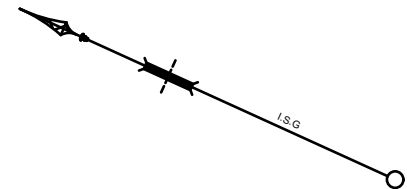


| |
|--------------------------------|
| SITE AREA - 1322m ² |
| LOT 126 - DP 4889 |

SURVEY LEGEND:

| | |
|-------|-------------------------|
| AHD | AUSTRALIAN HEIGHT DATUM |
| AWN | AWNING |
| BM | BENCH MARK |
| CONC | CONCRETE |
| C5 | CONCRETE SURFACE |
| D/H/S | DIAMETER/HEIGHT/SPREAD |
| D | DOOR |
| EC | EDGE OF CONCRETE |
| EG | EAVE & GUTTER |
| FL | FLOOR LEVEL |
| GB | GARDEN BED |
| GDN | GARDEN |
| HYD | HYDRANT |
| IL | INVERT LEVEL |
| LH | LAMP HOLE |
| NS | NATURAL SURFACE |
| PAV | PAVERS |
| PP | POWER POLE |
| RL | REDUCED LEVEL |
| S | STEPS |
| SL | SURFACE LEVEL |
| SILL | WINDOW SILL |
| SV | STOP VALE |
| TEL | TELSTRA PIT |
| TK | TOP OF KERB |
| TW | TOP OF WALL |
| VC | VEHICLE CROSSING |
| W | WINDOW |
| WM | WATER METER |
| WTOP | TOP OF WINDOW |

 **DIAL 1100**
BEFORE YOU DIG



THIS SURVEY HAS BEEN UNDERTAKEN FOR CONTOUR MAPPING PURPOSES ONLY. THIS IS NOT A LAND SURVEY WITH RESPECT TO THE SURVEYING AND SPATIAL INFORMATION ACT 2002. AS SUCH, NO ACCURATE INVESTIGATION INTO PROPERTY BOUNDARIES HAS BEEN MADE. THEREFORE, ANY POSITION OF FEATURES AND STRUCTURES ARE APPROXIMATE ONLY.

PARCEL BOUNDARY DIMENSIONS, BEARINGS AND AREAS HAVE BEEN ADOPTED FROM THE SUBJECT DEPOSITED PLAN AND HAVE NOT BEEN INVESTIGATED. ANY BEARING, DISTANCE, AREA, SETBACK OR OTHER DIMENSION MAY BE SUBJECT TO CHANGE WITH FURTHER INVESTIGATION AND LODGEMENT OF A PLAN AT THE LAND TITLES OFFICE.

THEREFORE, AT TIME OF SITE PEGOUT BEFORE CONSTRUCTION WORKS COMMENCE, THERE MAY BE SOME MINOR DISCREPANCIES WITH THE SETBACKS BETWEEN BUILDINGS AS SHOWN ON THE SITE PLAN.

CONTOURS ARE INDICATIVE OF SURFACE TOPOGRAPHY ONLY.
SURVEYED SPOT LEVELS ARE THE ONLY VALUES AT WHICH REDUCED
LEVEL CAN BE RELIED UPON. CONTOURS ARE DISPLAYED AT 1m
MAJOR AND 0.20m MINOR INTERVALS.

SERVICES SHOWN HAVE BEEN DERIVED FROM VISUAL EVIDENCE APPARENT AT THE TIME OF SURVEY. IT IS STRONGLY ADVISED TO VISIT 'DIAL BEFORE YOU DIG' PRIOR TO ANY EXCAVATION OR CONSTRUCTION AND VERIFY LOCATIONS WITH A SUITABLY QUALIFIED SERVICE LOCATOR PRIOR TO ANY WORKS OR CRITICAL DESIGN.

IT IS STRONGLY ADVISED TO REVIEW AN UP TO DATE TITLE SEARCH
AND GIVE CAREFUL CONSIDERATION TO ALL ITEMS PRIOR TO ANY
PLANNING OR CONSTRUCTION.

TREE AND ROOF PROFILE DETAILS ARE APPROXIMATE ONLY.

WHEN BUILDING ON A SITE WITH AN EXISTING INGROUND POOL, A1 GRANNY FLATS WILL NOT BE RESPONSIBLE FOR ANY VIBRATION CAUSED TO THE POOL DURING EXCAVATION, PIERING AND CONSTRUCTION, NOR TO FUTURE DAMAGE.

WHERE ANY UNFORSEEN EXISTING UNDERGROUND SERVICES (SUCH AS SEWERAGE LINES, WATER PIPES, ELECTRICAL CONDUITS, GAS LINES, TELEPHONE LINES OR ANY SERVICES ON SITE) ARE DAMAGED OR PUNCTURED DURING EXCAVATIONS AND/OR CONSTRUCTION STAGES, THE COSTS ASSOCIATED WITH REPAIRING, RELOCATING OR DISCONNECTING WILL BE AN ADDITIONAL CHARGE TO THE CONTRACT.

ADDITIONALLY, IF ANY WORK UNDERTAKEN DURING THE CONNECTION OF SERVICES REQUIRES THE BRAKING OF ANY HARD SURFACES OR UPTURNING OF TURF / LANDSCAPING, A1 GRANNY FLATS WILL REFILL THE TRENCHING, BUT HAVE NOT ALLOWED IN THE CONTRACT FOR ANY CONCRETE CUTTING / BREAKING OR FOR REPLACEMENT OF HARD SURFACES OR TURF / LANDSCAPING.

NOTE THAT WE MUST INSTALL CONCRETE PIERS OR PAD FOOTINGS IN THE LOCATIONS STIPULATED ON THE ENGINEERING PLANS AND CANNOT CHANGE THOSE LOCATIONS IF THEY INTERFERE WITH EXISTING UNDERGROUND SERVICES, THEREFORE EXISTING SERVICES WILL NEED TO BE REDIVERTED OR REPLACED IN THESE CIRCUMSTANCES.

A1 GRANNY FLATS RECOMMENDS RE-DIVERTING PRIVATE SEWER LINES WHICH RUN UNDER OR NEAR THE PROPOSED GRANNY FLAT LOCATION, FOR EASE OF ACCESS TO THE PIPES FOR ANY FUTURE MAINTENANCE. THE COST TO DO THIS WILL BE DISCUSSED WITH YOU AT THE PRE-CONSTRUCTION MEETING.

