



# ACTION PLANS

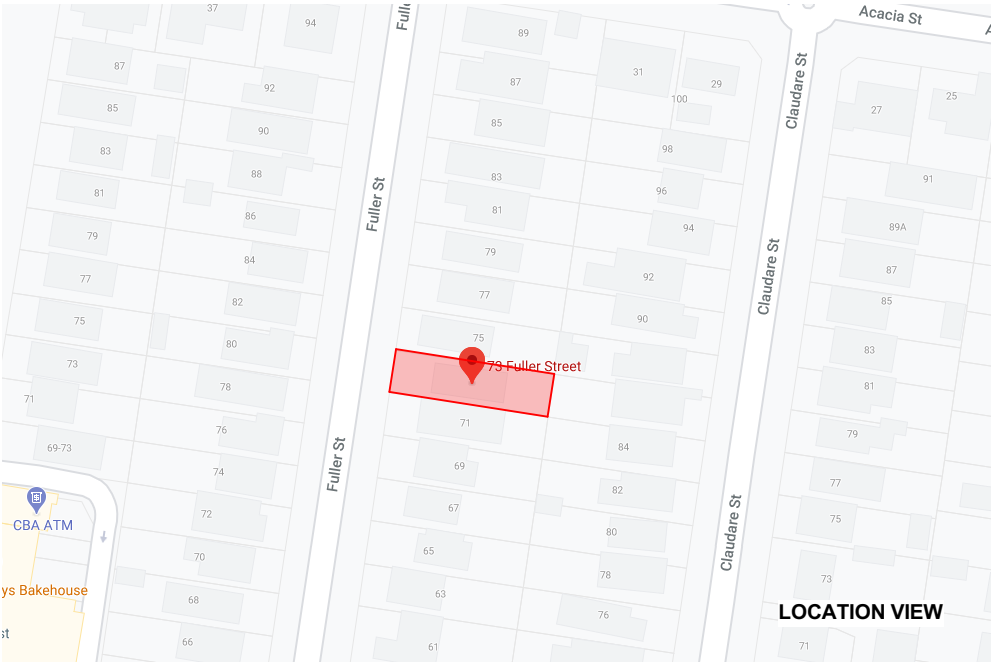
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# 73 FULLER STREET, COLLAROY PLATEAU 2097

## DEVELOPMENT APPLICATION

SHEET NUMBER	SHEET NAME	DATE PUBLISHED
DA00	COVER	30/10/2020
DA01	SITE ANALYSIS	30/10/2020
DA02	SITE / ROOF / SEDIMENT EROSION / STORMWATER CONCEPT / WASTE MANAGEMENT PLAN	30/10/2020
DA03	EXISTING GROUND FLOOR PLAN	30/10/2020
DA04	EXISTING FIRST FLOOR PLAN	30/10/2020
DA05	PROPOSED GROUND FLOOR PLAN	30/10/2020
DA06	PROPOSED FIRST FLOOR PLAN	30/10/2020
DA07	NORTH / EAST ELEVATION	30/10/2020
DA08	SOUTH / WEST ELEVATION	30/10/2020
DA09	LONG / CROSS SECTION	30/10/2020
DA10	DRIVEWAY PLAN / LONG SECTION	30/10/2020
DA11	AREA CALCULATIONS / SAMPLE BOARD	30/10/2020
DA12	WINTER SOLSTICE 9 AM	30/10/2020
DA13	WINTER SOLSTICE 12 PM	30/10/2020
DA14	WINTER SOLSTICE 3 PM	30/10/2020
DA15	BASIX COMMITMENTS	30/10/2020

ITEM DETAILS	DEVELOPMENT APPLICATION			
ADDRESS	73 FULLER STEET COLLAROY PLATEAU NSW 2097			
LOT & DP/SP	LOT 9 DP 33000			
COUNCIL	NORTHERN BEACHS COUNCIL (WARRINGAH)			
SITE AREA	422m²			
FRONTAGE	10.67m			
CONTROLS	PERMISSIBLE / REQUIRED m / m² / %	EXISTING m / m² / %	PROPOSED m / m² / %	COMPLIANCE
LEP				
LAND ZONING	R2 – LOW DENSITY RESIDENTIAL	R2	R2	YES
MINIMUM LOT SIZE	600m²	422m²	UNCHANGED	YES
FLOOR SPACE RATIO	NOT IDENTIFEID	N/A	N/A	N/A
MAXIMUM BUILDING HEIGHT	8.5m	7.35m	7.5m	YES
HAZARDS				
ACID SULFATE SOILS	NOT IDENTIFEID	N/A	N/A	N/A
FLOOD PLANNING	NOT IDENTIFEID	N/A	N/A	N/A
DEVELOPMENT ON SLOPING LAND	AREA - A	N/A	N/A	N/A
COASTAL HAZARDS	NOT IDENTIFEID	N/A	N/A	N/A
HIGH/MED/LOW FLOOD RISK PRECINCT	NOT IDENTIFEID	N/A	N/A	N/A
NATIVE VEGETATION	NOT IDENTIFEID	N/A	N/A	N/A
WILDLIFRE CORRIDORS	NOT IDENTIFEID	N/A	N/A	N/A
WATERWAYS AND RIPARIAN LAND	NOT IDENTIFEID	N/A	N/A	N/A
DCP				
WALL HEIGHT	7.2m	6.8m	UNCHANGED	YES
NUMBER OF STOREYS	2	2	UNCHANGED	YES
SIDE BOUNDARY ENVELOPE	5m	N/A	N/A	NO
SIDE BOUNDARY SETBACKS	0.9m	N: 2.5m S: 0.9m	UNCHANGED	YES
FRONT BOUNDARY SETBACK	6.5m	7.96m	0.15m	NO
REAR BOUNDARY SETBACK	6.0m	6.89m	UNCHANGED	YES
LANDSCAPE OPEN SPACE	40% (168.8m²)	107.61m²	127.06m²	NO
PRIVATE OPEN SPACE	60m²	60m²	UNCHANGED	YES

