

\$4.55 MODIFICATION

project 1130 PITTWATER RD

COLLAROY

drawing

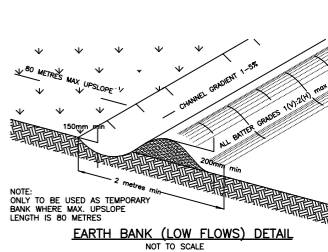
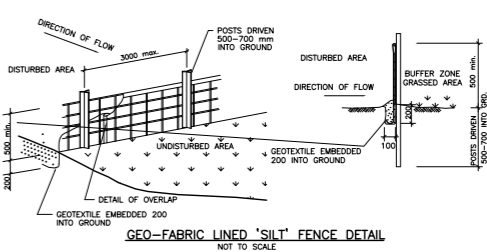
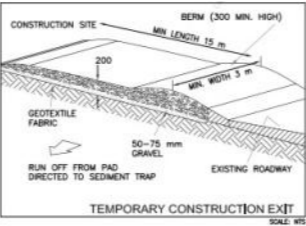
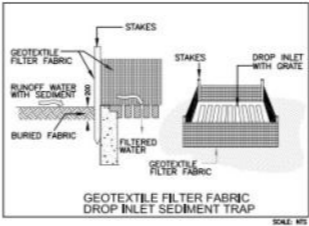
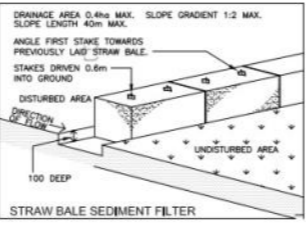
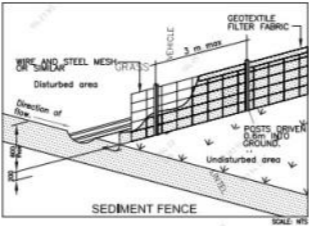
BASIX

drawn SM / PC checked MA

date 09.02.24 scale @ A3

project no 2\_23\_10 drawing no D0002 issue D

AS1926.1-2012, SWIMMING POOL SAFETY - SAFETY BARRIERS FOR SWIMMING POOLS.  
AS1926.2-2007, SWIMMING POOL SAFETY - LOCATION OF SAFETY BARRIERS FOR SWIMMING POOLS.  
AS/NZS 2416.1:2010, WATER SAFETY SIGNS AND BEACH SAFETY FLAGS



- EARTHWORK IS TO COMPLY WITH BCA 2016 TABLE 3.1.1.1 AS REFERENCED IN FIG 3.1.2.1 & CLAUSE 3.1.1.0(B) FOR DETERMINATION OF A NORMAL SITE AS REFERENCED BY CLAUSE 3.2.1.  
- DRAINAGE IS TO COMPLY WITH AS/NZS 3500.3-2015 OR SECTION 5 OF AS/NZS 3500.5 2012.  
- TERMITE MANAGEMENT IS TO COMPLY WITH BCA 2016 PART 3.1.3 AND AS 3660.1-2014. A DURABLE NOTICE IS TO BE INSTALLED IN ACCORDANCE WITH BCA 2016 PART 3.1.3(b). WHERE A CHEMICAL TERMITE MANAGEMENT SYSTEM IS USED, THE CHEMICAL MUST BE INCLUDED ON THE APPROPRIATE AUTHORITY'S PESTICIDES REGISTER. A.

**SITE ACCESS**  
PROVIDE A SINGLE STABILISED ENTRY/EXIT POINT. SEDIMENT OR BUILDING WASTE SHOULD BE REMOVED FROM THE ROAD BY SWEEPING, SHOVELLING OR SPONGING; NOT WASHING.  
**DIVERSION OF WATER**  
DIVERT RUN OFF AWAY FROM DISTURBED AREAS AND STOCKPILES USING BANKS AND CHANNELS. RUN OFF SHOULD BE TREATED (BY SEDIMENT FENCE OR THE LIKE) BEFORE LEAVING THE SITE.

**ROOF WATER DRAINAGE**  
CONNECT TEMPORARY OR PERMANENT DOWNPIPES TO THE STORM WATER SYSTEM AS SOON AS THE ROOF IS COMPLETE, TO REDUCE SITE WETNESS.  
**DUST CONTROLS**  
MINIMISE DISTURBANCES. COVER STOCKPILES. USE WATER WHEN NECESSARY, BUT CONTROL RUN OFF.

ALL WORK SHOULD COMPLY WITH RELEVANT AUSTRALIAN STANDARDS AND BUILDING CODE OF AUSTRALIA (BCA). ALL WORK SHALL CONFORM TO THE CONTRACT DOCUMENTS WHICH INCLUDE SPECIFICATIONS, THE DRAWINGS, ALL ADDENDUMS, FINISHES SCHEDULES. ALL CONSTRUCTION DRAWINGS SHALL BE READ IN CONJUNCTION WITH ALL CONSULTANTS AND CONTRACTOR DRAWINGS, SCHEDULES AND SPECIFICATIONS. IN CASE OF CONFLICT BETWEEN ARCHITECTS AND CONSULTANTS DRAWINGS IN LOCATING STRUCTURAL ELEMENTS, MATERIALS/EQUIPMENT.

**DETAIL 1**  
**SEDIMENTATION FENCES**  
FENCES SHOULD BE INSTALLED DOWN SLOPE TO TREAT SITE RUN-OFF. TO BE EFFECTIVE, THEY NEED TO BE INSTALLED PROPERLY AND MAINTAINED REGULARLY.

**DETAIL 2**  
**GUTTER PROTECTION**  
GRAVEL SAUSAGES, GRAVEL BAGS OR SAND BAGS SHOULD BE INSTALLED AROUND STORM WATER INLETS TO REDUCE THE RISK OF UNTREATED RUN OFF ENTERING THE WATERWAYS.

**DETAIL 3**  
**STOCKPILES**  
STOCKPILES SHOULD BE LOCATED UPSLOPE AWAY FROM DRAINAGE LINES. RUN OFF SHOULD BE DIVERTED AWAY FROM THE STOCKPILE. PROTECT STOCKPILES WITH WATERPROOF COVERING. INSTALL A SEDIMENT CONTROL DEVICE ON THE DOWNSLOPE SIDE OF THE STOCKPILE. STOCKPILES MUST NOT BE STORED ON FOOTPATHS.

BUILDER TO ALLOW FOR WALL AND FLOOR FINISHES		
ISSUE	AMENDMENT	DATE
A	FOR DA	15.09.23
B	FOR DA - RFI	09.02.24
C	ISSUE FOR ENGINEERING	09.04.24
D	S4.55 MODIFICATION	24.05.24

**NOTES**  
ALL WORK SHOULD COMPLY WITH RELEVANT AUSTRALIAN STANDARDS AND BUILDING CODE OF AUSTRALIA (BCA) ALL WORK SHALL CONFORM TO THE CONTRACT DOCUMENTS WHICH INCLUDE SPECIFICATIONS, THE DRAWINGS, ALL ADDENDUMS, FINISHES SCHEDULES. ALL THE CONSTRUCTION DRAWINGS SHALL BE READ IN CONJUNCTION WITH ALL CONSULTANTS AND CONTRACTOR DRAWINGS, SCHEDULES AND SPECIFICATIONS. IN CASE OF CONFLICT BETWEEN ARCHITECTS AND CONSULTANTS DRAWINGS IN LOCATING STRUCTURAL ELEMENTS, MATERIALS / EQUIPMENT.

This drawing is issued as a preliminary concept design and must not be used for construction, cost estimation or any purpose other than for preliminary design purposes, unless noted as 'for construction'. Do not scale off this drawing, use figured dimensions where provided, verify all dimensions on site.

© This drawing and the design contained herein, in whole or in part, is subject to copyright and cannot be reproduced in whole or in any part without the written permission of map architects Pty Ltd.

S4.55 MODIFICATIONS	
Change ID	Name
Ch-01	Courtyard wall moved into courtyard
Ch-02	Alfresco deck reshaped
Ch-03	New window to first floor bathroom (W29)
Ch-04	Western wall on first floor moved forward by 650mm & balcony removed
Ch-05	New window to ground floor Dining (W20)
Ch-06	W04 - Kitchen window size change
Ch-07	Skylights relocated from stairwell to hallway
Ch-08	Eastern balcony screen reduced in length
Ch-09	Cellar footprint revised to include sauna

**NOTE:**  
**DESIGN COMPLIES WITH BUILDING CODE OF AUSTRALIA 2022 & ABCB HOUSING PROVISIONS - FOR CONSTRUCTION**



Nominated NSW Architects Reg. 9401 - Mark P. Alves  
ABN: 37 615 694 356  
Suite 4, Building B, 37 Alexandra St. Hunters Hill 2110

ph: 02 8065 6975  
e: mark@maparch.com.au  
www.maparch.com.au

**SUBMISSION**

**S4.55 MODIFICATION**

project 1130 PITTWATER RD

**COLLAROY**

drawing

SITE PLAN

drawn SM / PC checked MA

date 09.02.24 scale 1:200 @ A3

project no 2\_23\_10 drawing no D0003 issue D

# DEMOLITION

**STANDARD**  
DEMOLITION: TO AS 2601  
**DEMOLISHED MATERIALS**  
EXCEPT FOR MATERIALS TO BE SALVAGED AND RETAINED BY THE OWNER OR RE-USED,  
DEMOLISH MATERIALS AND REMOVE FROM THE SITE.  
DO NOT BURN OR BURY DEMOLISHED MATERIALS ON THE SITE.  
**SUPPORT**  
PROVIDE TEMPORARY SUPPORT FOR SECTIONS OF EXISTING BUILDINGS WHICH ARE TO BE ALTERED AND WHICH RELY FOR SUPPORT ON WORK TO BE DEMOLISHED.  
**ASBESTOS REMOVAL**  
**METHOD:** USE WET REMOVAL METHODS RECOMMENDED IN THE CODE OF PRACTICE FOR THE REMOVAL OF ASBESTOS (HOHSC: 2002), INCLUDING PART 4 FOR INSULATION AND LAGGING, AND PART 9 FOR ASBESTOS CEMENT.  
**MONITORING:** HAVE DUST MONITORING PERFORMED BY AN INDEPENDENT TESTING AUTHORITY.

**ELEMENTS TO BE REMOVED**

## NOTES

THIS DRAWING IS TO BE READ IN CONJUNCTION WITH DEMOLITION SPECIFICATION, SCHEDULES, ENVIRONMENTAL MANAGEMENT PLAN & DA CONSENT CONDITIONS THE PUBLIC FOOTWAYS & ROADWAYS ADJACENT TO THE SITE SHALL BE MAINTAINED AT ALL TIMES DURING THE COURSE OF THE WORK IN A SAFE CONDITION, LIGHTING, FENCING, TRAFFIC CONTROL & ADVANCED WARNING SIGNS SHALL BE PROVIDED FOR THE PROTECTION OF THE WORKS & THE SAFETY & CONVENIENCE OF THE PUBLIC TO THE SATISFACTION OF THE PCA & IN ACCORDANCE WITH COUNCIL'S STANDARD SPECIFICATION FOR ENGINEERING WORKS. TRAFFIC MOVEMENT IN BOTH DIRECTIONS ON PUBLIC ROADS, AND VEHICLE ACCESS TO PRIVATE PROPERTIES IS TO BE MAINTAINED AT ALL TIMES DURING THE WORKS

