

WASTE MANAGEMENT PLAN
scale 1:200

REVISION NOTES
rev 1 - 14 jan 2022 - Lift added

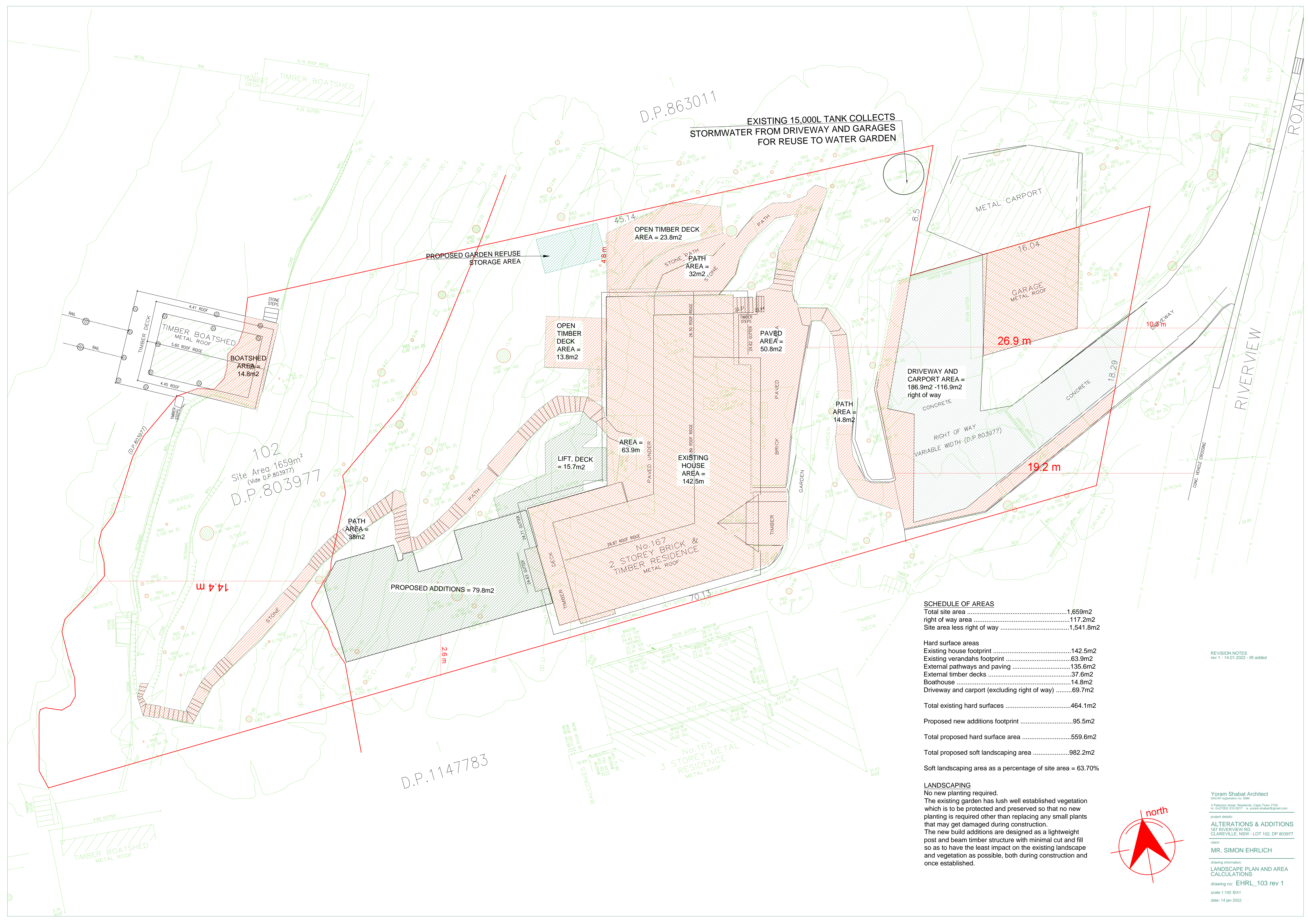
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project details:
ALTERATIONS & ADDITIONS
167 RIVERVIEW RD.
CLAREVILLE, NSW - LOT 102, DP 803977

client:
MR. SIMON EHRLICH

drawing information:
WASTE MANAGEMENT PLAN

drawing no: **EHRL_102 rev 1**
scale 1:100 @A1
date: 14 Jan 2022 2021



EXISTING 15,000L TANK COLLECTS
STORMWATER FROM DRIVEWAY AND GARAGES
FOR REUSE TO WATER GARDEN

PROPOSED GARDEN REFUSE
STORAGE AREA

102
Site Area 1659m²
(Vide D.P.803977)
D.P.803977

PATH
AREA =
38m²

PROPOSED ADDITIONS = 79.8m²

OPEN
TIMBER
DECK
AREA =
13.8m²

LIFT, DECK
= 15.7m²

AREA =
63.9m²

EXISTING
HOUSE
AREA =
142.5m²

No.167
2 STOREY BRICK &
TIMBER RESIDENCE
METAL ROOF

OPEN TIMBER DECK
AREA = 23.8m²

PATH
AREA =
32m²

PAVED
AREA =
50.8m²

PATH
AREA =
14.8m²

DRIVEWAY AND
CARPORT AREA =
186.9m² -116.9m²
right of way

26.9 m

19.2 m

SCHEDULE OF AREAS

Total site area	1,659m ²
right of way area	117.2m ²
Site area less right of way	1,541.8m ²

