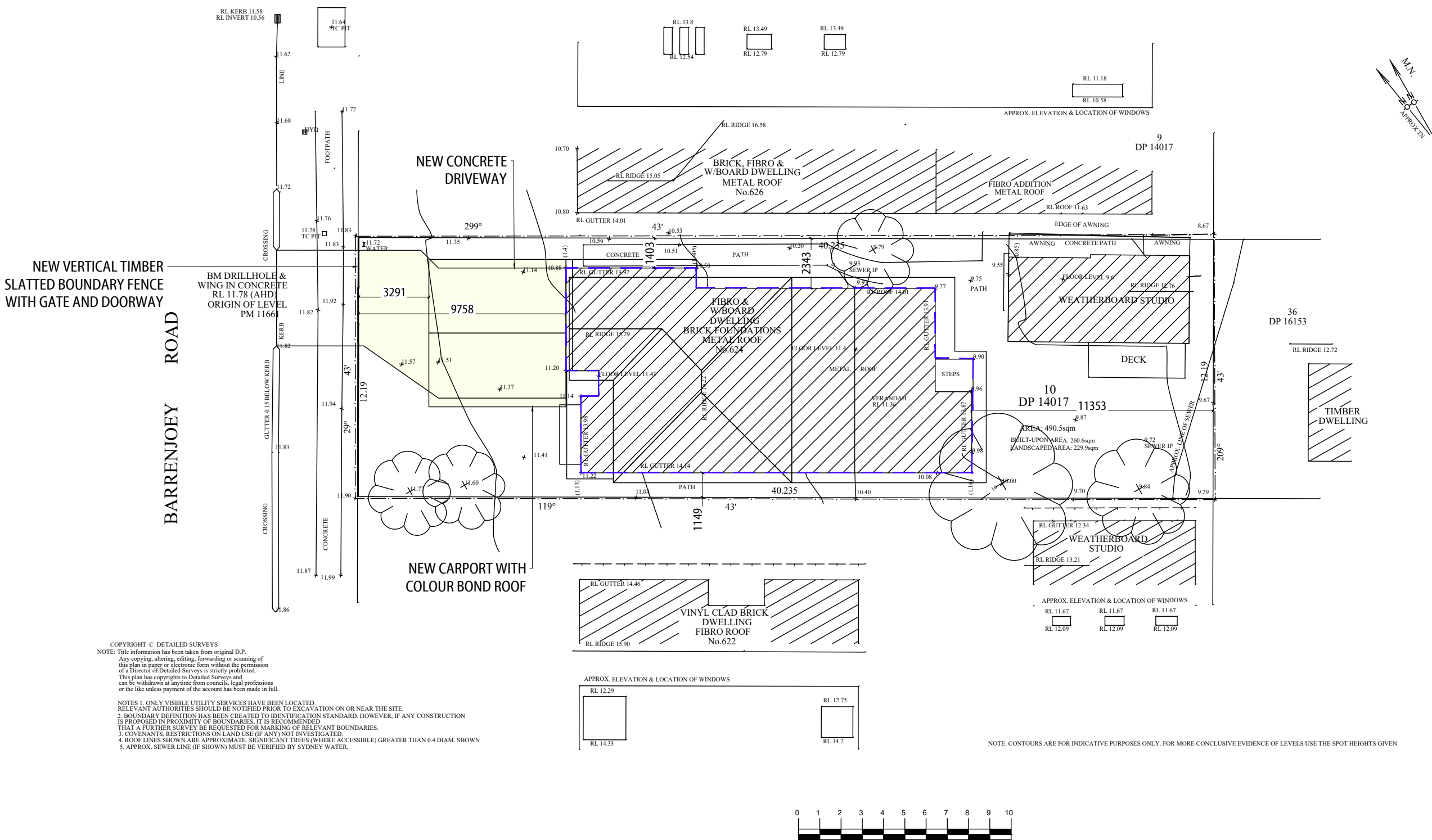


- General Notes**
- G1. THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH ALL ARCHITECTURAL AND OTHER CONSULTANTS DRAWINGS AND SPECIFICATIONS AND WITH SUCH DURING THE COURSE OF THE PROJECT. ANY DISCREPANCIES ARE TO BE REFERRED TO THE PRINCIPAL FOR DECISION BEFORE PROCEEDING WITH THE WORK.
- G2. ALL DIMENSIONS RELEVANT TO SETTING OUT AND OFF-SITE FABRICATION WORK SHALL BE VERIFIED BY THE BUILDER BEFORE CONSTRUCTION AND FABRICATION IS COMMENCED. DIMENSIONS SHALL NOT BE OBTAINED BY SCALING THE DRAWINGS.
- G3. DURING CONSTRUCTION THE STRUCTURE SHALL BE MAINTAINED IN A STABLE CONDITION AND NO PART SHALL BE OVERSTRESSED.
- G4. ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE SAA CODES AND THE BY-LAWS AND ORDINANCES OF THE RELEVANT BUILDING AUTHORITY.
- G5. ALL DIMENSIONS ARE IN MILLIMETRES UNLESS STATED OTHERWISE. ALL LEVELS ARE EXPRESSED IN METRES.
- G6. FLASHINGS AND DAMPROOF COURSE TO BE PLACED IN ACCORDANCE WITH GOOD BUILDING PRINCIPLES WHETHER SHOWN ON THE DETAILS OR NOT.
- G7. THIS DRAWING TO BE READ IN CONJUNCTION WITH HIA GENERAL HOUSING SPECIFICATION.
- Foundations**
- F1. UNDERFLOOR FILL SHALL BE IN ACCORDANCE WITH AS 2870.
- F2. TERMITE TREATMENT SHALL BE IN ACCORDANCE WITH AS 3660.1
- F3. THE UNDERFLOOR VAPOUR BARRIER SHALL BE IN ACCORDANCE WITH AS 2870
- F4. REINFORCEMENT SHALL CONFORM AND BE PLACED IN ACCORDANCE WITH AS 3600, AS 2870 AND THE ENGINEERS RECOMMENDATIONS.
- F5. STRUCTURAL CONCRETE SHALL BE IN ACCORDANCE WITH AS 3600. PRE MIXED CONCRETE SHALL BE MANUFACTURED IN ACCORDANCE WITH AS 1379.
- F6. PROVIDE ADEQUATE CROSS FLOOR VENTILATION TO THE SPACE UNDER SUSPENDED GROUND FLOOR.
- F7. ALL SLABS SHALL BE CURED IN ACCORDANCE WITH AS 3600.

- Masonry**
- M1. ALL CLAY BRICKS AND BRICKWORK SHALL COMPLY WITH AS/NZS 4455, AS/NZS 4456 AND AS 3700.
- M2. CONCRETE BLOCKS ARE TO BE IN ACCORDANCE WITH AS 2733.
- M3. ALL DAMP PROOF COURSES SHALL COMPLY WITH AS 3700 AND AS 2904.
- M4. CAVITY VENTILATION WEEP HOLES SHALL BE IN ACCORDANCE WITH AS 3700.
- M5. MORTAR SHALL COMPLY WITH AS 3700, JOINT TOLERANCES SHALL BE IN ACCORDANCE WITH AS 3700.
- M6. ALL WALL TIES SHALL BE MANUFACTURED IN ACCORDANCE WITH AS 2699 AND BE INSTALLED IN ACCORDANCE WITH AS 3700.
- Timber Framing**
- T1. ALL TIMBER FRAMEWORK SHALL COMPLY WITH AS 1684.
- T2. ROOF FRAMING TO BE IN ACCORDANCE WITH AS 1684.
- T3. TIMBER ROOF TRUSSES TO MANUFACTURERS DETAILS AND SPECIFICATIONS.
- T4. TIMBER BRACING TO BE IN ACCORDANCE WITH AS 1684.

- Tiling**
- T1. CEMENT MORTAR AND OTHER ADHESIVES SHALL COMPLY WITH AS 3958.1
- T2. INSTALLATION OF TILES SHALL BE IN ACCORDANCE WITH AS 3958.
- Claddings & Linings**
- C1. THE LINING OF WET AREA WALLS SHALL BE CONSTRUCTED IN
- C2. ACCORDANCE WITH AS 3740.
- ALL INTERNAL WET AREAS AND BALCONIES OVER INHABITABLE ROOMS TO BE WATER PROOFED TO AS 3740.
- Joinery**
- J1. ALL INTERNAL AND EXTERNAL TIMBER DOOR AND DOOR SETS SHALL BE IN ACCORDANCE WITH AS 1909. TIMBER DOORS AND DOOR SETS SHALL BE MANUFACTURED IN ACCORDANCE WITH AS 2688 AND AS 2689.
- J2. ALL GLAZING SHALL COMPLY WITH AS 1288.

- Steel Framing**
- ALL STEEL FRAMING INCLUDING FLOORS, WALLS AND ROOF FRAMING SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURERS RECOMMENDATIONS AND AS 3623.
- Roofing**
- R1. CONCRETE AND TERRACOTTA TILES SHALL COMPLY WITH AS 2049 AND BE INSTALLED IN ACCORDANCE WITH AS 2050.
- R2. METAL RAINWATER GOODS SHALL BE MANUFACTURED IN ACCORDANCE WITH AS 2179 AND INSTALLED IN ACCORDANCE WITH AS 2180.
- R3. SARKING TO COMPLY AND BE FIXED IN ACCORDANCE WITH AS/NZS 4200.1 & AS/NZS 4200.2.
- R4. WEATHERPROOFINGS AND FLASHINGS SHALL COMPLY WITH AS 2904, AS 1804 AND AS 3700.