INTERNAL SEWER LINE
RUNNING FROM THE EXISTING RESIDENCE INTO THE MAIN SEWER

SYDNEY WATER MAINS SEWER LINE
TAKEN FROM SEWER SERVICE DIAGRAM

SYDNEY WATER MAINS SEWER LINE
TAKEN FROM SEWER SERVICE DIAGRAM

ALL WORKS TO BE CARRIED OUT IN ACCORDANCE WITH THE BCA, AUSTRALIAN STANDARDS AND ANY RELEVANT AUTHORITIES.

DRAWINGS MUST BE READ IN CONJUNCTION WITH OTHER ARCHITECTURAL CONSULTANTS DRAWINGS & SPECIFICATIONS FOR THE WORK.

DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TO TAKE PRECEDENCE

PLEASE CHECK ALL DOCUMENTS AND ADVISE A1 GRANNY FLATS IMMEDIATELY OF ANY DISCREPANCIES.

| | |
|-------|-----------|
| L AND | DATE |
| | SIGNATURE |

| | |
|---|------------|
| 4 | 30/10/2020 |
| | |
| | |
| | |

30/10/2020

| | |
|-----------|----|
| 5 COUNCIL | AC |
| | |
| | |
| | |

| |
|----|
| AC |
| |
| |
| |
| |

| | |
|------------|--------------|
| SHEET NO. | 02 |
| SCALE @ A3 | 1:200, 1:500 |

SCALE @ A3 1:200, 1:500

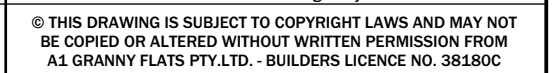
Copyright © 1995

ACID SULFATE SOILS CLASS 5

| |
|---------------------------------------|
| Tandy Rowley |
| SITE ADDRESS |
| 94 SEAFORTH CRESCENT, SEAFORTH |
| SITE PLAN |

| | |
|--------------|--------------------------------|
| SITE ADDRESS | 94 SEAFORTH CRESCENT, SEAFORTH |
| SITE PLAN | |

| |
|--------------------------------|
| 94 SEAFORTH CRESCENT, SEAFORTH |
| SITE PLAN |



Ⓢ SMOKE DETECTOR(S) TO BE INSTALLED IN ACCORDANCE WITH PART 3.7.5 OF THE BCA

DIMENSIONS AND LEVELS NOTES:

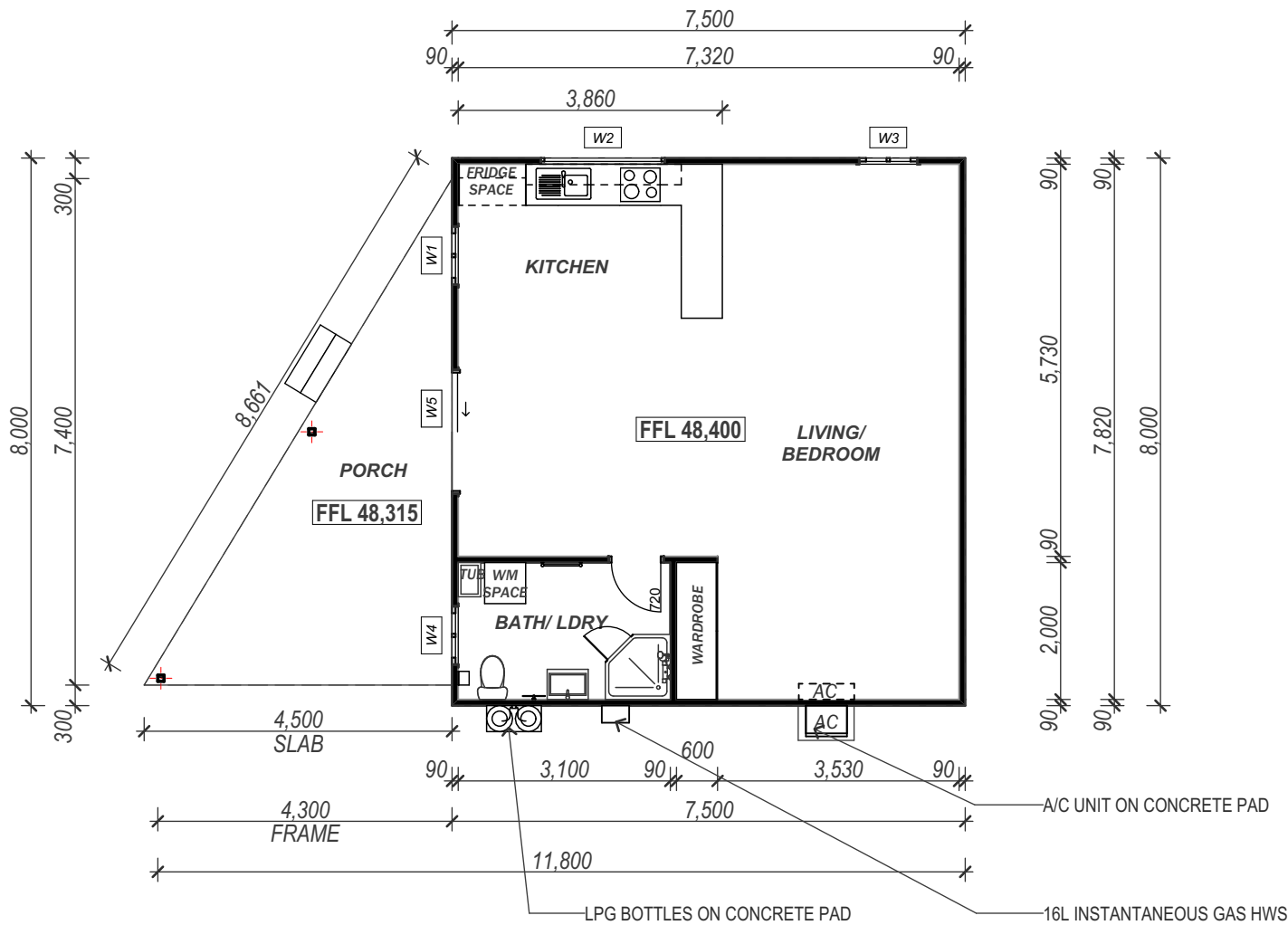
ALL DIMENSIONS ARE INDICATED TO FRAME AND DO NOT INCLUDE THE CLADDING THICKNESS.
PLEASE NOTE THAT THERE MAY BE A SMALL STEP WHEN THERE IS A CHANGE IN FLOOR FINISHES BETWEEN ROOMS.