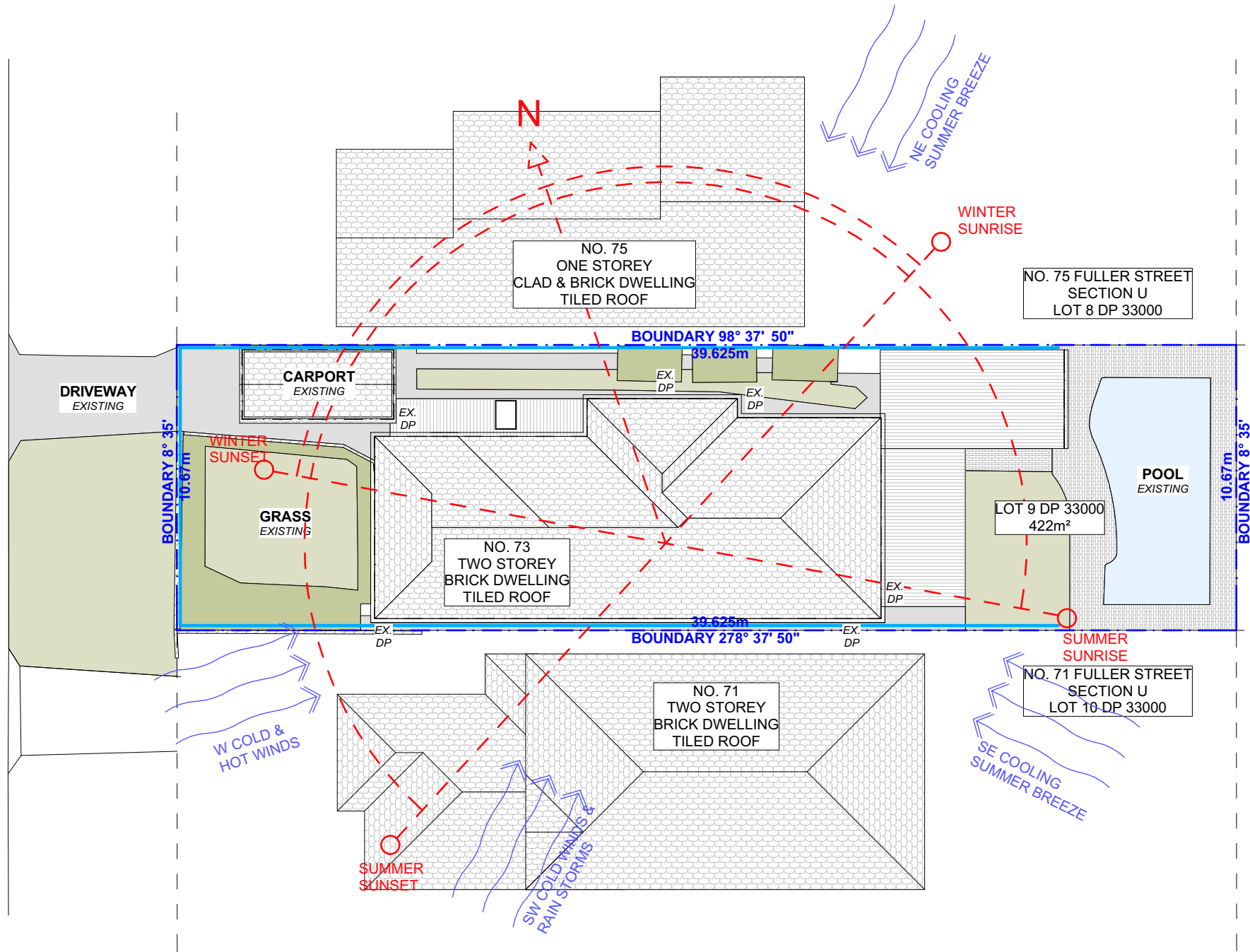


### NCC & AS COMPLIANCES SPECIFICATIONS

- EARTHWORKS - PART 3.1.1 OF NCC
- EARTH RETAINING STRUCTURES - PART 3.1.2 OF NCC
- DRAINAGE - PART 3.1.3 OF NCC
- TERMITE-RISK MANAGEMENT - PART 3.1.4 OF NCC
- FOOTINGS & SLAB - PART 3.2 OF NCC INCLUDING AS 2870:2011
- MASONRY - PART 3.3 OF NCC INCLUDING AS 3700:2018
- FRAMING - PART 3.4 OF NCC
- SUB FLOOR VENTILATION - PART 3.4.1 OF NCC
- ROOF CLADDING AND WALL-CLADDING - PART 3.5 OF NCC
- GLAZING - PART 3.6 OF NCC INCLUDING AS 1288
- FIRE SAFETY - PART 3.7 OF NCC
- FIRE SEPARATION OF EXTERNAL WALLS - PART 3.7.2 OF NCC
- FIRE PROTECTION OF SEPARATING WALLS AND FLOORS- PART 3.7.3 OF NCC
- SMOKE ALARMS - PART 3.7.5 OF NCC
- WET AREAS AND EXTERNAL WATERPROOFING - PART 3.8.1 OF NCC
- ROOM HEIGHTS - PART 3.8.2 OF NCC
- FACILITIES - PART 3.8.3 OF NCC
- LIGHT - PART 3.8.4 OF NCC
- VENTILATION - PART 3.8.5 OF NCC
- SOUND INSULATION - PART 3.8.6 OF NCC
- STAIRWAY AND RAMP CONSTRUCTION - PART 3.9.1 OF NCC
- BARRIERS AND HANDRAILS - PART 3.9.2 OF NCC
- SWIMMING POOLS - PART 3.10.1 OF NCC
- CONSTRUCTION IN BUSHFIRE PRONE AREAS - PART 3.10.5 OF NCC
- FENCING & OTHER PROVISIONS - REGS & AS1926.1 2012
- DEMOLITION WORKS - AS2601-2001 THE DEMOLITION OF STRUCTURES.
- WATERPROOFING OF WET AREAS TO COMPLY WITH AS 3740-2010
- ALL PLUMBING & DRAINAGE WORK TO COMPLY WITH AS 3500:2018
- ALL PLASTERBOARD WORK TO COMPLY WITH AS 2588:2018
- ALL STRUCTURAL STEEL WORK TO COMPLY WITH AS 4100-1992 & AS 1554
- ALL CONCRETE WORK TO COMPLY WITH AS 3600:2018
- ALL ROOF SHEETING WORK TO COMPLY WITH AS 1562.1-2018
- ALL SKYLIGHTS TO COMPLY WITH AS 4285-2019
- ALL CERAMIC TILING TO COMPLY WITH AS 3958.1-2007 & 3958.2-1992
- ALL GLAZING ASSEMBLIES TO COMPLY WITH AS 2047-2014 & 1288
- ALL TIMBER RETAINING WALLS ARE TO COMPLY WITH AS 1720.1-2010, AS 1720.2-2006, AS 1720.4-2006, AS 1170.1-2002 & AS 1170.4-2007
- ALL RETAINING WALLS ARE TO COMPLY WITH 3700:2018 & AS 3600:2018
- ALL CONSTRUCTION TO COMPLY WITH AS 3959:2018



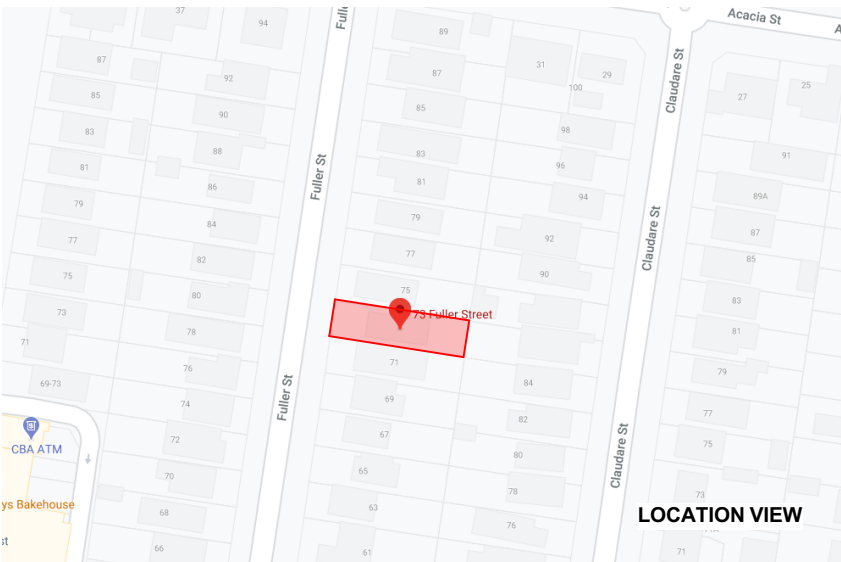
FULLER STREET



## SITE ANALYSIS

1:200@A3

NOTE: ALL DEMOLISHED ELEMENTS TO ENG. SPECIFICATIONS AND AS. 2601 - 2001



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REV.	DATE	COMMENTS	DRWN
A	12/10/2020	DEVELOPMENT APPLICATION	AL

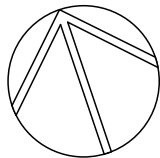
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**LEGEND**  
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PROPOSED  
DEMOLISHED

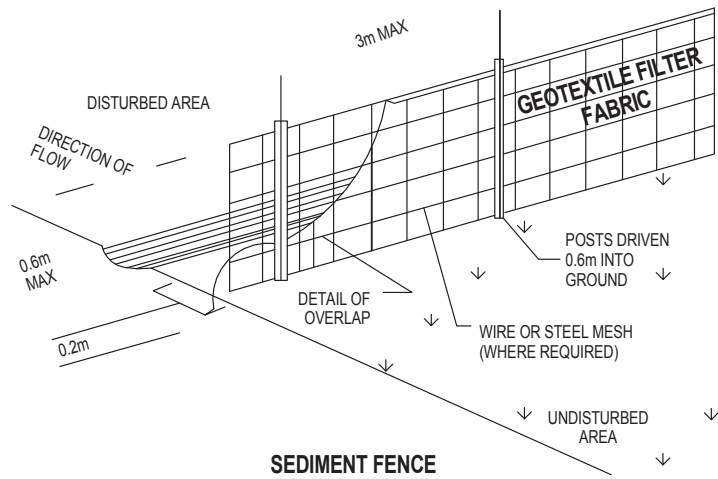
**CLIENT**  
KAREN & ANTHONY PELLICANO  
  
**PROJECT ADDRESS**  
73 FULLER STREET,  
COLLAROY PLATEAU  
2097

**DRAWING NO.**  
**DA01**  
  
**DATE**  
Friday, 30 October  
2020

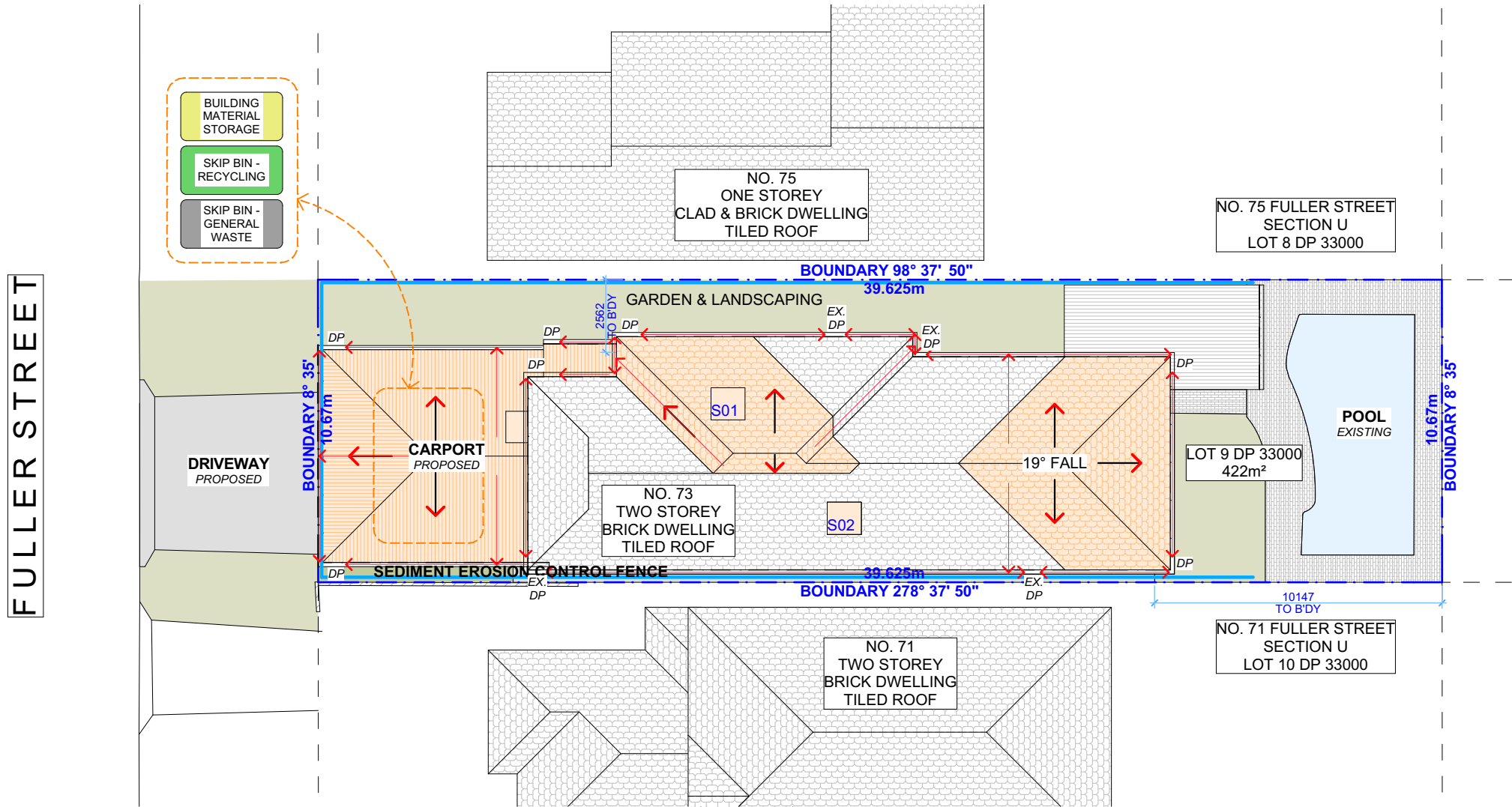
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SITE ANALYSIS  
  
**SCALE**  
1:200 @A3







SEDIMENT FENCE



SITE / ROOF / SEDIMENT EROSION / STORMWATER CONCEPT / WASTE MANAGEMENT PLAN  
1:200@A3

**NOTES REGARDING BOUNDARY**  
THE INFORMATION SHOWN ON THIS PLAN IS FOR DESIGN PURPOSES ONLY. THE POSITION OF BOUNDARY LINES HAVE BEEN ESTABLISHED BY A SURVEY TO MEET THE IDENTIFICATION REQUIREMENTS FOR COUNCIL AND NOT FOR REGISTRATION WITH THE LAND REGISTRATION SERVICES NSW NOR MAY THIS PLAN BE USED FOR ANY OTHER PURPOSE. SUBSEQUENT REGISTERED OR OTHER SURVEYS MAY AFFECT THE DEFINED BOUNDARY POSITIONS IN THIS AREA. ANY DIFFERENCES OF THIS NATURE ARE BEYOND THE PURPOSES OF THIS PLAN. THIS PLAN IS FOR THE ABOVE STATED PURPOSES ONLY. RESTRICTIONS ON THE TITLE HAVE NOT BEEN INVESTIGATED. IF FURTHER DEVELOPMENT IS CONTEMPLATED OR CONSTRUCTION INTENDED THEN IT IS IMPORTANT THAT A SURVEY SET OUT IS CARRIED OUT.