Hard surface areas

Existing house footprint	142.5m ²
Existing verandahs footprint	63.9m ²
External pathways and paving	135.6m ²
External timber decks	37.6m ²
Boathouse	14.8m ²
Driveway and carport (excluding right of way)	69.7m ²

Total existing hard surfaces464.1m²

Proposed new additions footprint95.5m²

Total proposed hard surface area559.6m²

Total proposed soft landscaping area982.2m²

Soft landscaping area as a percentage of site area = 63.70%

LANDSCAPING

No new planting required.
The existing garden has lush well established vegetation
which is to be protected and preserved so that no new
planting is required other than replacing any small plants
that may get damaged during construction.
The new build additions are designed as a lightweight
post and beam timber structure with minimal cut and fill
so as to have the least impact on the existing landscape
and vegetation as possible, both during construction and
once established.

REVISION NOTES

rev 1 - 14.01.2022 - lift added

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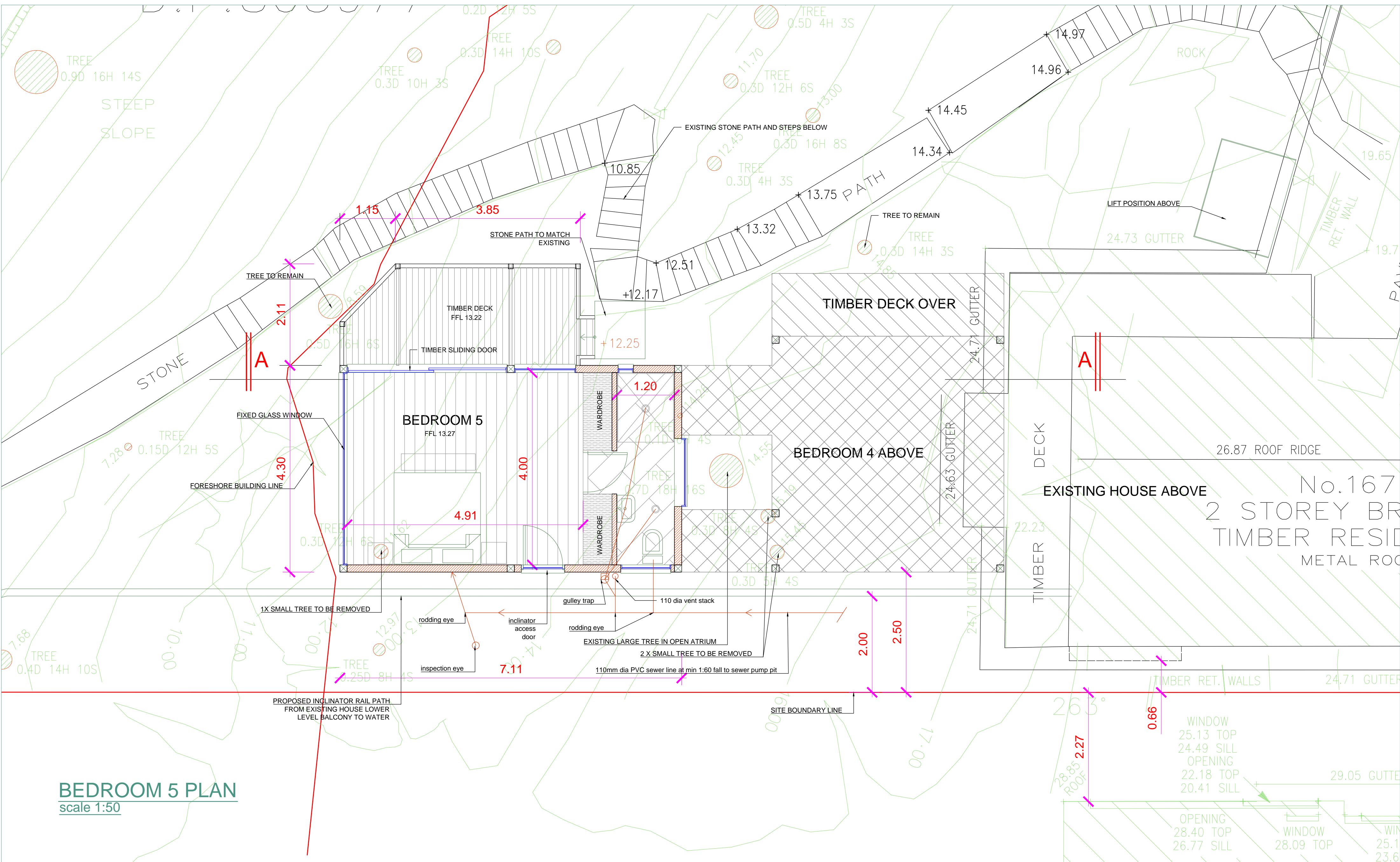
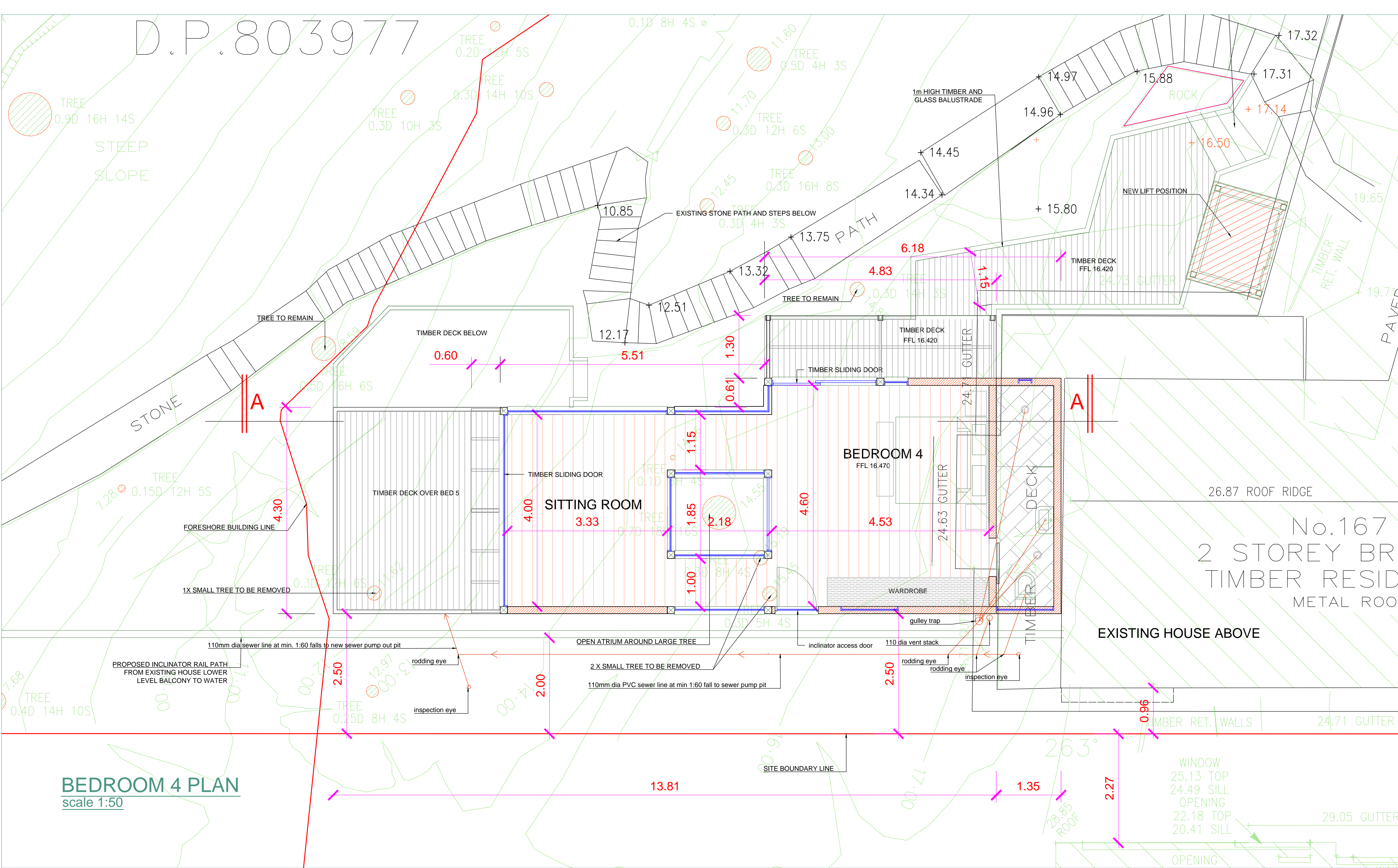
MR. SIMON EHRLICH