CONTRACTOR PRIOR TO THE COMMENCEMENT OF WORKS WILL INSTALL, MAINTAIN & IMPLEMENT SOIL & SEDIMENT CONTROL MEASURES AT ALL TIMES. THE MEASURES TO REMAIN IN PROPER OPERATION UNTIL ALL DEVELOPMENT ACTIVITIES HAVE BEEN COMPLETED & THE SITE FULLY STABILISED, REFER TO HYDRAULIC ENGINEER'S SEDIMENT CONTROL PLAN DRAWING 0708 SCP-01REVISION B ISSUED 25/07/07. TOILET FACILITIES TO BE PROVIDED DURING DEMOLITION & CONSTRUCTION, AT A RATE OF 1 TOILET TO 20 PERSONS OR PART PERSONS ON SITE. DEMOLITION MUST BE UNDERTAKEN IN ACCORDANCE WITH PROVISIONS OF AS2601- DEMOLITION OF STRUCTURES. ALL EXISTING WALL FIXINGS, EXPOSED SERVICES, WIRING ETC. NOT REUSED TO BE CAPPED OFF & MADE SAFE, IN ACCORDANCE WITH DEMOLITION SPECIFICATION. ALL FILL & VEGETATION TO EXISTING PLANTERS TO BE REMOVED & ANY SERVICE CAPPED WHERE WALLS ARE TO BE REMOVED & NOT REPLACED, THE EXISTING WALLS TO BE MADE GOOD WORK MUST SATISFY APPLICABLE OCCUPATIONAL HEALTH & SAFETY, & CONSTRUCTION SAFETY REGULATIONS, INCLUDING ANY WORK COVER AUTHORITY REQUIREMENTS. SITE FENCE TO BE INSTALLED TO EXCLUDE PUBLIC FROM SITE. SAFETY SIGNS MUST BE ERCTED TO WARN PUBLIC TO KEEP OFF SITE AND PROVIDE A TELEPHONE CONTACT NUMBER FOR ENQUIRIES. WORK COVER AUTHORITY TO BE NOTIFIED IMMEDIATELY IF ANY PART OF THE BUILDING BEING DEMOLISHED OR REMOVED IS IDENTIFIED OR SUSPECTED OF CONTAINING ASBESTOS. THE REQUIREMENTS & STANDARDS IMPOSED BY THE AUTHORITY, ITS CONSULTANTS OR CONTRACTORS SHALL BE COMPLIED WITH. IF REQUIRED CONTRACTOR SHALL ENGAGE QUALIFIED CONSULTANT TO UNDERTAKE ASBESTOS & LEAD PAINT CONTAMINATION SURVEY DEMOLITION WORKS SHALL BE RESTRICTED TO WITHIN THE HOURS OF 8.00AM TO 5.00PM MONDAY TO FRIDAY ONLY. THE BUILDER SHALL DISPLAY ON-SITE, THEIR 24 HOUR CONTACT NUMBER, WHICH IS CLEARLY VISIBLE & LEGIBLE FROM ANY PUBLIC PLACE ADJOINING THE SITE NOISE EMISSIONS & VIBRATIONS TO BE MINIMISED WHERE POSSIBLE & WORK TO BE CARRIED OUT IN ACCORDANCE WITH EPA GUIDELINES & COMPLY WITH THE PROTECTION OF THE ENVIRONMENTAL OPERATIONS ACT 1997. ALL PLANT & EQUIPMENT USED DURING DEMOLITION SHALL BE SITUATED WITHIN THE BOUNDARIES OF THE SITE AND PLACED SO THAT ALL SLURRY, WATER AND DEBRIS SHALL BE DISCHARGED & CONTAINED ON SITE. ALL WORK SHOULD COMPLY WITH RELEVANT AUSTRALIAN STANDARDS AND BUILDING CODE OF AUSTRALIA (BCA)  
ALL WORK SHALL CONFORM TO THE CONTRACT DOCUMENTS WHICH INCLUDE SPECIFICATIONS, THE DRAWINGS, ALL ADDENDUMS, FINISHES SCHEDULES. ALL THE CONSTRUCTION DRAWINGS SHALL BE READ IN CONJUNCTION W/ ALL CONSULTANTS AND CONTRACTOR DRAWINGS, SCHEDULES AND SPECIFICATIONS. IN CASE OF CONFLICT BETWEEN ARCHITECTS AND CONSULTANTS DRAWINGS IN LOCATING STRUCTURAL ELEMENTS, MATERIALS / EQUIPMENT.

BUILDER TO ALLOW FOR WALL AND FLOOR FINISHES		
ISSUE	AMENDMENT	DATE
A	FOR DA	15.09.23
B	FOR DA - RFI	09.02.24
C	ISSUE FOR ENGINEERING	09.04.24
D	S4.55 MODIFICATION	24.05.24

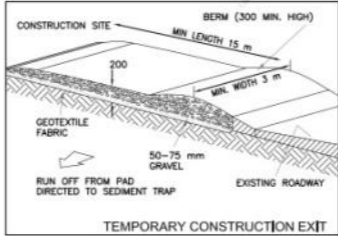
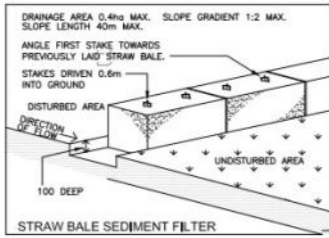

© This drawing and the design contained herein, in whole or in part, is subject to copyright and cannot be reproduced in whole or in any part without the written permission of map architects Pty Ltd.

## NOTES

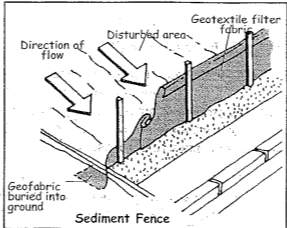
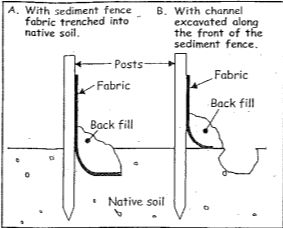
ALL WORK SHOULD COMPLY WITH RELEVANT AUSTRALIAN STANDARDS AND BUILDING CODE OF AUSTRALIA (BCA) ALL WORK SHALL CONFORM TO THE CONTRACT DOCUMENTS WHICH INCLUDE SPECIFICATIONS, THE DRAWINGS, ALL ADDENDUMS, FINISHES SCHEDULES. ALL THE CONSTRUCTION DRAWINGS SHALL BE READ IN CONJUNCTION W/ ALL CONSULTANTS AND CONTRACTOR DRAWINGS, SCHEDULES AND SPECIFICATIONS. IN CASE OF CONFLICT BETWEEN ARCHITECTS AND CONSULTANTS DRAWINGS IN LOCATING STRUCTURAL ELEMENTS, MATERIALS / EQUIPMENT.

This drawing is issued as a preliminary concept design and must not be used for construction, cost estimation or any purpose other than for preliminary design purposes, unless noted as 'for construction'. Do not scale off this drawing, use figured dimensions where provided, verify all dimensions on site.

## SEDIMENT CONTROL MEASURES TO BE INSTALLED PRIOR TO COMMENCING WORK

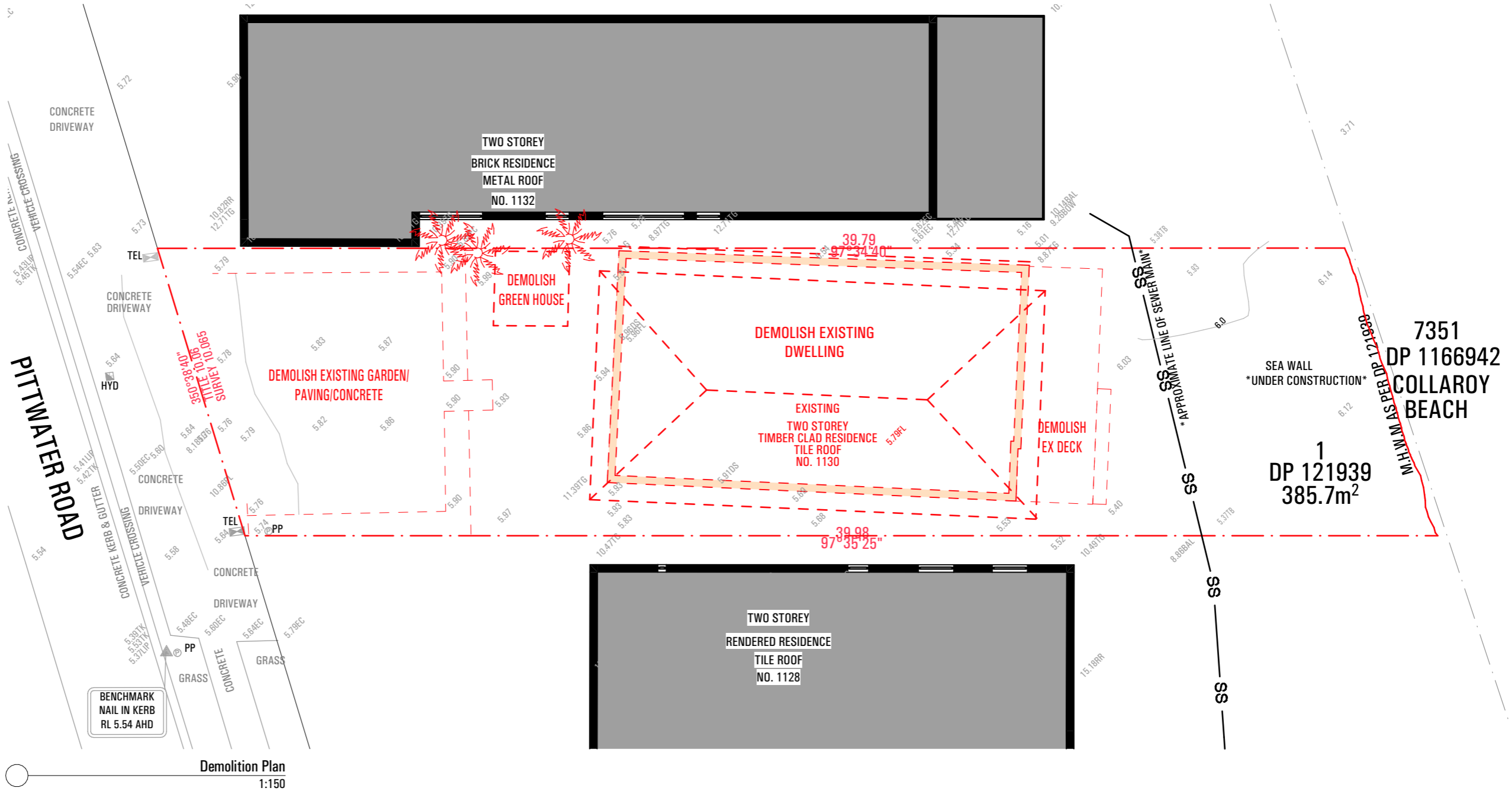
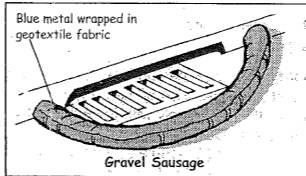


- Sediment Fences should be installed downslope to treat site run-off.
- To be effective they need to be installed properly and maintained regularly.



## Cutter Protection.

As a precautionary measure, sediment controls such as gravel sausages, gravel bags or sand bags should be installed around stormwater inlets if there is a risk of untreated run-off entering the waterways.



**NOTE:**  
**DESIGN COMPLIES WITH BUILDING CODE OF AUSTRALIA 2022 & ABCB HOUSING PROVISIONS - FOR CONSTRUCTION**



Nominated NSW Architects Reg. 9401 - Mark P. Alves  
ABN: 37 615 694 356  
Suite 4, Building B, 37 Alexandra St. Hunters Hill 2110

ph: 02 8065 6975  
e: mark@maparch.com.au  
www.maparch.com.au

## SUBMISSION

**S4.55 MODIFICATION**

project 1130 PITTWATER RD

**COLLARROY**

drawing

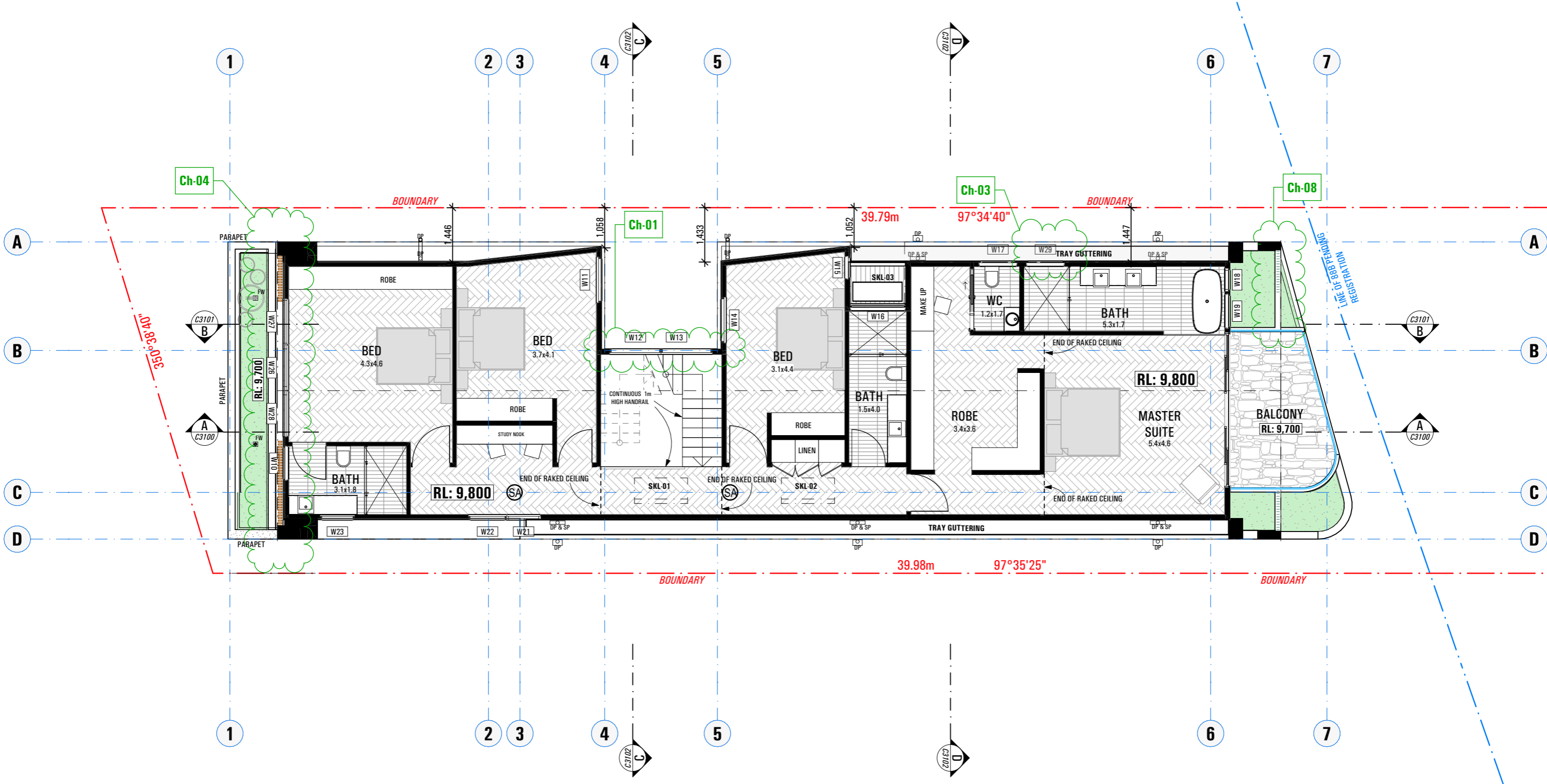
DEMOLITION PLAN

drawn SM / PC checked MA

date 09.02.24 scale 1:150 @ A3

project no 2\_23\_10 drawing no D1000 issue D





BUILDER TO ALLOW FOR WALL AND FLOOR FINISHES		
ISSUE	AMENDMENT	DATE
A	FOR DA	15.09.23
B	FOR DA - RFI	09.02.24
C	ISSUE FOR ENGINEERING	09.04.24
D	S4.55 MODIFICATION	24.05.24