**DUST CONTROL :**  
TO REDUCE DUST GENERATED BY WIND ACTION, THE REMOVAL OF THE TOP SOIL IS TO BE MINIMISED. TO PREVENT DUST GENERATION, WATERING DOWN OF THE SITE, ESPECIALLY DURING THE MOVEMENT OF MACHINERY IS REQUIRED. WHERE EXCAVATING INTO ROCK, KEEP THE SURFACE MOIST TO MINIMISE DUST. CONSTRUCT A GRAVEL ENTRY/EXIT POINT USING BLUE METAL AND RESTRICT ALL VEHICLE MOVEMENTS WITHIN THE SITE TO A MINIMUM. ENSURE WIND BREAKS, SUCH AS EXISTING FENCES ARE MAINTAINED DURING THE CONSTRUCTION PHASE UNTIL NEW LANDSCAPING IS PROVIDED OR REINSTATED. PREVENT DUST BY COVERING STOCKPILES

**SEDIMENT NOTE :**  
1. ALL EROSION AND SEDIMENT CONTROL MEASURES TO BE INSPECTED AND MAINTAINED DAILY BY THE SITE MANAGER.  
2. MINIMISE DISTURBED AREAS, REMOVE EXCESS SOIL FROM EXCAVATED AREA AS SOON AS POSSIBLE.  
3. ALL MATERIAL STOCKPILE TO BE CLEAR FROM DRAINS, GUTTERS AND FOOTPATHS, OR WITHIN SEDIMENT FENCE AREA.  
4. DRAINAGE TO BE CONNECTED TO STORMWATER AS SOON AS POSSIBLE. IF STORED ON SITE, IT MUST BE FILTERED BEFORE RELEASING INTO STORMWATER SYSTEM OR WATERWAYS.  
5. ROADS AND FOOTPATHS TO BE SWEEPED DAILY.

**STOCKPILES :**  
ALL STOCKPILES ARE TO BE KEPT ON-SITE WHERE POSSIBLE. ANY MATERIALS PLACED ON THE FOOTPATHS OR NATURE STRIPS REQUIRE COUNCIL'S PERMISSION.  
ALL STOCKPILES ARE TO BE PLACED AWAY FROM THE DRAINAGE LINES AND STREET GUTTERS. IT IS BEST TO LOCATE THESE ON THE HIGHEST PART OF THE SITE IF POSSIBLE. PLACE WATERPROOF COVERING OVER STOCKPILES.  
IF REQUIRED PROVIDE DIVERSION DRAIN & BANK AROUND STOCKPILES.

**GUTTER PROTECTION :**  
PROVIDE PROTECTION TO DOWNHILL GRATE IN GUTTER BY MEANS OF SAND BAGS OR BLUE METAL WRAPPED IN GEOTEXTILE FABRIC. WHEN SOIL OR SAND BUILDS UP AROUND THIS SEDIMENT BARRIER, THE MATERIAL SHOULD BE RELOCATED BACK TO THE SITE FOR DISPOSAL.

**NOTE:** ALL PROPOSED STORMWATER TO CONNECT WITH EXISTING



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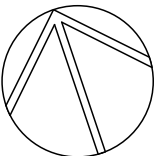
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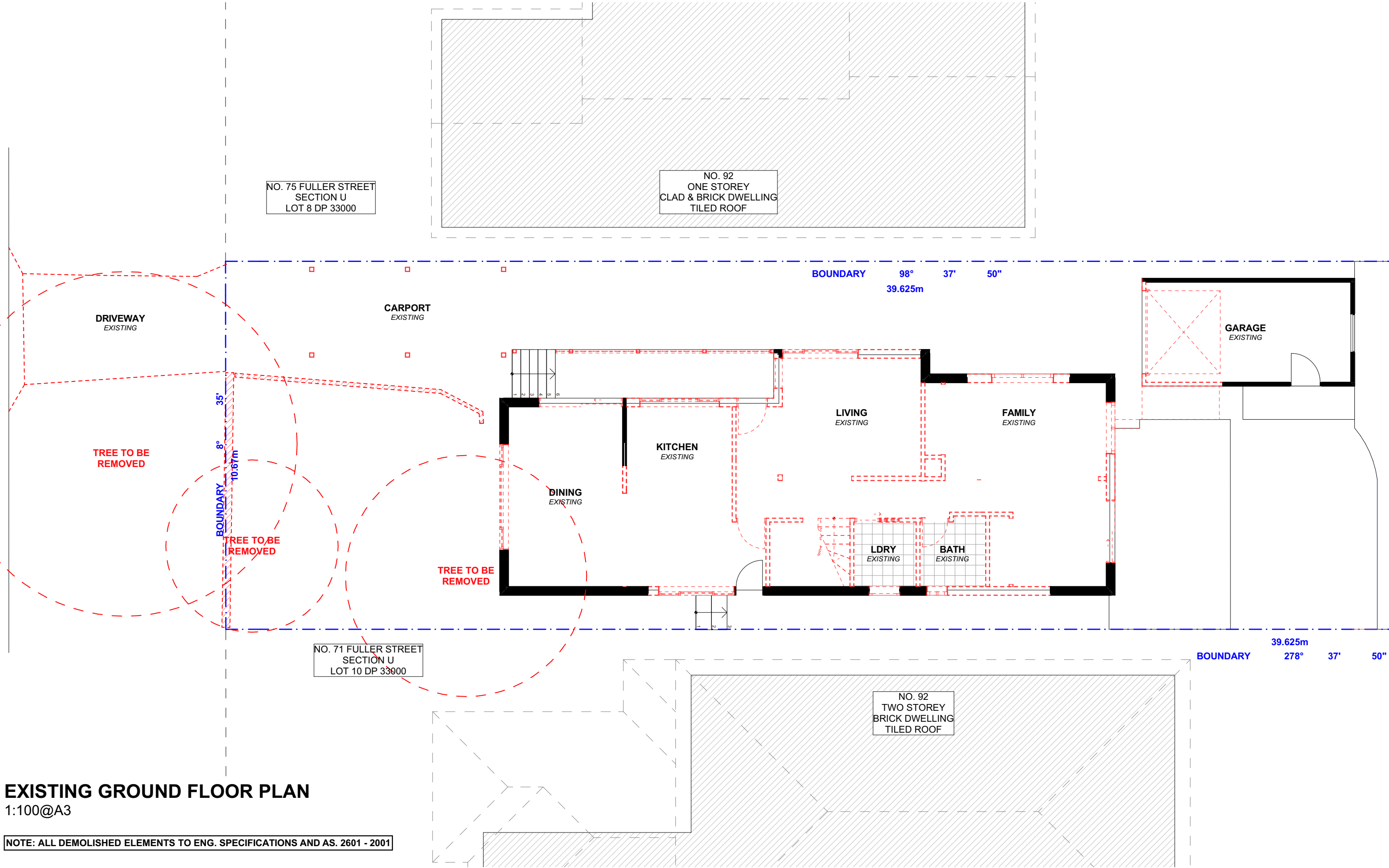
**LEGEND**  
EXISTING  
PROPOSED  
DEMOLISHED  
STORMWATER FLOW  
EX. DP  
DP  
EXISTING DP  
PROPOSED DP

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2097

**DRAWING NO.**  
DA02  
  
**DATE**  
Friday, 30 October  
2020

**DRAWING NAME**  
SITE / ROOF / SEDIMENT EROSION /  
STORMWATER CONCEPT / WASTE  
MANAGEMENT PLAN  
  
**SCALE**  
1:1, 1:200 @A3





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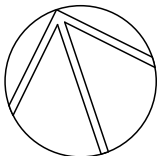
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EXISTING  
PROPOSED  
DEMOLISHED