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3D VISUALISATION
DEVELOPMENT APPLICATION
ASSISTANCE
COUNCIL COMPLIANT PLANS**

LEGEND:

EXISTING BUILDING OUTLINE

PROPOSED WORK

General Notes

proudly supporting **bear cottage**
CHILDREN'S HOSPITAL

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Project ADDITIONS AND ALTERATIONS	Sheet SP
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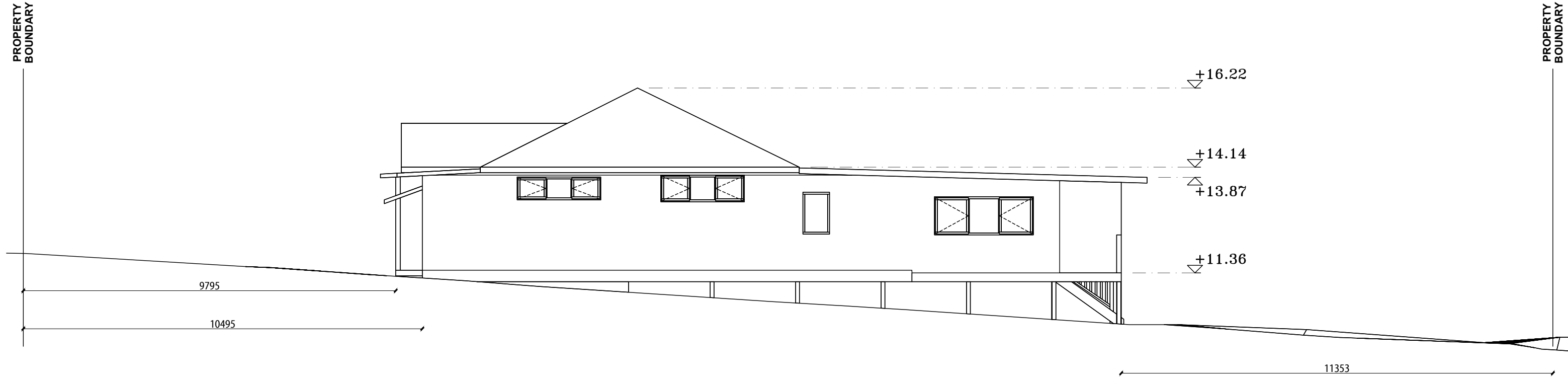
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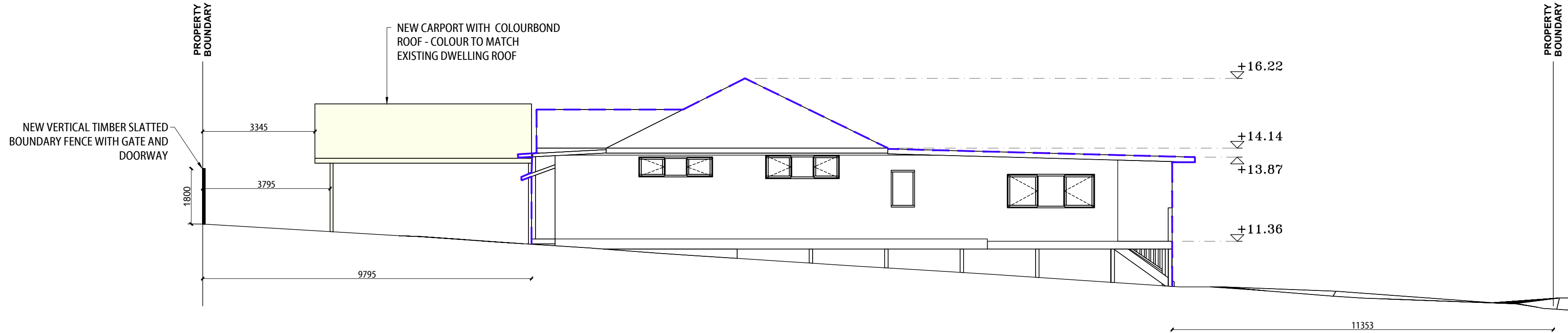
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No.	Revision/Issue	Date

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Project Name and Address
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624 BARRENJOEY RD
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NSW 2107



1 SOUTH WEST ELEVATION– EXISTING
Scale 1:100

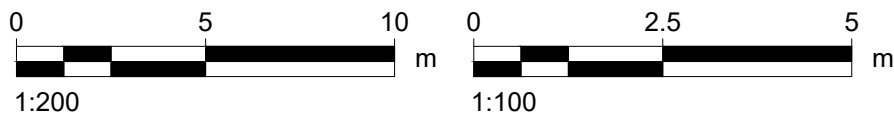


1 SOUTH WEST ELEVATION– PROPOSED
Scale 1:100

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LEGEND:

EXISTING BUILDING OUTLINE - - - - -

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LEGEND:
EXISTING BUILDING OUTLINE
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Project ADDITIONS AND ALTERATIONS	Sheet
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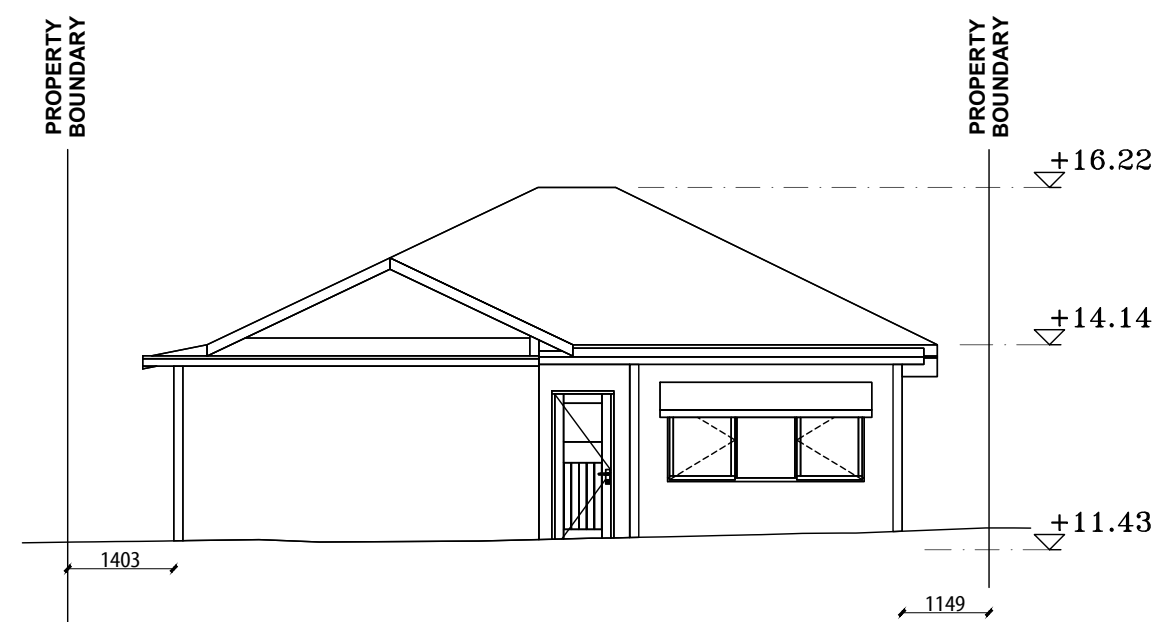
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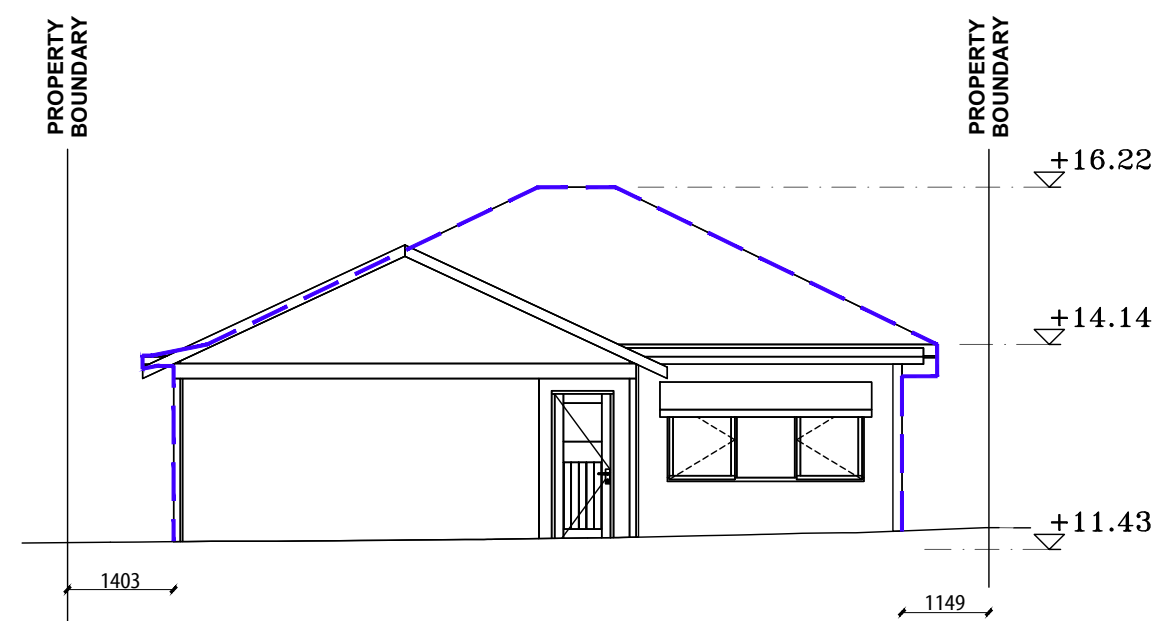
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No.	Revision/Issue	Date