**NOTES**

ALL WORK SHOULD COMPLY WITH RELEVANT AUSTRALIAN STANDARDS AND BUILDING CODE OF AUSTRALIA (BCA) ALL WORK SHALL CONFORM TO THE CONTRACT DOCUMENTS WHICH INCLUDE SPECIFICATIONS, THE DRAWINGS, ALL ADDENDUMS, FINISHES SCHEDULES. ALL THE CONSTRUCTION DRAWINGS SHALL BE READ IN CONJUNCTION W/ ALL CONSULTANTS AND CONTRACTOR DRAWINGS, SCHEDULES AND SPECIFICATIONS. IN CASE OF CONFLICT BETWEEN ARCHITECTS AND CONSULTANTS DRAWINGS IN LOCATING STRUCTURAL ELEMENTS, MATERIALS / EQUIPMENT.

This drawing is issued as a preliminary concept design and must not be used for construction, cost estimation or any purpose other than for preliminary design purposes, unless noted as "for construction". Do not scale off this drawing, use figured dimensions where provided, verify all dimensions on site.

© This drawing and the design contained herein, in whole or in part, is subject to copyright and cannot be reproduced in whole or in any part without the written permission of map architects Pty Ltd.

S4.55 MODIFICATIONS	
Change ID	Name
Ch-01	Courtyard wall moved into courtyard
Ch-02	Alfresco deck reshaped
Ch-03	New window to first floor bathroom (W29)
Ch-04	Western wall on first floor moved forward by 650mm & balcony removed
Ch-05	New window to ground floor Dining (W20)
Ch-06	W04 - Kitchen window size change
Ch-07	Skylights relocated from stairwell to hallway
Ch-08	Eastern balcony screen reduced in length
Ch-09	Cellar footprint revised to include sauna

**NOTE:**  
DESIGN COMPLIES WITH BUILDING CODE  
OF AUSTRALIA 2022 & ABCB HOUSING  
PROVISIONS - FOR CONSTRUCTION



Nominated NSW Architects Reg. 9401 - Mark P. Alves  
ABN: 37 615 694 356  
Suite 4, Building B, 37 Alexandra St. Hunters Hill 2110

ph: 02 8085 6975  
e: mark@maparch.com.au  
www.maparch.com.au

## SUBMISSION

S4.55 MODIFICATION

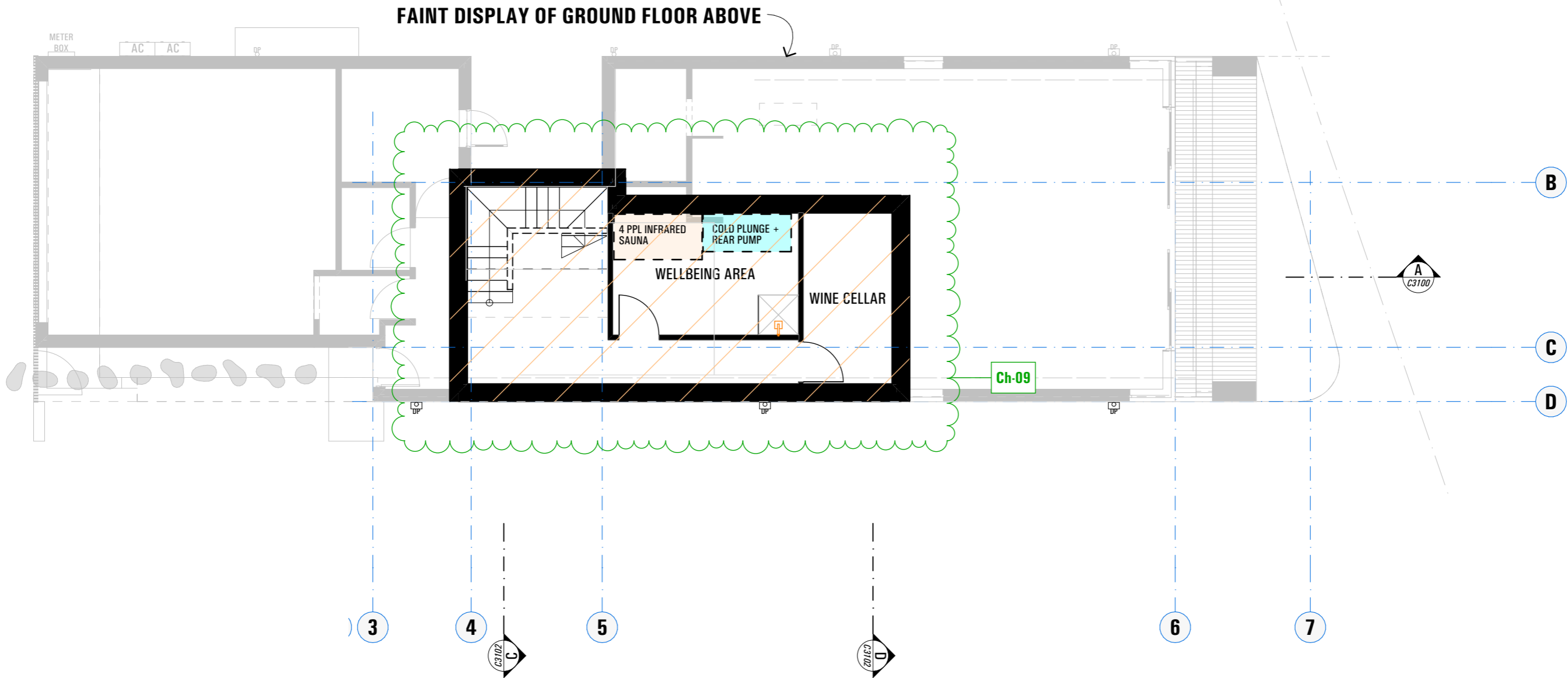
project 1130 PITTWATER RD

drawing COLLAROY

drawn SM / PC checked MA

date 09.02.24 scale @ A3

project no 2\_23\_10 drawing no D2101 issue D



BUILDER TO ALLOW FOR WALL AND FLOOR FINISHES		
ISSUE	AMENDMENT	DATE
A	FOR DA	15.09.23
B	FOR DA - RFI	09.02.24
C	ISSUE FOR ENGINEERING	09.04.24
D	S4.55 MODIFICATION	24.05.24

#### NOTES

ALL WORK SHOULD COMPLY WITH RELEVANT AUSTRALIAN STANDARDS AND BUILDING CODE OF AUSTRALIA (BCA) ALL WORK SHALL CONFORM TO THE CONTRACT DOCUMENTS WHICH INCLUDE SPECIFICATIONS, THE DRAWINGS, ALL ADDENDUMS, FINISHES SCHEDULES. ALL THE CONSTRUCTION DRAWINGS SHALL BE READ IN CONJUNCTION W/ ALL CONSULTANTS AND CONTRACTOR DRAWINGS, SCHEDULES AND SPECIFICATIONS. IN CASE OF CONFLICT BETWEEN ARCHITECTS AND CONSULTANTS DRAWINGS IN LOCATING STRUCTURAL ELEMENTS, MATERIALS / EQUIPMENT.

This drawing is issued as a preliminary concept design and must not be used for construction, cost estimation or any purpose other than for preliminary design purposes, unless noted as "for construction". Do not scale off this drawing, use figured dimensions where provided, verify all dimensions on site.

© This drawing and the design contained herein, in whole or in part, is subject to copyright and cannot be reproduced in whole or in any part without the written permission of map architects Pty Ltd.

S4.55 MODIFICATIONS	
Change ID	Name
Ch-01	Courtyard wall moved into courtyard
Ch-02	Alfresco deck reshaped
Ch-03	New window to first floor bathroom (W29)
Ch-04	Western wall on first floor moved forward by 650mm & balcony removed
Ch-05	New window to ground floor Dining (W20)
Ch-06	W04 - Kitchen window size change
Ch-07	Skylights relocated from stairwell to hallway
Ch-08	Eastern balcony screen reduced in length
Ch-09	Cellar footprint revised to include sauna

**NOTE:**  
**DESIGN COMPLIES WITH BUILDING CODE OF AUSTRALIA 2022 & ABCB HOUSING PROVISIONS - FOR CONSTRUCTION**



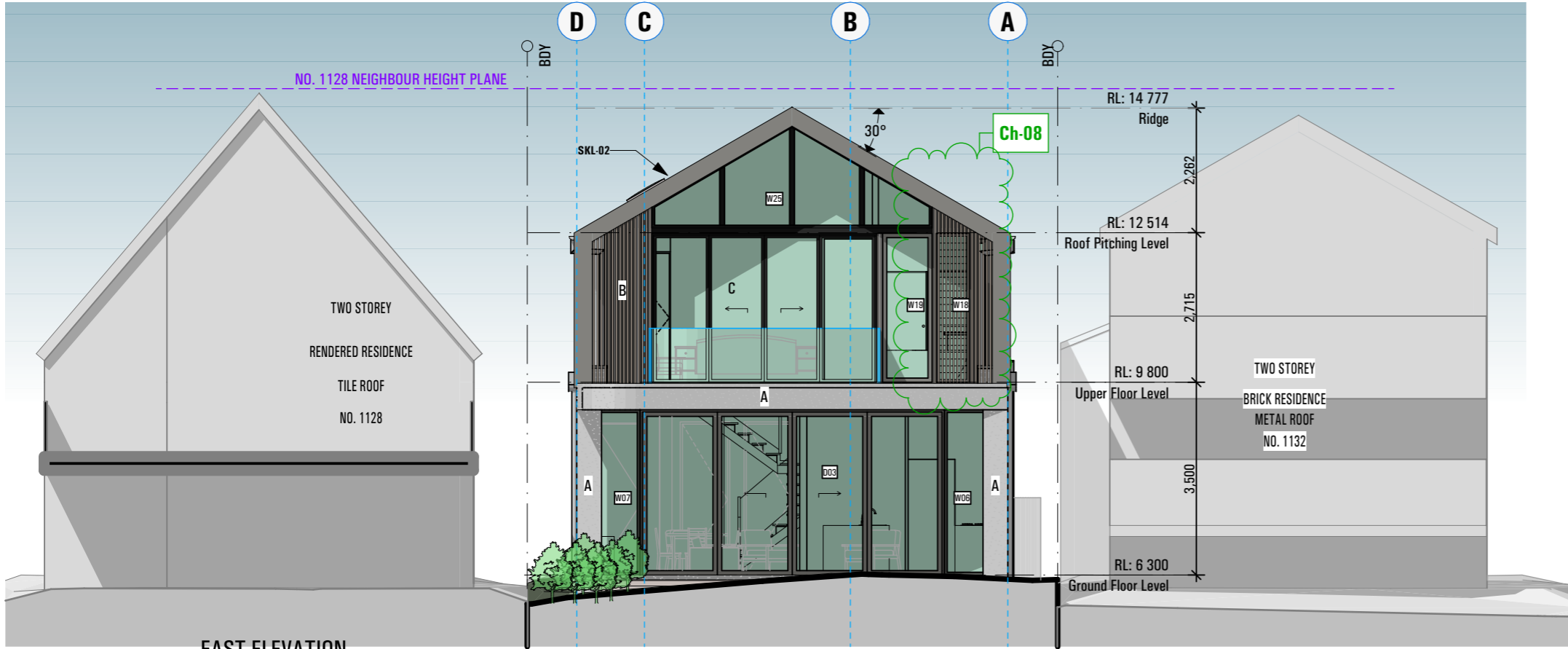
Nominated NSW Architects Reg. 9401 - Mark P. Alves  
ABN: 37 615 694 356  
Suite 4, Building B, 37 Alexandra St. Hunters Hill 2110