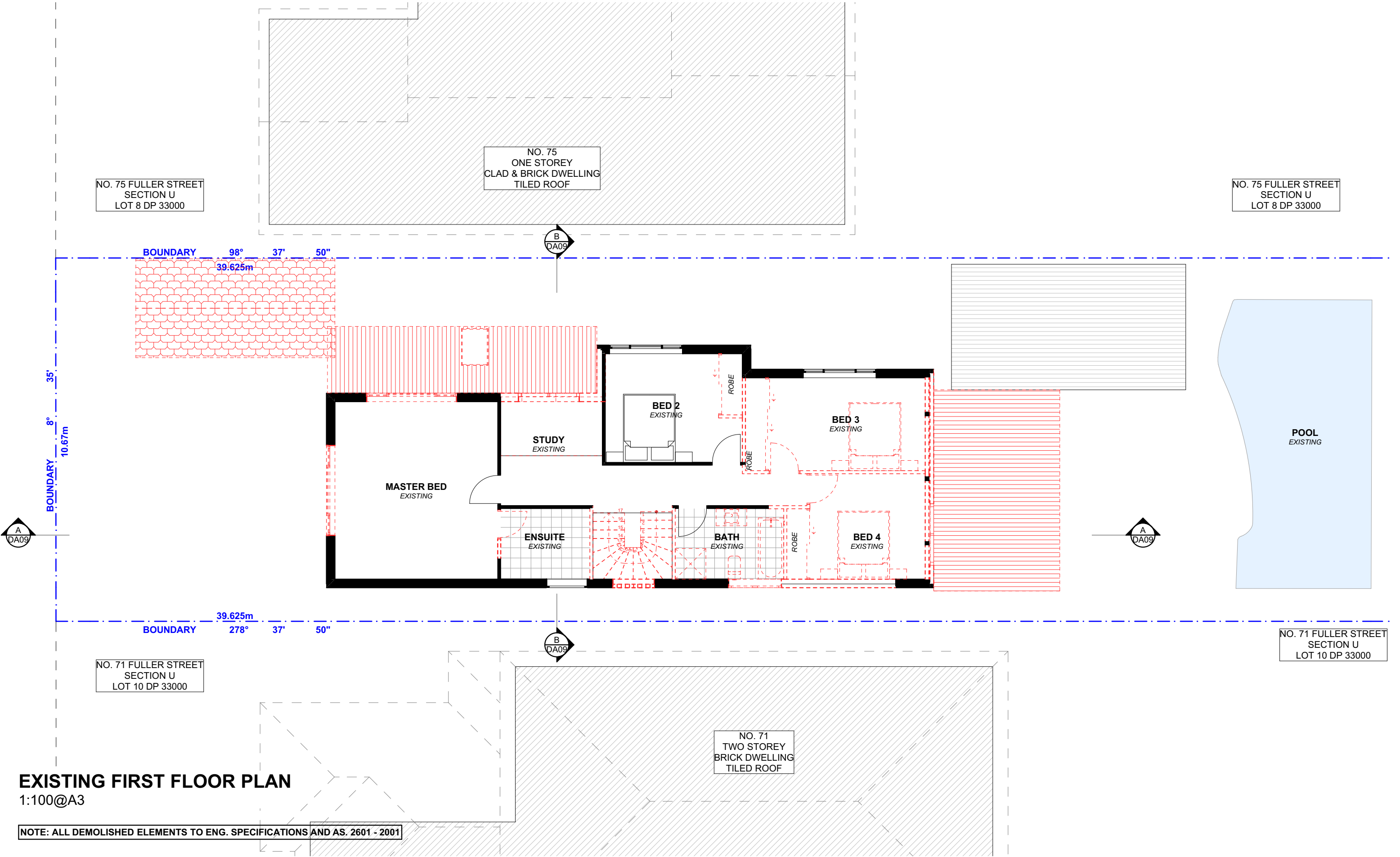
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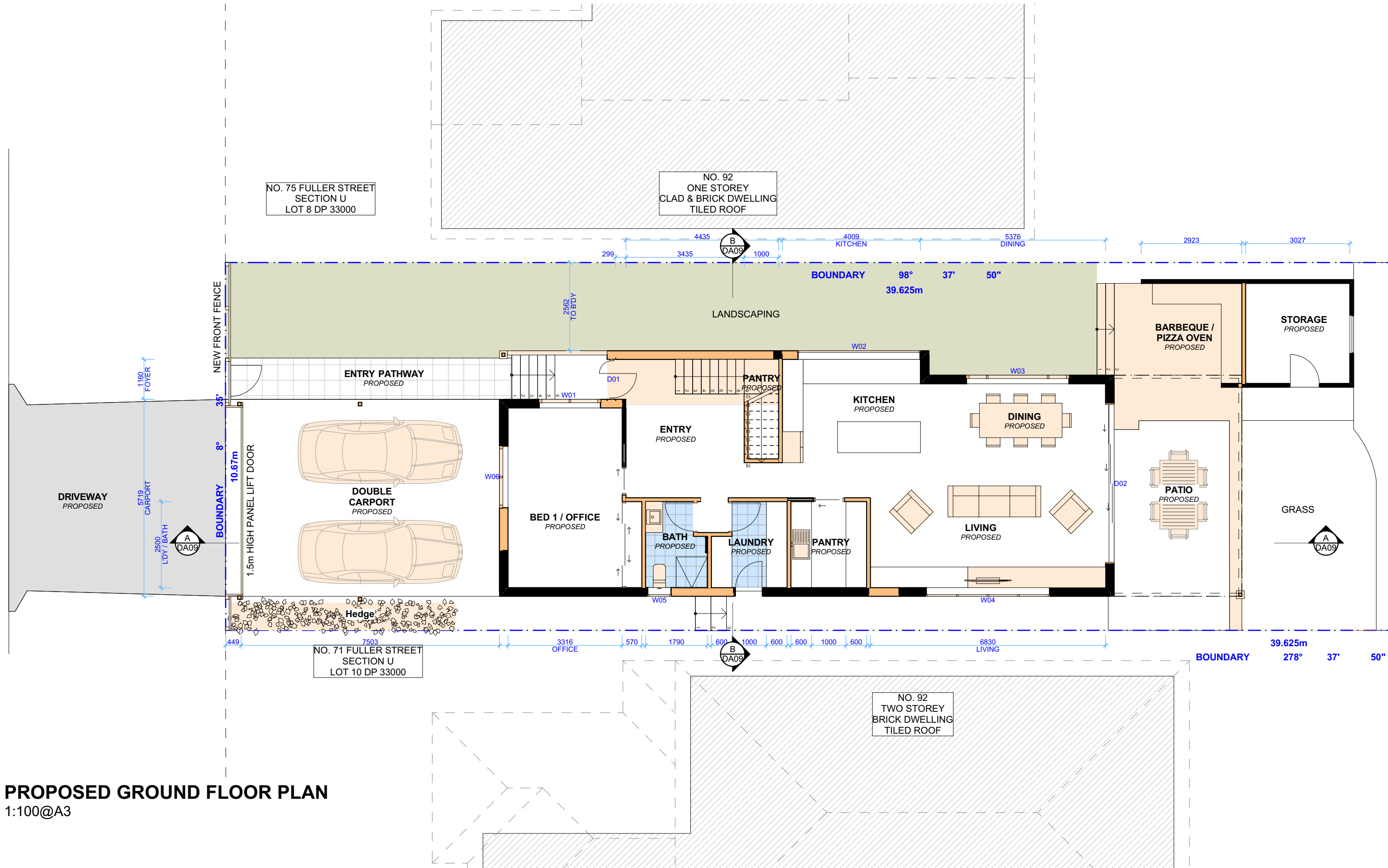
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**DA03**  
  
**DATE**  
Friday, 30 October  
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**DRAWING NAME**  
EXISTING GROUND FLOOR PLAN  
  
**SCALE**  
1:100 @A3









PROPOSED GROUND FLOOR PLAN  
1:100@A3



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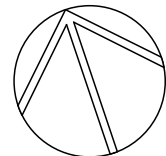
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**LEGEND**  
— EXISTING  
— PROPOSED  
- - - DEMOLISHED

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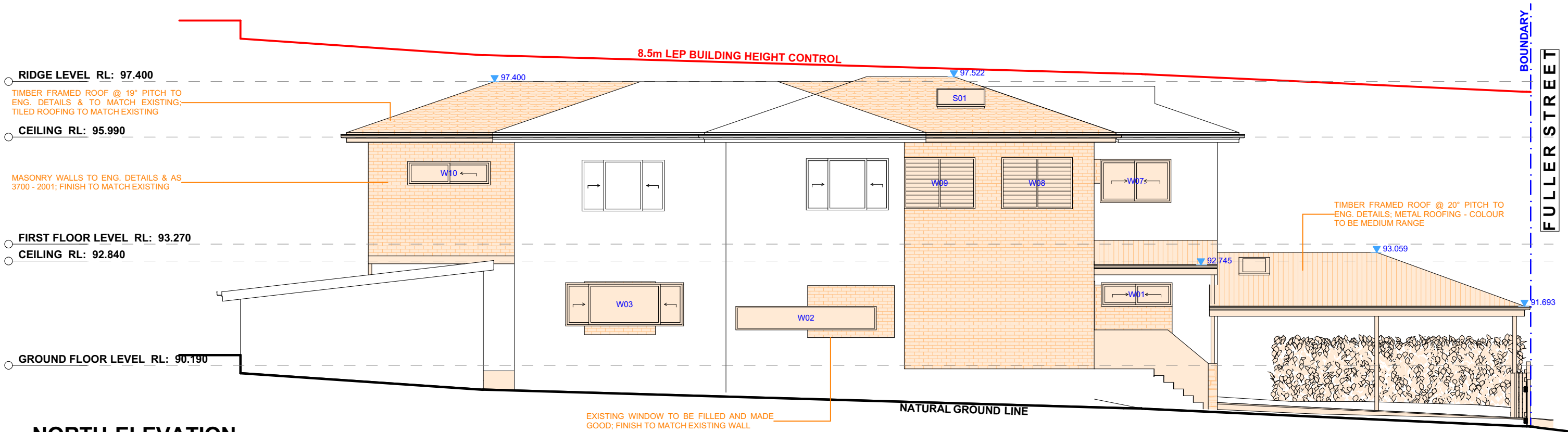
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**DA05**  
  