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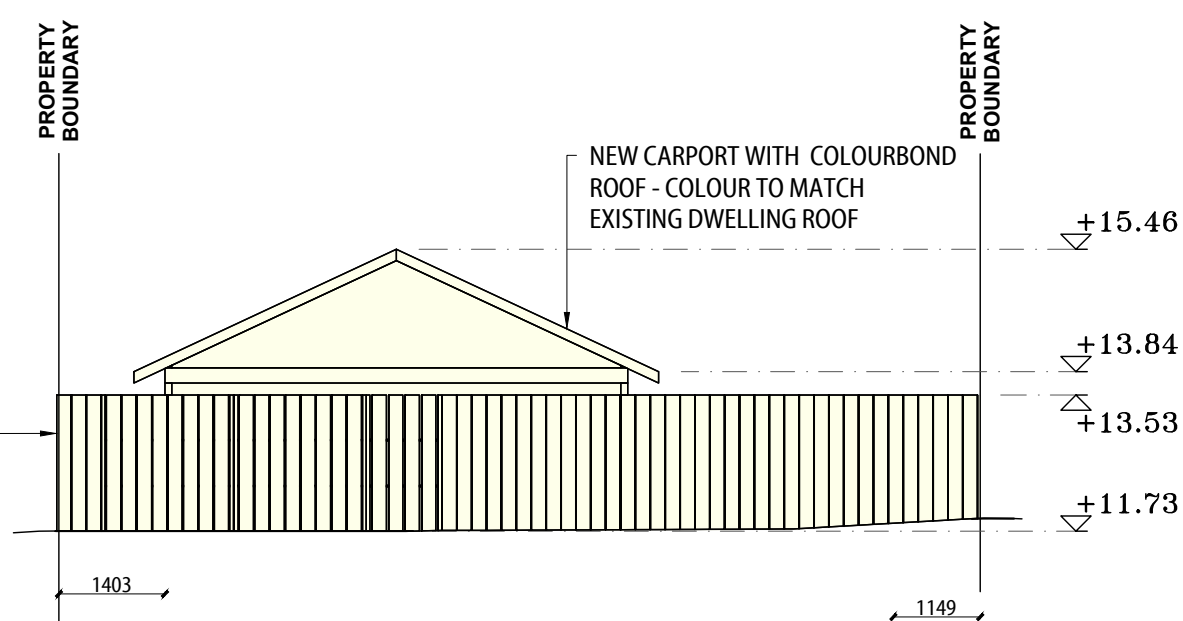
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AVALON BEACH
NSW 2107



1 NORTH WEST ELEVATION— EXISTING
Scale 1:100



1 NORTH WEST ELEVATION— PROPOSED
Scale 1:100

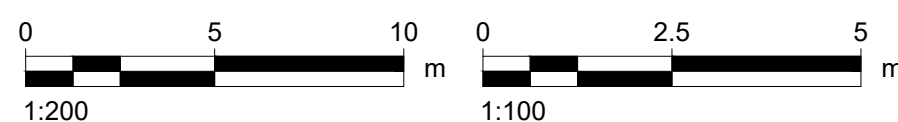


1 NORTH WEST ELEVATION- PROPOSED
Scale 1:100

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(FENCE SHOWN)

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LEGEND:

EXISTING BUILDING OUTLINE — — — —

proudly supporting

bear cottag

an initiative of the children's hospital at

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Project ADDITIONS AND ALTERATIONS	Sheet 4
Date 09/03/2021	
Scale 1:100	

DP No.	14017
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LOT No. **10**

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No.	Revision/Issue	

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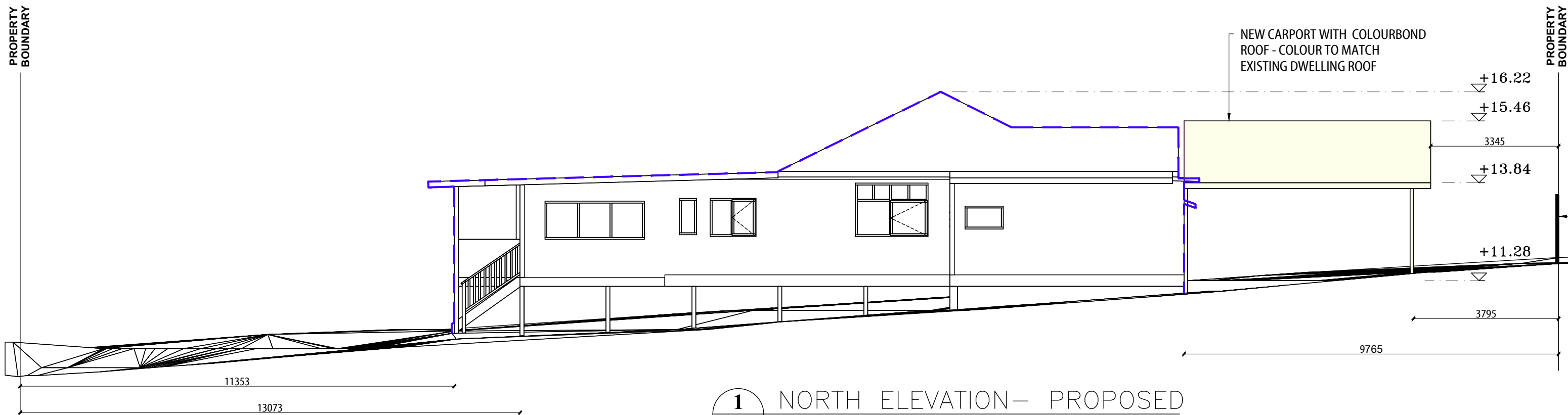
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Project Name and Address

**TREVOR WILLIAMS
624 BARRENJOEY RD
AVALON BEACH
NSW 2107**



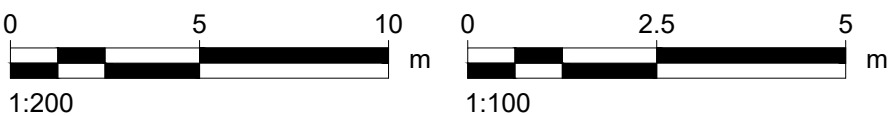
1 NORTH ELEVATION– EXISTING
Scale 1:100



1 NORTH ELEVATION– PROPOSED
Scale 1:100

GENERAL NOTES

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LEGEND:

EXISTING BUILDING OUTLINE - - - - -

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3D VISUALISATION
DEVELOPMENT APPLICATION
ASSISTANCE
COUNCIL COMPLIANT PLANS

LEGEND:

EXISTING BUILDING OUTLINE

PROPOSED WORK

General Notes



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Project
AUDITORS AND
ALTERATIONS
Date
09/03/2021
Scale
1:100