ph: 02 8085 6975  
e: mark@maparch.com.au  
www.maparch.com.au

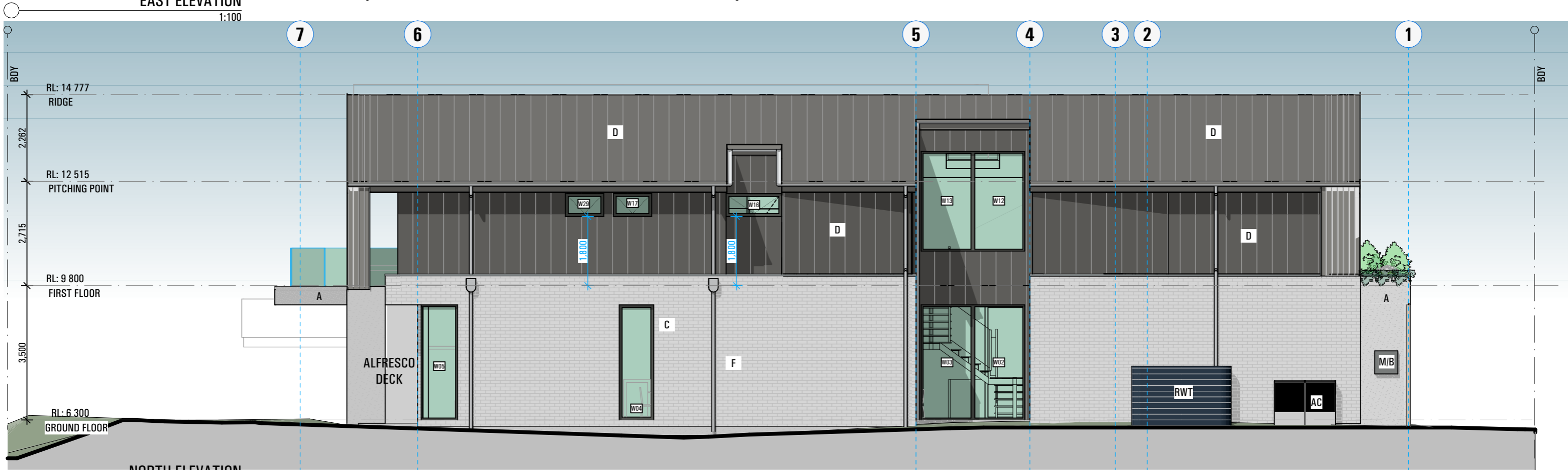
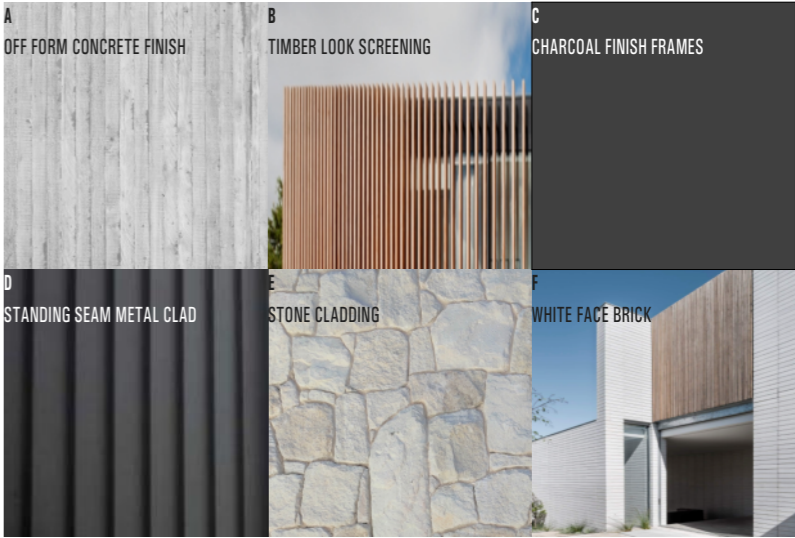
## SUBMISSION

S4.55 MODIFICATION		
project	1130 PITTWATER RD	
drawing	COLLARROY	
drawn	SM / PC	checked MA
date	09.02.24	scale @ A3
project no	2_23_10	drawing no D2102
issue	D	





## MATERIALS AND FINISHES



**NORTH ELEVATION**  
1:100

ISSUE	AMENDMENT	DATE
A	FOR DA	15.09.23
B	FOR DA - RFI	09.02.24
C	ISSUE FOR ENGINEERING	09.04.24
D	S4.55 MODIFICATION	24.05.24


© This drawing and the design contained herein, in whole or in part, is subject to copyright and cannot be reproduced in whole or in any part without the written permission of map architects Pty Ltd.

S4.55 MODIFICATIONS	
Change ID	Name
Ch-01	Courtyard wall moved into courtyard
Ch-02	Alfresco deck reshaped
Ch-03	New window to first floor bathroom (W29)
Ch-04	Western wall on first floor moved forward by 650mm & balcony removed
Ch-05	New window to ground floor Dining (W20)
Ch-06	W04 - Kitchen window size change
Ch-07	Skylights relocated from stairwell to hallway
Ch-08	Eastern balcony screen reduced in length
Ch-09	Cellar footprint revised to include sauna

**NOTE:**  
**DESIGN COMPLIES WITH BUILDING CODE OF AUSTRALIA 2022 & ABCB HOUSING PROVISIONS - FOR CONSTRUCTION**

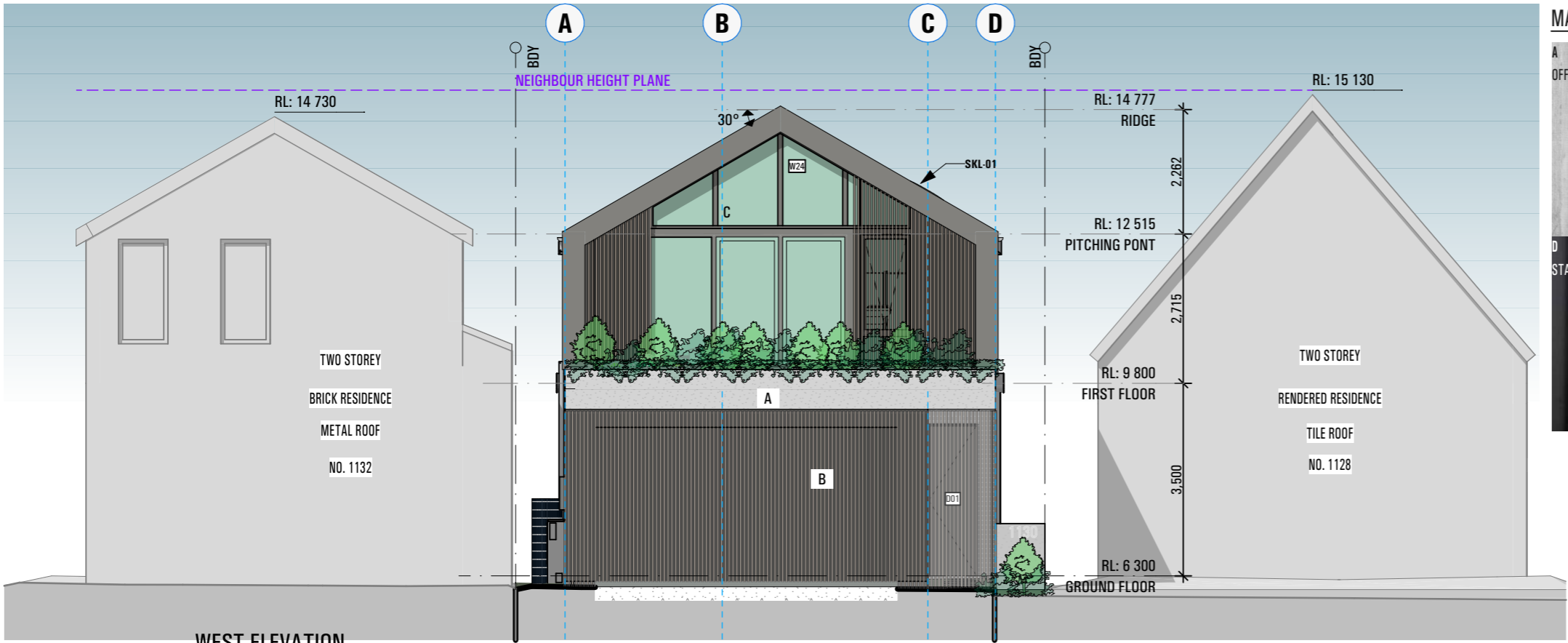


Nominated NSW Architects Reg. 9401 - Mark P. Alves  
ABN: 37 615 694 356  
Suite 4, Building B, 37 Alexandra St. Hunters Hill 2110

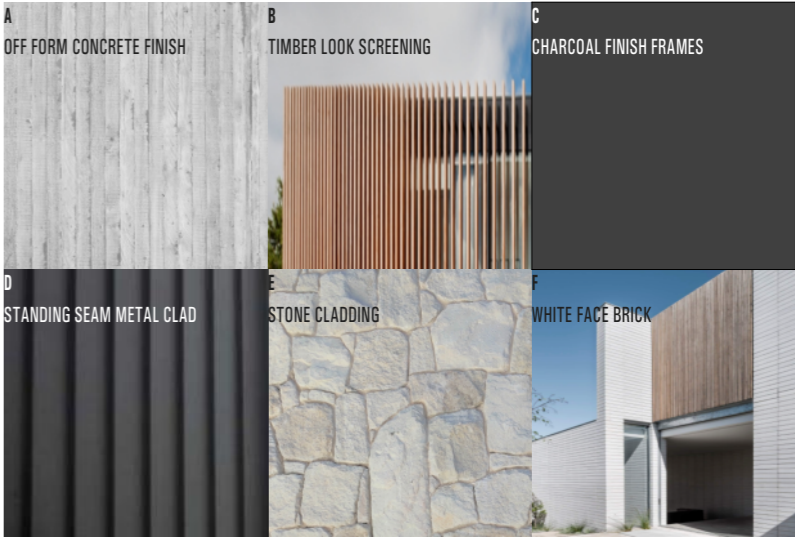
ph: 02 8085 6975  
e: mark@maparch.com.au  
www.maparch.com.au

## SUBMISSION

S4.55 MODIFICATION	
project	1130 PITTWATER RD
drawing	COLLARROY
drawn	SM / PC
checked	MA
date	09.02.24
scale	1:100 @ A3
project no	2_23_10
drawing no	D3000
issue	D



## MATERIALS AND FINISHES



## SOUTH ELEVATION

ISSUE	AMENDMENT	DATE
A	FOR DA	15.09.23
B	FOR DA - RFI	09.02.24
C	ISSUE FOR ENGINEERING	09.04.24
D	S4.55 MODIFICATION	24.05.24

### NOTES

ALL WORK SHOULD COMPLY WITH RELEVANT AUSTRALIAN STANDARDS AND BUILDING CODE OF AUSTRALIA (BCA) ALL WORK SHALL CONFORM TO THE CONTRACT DOCUMENTS WHICH INCLUDE SPECIFICATIONS, THE DRAWINGS, ALL ADDENDUMS, FINISHES SCHEDULES. ALL THE CONSTRUCTION DRAWINGS SHALL BE READ IN CONJUNCTION W/ ALL CONSULTANTS AND CONTRACTOR DRAWINGS, SCHEDULES AND SPECIFICATIONS. IN CASE OF CONFLICT BETWEEN ARCHITECTS AND CONSULTANTS DRAWINGS IN LOCATING STRUCTURAL ELEMENTS, MATERIALS / EQUIPMENT.

This drawing is issued as a preliminary concept design and must not be used for construction, cost estimation or any purpose other than for preliminary design purposes, unless noted as 'for construction'. Do not scale off this drawing, use figured dimensions where provided, verify all dimensions on site.

© This drawing and the design contained herein, in whole or in part, is subject to copyright and cannot be reproduced in whole or in any part without the written permission of map architects Pty Ltd.