**DATE**  
Friday, 30 October  
2020

**DRAWING NAME**  
PROPOSED GROUND FLOOR PLAN  
  
**SCALE**  
1:100 @A3

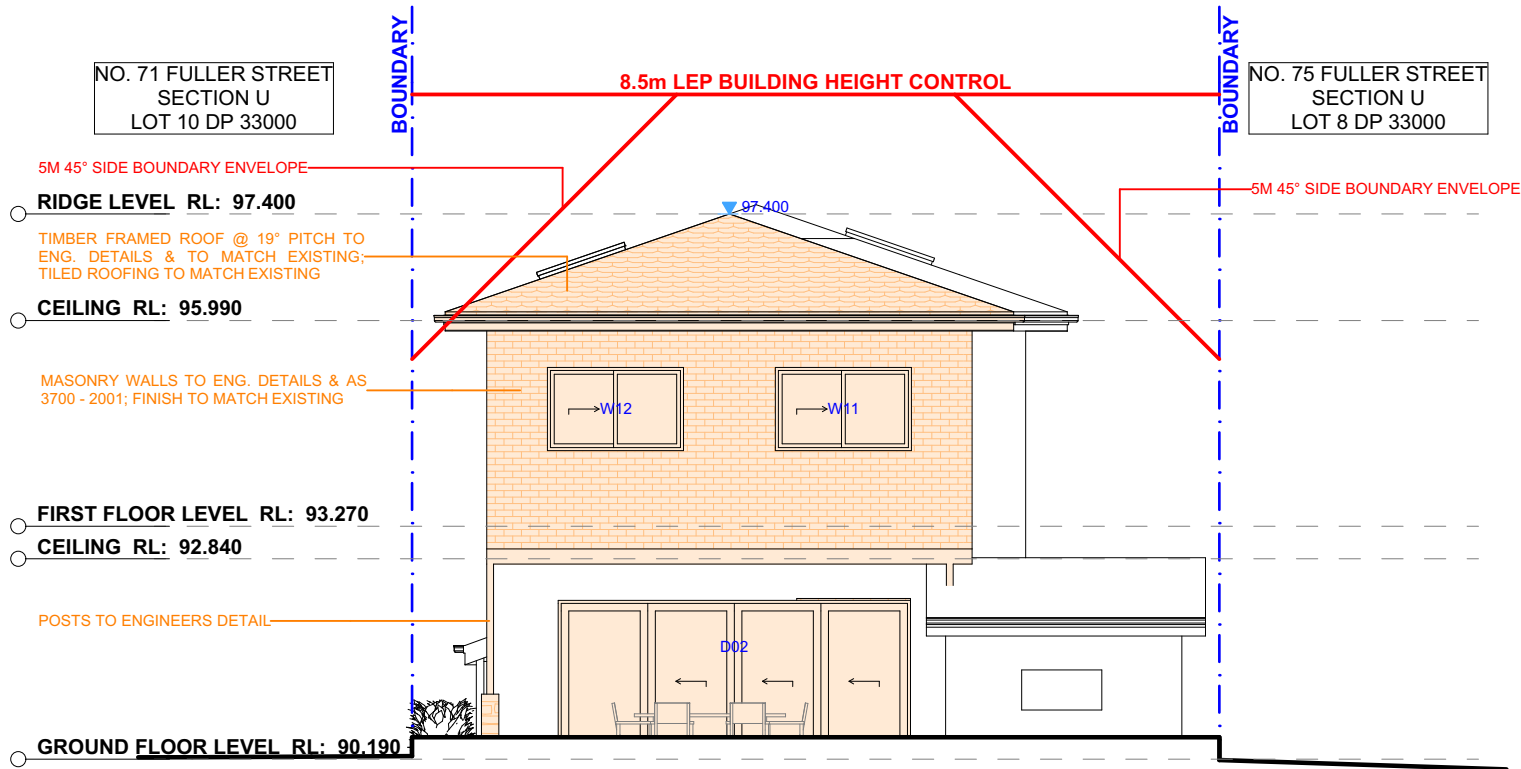






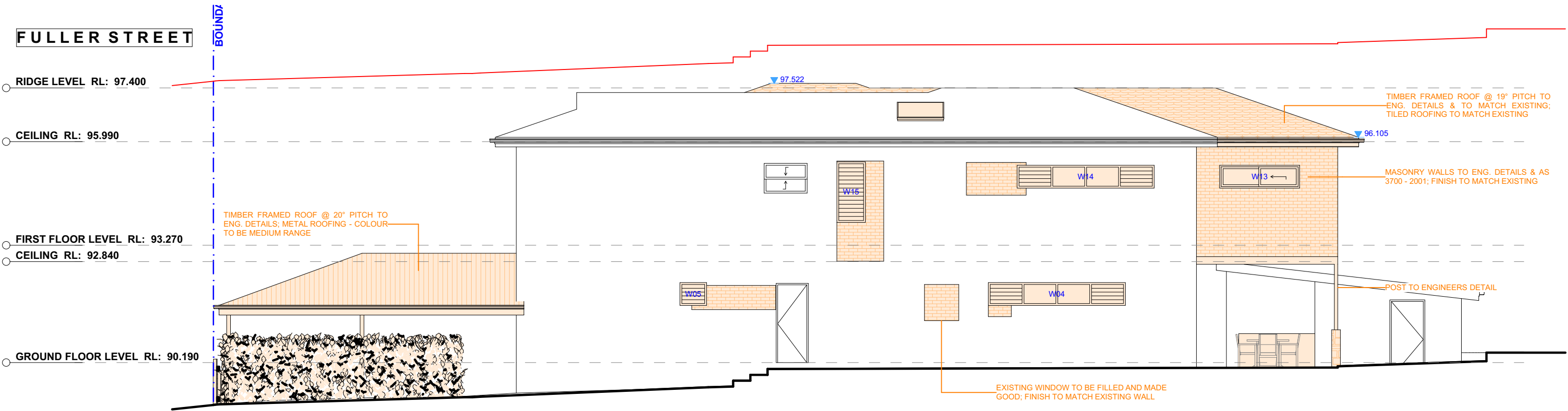


**NORTH ELEVATION**  
1:100@A3

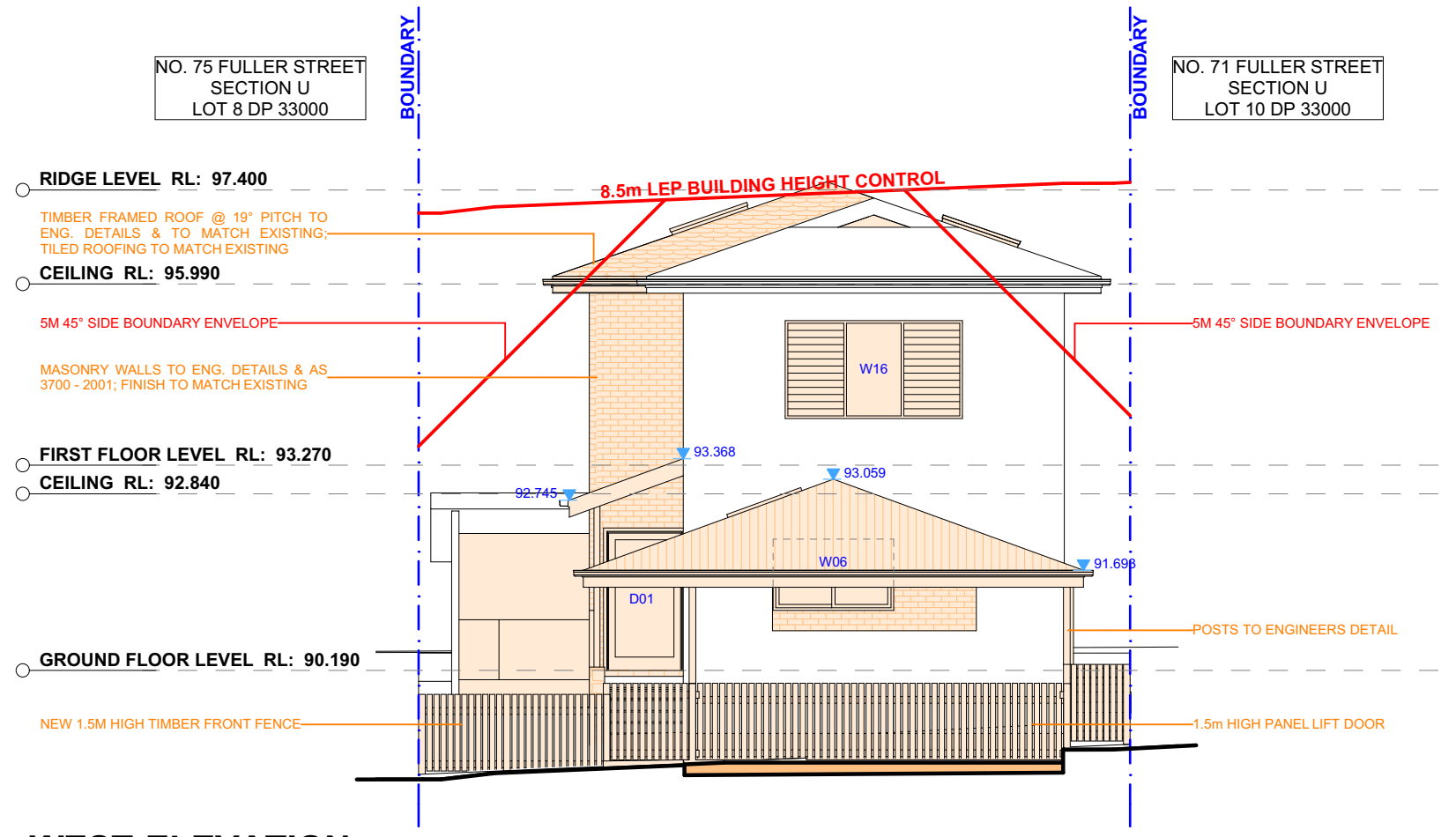


**EAST ELEVATION**  
1:100@A3





**SOUTH ELEVATION**  
1:100@A3



**WEST ELEVATION**  
1:100@A3






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**LEGEND**

 EXISTING  
 PROPOSED  
 DEMOLISHED

**CLIENT**

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PELLICANO

**PROJECT ADDRESS**

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COLLAROY PLATEAU  
2097

**DRAWING NO.**

**DA08**

**DATE**

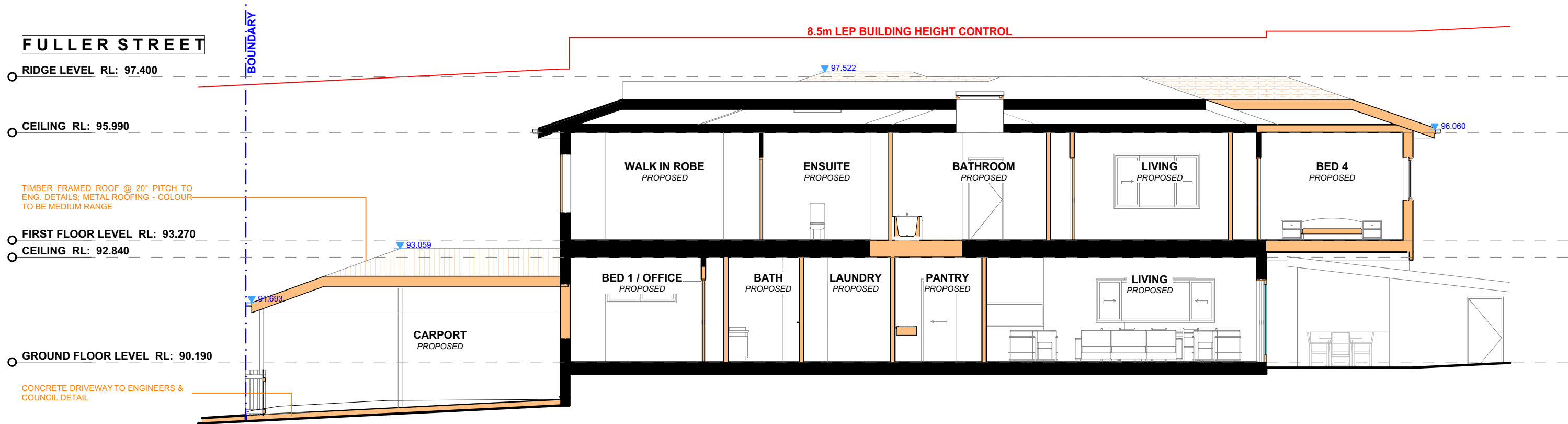
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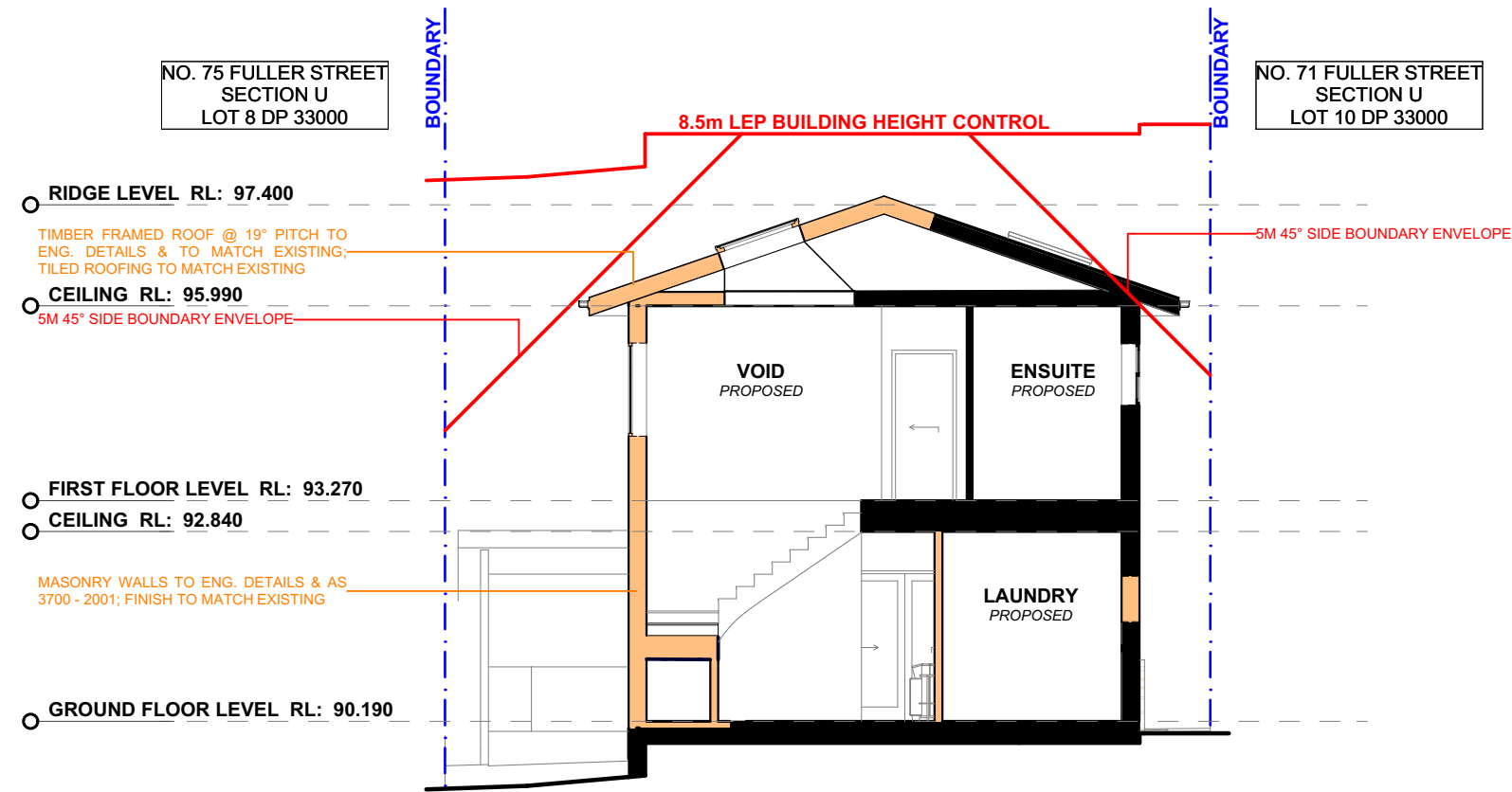
SOUTH / WEST ELEVATION