drawing information:
**LANDSCAPE PLAN AND AREA
CALCULATIONS**

drawing no: EHRL_103 rev 1

scale 1:100 @A1

date: 14 Jan 2022



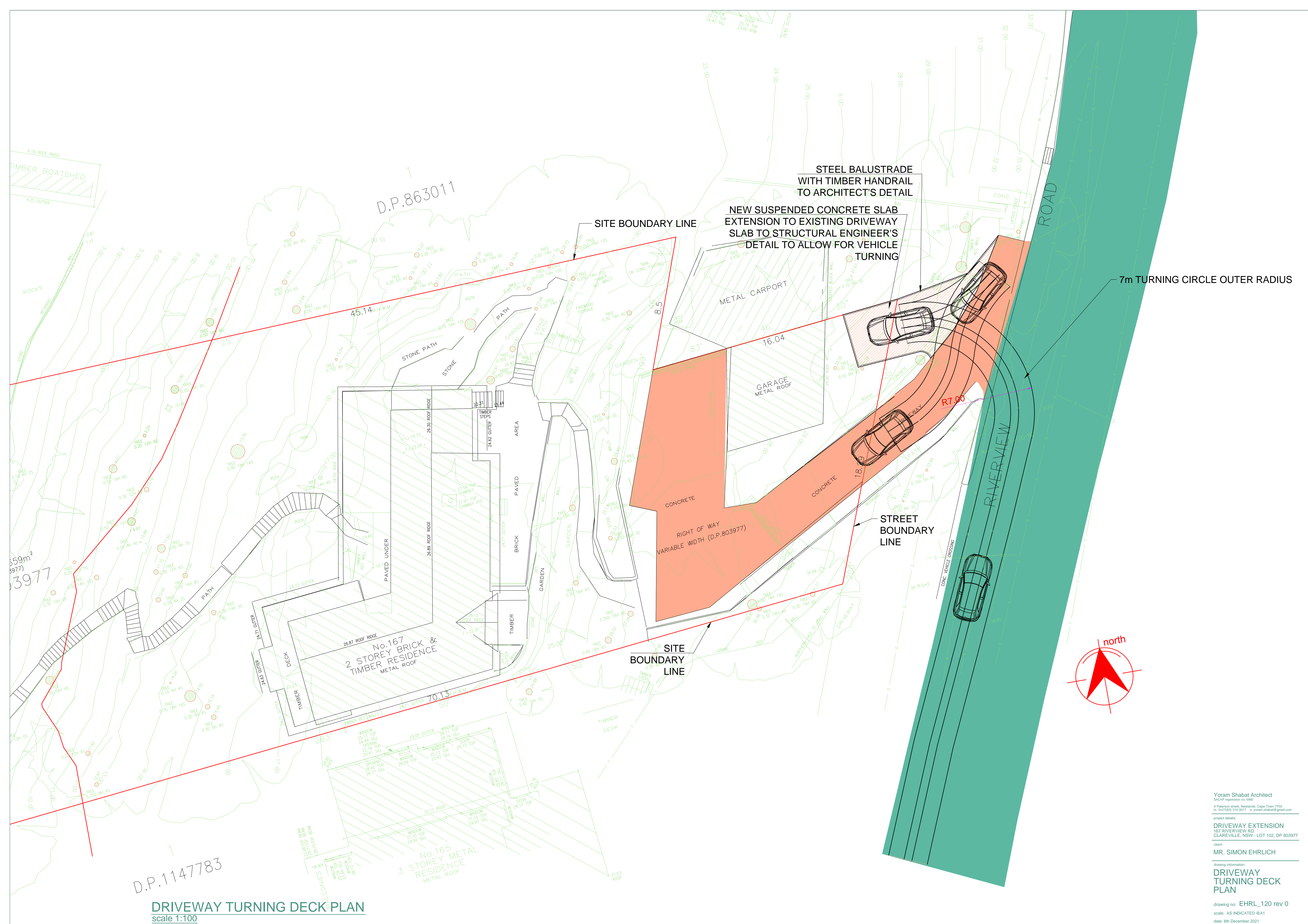
REVISION NOTES:
rev 1 - 29.11.2021 - inclinator rail path amended
rev 2 - 29.11.2021 - roof over bed 4 deck cut back
rev 3 - 06.12.2021 - sewer added
rev 4 - 14.01.2022 - lift added