WINDOWS NOTES:

DIMENSIONS LISTED ON SCHEDULE ARE REVEAL SIZES. FOR STUD OPENING SIZES, ADD 30mm.
ALL GLAZING TO COMPLY WITH AS 1288 AND BASIX CERTIFICATE.

WINDOW SCHEDULE

| ID | HEIGHT | WIDTH | MATERIAL | OPENING | REVEAL |
|----|--------|-------|-----------|--------------|--------|
| W1 | 1,800 | 850 | ALUMINIUM | SLIDING | 100mm |
| W2 | 400 | 1,810 | ALUMINIUM | FIXED | 100mm |
| W3 | 1,800 | 850 | ALUMINIUM | SLIDING | 100mm |
| W4 | 1,800 | 850 | ALUMINIUM | SLIDING | 100mm |
| W5 | 2,110 | 1,810 | ALUMINIUM | SLIDING DOOR | 100mm |



THESE DRAWINGS ARE CONCEPT ONLY.
COMPLETE SET OF REVISED DRAWINGS
WILL BE ISSUED FOR CONSTRUCTION

GENERAL NOTES

ALL WORKS TO BE CARRIED OUT IN ACCORDANCE WITH THE BCA, AUSTRALIAN STANDARDS AND ANY RELEVANT AUTHORITIES.

DRAWINGS MUST BE READ IN CONJUNCTION WITH OTHER ARCHITECTURAL AND CONSULTANTS DRAWINGS & SPECIFICATIONS FOR THE WORK.

DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TO TAKE PRECEDENCE OVER SCALE.

PLEASE CHECK ALL DOCUMENTS AND ADVISE A1 GRANNY FLATS IMMEDIATELY OF ANY DISCREPANCIES.

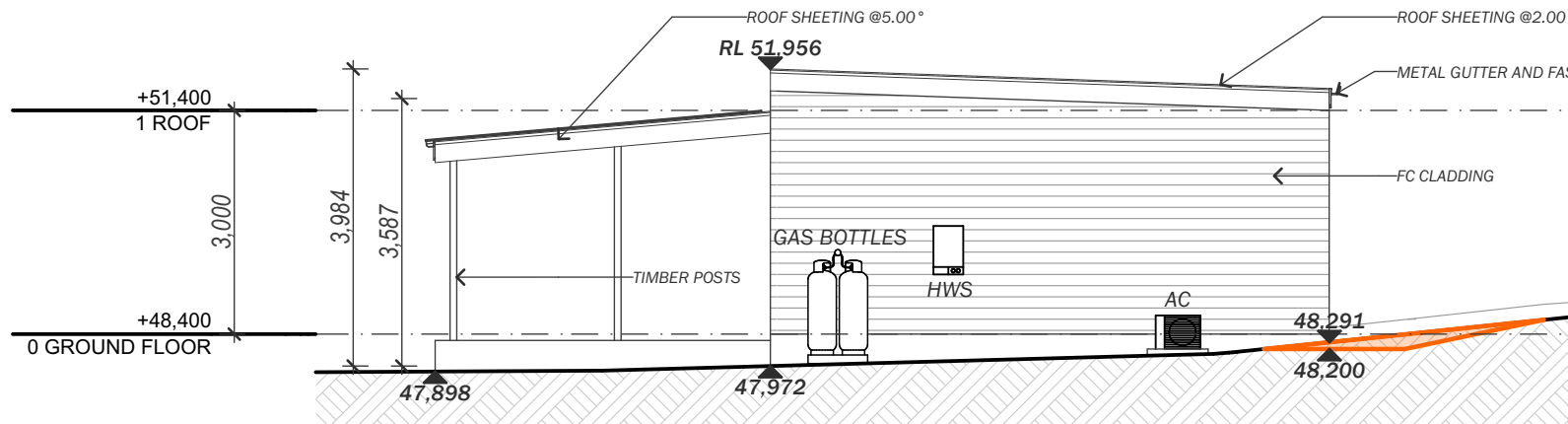
| | | | | | |
|---|-----------|------------|---------------------|-------|--------------------------------|
| <i>I approve of these plans and do not request any further changes.</i> | REVISION | DATE | ISSUE | DRAWN | CLIENT |
| | 4 | 30/10/2020 | DA ISSUE TO COUNCIL | AC | Tandy Rowley |
| | DATE | | | | SITE ADDRESS |
| | SIGNATURE | | | | 94 SEAFORTH CRESCENT, SEAFORTH |
| | | | | | FLOOR PLAN |

| | | | |
|-----------|------------|------------|-------|
| JOB NO. | TR23072020 | SCALE @ A3 | 1:100 |
| SHEET NO. | 03 | | |

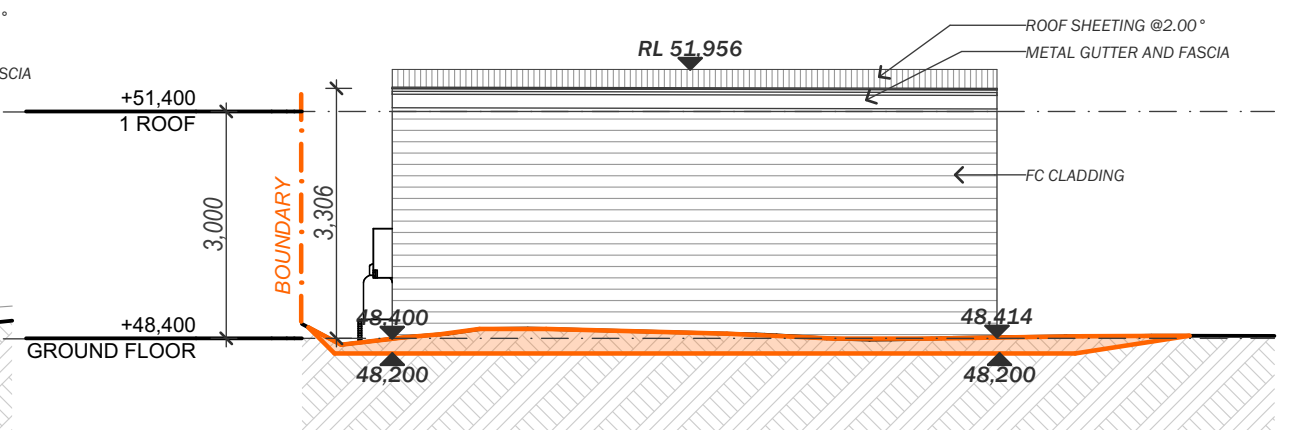


Unit 11 / 9-12 Lambridge Place, PENRITH 2750 NSW
Ph: 02 4730 7270 E: info@a1grannyflats.com.au