**SCALE**

1:100 @A3



LONG SECTION AA  
1:100@A3



CROSS SECTION BB  
1:100@A3



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EXISTING  
PROPOSED  
DEMOLISHED

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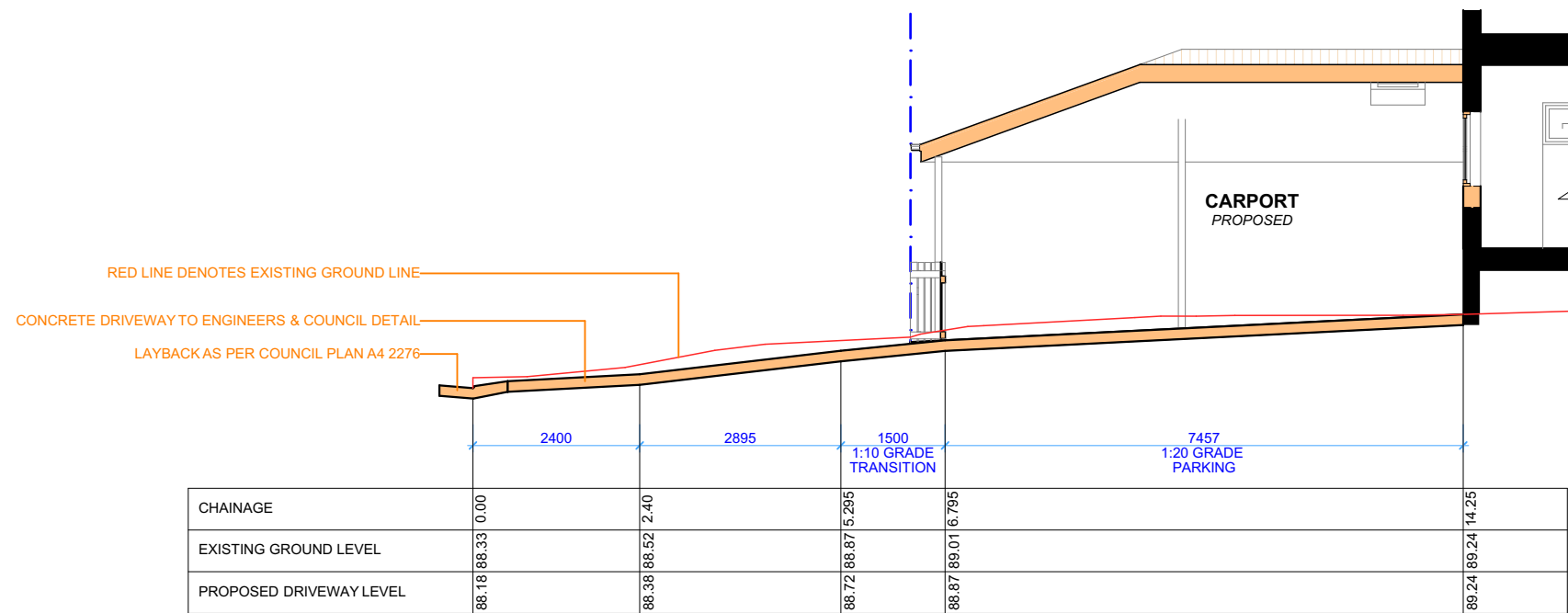
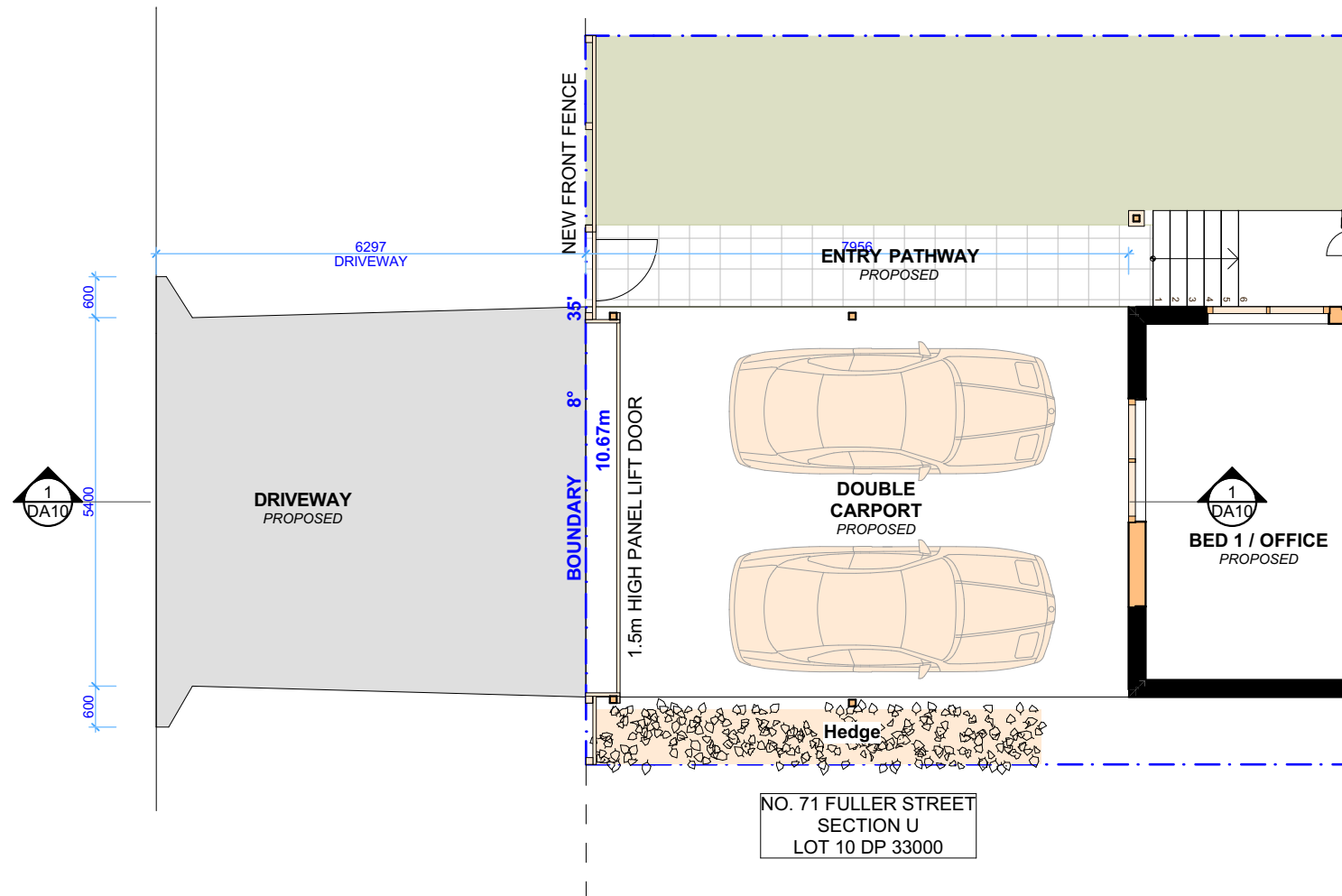
**DRAWING NO.**  
DA09

**DATE**  
Friday, 30 October  
2020

**DRAWING NAME**  
LONG / CROSS SECTION

**SCALE**  
1:100 @A3





DRIVEWAY LONG SECTION  
1:100@A3



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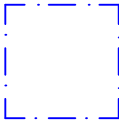
LEGEND

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**PROJECT ADDRESS**  
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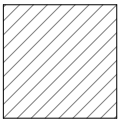
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**DA10**  
  
**DATE**  
Friday, 30 October  
2020

**DRAWING NAME**  
DRIVEWAY PLAN / LONG  
SECTION  
  
**SCALE**  
1:100 @A3

AREA CALCULATIONS  
1:200@A3



SITE AREA  
422m<sup>2</sup>



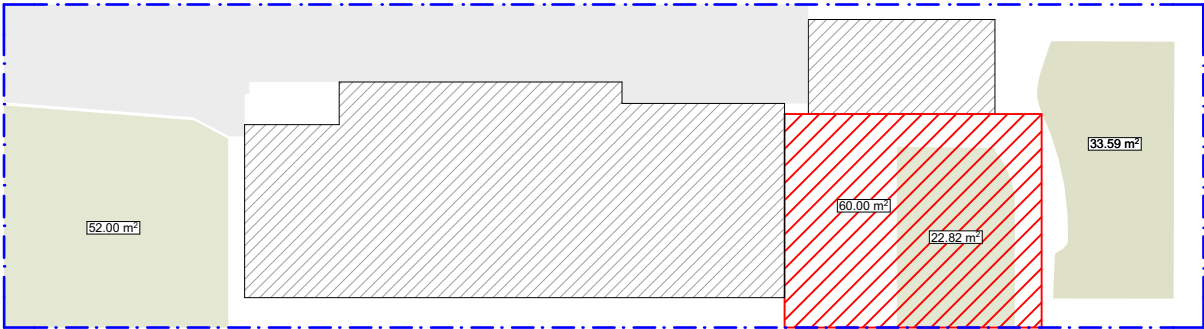
BUILDING FOOTPRINT



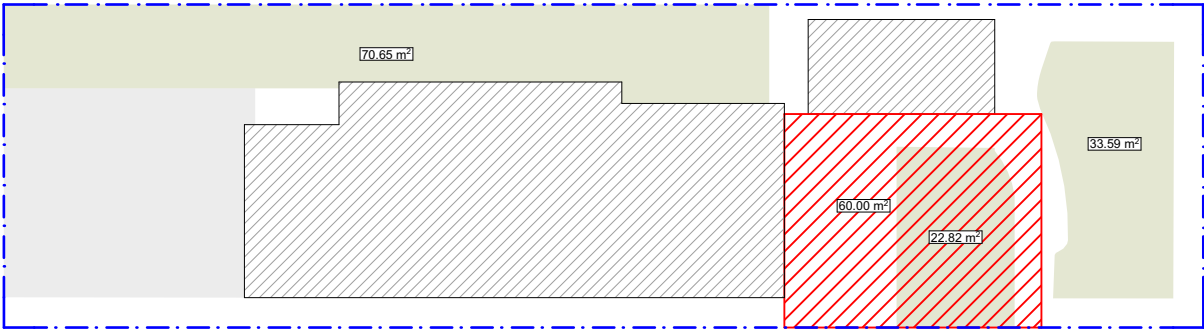
LANDSCAPING AREA  
EXISTING: 107.61m<sup>2</sup>  
PROPOSED:127.06m<sup>2</sup>