### S4.55 MODIFICATIONS

Change ID	Name
Ch-01	Courtyard wall moved into courtyard
Ch-02	Alfresco deck reshaped
Ch-03	New window to first floor bathroom (W29)
Ch-04	Western wall on first floor moved forward by 650mm & balcony removed
Ch-05	New window to ground floor Dining (W20)
Ch-06	W04 - Kitchen window size change
Ch-07	Skylights relocated from stairwell to hallway
Ch-08	Eastern balcony screen reduced in length
Ch-09	Cellar footprint revised to include sauna

**NOTE:**  
DESIGN COMPLIES WITH BUILDING CODE  
OF AUSTRALIA 2022 & ABCB HOUSING  
PROVISIONS - FOR CONSTRUCTION



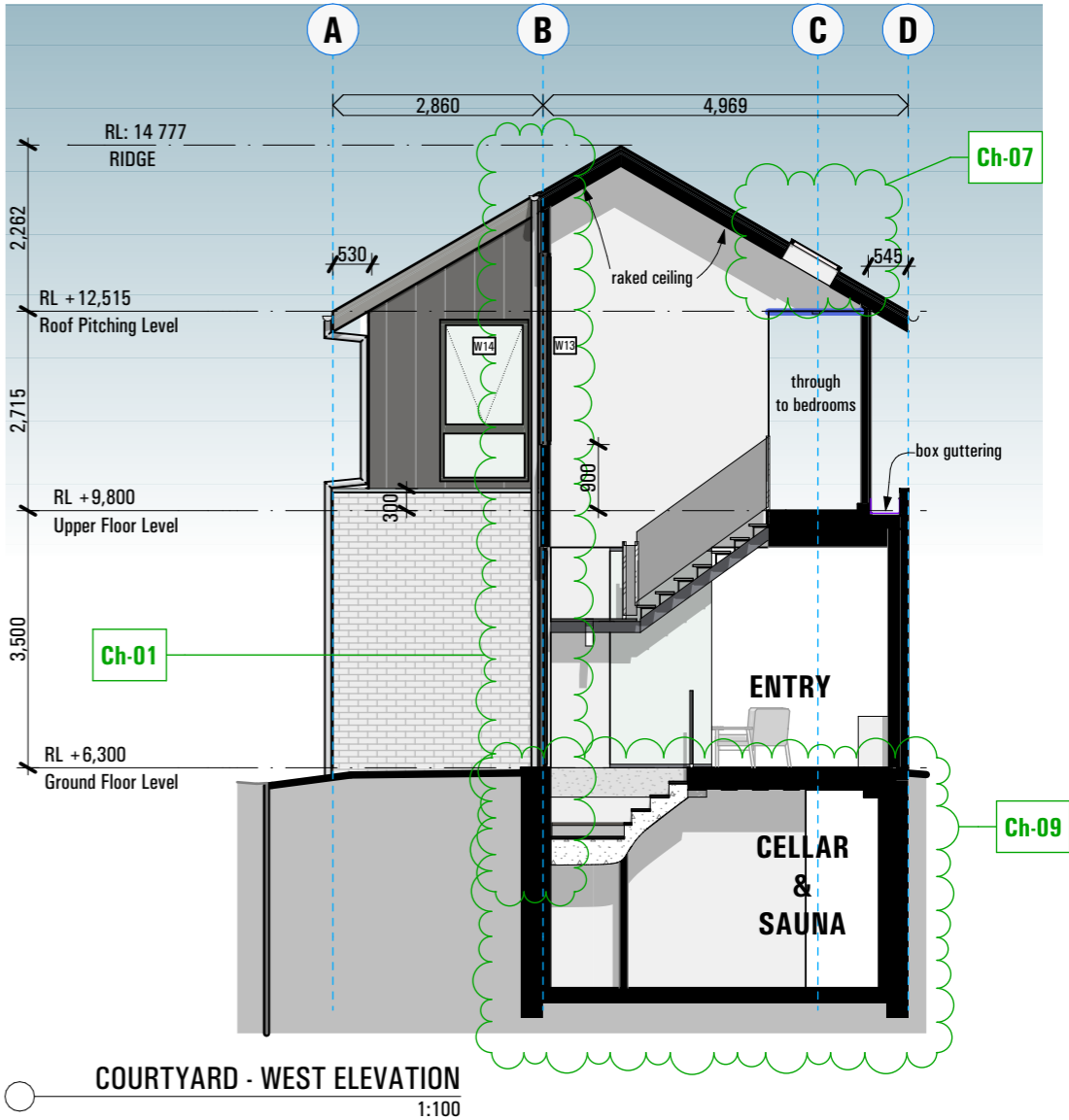
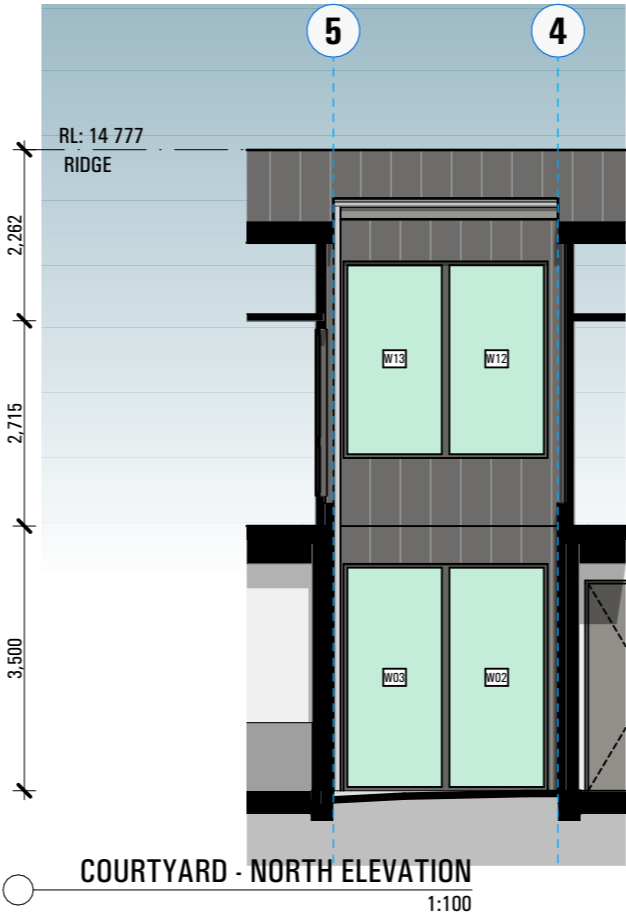
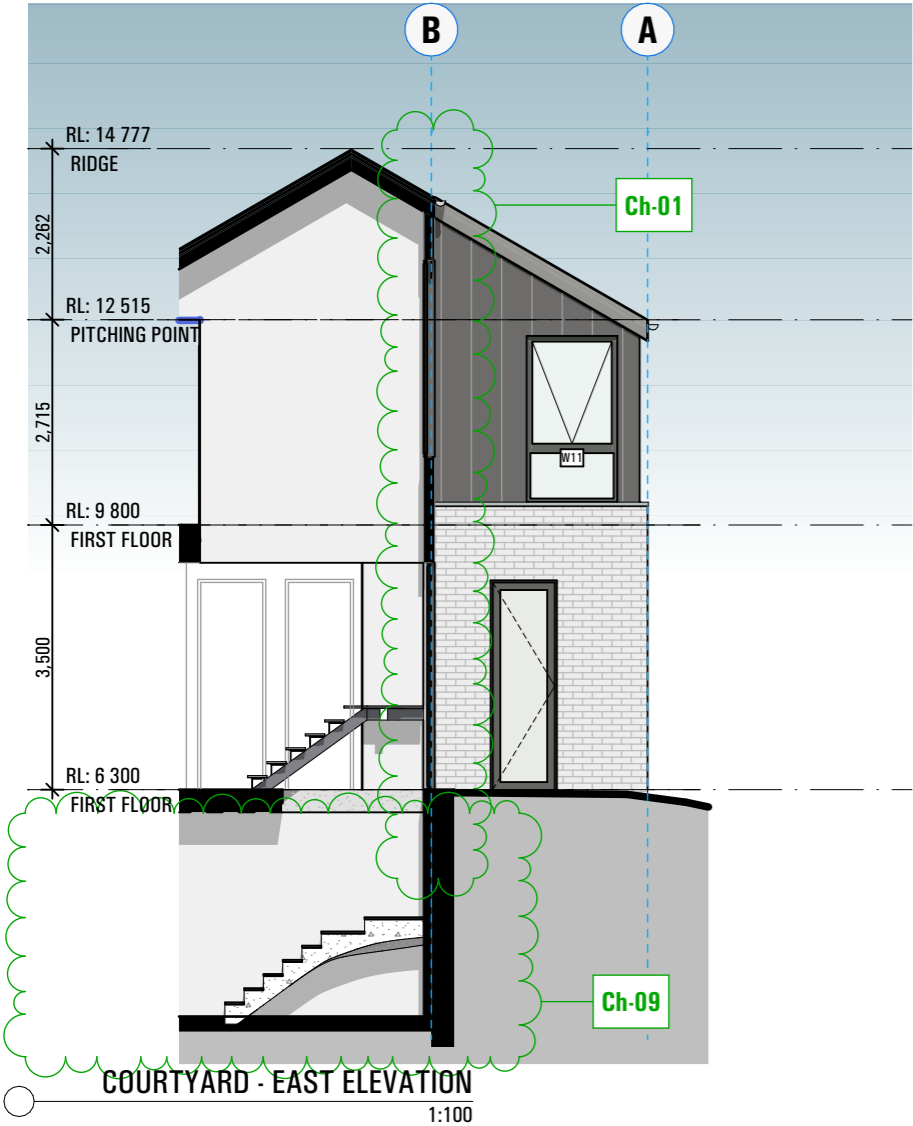
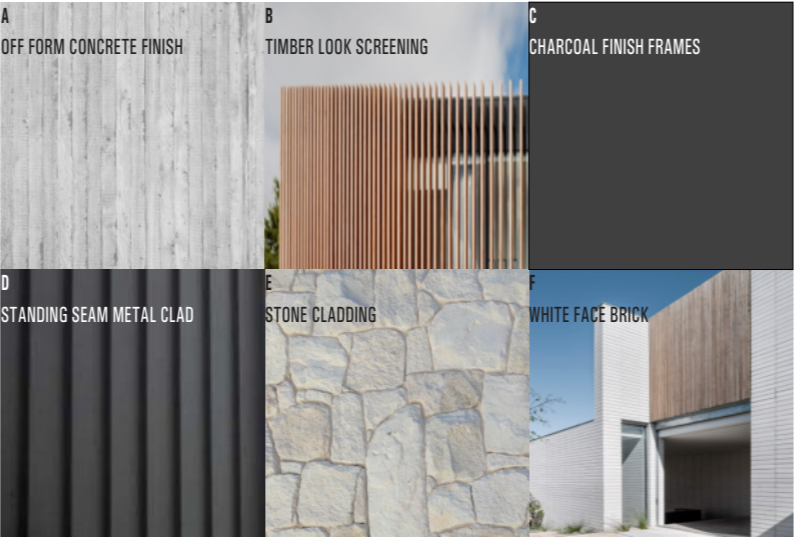
Nominated NSW Architects Reg. 9401 - Mark P. Alves  
ABN: 37 615 694 356  
Suite 4, Building B, 37 Alexandra St. Hunters Hill 2110

ph: 02 8085 6975  
e: mark@maparch.com.au  
www.maparch.com.au

## SUBMISSION

S4.55 MODIFICATION			
project	1130 PITTWATER RD		
drawing		COLLARROY	
drawn	SM / PC	checked	MA
date	09.02.24	scale	1:100 @ A3
project no	2_23_10	drawing no	D3001
issue	D		

MATERIALS AND FINISHES



BUILDER TO ALLOW FOR WALL AND FLOOR FINISHES

ISSUE	AMENDMENT	DATE
A	FOR DA	15.09.23
B	FOR DA - RFI	09.02.24
C	ISSUE FOR ENGINEERING	09.04.24
D	S4.55 MODIFICATION	24.05.24

NOTES

ALL WORK SHOULD COMPLY WITH RELEVANT AUSTRALIAN STANDARDS AND BUILDING CODE OF AUSTRALIA (BCA) ALL WORK SHALL CONFORM TO THE CONTRACT DOCUMENTS WHICH INCLUDE SPECIFICATIONS, THE DRAWINGS, ALL ADDENDUMS, FINISHES SCHEDULES. ALL THE CONSTRUCTION DRAWINGS SHALL BE READ IN CONJUNCTION W/ ALL CONSULTANTS AND CONTRACTOR DRAWINGS, SCHEDULES AND SPECIFICATIONS. IN CASE OF CONFLICT BETWEEN ARCHITECTS AND CONSULTANTS DRAWINGS IN LOCATING STRUCTURAL ELEMENTS, MATERIALS / EQUIPMENT.

This drawing is issued as a preliminary concept design and must not be used for construction, cost estimation or any purpose other than for preliminary design purposes, unless noted as 'for construction'. Do not scale off this drawing, use figured dimensions where provided, verify all dimensions on site.

© This drawing and the design contained herein, in whole or in part, is subject to copyright and cannot be reproduced in whole or in part without the written permission of map architects Pty Ltd.