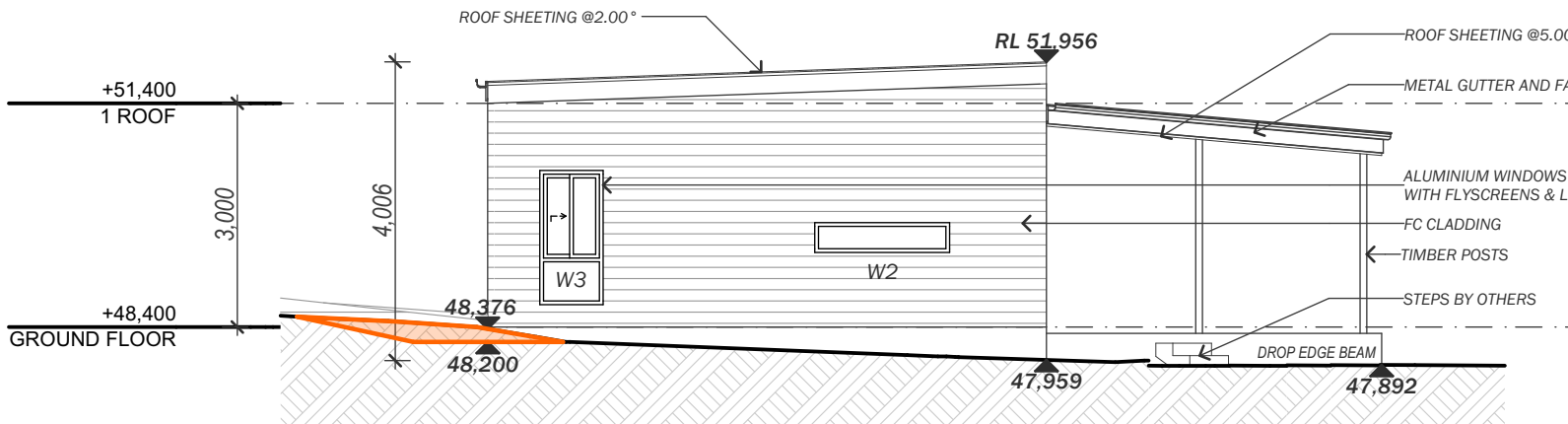
© THIS DRAWING IS SUBJECT TO COPYRIGHT LAWS AND MAY NOT BE COPIED OR ALTERED WITHOUT WRITTEN PERMISSION FROM A1 GRANNY FLATS PTY.LTD. - BUILDERS LICENCE NO. 38180C



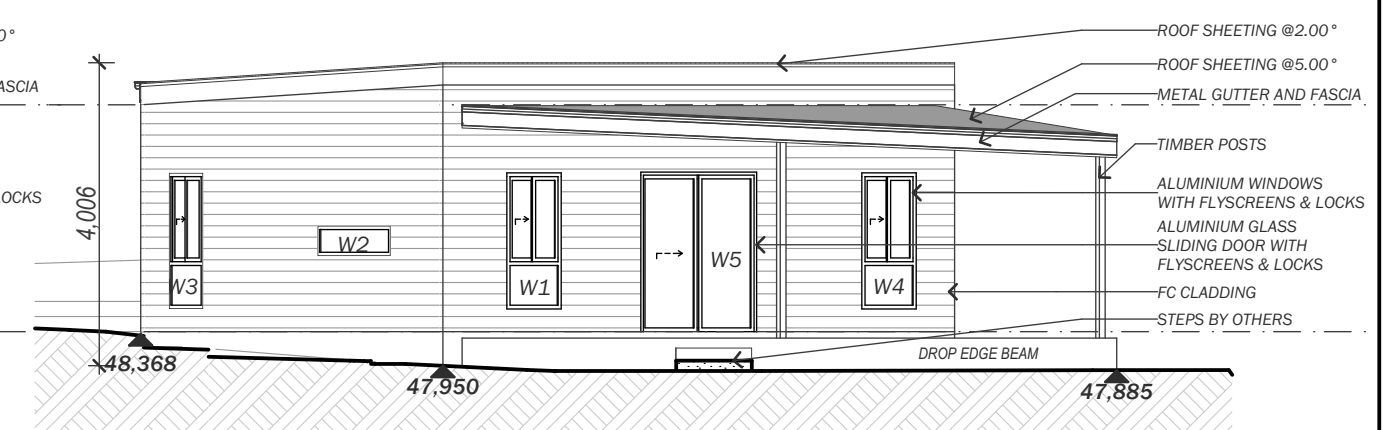
SOUTH-WEST ELEVATION



SOUTH-EAST ELEVATION



NORTH-EAST ELEVATION



NORTH ELEVATION

FLOOR LEVEL NOTE:

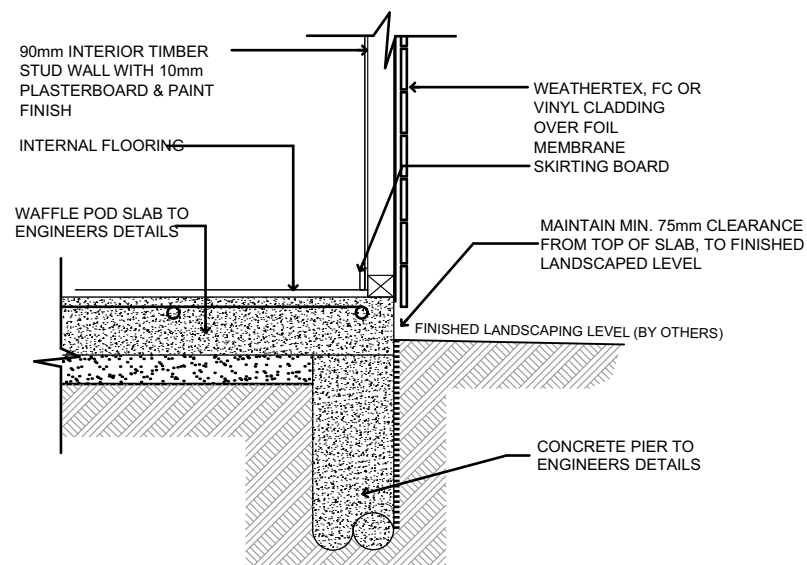
THE FLOOR LEVEL SHOWN ON THE ELEVATIONS MAY VARY SLIGHTLY ON SITE, DUE TO SITE CONDITIONS AND FINAL LEVELS AFTER EXCAVATION AND REMOVAL OF SOIL.