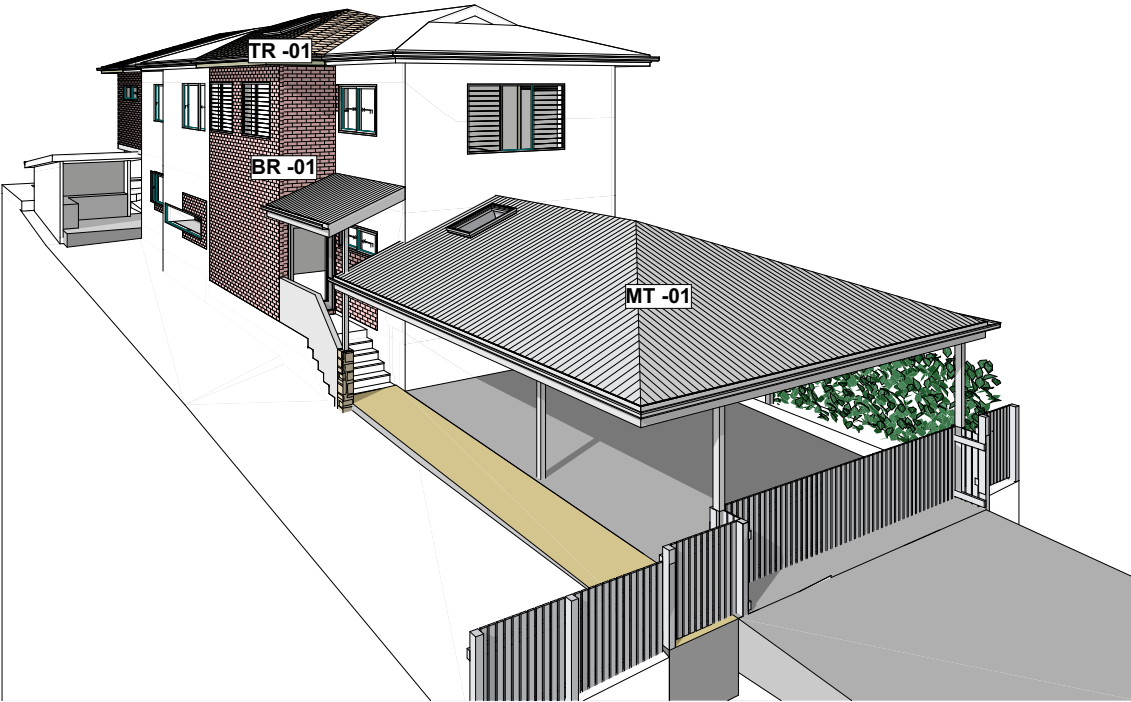
PRIVATE OPEN SPACE  
60m<sup>2</sup>



EXISTING AREA CALCULATIONS  
1:250@A3



PROPOSED AREA CALCULATIONS  
1:250@A3



**MT-01**  
PAINTED COLOURBOND METAL ROOF SHEETING.  
'IRONSTONE' OR SIMILAR



**TR-01**  
TILED ROOF  
TO MATCH EXISTING

**BR-01**  
FACE BRICKWORK  
TO MATCH EXISTING

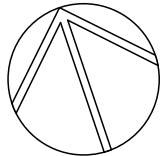
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LEGEND

**CLIENT**  
KAREN & ANTHONY  
PELLICANO  
  
**PROJECT ADDRESS**  
73 FULLER STREET,  
COLLARROY PLATEAU  
2097

**DRAWING NO.**  
**DA11**  
  
**DATE**  
Friday, 30 October  
2020

**DRAWING NAME**  
AREA CALCULATIONS /  
SAMPLE BOARD  
  
**SCALE**  
1:250 @A3








ACTION PLANS


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A	12/10/2020	DEVELOPMENT APPLICATION	AL

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**LEGEND**  

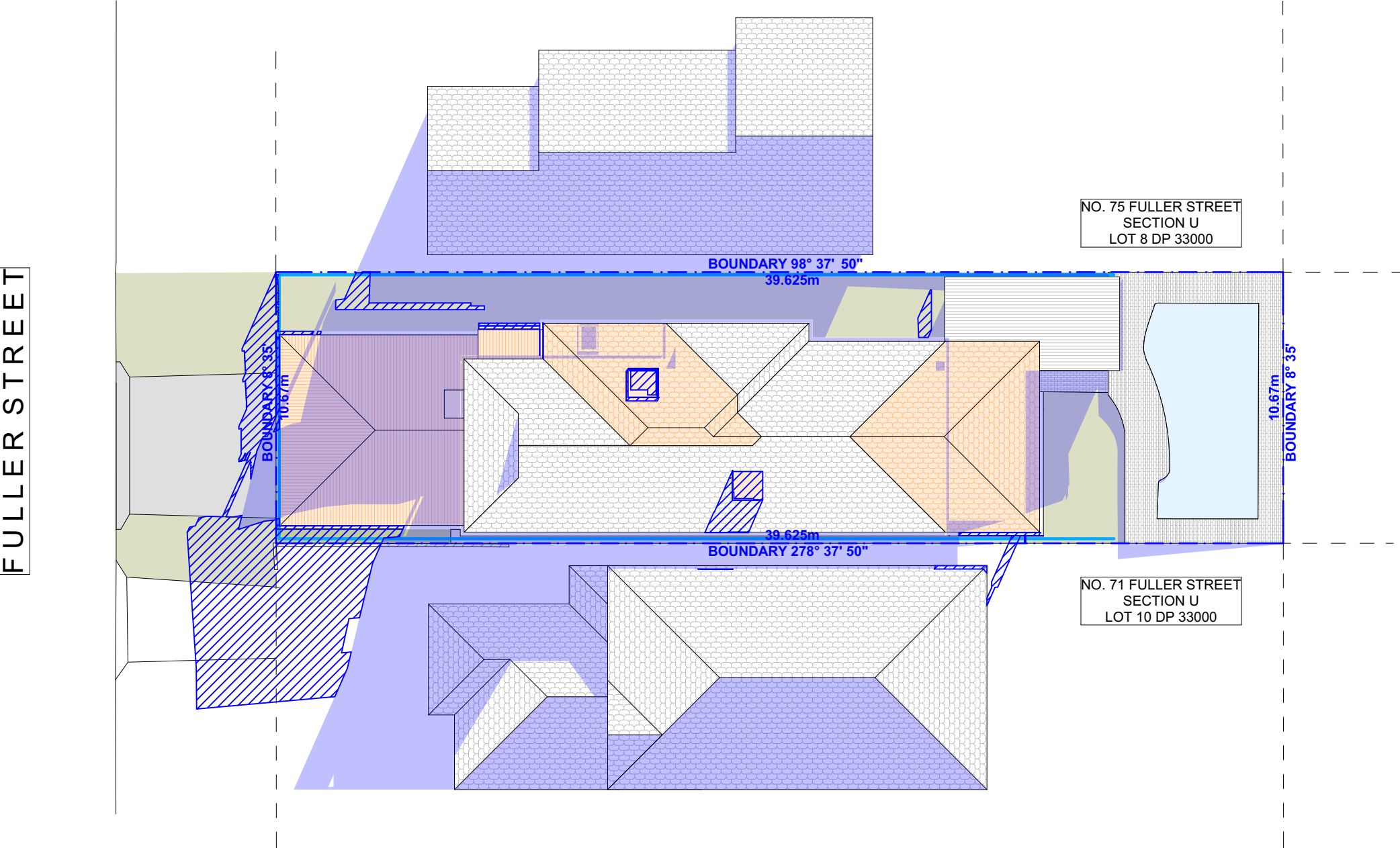
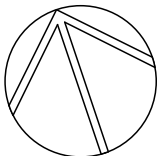
 EXISTING SHADOWS

 PROPOSED SHADOWS

**CLIENT**  
KAREN & ANTHONY  
PELLICANO  
  
**PROJECT ADDRESS**  
73 FULLER STREET,  
COLLARROY PLATEAU  
2097

**DRAWING NO.**  
**DA12**  
  
**DATE**  
Friday, 30 October  
2020

**DRAWING NAME**  
WINTER SOLSTICE 9 AM  
  
**SCALE**  
1:200 @A3





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**LEGEND**  

EXISTING SHADOWS

PROPOSED SHADOWS

**CLIENT**  
KAREN & ANTHONY  
PELLICANO

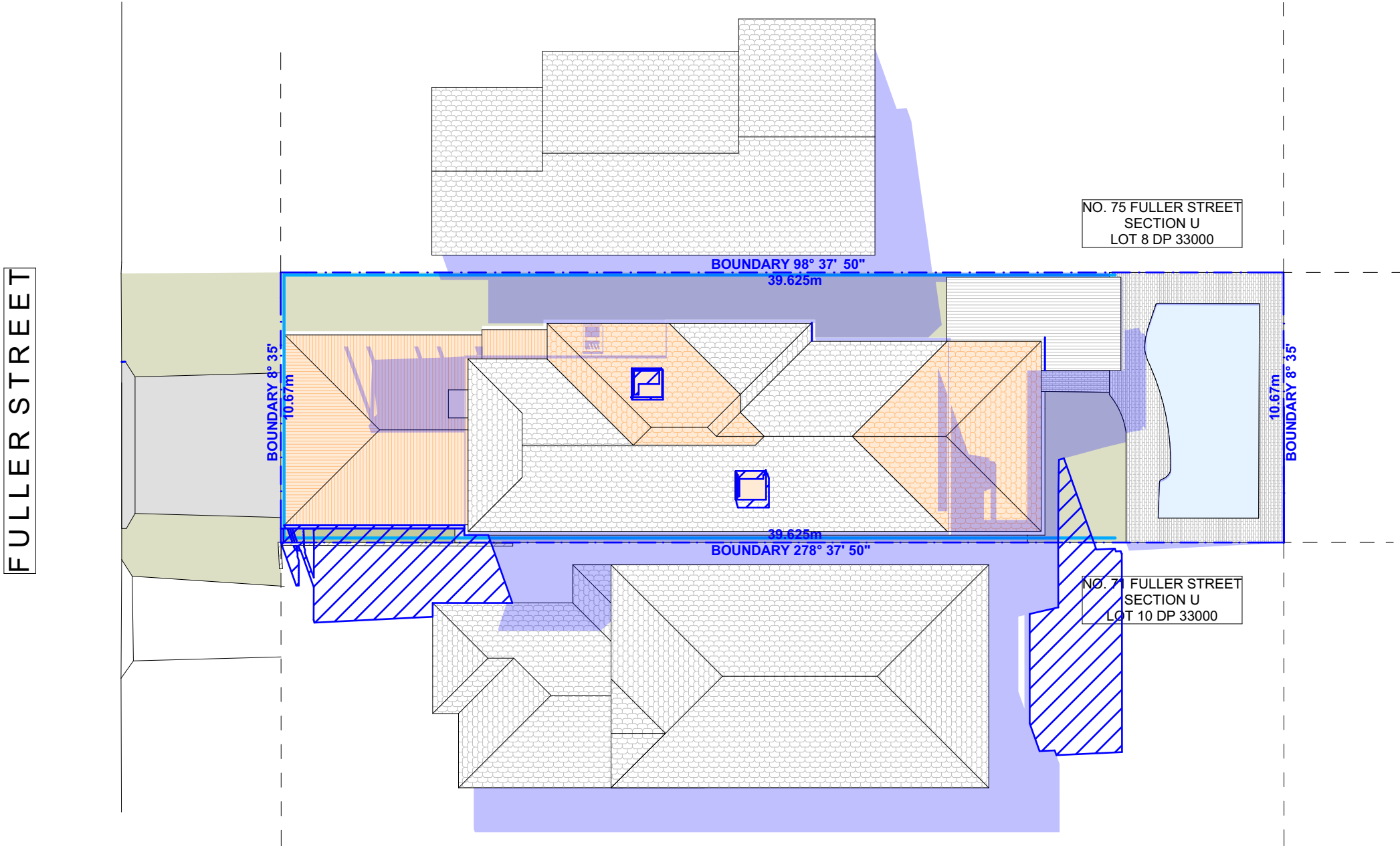
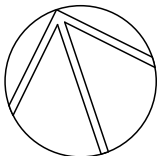
**PROJECT ADDRESS**  
73 FULLER STREET,  
COLLARROY PLATEAU  
2097