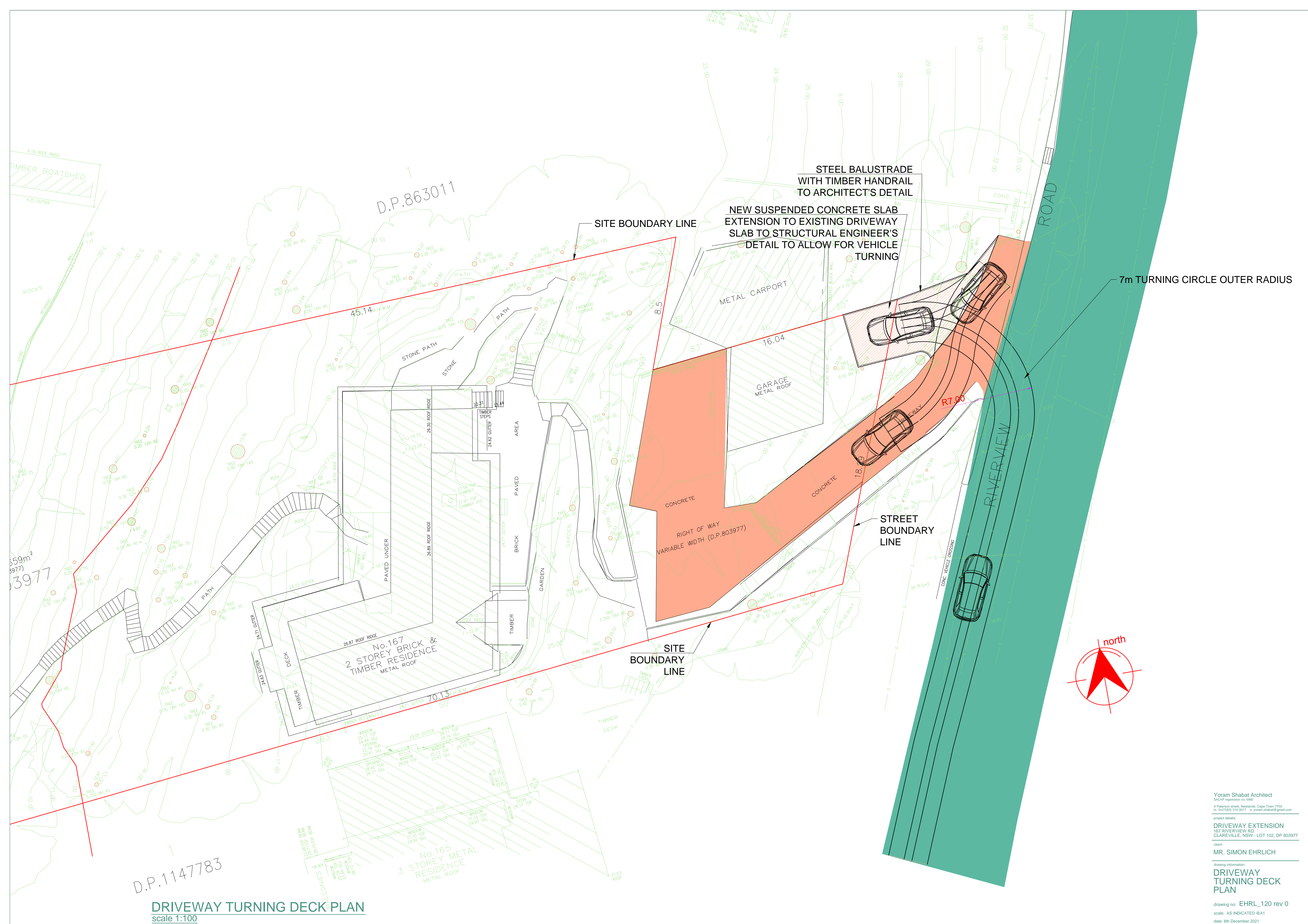
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167 RIVERVIEW RD.
CLAREVILLE, NSW - LOT 102, DP 803977
client:
MR. SIMON EHRlich

drawing information:
FLOOR PLANS

drawing no: **EHRL_110 rev 4**
scale: AS INDICATED @A1
date: 14 dec 2022





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project details:
DRIVEWAY EXTENSION
167 RIVERVIEW RD.
CLAREVILLE, NSW - LOT 102, DP 803977

client:
MR. SIMON EHRlich

drawing information:
DRIVEWAY TURNING DECK PLAN

drawing no: EHRL_120 rev 0
scale: AS INDICATED @A1
date: 6th December 2021

SITE BOUNDARY LINE

32.00
31.00
30.00
29.00
28.00
27.00
26.00
25.00
24.00
23.00
22.00
21.00
20.00
19.00
18.00
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11.00
10.00
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8.00
7.00
6.00
5.00
4.00
3.00
2.00
1.00
0.00

SECTION AA
scale 1:100

building envelope 8.5m building height plane on section line
foreshore building line
colorbond roof at 10 deg slope
timber balustrade to match existing house with glass infill panels
timber deck over waterproofed flat roof
450mm overhang
200mm x 50mm timber joists
floor to ceiling glass wall
1.2m cantilevered overhang
200x50 timber joists with 140mm thk insulation bats and 22mm thk shutterply infill panels below to arch detail
3.61
600mm overhang
2.50
SITTING ROOM
2.75
BEDROOM 4
2.75
timber deck over bedroom 4 to connect to existing house verandah
existing house timber verandah
bedroom 4 bathroom to occupy space below existing timber deck of existing house
concrete footing to structural engineer's detail
200x50 timber joists with 140mm thk insulation bats and 22mm thk shutterply infill panels below to arch detail
stone retaining wall
overall slope of natural ground line across the proposed building footprint = 27 degrees
concrete footing to structural engineer's detail
built in cupboard
existing ground slope on section line
150mm x 150mm treated timber post to structural engier's specification
position of sewer pump and tank
concrete footings to structural engineer's detail