UNLESS SPECIFIED IN YOUR TENDER AND BUILDING CONTRACT, NO DIRT REMOVAL HAS BEEN ALLOWED FOR WHEN LEVELLING THE SITE FOR A CONCRETE SLAB. WHEN ACCESS IS TIGHT, A DECISION WOULD NEED TO BE MADE AS TO WHERE TO STOCKPILE ON SITE TO AVOID ACCESS INTERRUPTIONS OR A COST TO REMOVE THE SOIL CAN BE ARRANGED OR YOU.

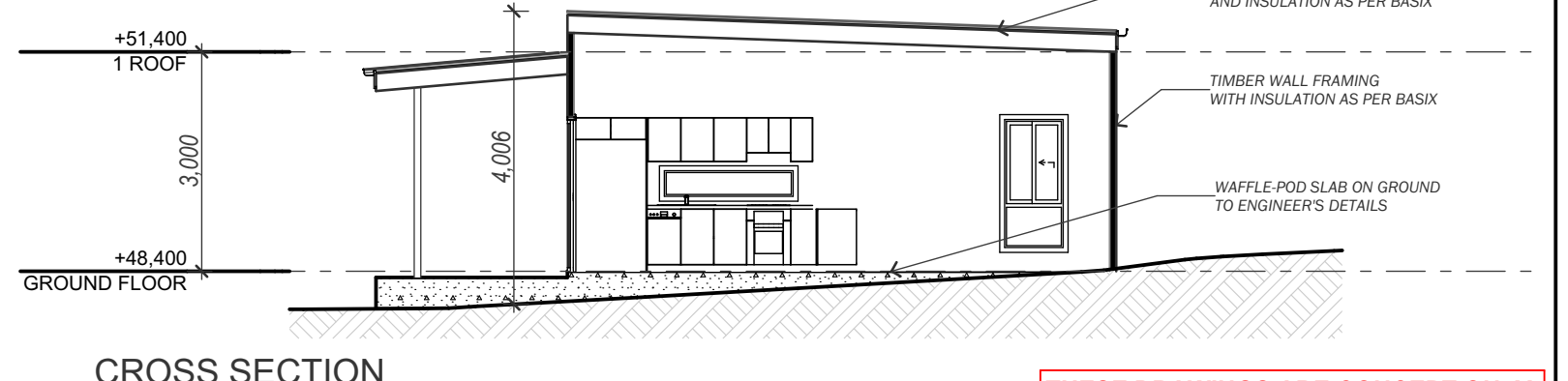
FURTHERMORE, NO EXTERNAL STEPS TO PORCHES, DROP EDGE BEAMS OR RETAINING WALLS HAVE BEEN ALLOWED FOR, UNLESS SPECIFIED IN YOUR TENDER.

GUTTERING AND VALLEY NOTE:

WHEN BUILDING NEAR TREES, WE STRONGLY RECOMMEND YOU INSTALL GUTTER-GUARD OR A SIMILAR PRODUCT IN ALL GUTTERS AND VALLEYS, TO PREVENT LEAF BUILD-UP AND WATER OVERFLOW UNDER THE ROOF TILES OR SHEETING.



STANDARD LIGHTWEIGHT CLADDING
DETAIL - NOT TO SCALE



CROSS SECTION

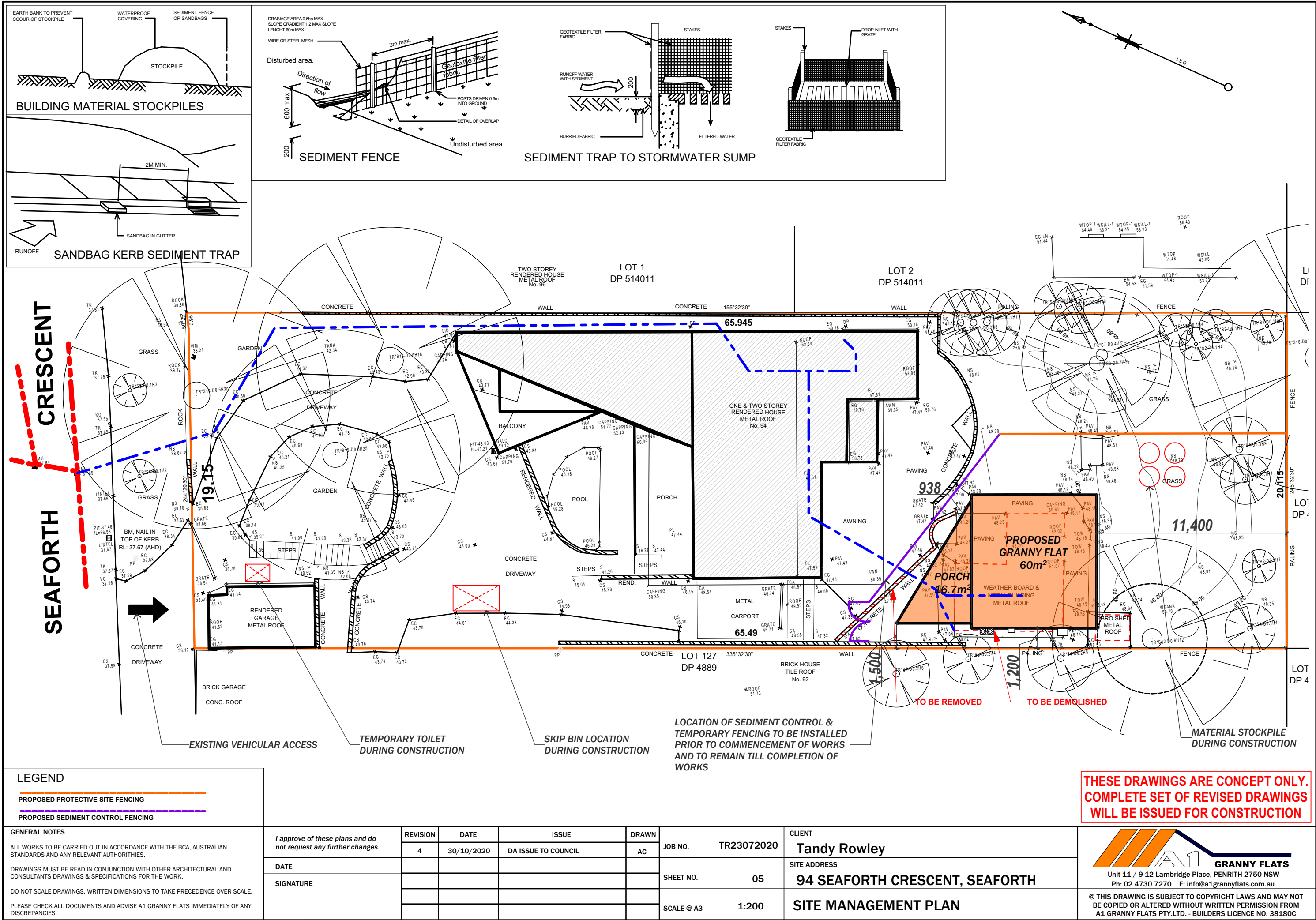
THESE DRAWINGS ARE CONCEPT ONLY.
COMPLETE SET OF REVISED DRAWINGS
WILL BE ISSUED FOR CONSTRUCTION