Sheet
5

DP No. 14017

LOT No. 10

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FN/NAME

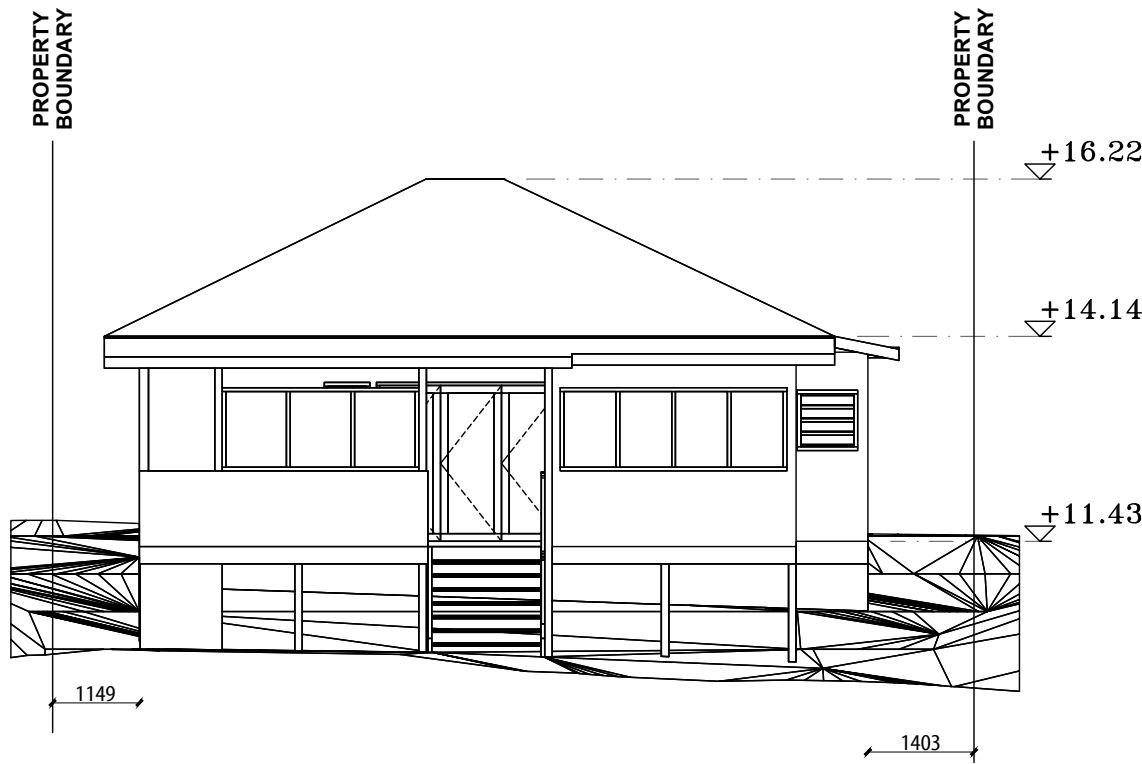
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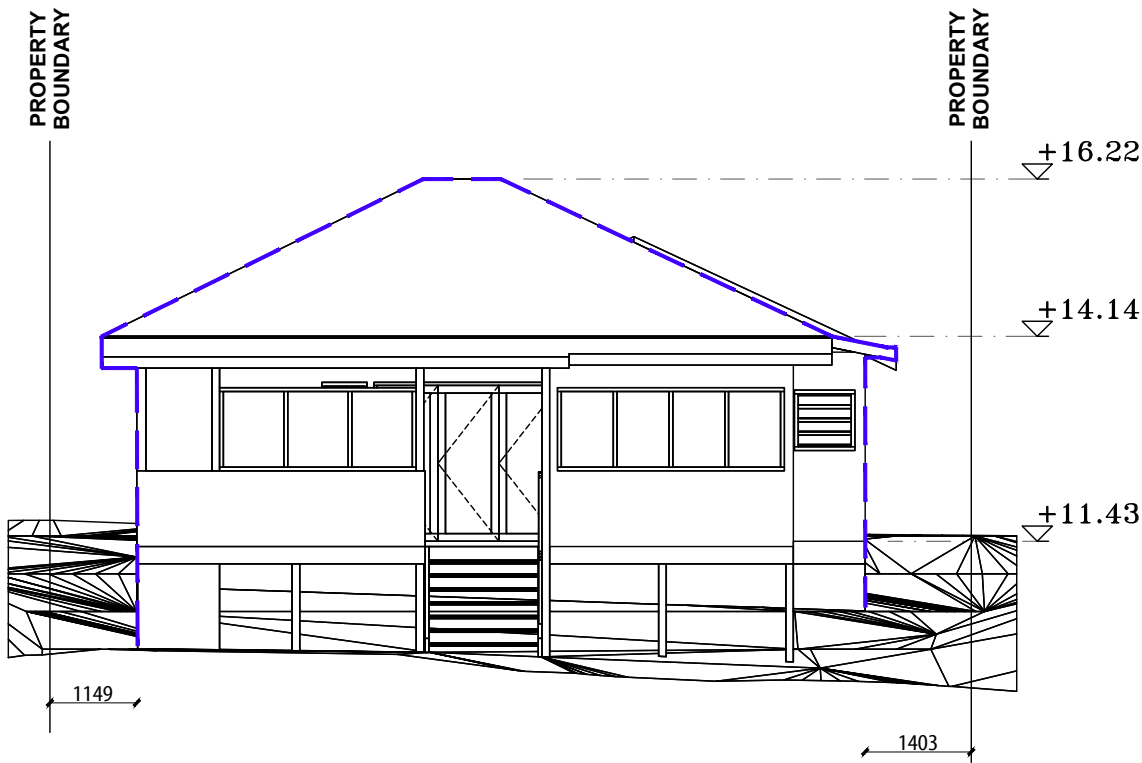
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1 SOUTH EAST ELEVATION– EXISTING
Scale 1:100



1 SOUTH EAST ELEVATION– PROPOSED
Scale 1:100

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LEGEND:

EXISTING BUILDING OUTLINE - - - -

ARCHITECTURAL DRAFTING
3D VISUALISATION
DEVELOPMENT APPLICATION
ASSISTANCE
COUNCIL COMPLIANT PLANS

LEGEND:

EXISTING BUILDING OUTLINE

PROPOSED WORK

General Notes

proudly
supporting

bear
cottage

the children's hospital & museum

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Project ADDITIONS AND ALTERATIONS	Sheet
Date	6
09/03/2021	
Scale 1:100	

DP No. 14017

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Project Name and Address

TREVOR WILLIAMS
624 BARRENJOEY RD
AVALON BEACH
NSW 2107

NOTES:

PRELIMINARIES

All work to comply with the Building Code of Australia, current editions of the relevant Australian Standards, and industry codes of practice.

Select, store, handle and install proprietry products or systems in accordance with the published recommendations of the manufacturer or supplier.

Dimensions and Setout

Do not scale from drawings. Take figured dimensions in preference to scale. Verify all dimensions on site before commencing work. The site foreman shall be responsible for verifying all dimensions and levels prior to the commencement of the Works. In the event of discrepancies in the setout of the Works, the builder should refer to the Project Designer for clarification before proceeding.

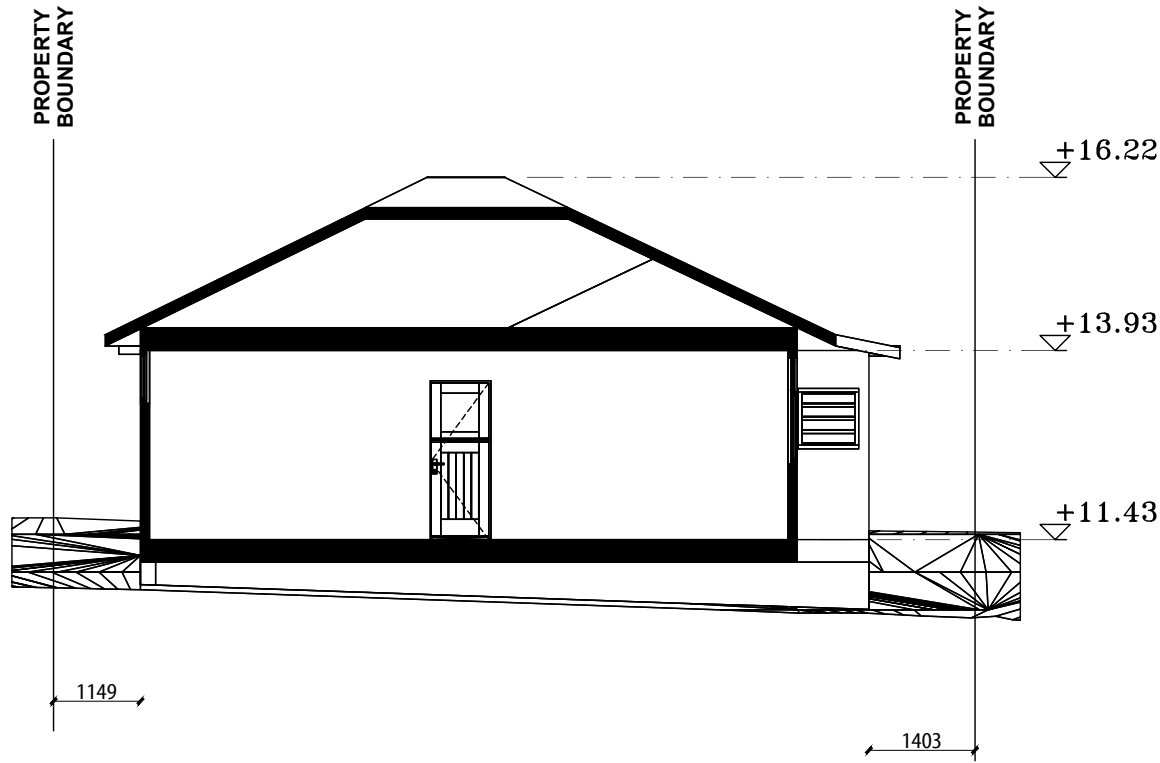
CONCRETE CONSTRUCTION

Concrete structures generally to AS3600.