36.00
35.00
34.00
33.00
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7.00
6.00
5.00
4.00
3.00
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1.00
0.00

SITE STREET BOUNDARY LINE

STREET KERB

REVISION NOTES:
rev 1 - 29.11.2021 - building envelope control line added
rev 2 - 29.11.2021 - bed 4 deck roof cut back
rev 3 - 06.12.2021 - sewer line and notes added

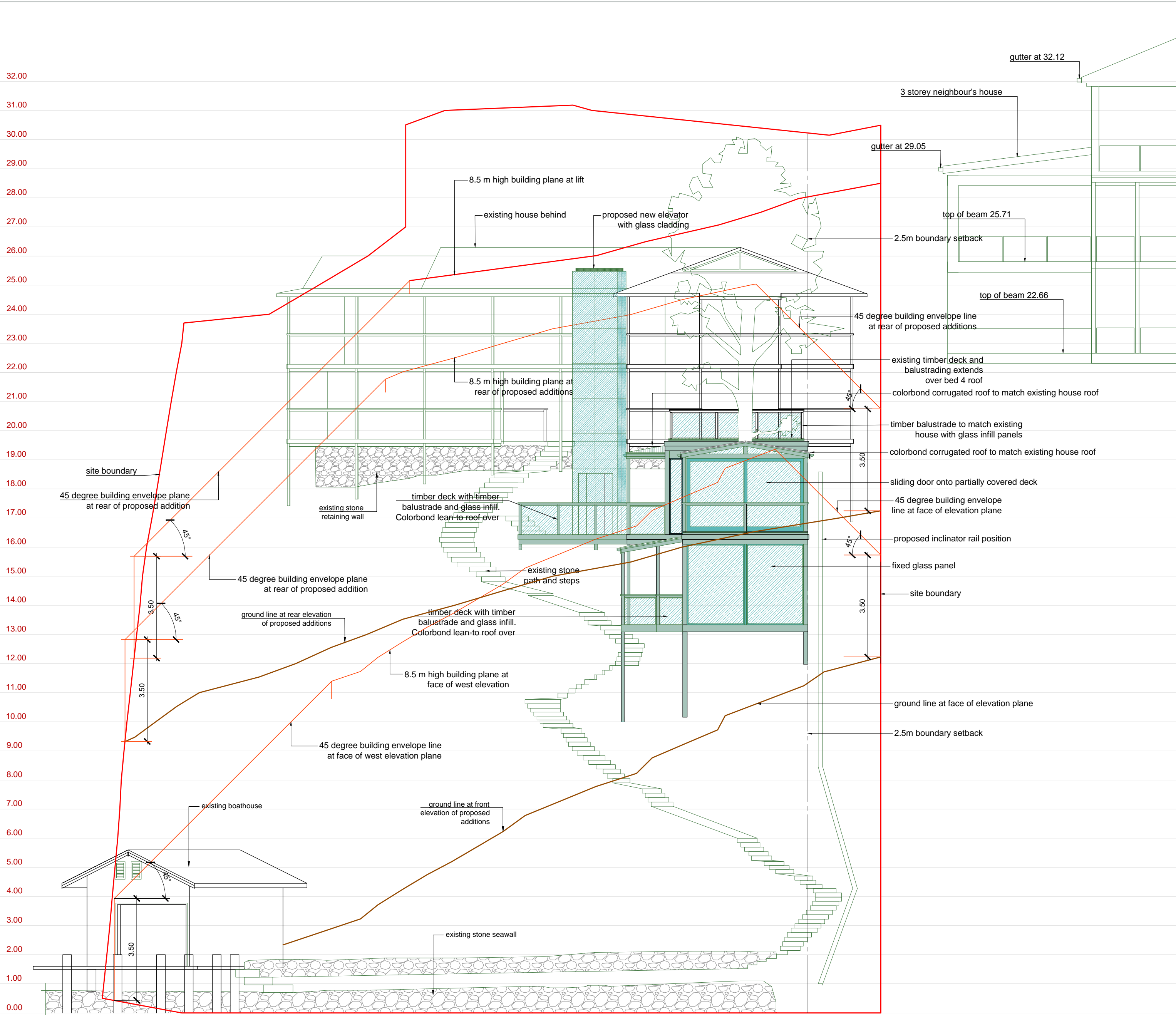
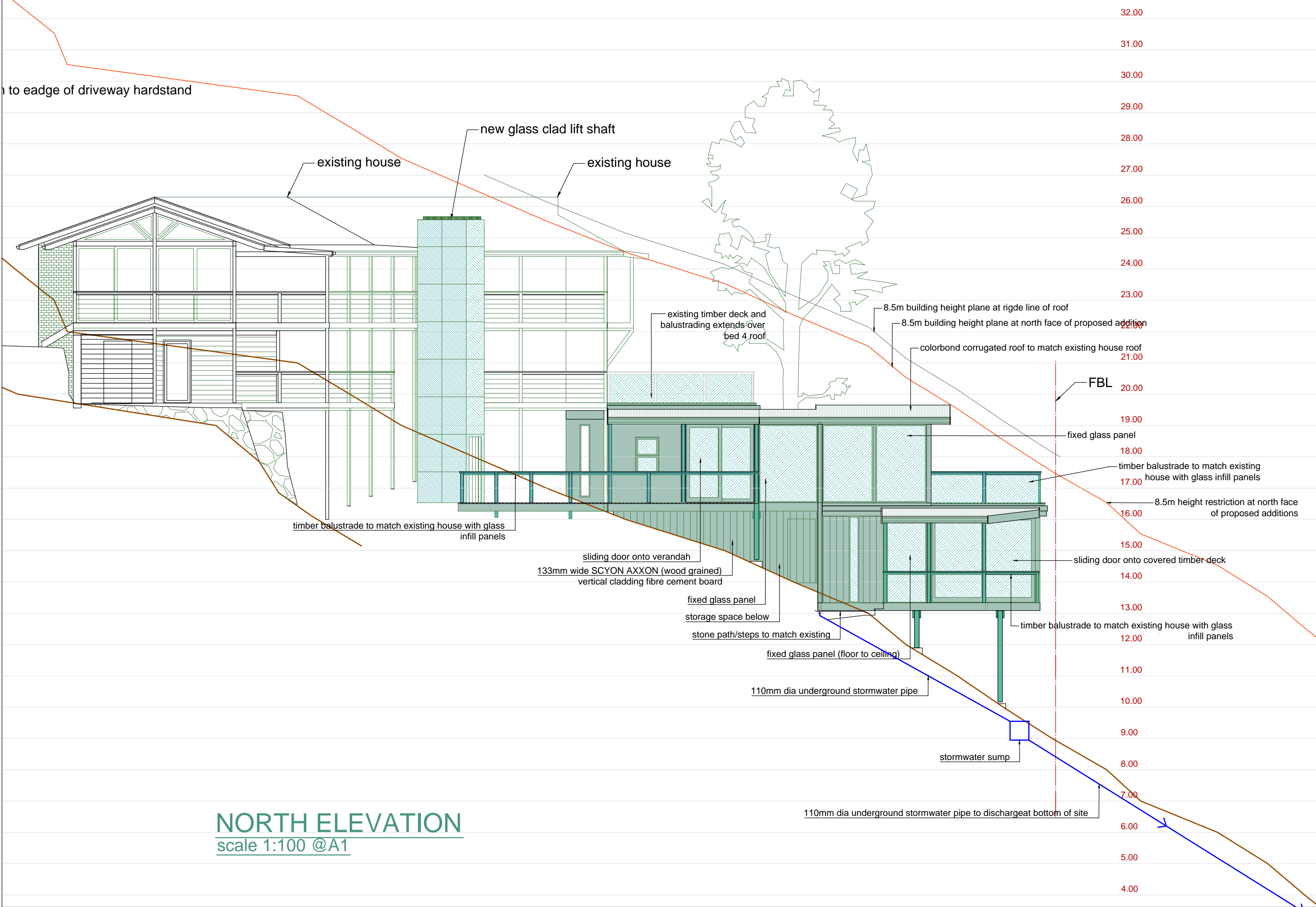
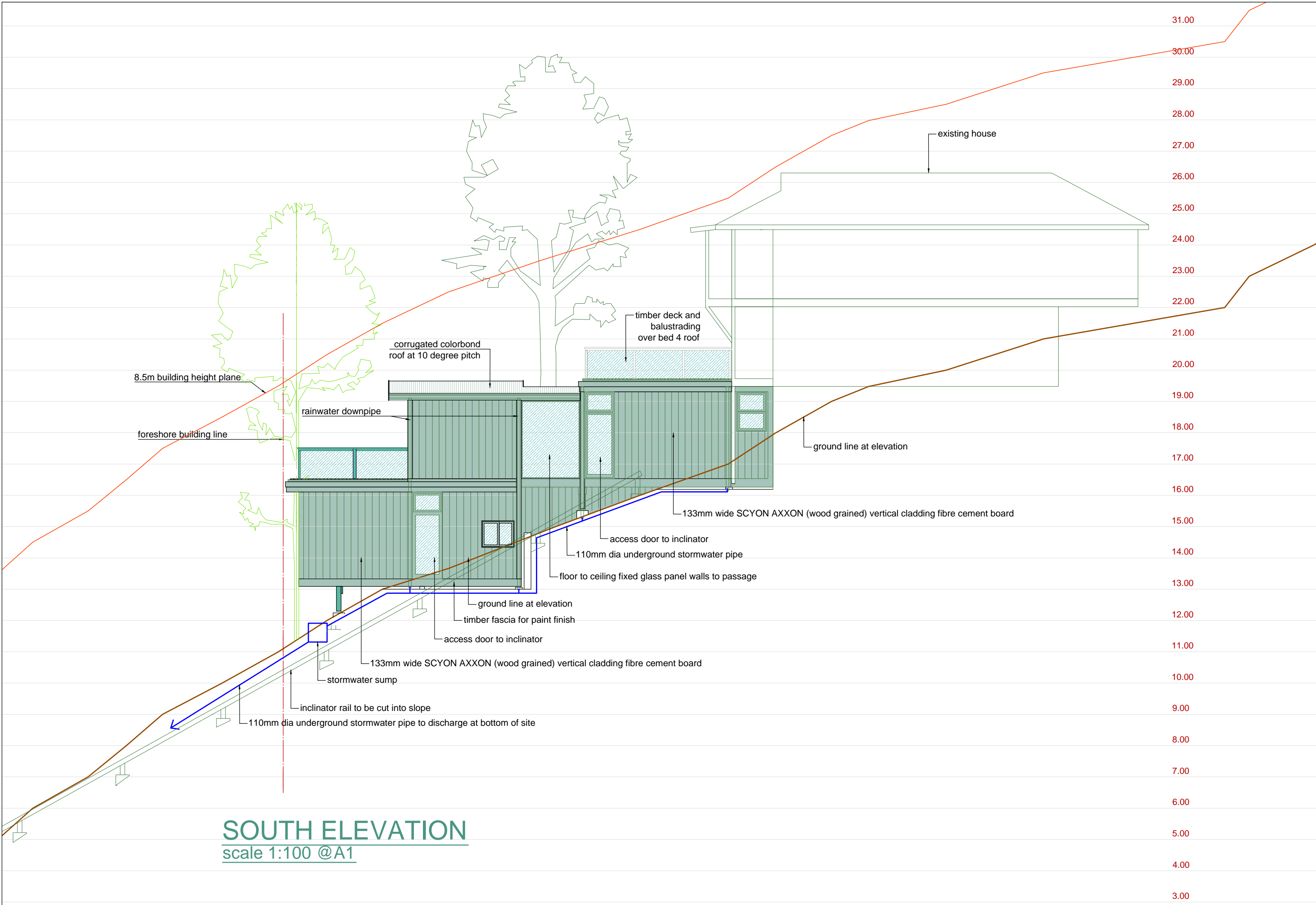
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drawing information:
SECTIONS