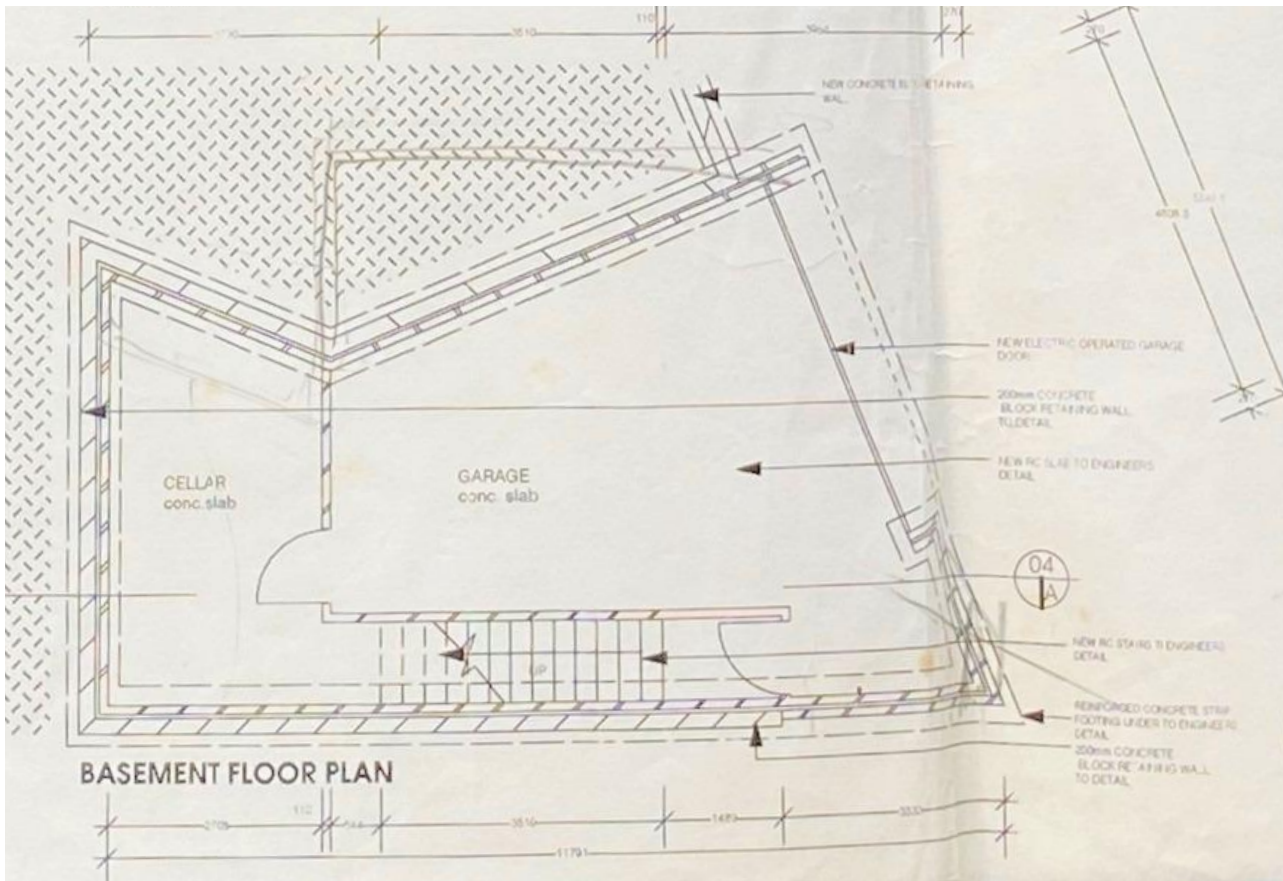
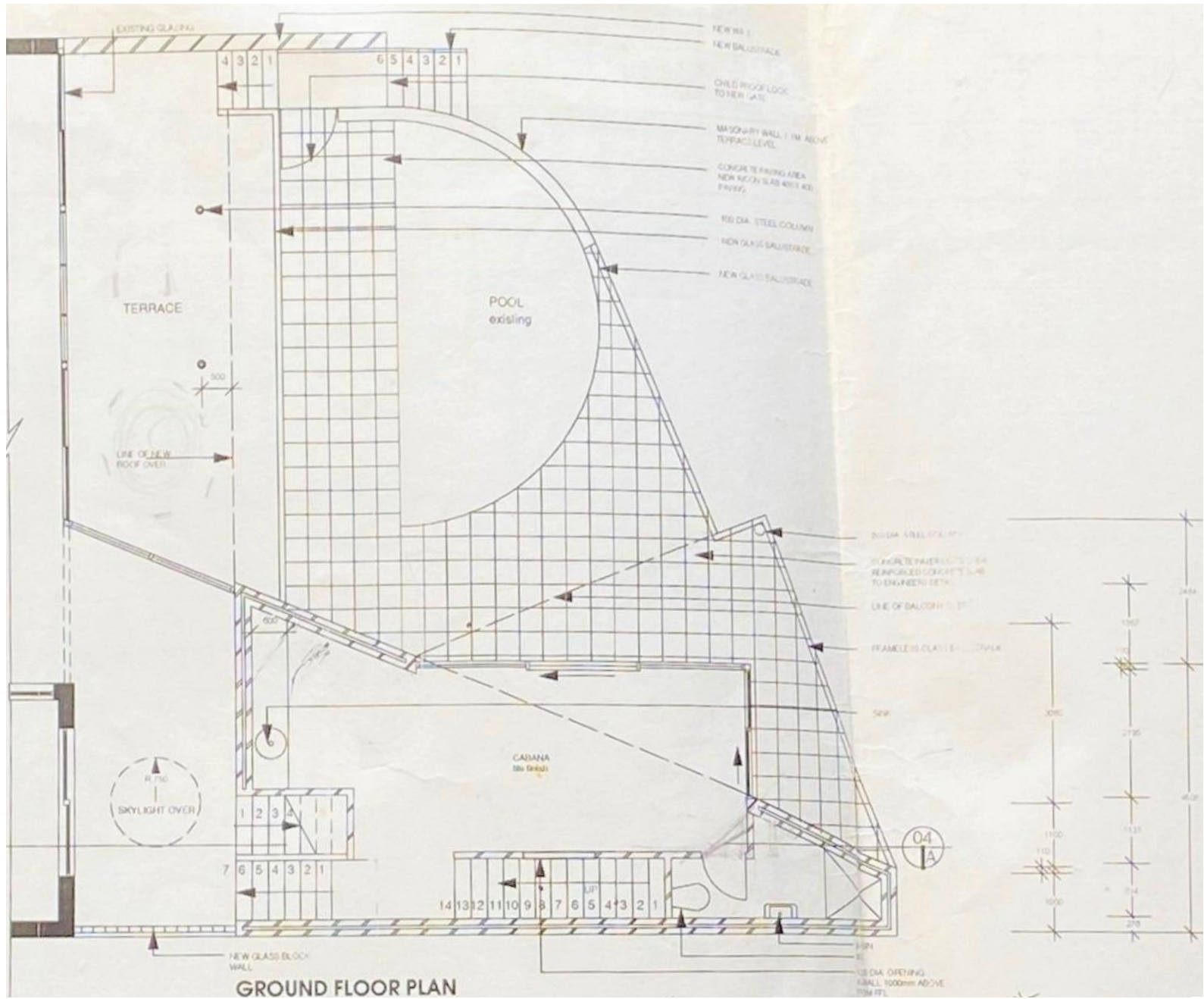
| GENERAL NOTES | | REVISION | DATE | ISSUE | DRAWN | JOB NO. | CLIENT |
|---|--|----------|------------|---------------------|-------|------------|--------------------------------|
| ALL WORKS TO BE CARRIED OUT IN ACCORDANCE WITH THE BCA, AUSTRALIAN STANDARDS AND ANY RELEVANT AUTHORITIES. | | 4 | 30/10/2020 | DA ISSUE TO COUNCIL | AC | TR23072020 | Tandy Rowley |
| DRAWINGS MUST BE READ IN CONJUNCTION WITH OTHER ARCHITECTURAL AND CONSULTANTS DRAWINGS & SPECIFICATIONS FOR THE WORK. | | | | | | SHEET NO. | SITE ADDRESS |
| DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TO TAKE PRECEDENCE OVER SCALE. | | | | | | 04 | 94 SEAFORTH CRESCENT, SEAFORTH |
| PLEASE CHECK ALL DOCUMENTS AND ADVISE A1 GRANNY FLATS IMMEDIATELY OF ANY DISCREPANCIES. | | | | | | SCALE @ A3 | ELEVATIONS & SECTION |