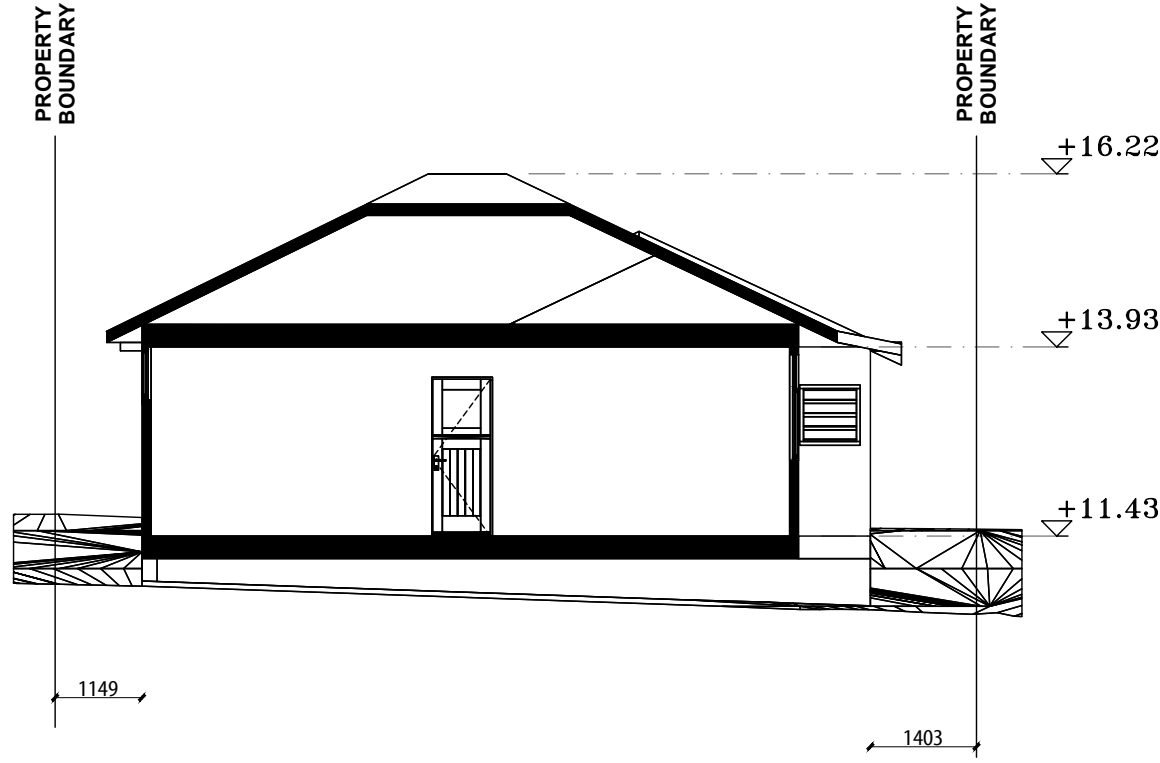
Ground slabs and footings to AS2870.

Ready-mixed concrete to AS1379.

All reinforcement to be in accordance with Engineer's drawings and specification. Place all concrete uniformly over the width of the slab to achieve a level face. Provide construction joints as required. Compaction, curing and formwork stripping to comply with Aust. Stds and codes of practice.



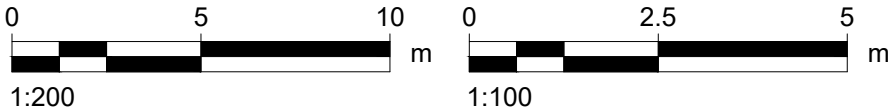
1 SECTION – EXISTING
Scale 1:100



1 SECTION – PROPOSED
Scale 1:100

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BEARERS AND JOISTS: SPAN AND SPACING OF BEARERS AND JOISTS IS TO CONFORM TO AS1684 SERIES OF STANDARDS IN CONJUNCTION WITH SUP:PORTING SUPPLEMENTS RELEVANT TOT HE APPLCABLE WIND CLASSIFICATION AND STRESS.

ALL TIMBER GENERALLY SHALL BE OF THE DURABILITY AND STRESS GRADE SPECIFIED AND OR COMPLY WITH AS1720 AND AS1684.

ROOF BRACING IN ACCORDANCE WITH TRUSS MANUFACTURERS DETAIL AND SECTION 8 OF AS 1684.

WALL FRAMING: WALL FRAME, SIZES AND SPACING SHALL BE IN ACCORDANCE WITH AS1684 OR AS SPECIFIED BY A PRACTISING ENGINEER,

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Project ADDITIONS AND ALTERATIONS	Sheet
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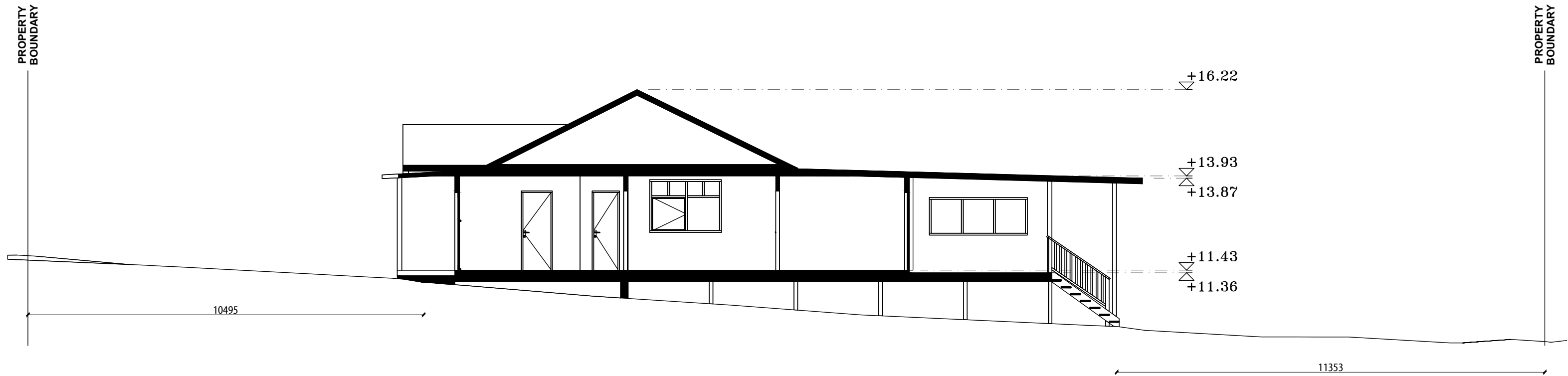
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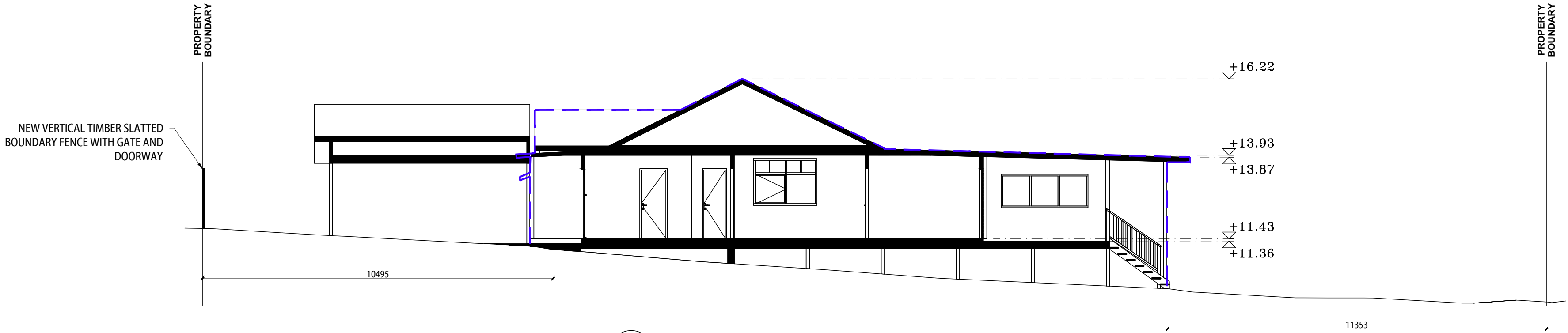
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1 SECTION – EXISTING
Scale 1:100

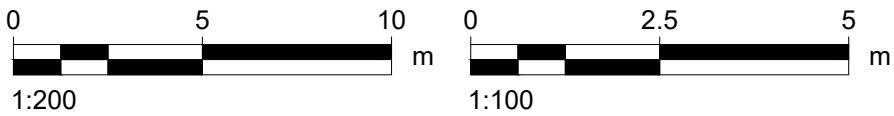


1 SECTION – PROPOSED
Scale 1:100

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Scale 1:100		
DP No. 14017		
LOT No. 10		
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SANITARY PLUMBING AND DRAINAGE SHALL BE UNDERTAKEN IN ACCORDANCE WITH LOCAL PCA AND REQUIREMENTS OF REGULATORY AUTHORITY. TO BE CARRIED OUT BY APPROPRIATELY QUALIFIED PERSON.

GUTTERS AND DOWNPIPES TO TO COMPLY WITH PART 3.5.2 OF THE BCA. GUTTERS AND DOWNPIPES SHALL BE DESIGNED AND INSTALLED IN ACCORDANCE WITH PART 3.5 BCA AND AS 3500.

SMOKE ALARM SHALL BE INSTALLED IN ACCORDANCE WITH PART 3.7.2 BCA ABD COMPLY WITH AS 3786.

ALL ELECTRICAL WORK SHALL BE COMPLIANT WITH AS/NZS5033 AND AS3000.