drawing no: EHRL_200 rev 3
scale: AS INDICATED @ A1
date: 6th December 2021



WEST ELEVATION
scale 1:100 @A1

NOTES:

STRUCTURAL
New build - lightweight timber frame construction with exposed 150 x 150 treated timber posts.
External walls to be timber frame construction with 80mm insulation bats - overall thickness to be 150mm overall to match exposed posts.
All structural elements to be constructed in accordance with the Structural Engineer's detail and specification.

EXTERNAL FINISHES
Walls - external cladding to be vertical 133mm grained "SCYON AXON" fibre cement board cladding for paint finish.

External timber and scyon axon wall cladding to be painted DULUX "ENDLESS DUSK" SN4G3 or similar mid grey to match existing house colour.

Roof - main roof to be finished with timber decking to match existing house verandah.
Roof - balcony roof to be corrugated "victorian" profile colorbond roof, colour: COLORBOND MONUMENT or similar dark grey to match existing house roof.

Floors - External floors to be timber decking to match existing house verandah. Internal floors to be 140mm wide x 21mm thk Blackbutt natural timber floor boards.

Windows and doors - purpose made blackbutt timber glazed doors and windows to match existing house windows.



REV NOTES:
rev 1 - 29.11.2021 - window layout amended
rev 2 - 29.11.2021 - bed 4 deck roof cut back
rev 3 - 08.12.2021 - stormwater added, external finishes notes added
rev 4 - 10.12.2021 - building envelope lines and notes added
rev 5 - 14.01.2022 - lift added to north and west elev, inclinator rail added to south elev. Neighbours house added to west elevation

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167 RIVERVIEW RD.
CLAREVILLE, NSW - LOT 102, DP 803977

client:
MR. SIMON EHRlich

drawing information:
ELEVATIONS

drawing no: **EHLR_300 rev 5**
scale 1:100 @A1
date: 14 jan 2022