Unit 11 / 9-12 Lambridge Place, PENRITH 2750 NSW
Ph: 02 4730 7270 E: info@a1grannyflats.com.au

© THIS DRAWING IS SUBJECT TO COPYRIGHT LAWS AND MAY NOT BE COPIED OR ALTERED WITHOUT WRITTEN PERMISSION FROM A1 GRANNY FLATS PTY.LTD. - BUILDERS LICENCE NO. 38180C



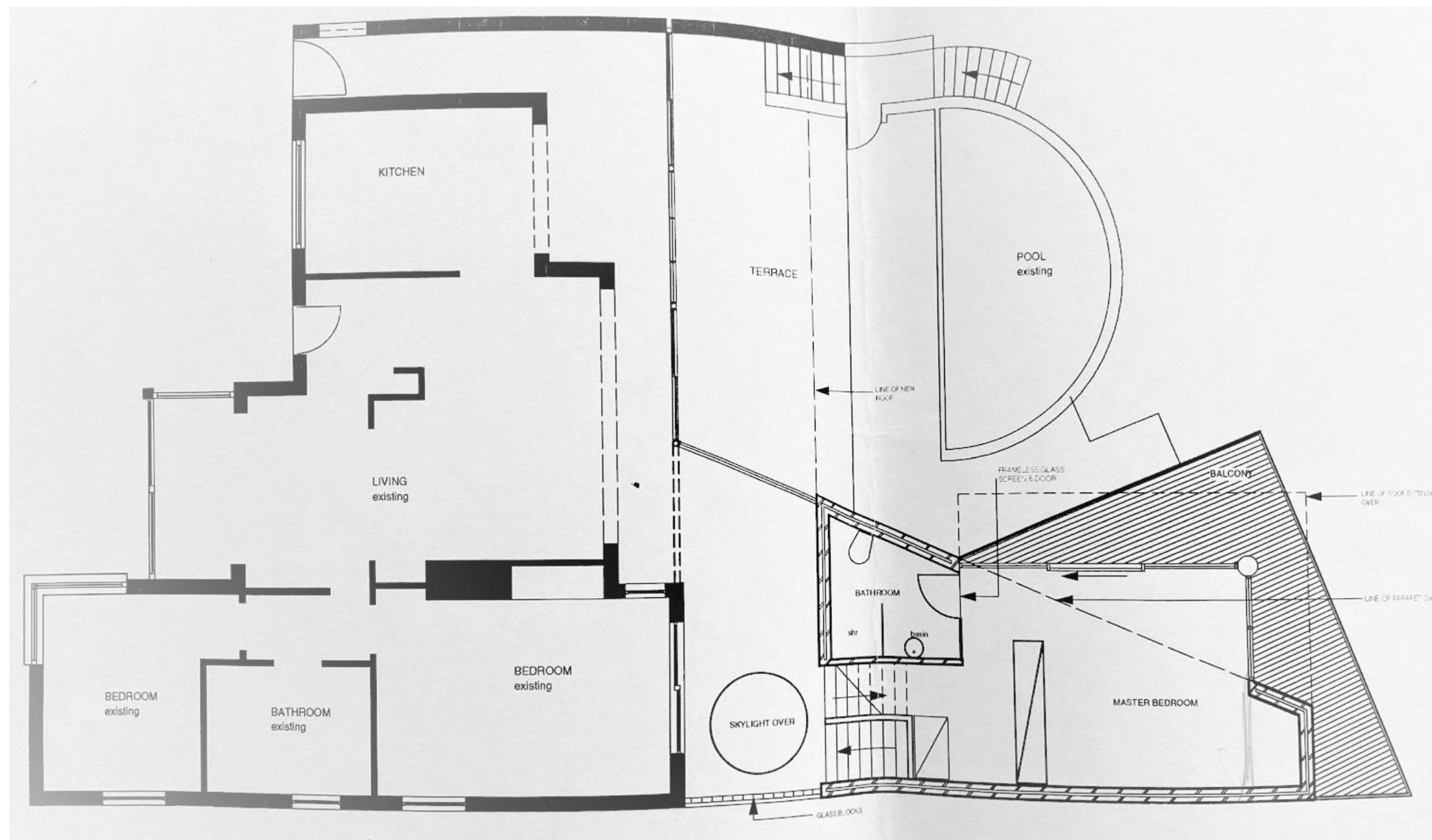
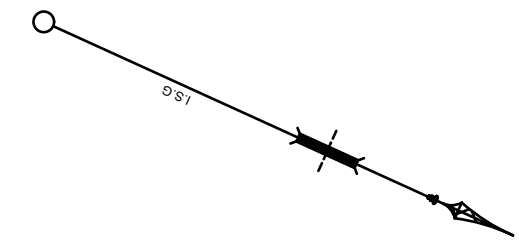


THESE DRAWINGS ARE CONCEPT ONLY.
COMPLETE SET OF REVISED DRAWINGS
WILL BE ISSUED FOR CONSTRUCTION

| | | | | | | | |
|--|---|--|----------|------------|---------------------|-------|---------------------------------|
| GENERAL NOTES ALL WORKS TO BE CARRIED OUT IN ACCORDANCE WITH THE BCA, AUSTRALIAN STANDARDS AND ANY RELEVANT AUTHORITIES. DRAWINGS MUST BE READ IN CONJUNCTION WITH OTHER ARCHITECTURAL AND CONSULTANTS DRAWINGS & SPECIFICATIONS FOR THE WORK. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TO TAKE PRECEDENCE OVER SCALE. PLEASE CHECK ALL DOCUMENTS AND ADVISE A1 GRANNY FLATS IMMEDIATELY OF ANY DISCREPANCIES. | <i>I approve of these plans and do not request any further changes.</i> | | REVISION | DATE | ISSUE | DRAWN | CLIENT |
| | DATE | | 4 | 30/10/2020 | DA ISSUE TO COUNCIL | AC | Tandy Rowley |
| | SIGNATURE | | | | | | 94 SEAFORTH CRESCENT, SEAFORTH |
| | | | | | | | MAIN DWELLING GROUND FLOOR PLAN |
| | | | | | | | |



© THIS DRAWING IS SUBJECT TO COPYRIGHT LAWS AND MAY NOT BE COPIED OR ALTERED WITHOUT WRITTEN PERMISSION FROM A1 GRANNY FLATS PTY.LTD. - BUILDERS LICENCE NO. 38180C



THESE DRAWINGS ARE CONCEPT ONLY.
COMPLETE SET OF REVISED DRAWINGS
WILL BE ISSUED FOR CONSTRUCTION

| | | | | | | |
|--|--|----------|------------|---------------------|------------|--------------------------------|
| GENERAL NOTES ALL WORKS TO BE CARRIED OUT IN ACCORDANCE WITH THE BCA, AUSTRALIAN STANDARDS AND ANY RELEVANT AUTHORITIES. DRAWINGS MUST BE READ IN CONJUNCTION WITH OTHER ARCHITECTURAL AND CONSULTANTS DRAWINGS & SPECIFICATIONS FOR THE WORK. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TO TAKE PRECEDENCE OVER SCALE. PLEASE CHECK ALL DOCUMENTS AND ADVISE A1 GRANNY FLATS IMMEDIATELY OF ANY DISCREPANCIES. | <i>I approve of these plans and do not request any further changes.</i> DATE SIGNATURE | REVISION | DATE | ISSUE | DRAWN | CLIENT |
| | | 4 | 30/10/2020 | DA ISSUE TO COUNCIL | AC | Tandy Rowley |
| | | | | | | SITE ADDRESS |
| | | | | | | 94 SEAFORTH CRESCENT, SEAFORTH |
| | | | | | | MAIN DWELLING FIRST FLOOR PLAN |
| | | | | | JOB NO. | TR23072020 |
| | | | | | SHEET NO. | 07 |
| | | | | | SCALE @ A3 | 1:100 |

Unit 11 / 9-12 Lambridge Place, PENRITH 2750 NSW
Ph: 02 4730 7270 E: info@a1grannyflats.com.au

© THIS DRAWING IS SUBJECT TO COPYRIGHT LAWS AND MAY NOT BE COPIED OR ALTERED WITHOUT WRITTEN PERMISSION FROM A1 GRANNY FLATS PTY.LTD. - BUILDERS LICENCE NO. 38180C