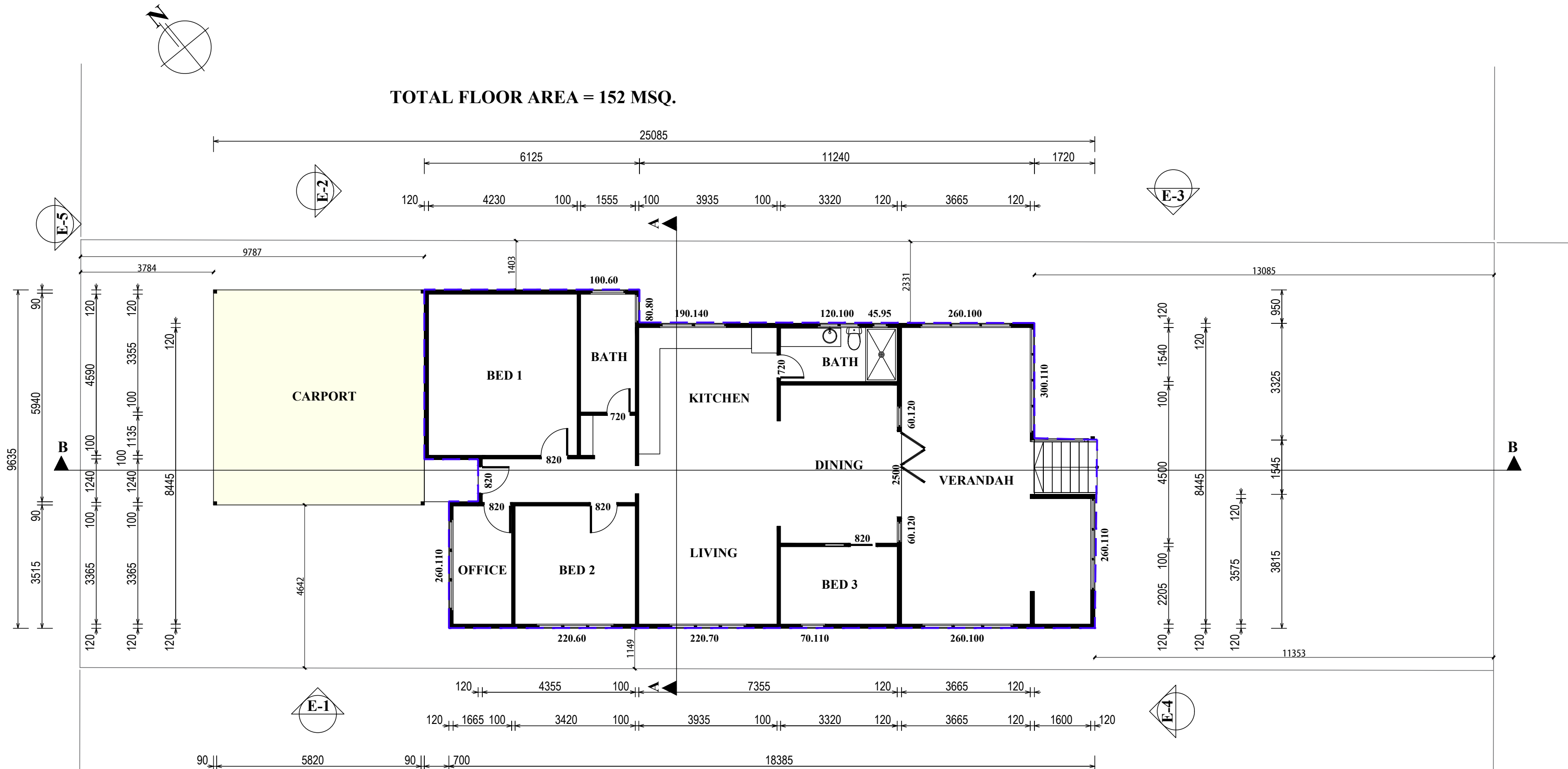
FALLS IN WET AREAS: FLOOR TILES TO BE GRADED TO WASTE AREAS AND WHERE REQUIRED. RECOMMENDED RATIO OF FALL WITHIN THE SHOWER TO BE BETWEEN 1:60 & 1:100.

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1 GROUND FLOORPLAN – PROPOSED
Scale 1:100



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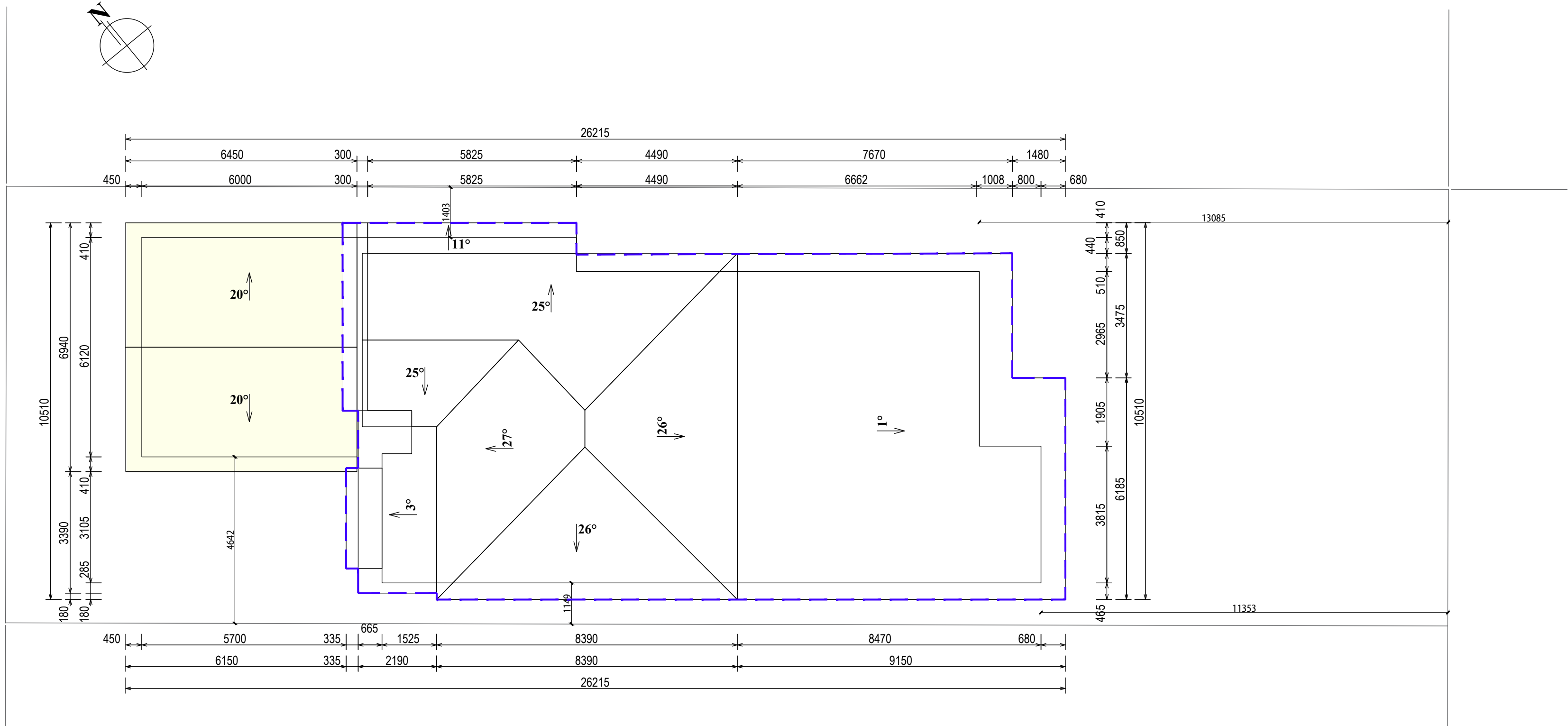
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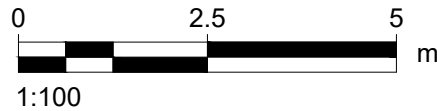
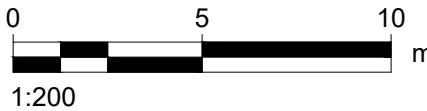
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1 ROOF PLAN – PROPOSED
Scale 1:100

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DP No.

