



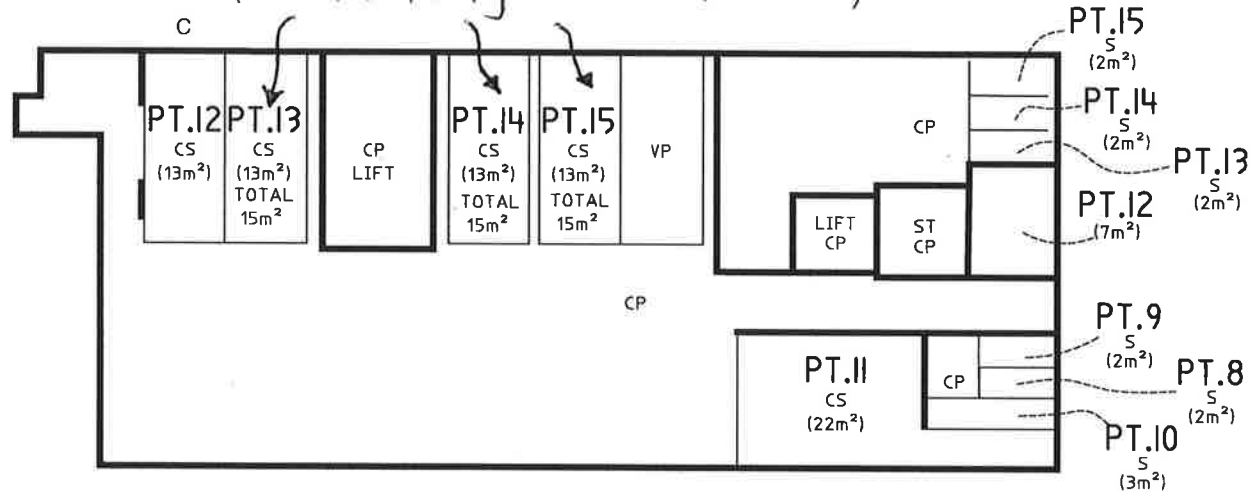
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PLAN SHOWING PROPOSED STAGE 2 OF STAGED STRATA SUBDIVISION OVER 1320 PITTSWATER ROAD, NARRABEEN BEING STAGE 1 DEVELOPMENT LOT 7

4	BALCONY AND PARKING AMENDED LOT ALLOCATIONS AMENDED	8/09/16
3	ALLOCATION CHANGES	20/12/16
2	ALLOCATION CHANGES	16/09/16
1	ISSUED FOR COMMENT / REVIEW	8/09/16

SURVEY INSTRUCTION I2160C	DRAWN CR	CHECKED SE	APPROVED DR
DRAWING NAME <b>I2160 STAGE 2</b>		SCALE 1:150 (A3)	ISSUE <b>4</b>
CAD FILE I2160Cstage2 strata4.dwg			

*Car parking Pt 13, 14 & 15.  
 utility lots to be transferred  
 to existing units lots 4, 5 & 6.*



**LEVEL 1  
 BASEMENT LEVEL**

**DRAFT PLAN ONLY**  
 PLANS & AREAS SCALED FROM ARCHITECTS PLANS AND DEVELOPER INSTRUCTIONS AND ARE SUBJECT TO FINAL DESIGN & SURVEY & APPROVAL BY RELEVANT AUTHORITIES

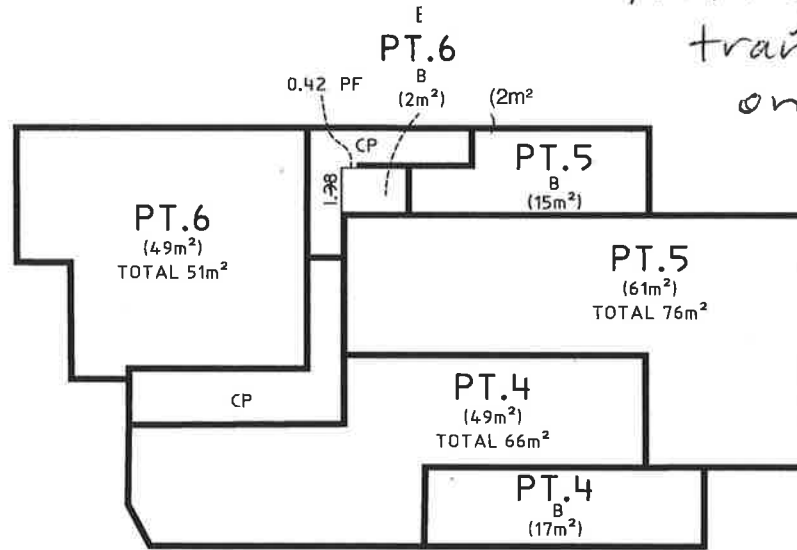
HEIGHT LIMITATIONS TO DEFINE THE CUBIC SPACE OF EACH LOT SUBJECT TO FINAL CONSTRUCTION

Surveyor: STEPHEN R EMERY Surveyor's Ref: 12160Cstg1 strata 1 Subdivision No: Lengths are in metres. Reduction Ratio 1: 150	Registered	SP
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NOTE: ALL AREAS ARE APPROXIMATE  
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 DENOTES VISITOR STORAGE  
 CP DENOTES COMMON PROPERTY S  
 DENOTES STORAGE SER DENOTES  
 SER DENOTES SERVICE  
 ST DENOTES STAIRS VP  
 VP DENOTES VISITOR PARKING LOTS 13,  
 14, 15 ARE UTILITY LOTS INTENDED TO  
 BE UTILISED BY THE OWNERS OF 4, 5 &  
 6 AND ARE NOT STAGE 1 OF THE  
 SCHEME & 6 CREATED UPON STAGE 1 OF  
 THE SCHEME



Lots PT.6, 5 & 4 to have utility lots 15, 14 & 13 (car parking in stage 2) transfed to them on completion of their construction.



LEVEL 2

NOTE:

ALL AREAS ARE APPROXIMATE ONLY  
 B DENOTES BALCONIES  
 CP DENOTES COMMON PROPERTY  
 PF DENOTES PROPONGATION OF FACE OF WALL

BALCONIES ARE LIMITED IN HEIGHT WHERE UNCOVERED TO 3 METRES ABOVE THE TOP OF THEIR RESPECTIVE CONCRETE FLOORS UNLESS COVERED WITHIN THIS HEIGHT

SURVEYOR Name: STEPHEN R EMERY Date: 1/06/17 Reference: 12160D SP1	PLAN OF SUBDIVISION OF LOT 1 IN D.P.1208984	LGA: NORTHERN BEACHES Locality: NARRABEEN Reduction Ratio: 1:150 Lengths are in metres.	Registered	DP
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