**DRAWING NO.**  
DA13

**DATE**  
Friday, 30 October  
2020

**DRAWING NAME**  
WINTER SOLSTICE 12 PM

**SCALE**  
1:200 @A3





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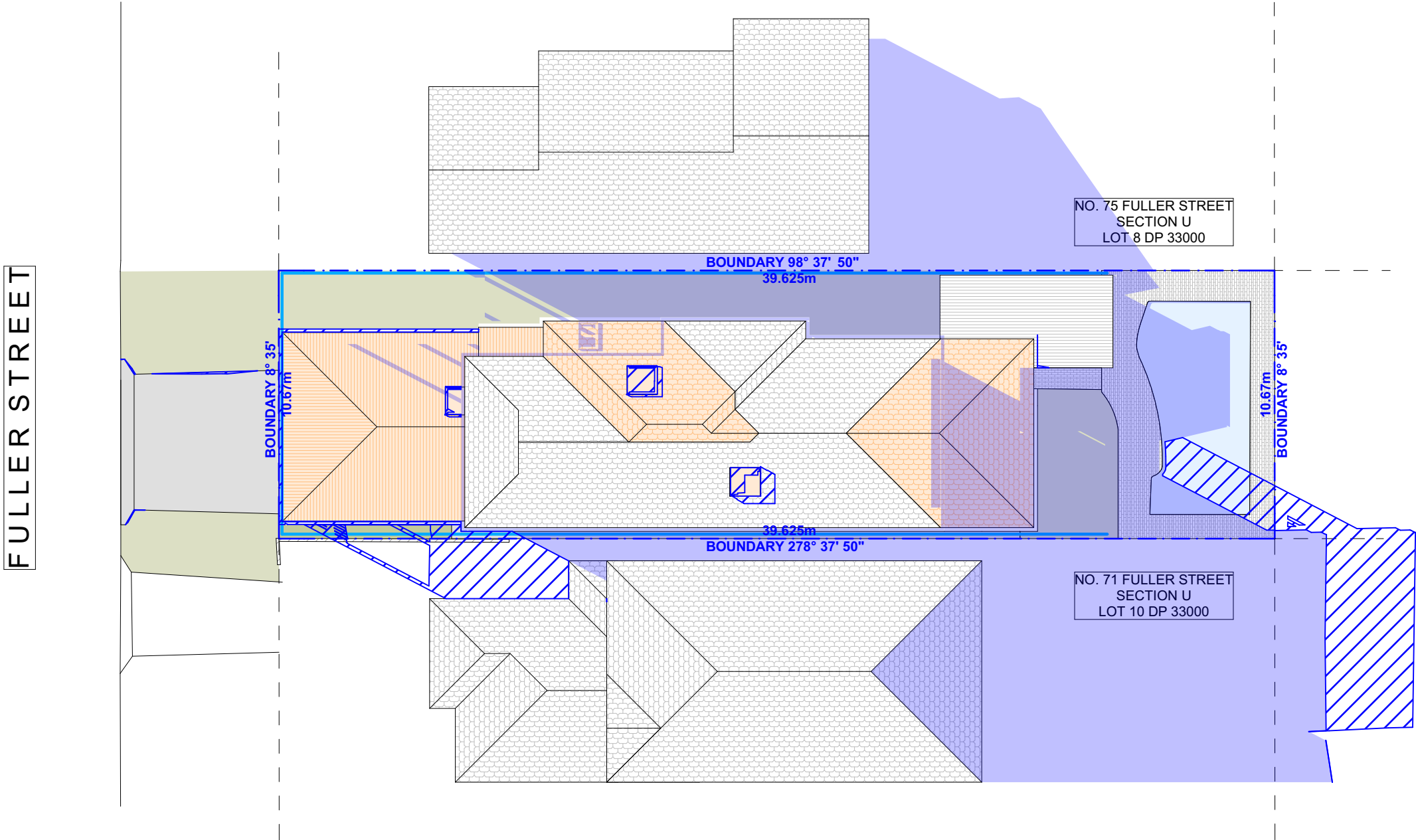
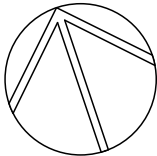
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LEGEND	
	EXISTING SHADOWS
	PROPOSED SHADOWS

**CLIENT**  
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PELLICANO  
  
**PROJECT ADDRESS**  
73 FULLER STREET,  
COLLARROY PLATEAU  
2097

**DRAWING NO.**  
**DA14**  
  
**DATE**  
Friday, 30 October  
2020

**DRAWING NAME**  
WINTER SOLSTICE 3 PM  
  
**SCALE**  
1:200 @A3





Project address	
Project name	73 FULLER STREET
Street address	73 FULLER Street COLLAROY PLATEAU 2097
Local Government Area	Northern Beaches Council
Plan type and number	Deposited Plan 33000
Lot number	9
Section number	U
Project type	
Dwelling type	Separate dwelling house
Type of alteration and addition	My renovation work is valued at \$50,000 or more, and does not include a pool (and/or spa).

Certificate Prepared by (please complete before submitting to Council or PCA)
Name / Company Name: Action Plans
ABN (if applicable): 17118297587

Fixtures and systems	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Lighting		✓	✓
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.			
Fixtures		✓	✓
The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.			
The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.		✓	✓
The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.		✓	

Construction	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Insulation requirements	✓	✓	✓
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.			
Construction	Additional insulation required (R-value)	Other specifications	
suspended floor with open subfloor: framed (R0.7).	R0.8 (down) (or R1.50 including construction)		
external wall: brick veneer	R1.16 (or R1.70 including construction)		
flat ceiling, pitched roof	ceiling: R3.00 (up), roof: foil/sarking	medium (solar absorptance 0.475 - 0.70)	

Glazing requirements	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check			
<b>Windows and glazed doors</b>						
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.	✓	✓	✓			
The following requirements must also be satisfied in relation to each window and glazed door:		✓	✓			
Each window or glazed door with standard aluminium or timber frames and single clear or toned glass may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions.		✓	✓			
Each window or glazed door with improved frames, or pyrolytic low-e glass, or clear/air gap/clear glazing, or toned/air gap/clear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted.		✓	✓			
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.	✓	✓	✓			
Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.		✓	✓			
External louvres and blinds must fully shade the window or glazed door beside which they are situated when fully drawn or closed.		✓	✓			
Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.		✓	✓			
<b>Windows and glazed doors glazing requirements</b>						
Window / door no.	Orientation	Area of glass inc. frame (m2)	Overshadowing Height (m) Distance (m) Shading device Frame and glass type			
W01	N	1.08	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W02	N	2.14	0	0	external louvre/blind (adjustable)	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W03	N	3.3	0	0	external louvre/blind (adjustable)	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)

Glazing requirements						Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Window / door no.	Orientation	Area of glass inc. frame (m2)	Overshadowing  Height (m)	Distance (m)	Shading device	Frame and glass type		
W04	S	2.16	0	0	none	U-value: 7.63, SHGC: 0.75)		
W05	S	0.42	0	0	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)		
W06	W	1.94	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)		
W07	N	1.98	0	0	eave/verandah/pergola/balcony >=600 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)		
W08	N	2.34	0	0	eave/verandah/pergola/balcony >=600 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)		
W09	N	2.34	0	0	eave/verandah/pergola/balcony >=600 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)		
W10	N	1.26	0	0	eave/verandah/pergola/balcony >=600 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)		
W11	E	1.98	0	0	eave/verandah/pergola/balcony >=600 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)		
W12	E	1.98	0	0	eave/verandah/pergola/balcony >=600 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)		
W13	S	1.26	0	0	eave/verandah/pergola/balcony >=600 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)		
W14	S	2.16	0	0	eave/verandah/pergola/balcony >=600 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)		
W15	S	1.19	0	0	eave/verandah/pergola/balcony >=600 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)		
W16	W	3.5	0	0	external louvre/blind (adjustable)	standard aluminium, single clear, (or		

Glazing requirements						Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Window / door no.	Orientation	Area of glass inc. frame (m2)	Overshadowing		Shading device	Frame and glass type		
			Height (m)	Distance (m)				
D01	W	2.44	0	0	eave/verandah/pergola/balcony >=900 mm	U-value: 7.63, SHGC: 0.75) standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)		
D02	E	9.79	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)		
Skylights								
The applicant must install the skylights in accordance with the specifications listed in the table below.							✓	✓
The following requirements must also be satisfied in relation to each skylight:								✓
Each skylight may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below.								✓
External awnings and louvres must fully shade the skylight above which they are situated when fully drawn or closed.								✓
Skylights glazing requirements								
Skylight number	Area of glazing inc. frame (m2)	Shading device		Frame and glass type				
S1	1.44	external fixed awning or blind		aluminium, moulded plastic single clear, (or U-value: 6.21, SHGC: 0.808)				
S2	1.44	external fixed awning or blind		aluminium, moulded plastic single clear, (or U-value: 6.21, SHGC: 0.808)				



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All window & door dimensions, orientation, glazing materials, opening types, frame types are to be confirmed by a suitably qualified person prior to the ordering of any such materials are to take place.  
U value takes precedence over glazing type/colour in all cases.  
all new glazing must meet the BASIX specified frame and glass type, **OR** meet the ecified U value and SHGC value.

### CLIENT

KAREN & ANTHONY  
PELLICANO

### PROJECT ADDRESS

73 FULLER STREET,  
COLLARROY PLATEAU  
2097

### DRAWING NO.

**DA15**

### DATE

Friday, 30 October  
2020

### DRAWING NAME

BASIX COMMITMENTS