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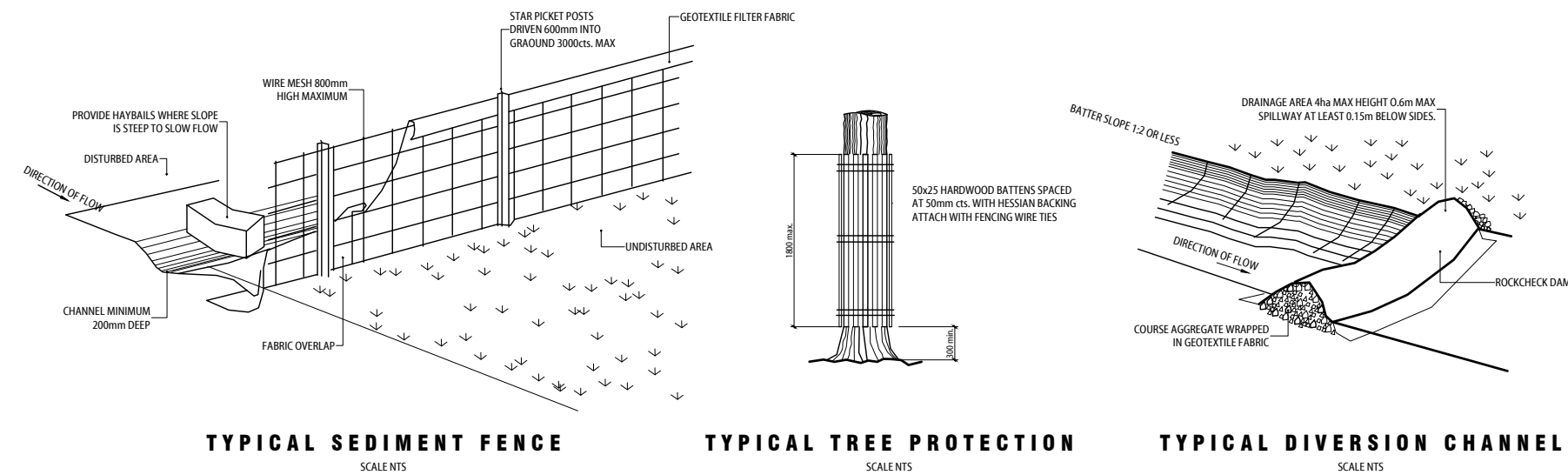
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TREVOR WILLIAMS
624 BARRENJOEY RD
AVALON BEACH
NSW 2107



Designated Site Manager/Builder

PRIOR TO COMMENCEMENT OF WORK A SITE MANAGER OR BUILDER MUST BE NOMINATED. THE SITE MANAGER OR BUILDER WILL BE RESPONSIBLE AND LIABLE FOR ALL WORKS CARRIED OUT ON THE SITE. THIS ASSURES THE RESPONSIBILITY FOR THE ACTIONS OF ALL SUB-CONTRACTED PARTIES AS WELL AS ADDING THEM OF COUNCIL'S REQUIREMENTS WHEN CARRYING OUT WORKS.

Topsoil Management

PRIOR TO THE STRIPPING OF TOPSOIL, THE VEGETATIVE COVER MUST BE RESEED BY EITHER SLASHING OR MOWING. ALL TOPSOIL IS TO BE RETAINED AND PROTECTED FOR REUSE ON SITE.

SOIL STOCKPILES MUST NOT BE LOCATED ON NATURE STRIPS, FOOTPATHS, ROADWAYS, KERBS, ACCESSWAYS, WITHIN DRAINAGE LINES, FLOWS PATHS OR AROUND OR AGAINST TREE CORNERS. SEDIMENT CONTROL MEASURES MUST BE INCORPORATED WITH ANY RESEEDING STOCKPILE. THE STOCKPILE CAN BE PROTECTED FROM EROSION BY COVERING IT WITH AN IMPERVIOUS MATERIAL, IN CONJUNCTION WITH THE INSTALLATION OF A SEDIMENT FENCE AROUND IT.

IF STOCKPILES ARE TO REMAIN FOR MORE THAN ONE MONTH THEY ARE TO BE GRADED IMMEDIATELY AND STABLED WITHIN FOURTEEN DAYS. SURPLUS TOPSOIL MUST BE REASONABLY REMOVED FROM SITE.

Building Material Stockpiling

SUFFICIENT AREA MUST BE ALLOCATED WITHIN THE SITE FOR SUCH STORAGE OF BUILDING MATERIALS, DEMOLITION WASTE, WASTE CONTAINERS, ETC. AS WILL BE REQUIRED.

Sediment Fences

A SEDIMENT FENCE SHOULD BE LOCATED ALONG THE DOWNSLOPE BOUNDARY OF THE SITE, ON THE CONSTRUCTION SIDE OF THE TURF FILTER STRIP OR NATIVE VEGETATION, AND AROUND ALL STOCKPILES OF MATERIAL ON THE SITE.

Vehicle Movements

TO LIMIT DISTURBANCE TO THE SITE AND TRACKING OF MATERIAL ONTO THE STREET ALL VEHICLES AND PLANT EQUIPMENT ARE TO USE A SINGLE EXIT POINT UNLESS COUNCIL HAS APPROVED ALTERNATIVE ARRANGEMENTS.

ACCESS POINTS AND APPROACH AREAS ARE TO BE STABILISED WITH COMPACTED SUB-GRADE AS SOON AS POSSIBLE AFTER THEIR FORMATION. WHERE WHEELAGE DOES OCCUR IT IS TO BE CORRECTED IMMEDIATELY AND CAREFULLY REMOVED. THE AREA AFFECTED IS TO BE RESTORED TO A STANDARD EQUAL TO OR BETTER THAN ITS PREVIOUS CONDITION.

ALL VEHICLES ARE TO BE WASHED PRIOR TO EXITING THE SITE. THIS SERVES THE PURPOSE OF REMOVING SIFT MATERIAL ON THE VEHICLE AND PREVENTS IT FROM BEING EXPOSED ON THE ROAD NETWORK ADJACENT TO THE SITE AND THUS, THE STORMWATER SYSTEM. ALL POLLUTED WATER MUST BE RETAINED ON SITE OR TREATED BEFORE IT IS DISCHARGED INTO THE STORMWATER SYSTEM.

NO VEHICLE ASSOCIATED WITH THE WORK IS TO BE PARKED ON A FOOTPATH OR PUBLIC RESERVE.

ALL VEHICLES VISITING THE SITE DURING DEMOLITION, EXCAVATION AND/OR CONSTRUCTION WORKS, ARE TO COMPLY WITH THE PARKING REQUIREMENTS IN THAT AREA.

Sediment Traps

WHERE A SEDIMENT FENCE IS NOT USED APPROPRIATE SEDIMENT TRAPS SHOULD BE LOCATED AT ALL POINTS WHERE STORMWATER LEAVES THE CONSTRUCTION SITE OR LEAVES THE GUTTER AND ENTERS THE DRAINAGE SYSTEM. A COMMON TECHNIQUE IS THE GRAVEL SAUSAGE.

Diversion Channels

A DIVERSION CHANNEL CAN BE EXCAVATED DRAINAGE DITCH OR PATH. THESE STRUCTURES ARE USED TO INTERCEPT AND DIRECT RUN-OFF TO A DESIRED LOCATION WHERE POSSIBLE.

ALL STORMWATER RUN-OFF FLOWING ONTO DISTURBED AREAS, INCLUDING STOCKPILES, MUST BE INTERCEPTED, DIVERTED AND/OR SAFELY DISPOSED OF. THIS CAN BE ACHIEVED BY CONSTRUCTING A TEMPORARY EARTH BANK AROUND THE UPSLOPE EXTENT OF THE CONSTRUCTION SITE, WHERE THE DIVERSION DOES NOT AFFECT THE NEIGHBOURING PROPERTIES.

Erosion & Sediment Controls

APPROPRIATE EROSION AND SEDIMENT CONTROLS MUST BE IMPLEMENTED ON ALL SITES THAT INVOLVE SOIL DISTURBANCE. THE MEASURES MUST BE IN PLACE PRIOR TO THE COMMENCEMENT OF WORK.

THESE CONTROLS ARE TO BE MONITORED AND MAINTAINED IN ORDER TO SERVE THEIR INTENDED FUNCTION FOR THE DURATION OF TIME WORKS OR UNTIL SUCH TIME AS THE SITE IS FULLY STABILISED. IF ANY CONTROLS ARE DAMAGED OR BECOME INEFFECTIVE DURING THE COURSE OF THE WORKS THEY ARE TO BE REINFORCED OR REPLACED IMMEDIATELY. SUFFICIENT ACCESS TO THESE CONTROLS MUST BE PROVIDED IN CASE OF THE NEED TO REPAIR.