S4.55 MODIFICATIONS

Change ID	Name
Ch-01	Courtyard wall moved into courtyard
Ch-02	Alfresco deck reshaped
Ch-03	New window to first floor bathroom (W29)
Ch-04	Western wall on first floor moved forward by 650mm & balcony removed
Ch-05	New window to ground floor Dining (W20)
Ch-06	W04 - Kitchen window size change
Ch-07	Skylights relocated from stairwell to hallway
Ch-08	Eastern balcony screen reduced in length
Ch-09	Cellar footprint revised to include sauna

**NOTE:**  
DESIGN COMPLIES WITH BUILDING CODE  
OF AUSTRALIA 2022 & ABCB HOUSING  
PROVISIONS - FOR CONSTRUCTION



Nominated NSW Architects Reg. 9401 - Mark P. Alves  
ABN: 37 615 694 356  
Suite 4, Building B, 37 Alexandra St. Hunters Hill 2110

ph: 02 8085 6975  
e: mark@maparch.com.au  
www.maparch.com.au

**SUBMISSION**

S4.55 MODIFICATION

project 1130 PITTWATER RD

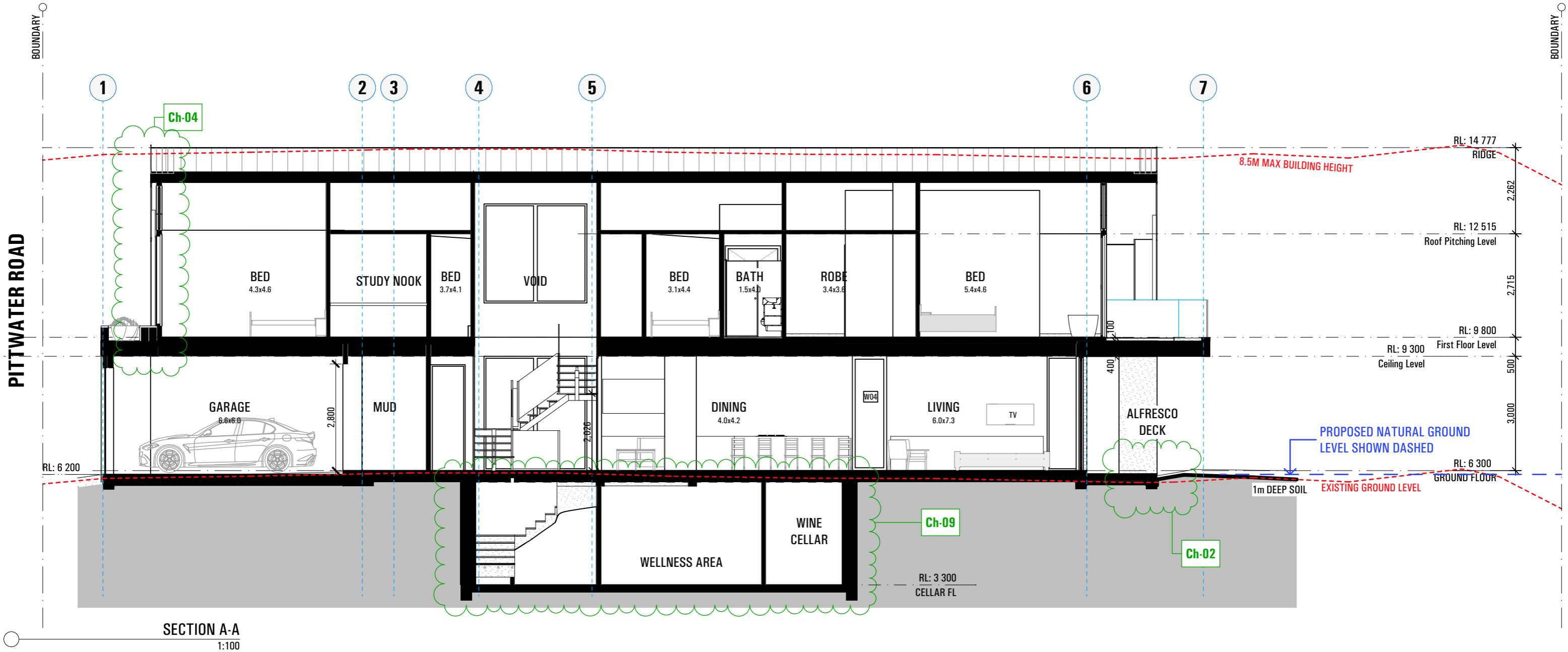
drawing COLLAROY

COURTYARD ELEVATIONS

drawn SM / PC checked MA

date 09.02.24 scale 1:100 @ A3

project no 2\_23\_10 drawing no D3002 issue D



**BUILDER TO ALLOW FOR WALL AND FLOOR FINISHES**

ISSUE	AMENDMENT	DATE
A	FOR DA	15.09.23
B	FOR DA - RFI	09.02.24
C	ISSUE FOR ENGINEERING	09.04.24
D	S4.55 MODIFICATION	24.05.24

**NOTES**

ALL WORK SHOULD COMPLY WITH RELEVANT AUSTRALIAN STANDARDS AND BUILDING CODE OF AUSTRALIA (BCA) ALL WORK SHALL CONFORM TO THE CONTRACT DOCUMENTS WHICH INCLUDE SPECIFICATIONS, THE DRAWINGS, ALL ADDENDUMS, FINISHES SCHEDULES. ALL THE CONSTRUCTION DRAWINGS SHALL BE READ IN CONJUNCTION W/ ALL CONSULTANTS AND CONTRACTOR DRAWINGS, SCHEDULES AND SPECIFICATIONS. IN CASE OF CONFLICT BETWEEN ARCHITECTS AND CONSULTANTS DRAWINGS IN LOCATING STRUCTURAL ELEMENTS, MATERIALS / EQUIPMENT.

This drawing is issued as a preliminary concept design and must not be used for construction, cost estimation or any purpose other than for preliminary design purposes, unless noted as "for construction". Do not scale off this drawing, use figured dimensions where provided, verify all dimensions on site.

© This drawing and the design contained herein, in whole or in part, is subject to copyright and cannot be reproduced in whole or in any part without the written permission of map architects Pty Ltd.

S4.55 MODIFICATIONS	
Change ID	Name
Ch-01	Courtyard wall moved into courtyard
Ch-02	Alfresco deck reshaped
Ch-03	New window to first floor bathroom (W29)
Ch-04	Western wall on first floor moved forward by 650mm & balcony removed
Ch-05	New window to ground floor Dining (W20)
Ch-06	W04 - Kitchen window size change
Ch-07	Skylights relocated from stairwell to hallway
Ch-08	Eastern balcony screen reduced in length
Ch-09	Cellar footprint revised to include sauna

**NOTE:**  
DESIGN COMPLIES WITH BUILDING CODE  
OF AUSTRALIA 2022 & ABCB HOUSING  
PROVISIONS - FOR CONSTRUCTION



Nominated NSW Architects Reg. 9401 - Mark P. Alves  
ABN: 37 615 694 356  
Suite 4, Building B, 37 Alexandra St. Hunters Hill 2110

ph: 02 8085 6975  
e: mark@maparch.com.au  
www.maparch.com.au

## SUBMISSION

S4.55 MODIFICATION

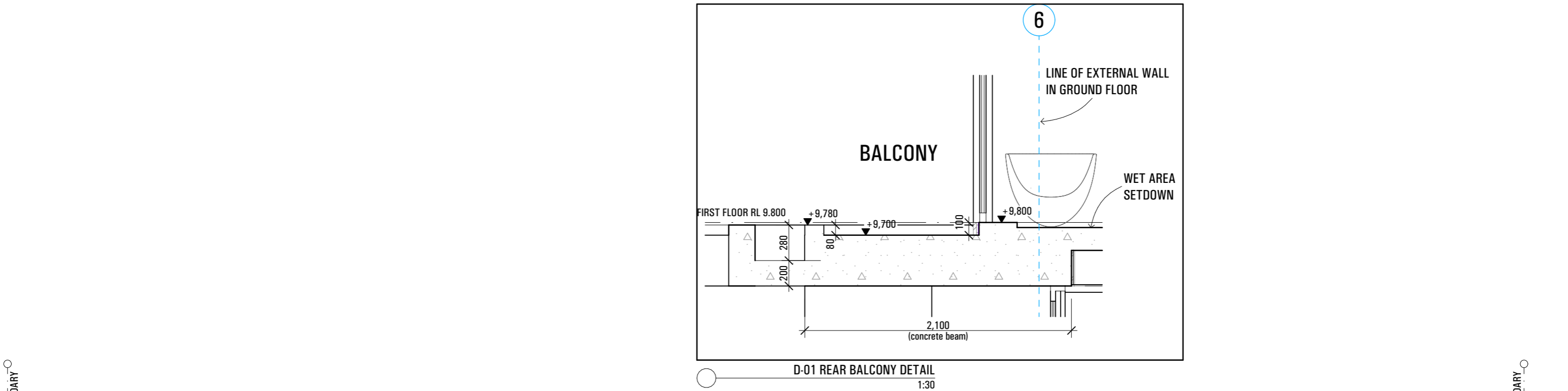
project 1130 PITTWATER RD

drawing COLLAROY

drawn SM / PC checked MA

date 09.02.24 scale 1:100 @ A3

project no 2\_23\_10 drawing no D3100 issue D



BOUNDARY

BOUNDARY

PITTWATER ROAD

BUILDER TO ALLOW FOR WALL AND FLOOR FINISHES		
ISSUE	AMENDMENT	DATE
A	FOR DA	15.09.23
B	FOR DA - RFI	09.02.24
C	ISSUE FOR ENGINEERING	09.04.24
D	S4.55 MODIFICATION	24.05.24

**NOTES**

ALL WORK SHOULD COMPLY WITH RELEVANT AUSTRALIAN STANDARDS AND BUILDING CODE OF AUSTRALIA (BCA) ALL WORK SHALL CONFORM TO THE CONTRACT DOCUMENTS WHICH INCLUDE SPECIFICATIONS, THE DRAWINGS, ALL ADDENDUMS, FINISHES SCHEDULES. ALL THE CONSTRUCTION DRAWINGS SHALL BE READ IN CONJUNCTION W/ ALL CONSULTANTS AND CONTRACTOR DRAWINGS, SCHEDULES AND SPECIFICATIONS. IN CASE OF CONFLICT BETWEEN ARCHITECTS AND CONSULTANTS DRAWINGS IN LOCATING STRUCTURAL ELEMENTS, MATERIALS / EQUIPMENT.

This drawing is issued as a preliminary concept design and must not be used for construction, cost estimation or any purpose other than for preliminary design purposes, unless noted as "for construction". Do not scale off this drawing, use figured dimensions where provided, verify all dimensions on site.

S4.55 MODIFICATIONS	
Change ID	Name
Ch-01	Courtyard wall moved into courtyard
Ch-02	Alfresco deck reshaped
Ch-03	New window to first floor bathroom (W29)
Ch-04	Western wall on first floor moved forward by 650mm & balcony removed
Ch-05	New window to ground floor Dining (W20)
Ch-06	W04 - Kitchen window size change
Ch-07	Skylights relocated from stairwell to hallway
Ch-08	Eastern balcony screen reduced in length
Ch-09	Cellar footprint revised to include sauna

**NOTE:**  
DESIGN COMPLIES WITH BUILDING CODE OF AUSTRALIA 2022 & ABCB HOUSING PROVISIONS - FOR CONSTRUCTION



Nominated NSW Architects Reg. 9401 - Mark P. Alves  
ABN: 37 615 694 356  
Suite 4, Building B, 37 Alexandra St. Hunters Hill 2110

ph: 02 8065 6975  
e: mark@maparch.com.au  
www.maparch.com.au

**SUBMISSION**

**S4.55 MODIFICATION**

project 1130 PITTWATER RD

COLLARROY

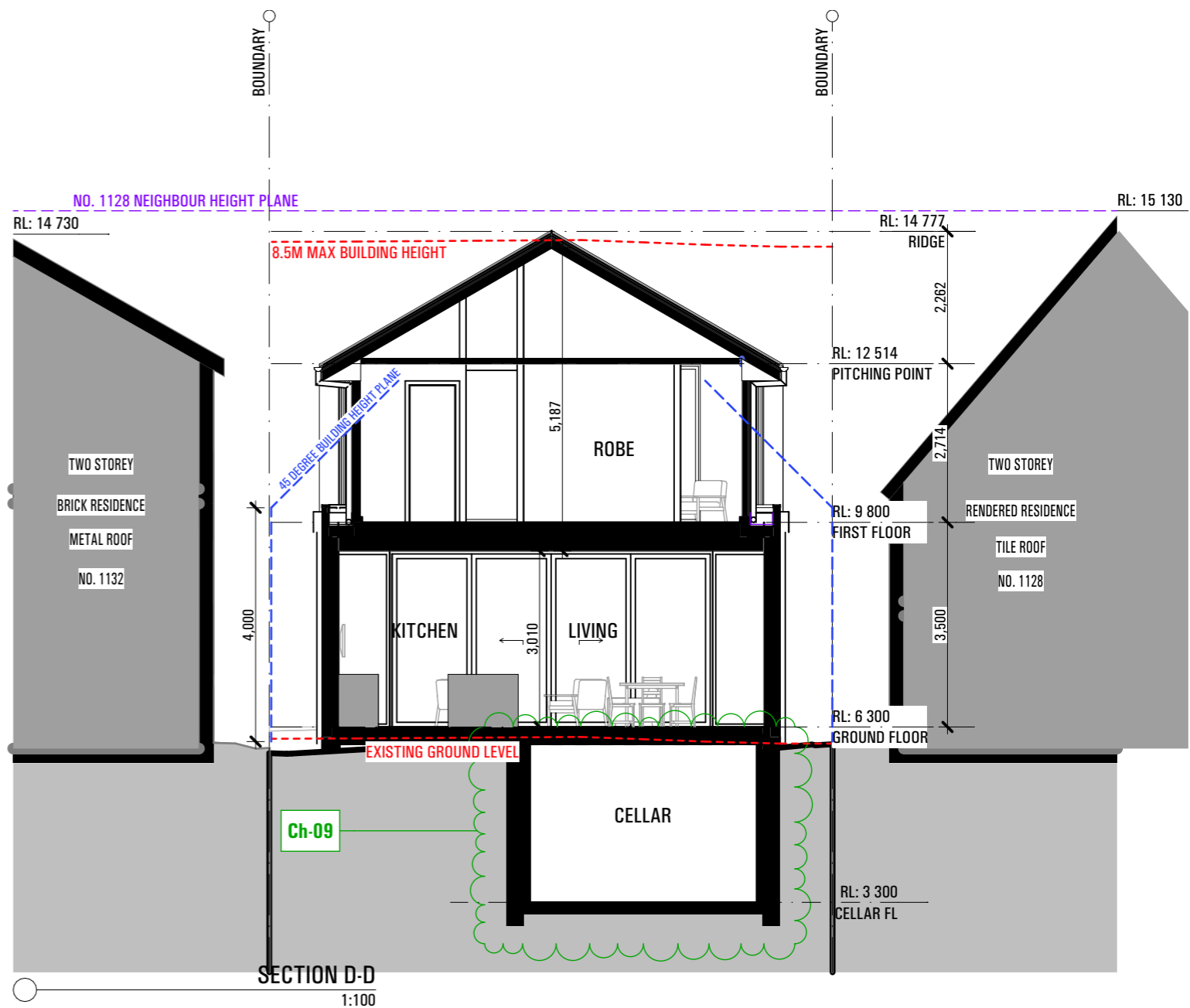
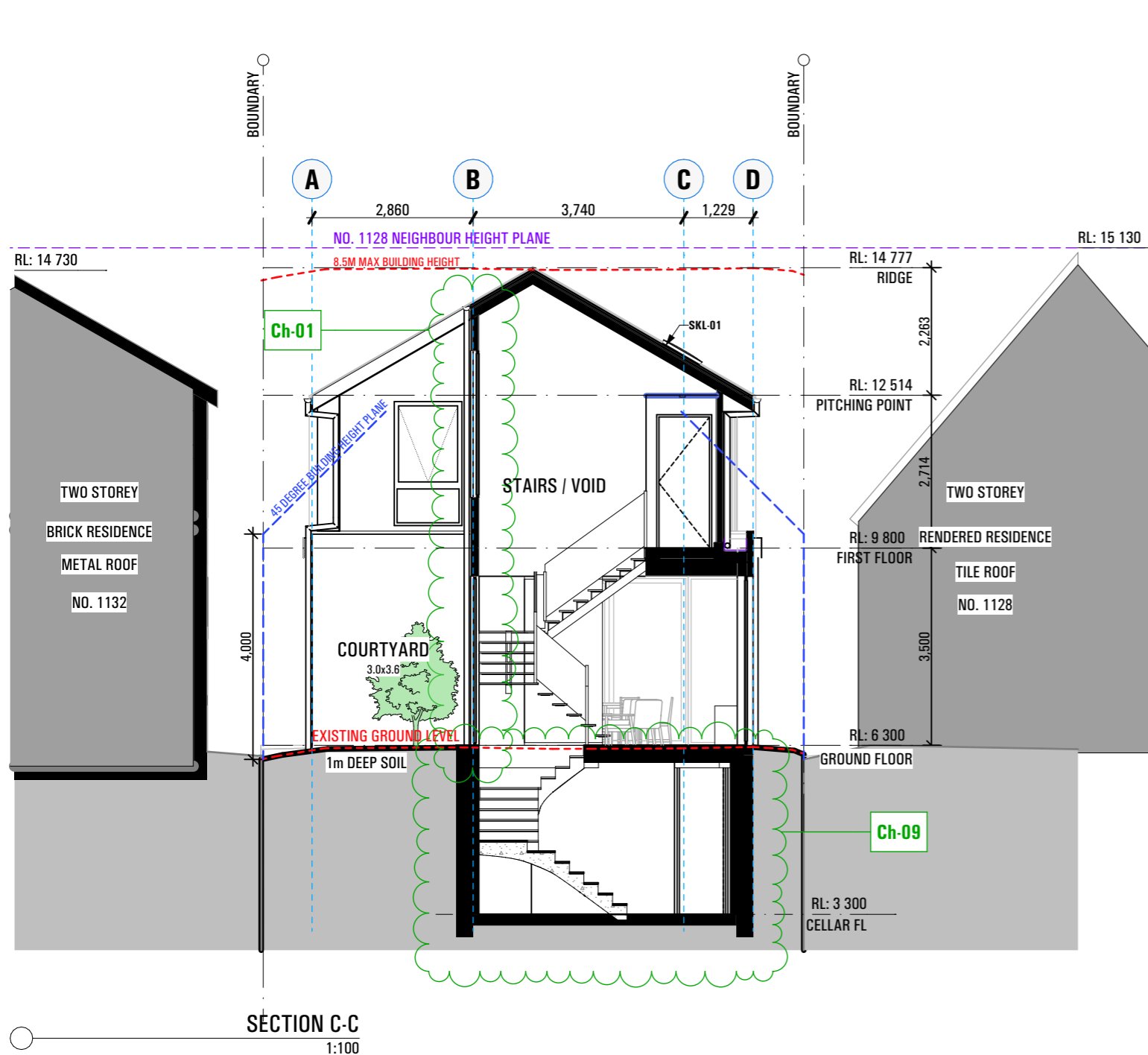
drawing

SECTION BB

drawn SM / PC checked MA

date 09.02.24 scale: 100, 1:30 @ A3

project no 2\_23\_10 drawing no D3101 issue D



BUILDER TO ALLOW FOR WALL AND FLOOR FINISHES		
ISSUE	AMENDMENT	DATE
A	FOR DA	15.09.23
B	FOR DA - RFI	09.02.24
C	ISSUE FOR ENGINEERING	09.04.24
D	S4.55 MODIFICATION	24.05.24

#### NOTES

ALL WORK SHOULD COMPLY WITH RELEVANT AUSTRALIAN STANDARDS AND BUILDING CODE OF AUSTRALIA (BCA) ALL WORK SHALL CONFORM TO THE CONTRACT DOCUMENTS WHICH INCLUDE SPECIFICATIONS, THE DRAWINGS, ALL ADDENDUMS, FINISHES SCHEDULES. ALL THE CONSTRUCTION DRAWINGS SHALL BE READ IN CONJUNCTION W/ ALL CONSULTANTS AND CONTRACTOR DRAWINGS, SCHEDULES AND SPECIFICATIONS. IN CASE OF CONFLICT BETWEEN ARCHITECTS AND CONSULTANTS DRAWINGS IN LOCATING STRUCTURAL ELEMENTS, MATERIALS / EQUIPMENT.

This drawing is issued as a preliminary concept design and must not be used for construction, cost estimation or any purpose other than for preliminary design purposes, unless noted as 'for construction'. Do not scale off this drawing, use figured dimensions where provided, verify all dimensions on site.

© This drawing and the design contained herein, in whole or in part, is subject to copyright and cannot be reproduced in whole or in any part without the written permission of map architects Pty Ltd.

S4.55 MODIFICATIONS	
Change ID	Name
Ch-01	Courtyard wall moved into courtyard
Ch-02	Alfresco deck reshaped
Ch-03	New window to first floor bathroom (W29)
Ch-04	Western wall on first floor moved forward by 650mm & balcony removed
Ch-05	New window to ground floor Dining (W20)
Ch-06	W04 - Kitchen window size change
Ch-07	Skylights relocated from stairwell to hallway
Ch-08	Eastern balcony screen reduced in length
Ch-09	Cellar footprint revised to include sauna

**NOTE:**  
DESIGN COMPLIES WITH BUILDING CODE  
OF AUSTRALIA 2022 & ABCB HOUSING  
PROVISIONS - FOR CONSTRUCTION



Nominated NSW Architects Reg. 9401 - Mark P. Alves  
ABN: 37 615 694 356  
Suite 4, Building B, 37 Alexandra St. Hunters Hill 2110

ph: 02 8085 6975  
e: mark@maparch.com.au  
www.maparch.com.au

## SUBMISSION

S4.55 MODIFICATION

project 1130 PITTWATER RD

COLLARROY

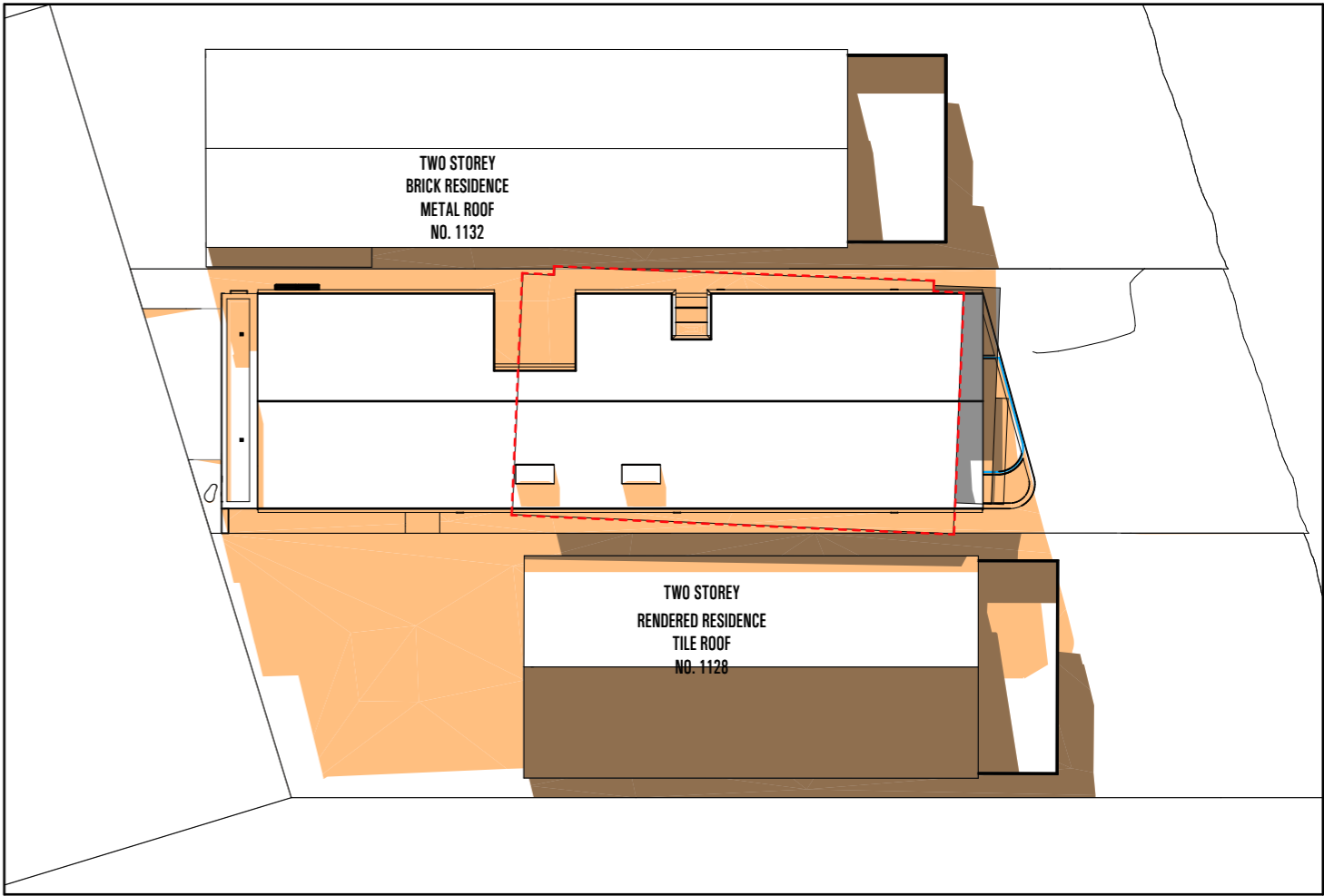
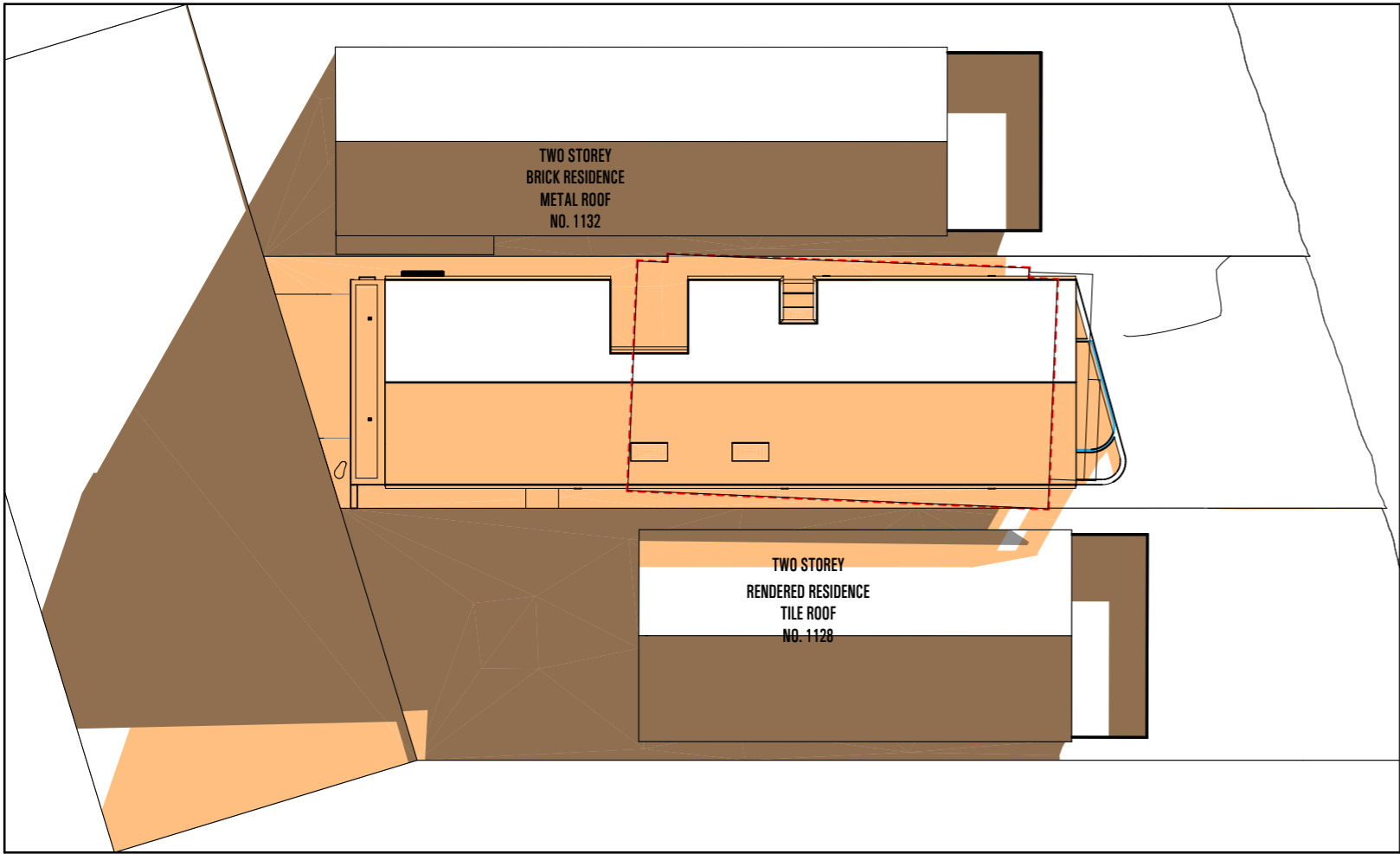
drawing

SECTION CC/DD




drawn SM / PC checked MA

date 09.02.24 scale 1:100 @ A3

project no 2\_23\_10 drawing no D3102 issue D



**LEGEND**

-  NEW SHADOWS
-  EXISTING SHADOWS
-  OVERLAPPING SHADOWS

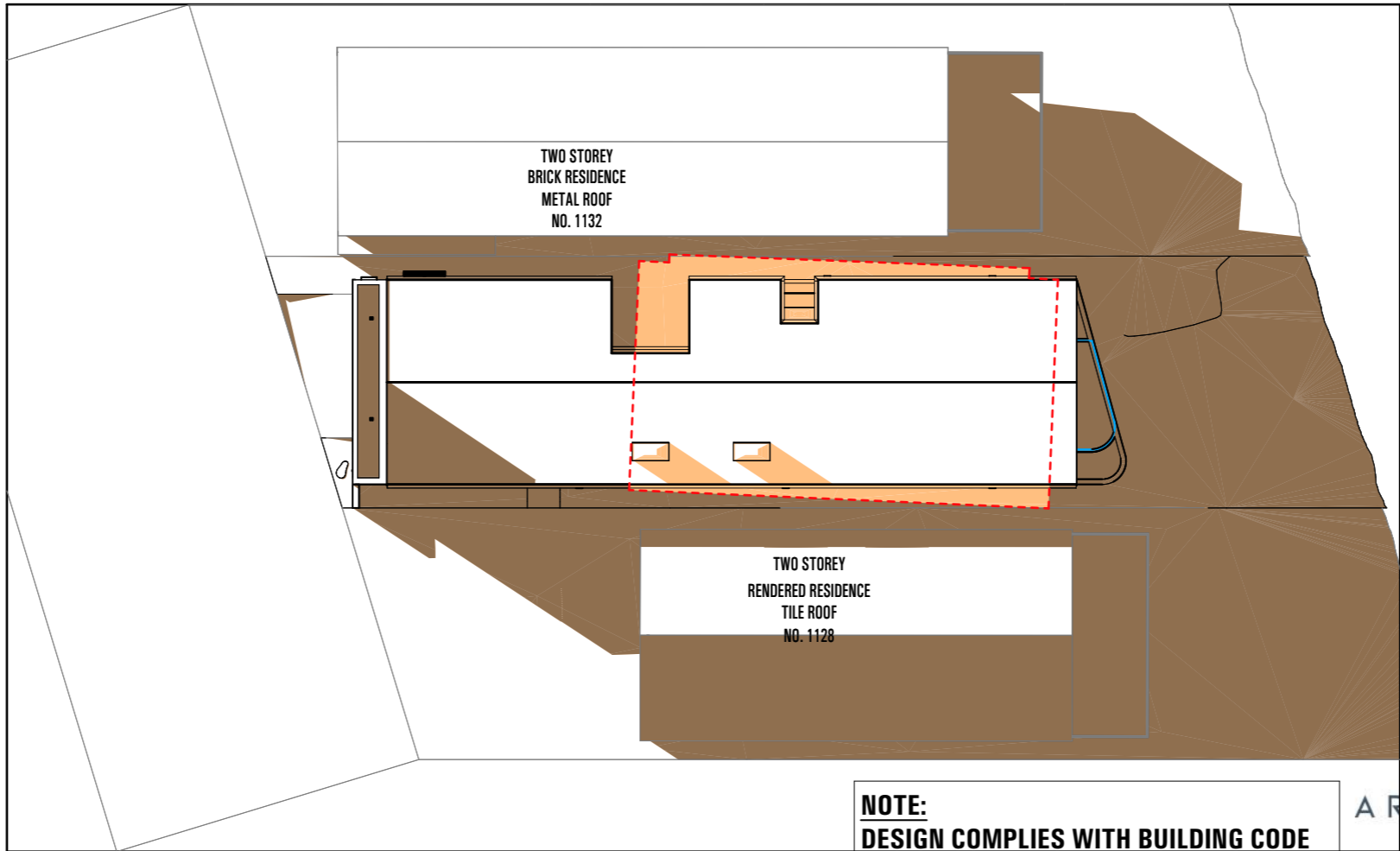
BUILDER TO ALLOW FOR WALL AND FLOOR FINISHES		
ISSUE	AMENDMENT	DATE
A	FOR DA	15.09.23
B	FOR DA - RFI	09.02.24
C	ISSUE FOR ENGINEERING	09.04.24
D	S4.55 MODIFICATION	24.05.24

**NOTES**

ALL WORK SHOULD COMPLY WITH RELEVANT AUSTRALIAN STANDARDS AND BUILDING CODE OF AUSTRALIA (BCA) ALL WORK SHALL CONFORM TO THE CONTRACT DOCUMENTS WHICH INCLUDE SPECIFICATIONS, THE DRAWINGS, ALL ADDENDUMS, FINISHES SCHEDULES. ALL THE CONSTRUCTION DRAWINGS SHALL BE READ IN CONJUNCTION W/ ALL CONSULTANTS AND CONTRACTOR DRAWINGS, SCHEDULES AND SPECIFICATIONS. IN CASE OF CONFLICT BETWEEN ARCHITECTS AND CONSULTANTS DRAWINGS IN LOCATING STRUCTURAL ELEMENTS, MATERIALS / EQUIPMENT.

This drawing is issued as a preliminary concept design and must not be used for construction, cost estimation or any purpose other than for preliminary design purposes, unless noted as 'for construction'. Do not scale off this drawing, use figured dimensions where provided, verify all dimensions on site.

© This drawing and the design contained herein, in whole or in part, is subject to copyright and cannot be reproduced in whole or in any part without the written permission of map architects Pty Ltd.



**NOTE:**  
**DESIGN COMPLIES WITH BUILDING CODE  
OF AUSTRALIA 2022 & ABCB HOUSING  
PROVISIONS - FOR CONSTRUCTION**



Nominated NSW Architects Reg. 9401 - Mark P. Alves  
ABN: 37 615 694 356  
Suite 4, Building B, 37 Alexandra St. Hunters Hill 2110

ph: 02 8085 6975  
e: mark@maparch.com.au  
www.maparch.com.au

**SUBMISSION**

**S4.55 MODIFICATION**

project 1130 PITTWATER RD

**COLLAROY**

drawing

SHADOW DIAGRAMS

drawn SM / PC checked MA

date 09.02.24 scale 1:250 @ A3

project no 2\_23\_10 drawing no D4000 issue D

DEVELOPMENT SCHEDULE

SITE AREA 385.70m<sup>2</sup>

BUILDING FOOTPRINT

ALLOWABLE: 128.40m<sup>2</sup> (33.3% x SITE AREA)  
EXISTING: 125.38m<sup>2</sup> (32%)  
PROPOSED: 184.35 m<sup>2</sup> (48%)

DEEP SOIL LANDSCAPING

REQUIRED: 154.28m<sup>2</sup> (40% x SITE AREA)  
PROPOSED (DA Approved): 132.01m<sup>2</sup> (34.2%)  
PROPOSED (S4.55 Modification): 132.56m<sup>2</sup> (34.4%)

LEGEND:

- BUILDING FOOTPRINT
- DEEP SOIL LANDSCAPE



BUILDER TO ALLOW FOR WALL AND FLOOR FINISHES		
ISSUE	AMENDMENT	DATE
A	FOR DA	15.09.23
B	FOR DA - RFI	09.02.24
C	ISSUE FOR ENGINEERING	09.04.24
D	S4.55 MODIFICATION	24.05.24

**NOTES**

ALL WORK SHOULD COMPLY WITH RELEVANT AUSTRALIAN STANDARDS AND BUILDING CODE OF AUSTRALIA (BCA) ALL WORK SHALL CONFORM TO THE CONTRACT DOCUMENTS WHICH INCLUDE SPECIFICATIONS, THE DRAWINGS, ALL ADDENDUMS, FINISHES SCHEDULES. ALL THE CONSTRUCTION DRAWINGS SHALL BE READ IN CONJUNCTION W/ ALL CONSULTANTS AND CONTRACTOR DRAWINGS, SCHEDULES AND SPECIFICATIONS. IN CASE OF CONFLICT BETWEEN ARCHITECTS AND CONSULTANTS DRAWINGS IN LOCATING STRUCTURAL ELEMENTS, MATERIALS / EQUIPMENT.

This drawing is issued as a preliminary concept design and must not be used for construction, cost estimation or any purpose other than for preliminary design purposes, unless noted as 'for construction'. Do not scale off this drawing, use figured dimensions where provided, verify all dimensions on site.

© This drawing and the design contained herein, in whole or in part, is subject to copyright and cannot be reproduced in whole or in any part without the written permission of map architects Pty Ltd.

S4.55 MODIFICATIONS	
Change ID	Name
Ch-01	Courtyard wall moved into courtyard
Ch-02	Alfresco deck reshaped
Ch-03	New window to first floor bathroom (W29)
Ch-04	Western wall on first floor moved forward by 650mm & balcony removed
Ch-05	New window to ground floor Dining (W20)
Ch-06	W04 - Kitchen window size change
Ch-07	Skylights relocated from stairwell to hallway
Ch-08	Eastern balcony screen reduced in length
Ch-09	Cellar footprint revised to include sauna

**NOTE:**  
DESIGN COMPLIES WITH BUILDING CODE OF AUSTRALIA 2022 & ABCB HOUSING PROVISIONS - FOR CONSTRUCTION



Nominated NSW Architects Reg. 9401 - Mark P. Alves  
ABN: 37 615 694 356  
Suite 4, Building B, 37 Alexandra St. Hunters Hill 2110

ph: 02 8085 6975  
e: mark@maparch.com.au  
www.maparch.com.au

SUBMISSION

S4.55 MODIFICATION

project 1130 PITTWATER RD

COLLAROY

drawing

AREA SCHEDULE

drawn SM / PC checked MA

date 09.02.24 scale 1:150 @ A3

project no 2\_23\_10 drawing no D5000 issue D