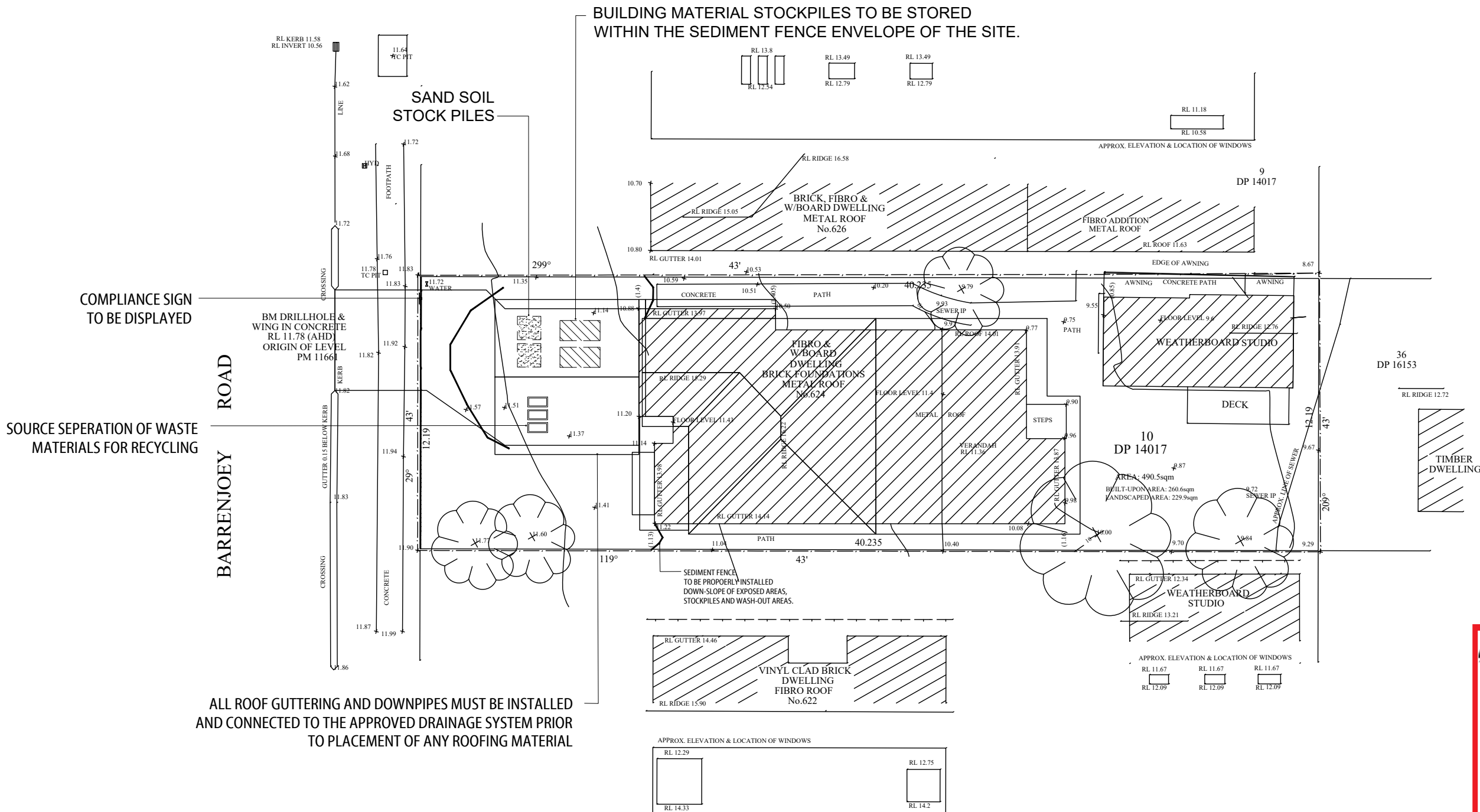
Dust Control

ALL TRUCKS/VESICLES MUST COVER THEIR LOADS AT ALL TIMES.

APPROPRIATE METHODS ARE TO BE EMPLOYED TO PREVENT BLOWING DUST CREATING AN UNACCEPTABLE HAZARD OR NUISANCE ON THE SITE OR DOWN WIND. PRODUCTION OF DUST CAN BE MINIMISED BY LIMITING AREA OF EARTHWORKS, WATERING AND PROGRESSIVE VEGETATION.

WHERE DUST IS CREATED AS A RESULT OF WORKS AND/OR SOIL EXPOSURE, THE BARE SOIL AREAS MUST BE WATERED, MOWED AND/OR AT THE END OF EACH DAY TO LAY THE DUST.

EARTH MOWING ACTIVITIES SHOULD BE AVOIDED WHERE WINDS ARE SUFFICIENTLY STRONG ENOUGH TO RAISE DUST.

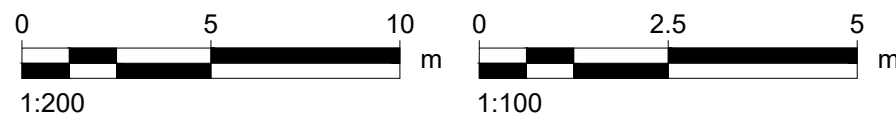


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SEDIMENT AND EROSION PLAN

SCALE 1:200

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Project ADDITIONS AND ALTERATIONS	Sheet
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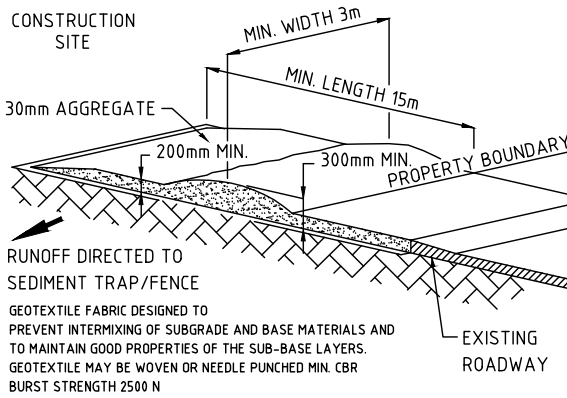
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No.	Revision/Issue	Date

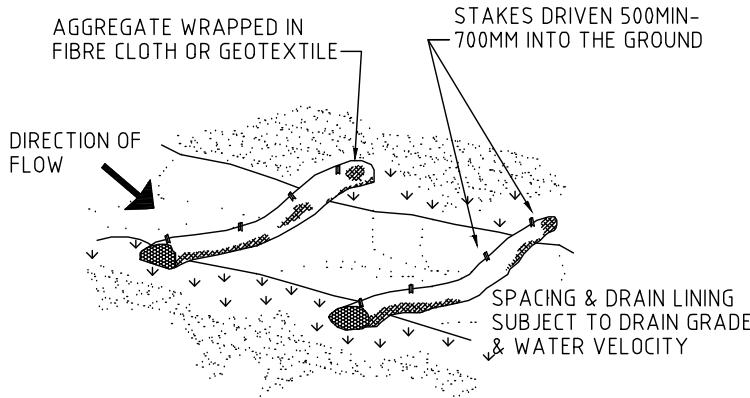
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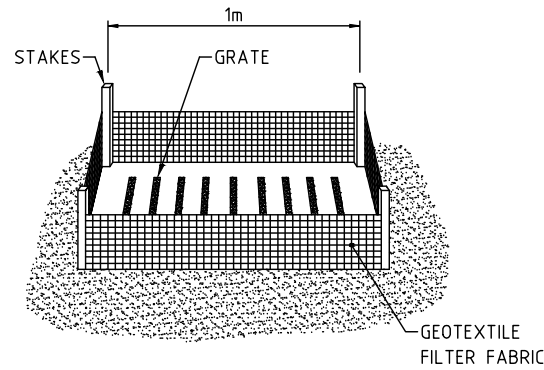
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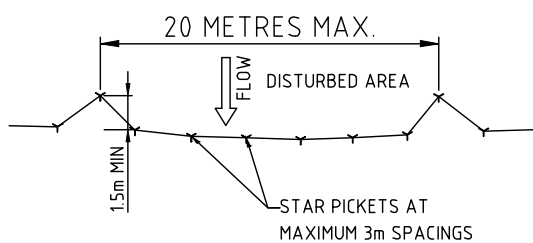
STABILISED SITE ACCESS



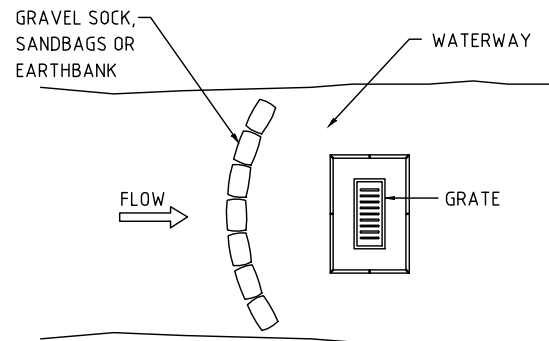
GRAVEL SOCK CHECK DAM



GEOTEXTILE STORMWATER INLET FILTER



SEDIMENT FENCE PLAN



STORMWATER INLET FILTER

CONTROLLING CONTAMINATION ON SITE

Avoid contamination of stormwater with sediment. Use diversion devices to reduce the volume of stormwater reaching the disturbed area. On compact urban sites avoid overland flow through the work area by installing the final stormwater drainage system as early as possible in the construction process. Before installation of the final stormwater system, install an up-slope perimeter bank and catch drain connected to a temporary drop pipe, to take uncontaminated stormwater directly to the stormwater system. On steep sites, line catch drains with turf or geotextile fabric.

Uncontaminated stormwater from the channel should discharge to the stormwater system. In some cases discharge onto non-erodible areas of land is permissible. Check with your local council. Do not allow discharge into neighbouring properties. Roof drainage must discharge to the stormwater system, unless rainwater is being harvested. Complete the final stormwater drainage system before the roof is installed. Connect using either temporary or permanent downpipes

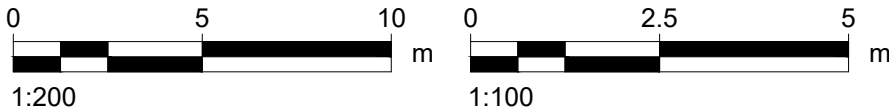
POST-CONSTRUCTION AND EROSION CONTROL

Stabilise the site as soon as possible after construction, or while the last trades are finishing, to minimise the potential for ongoing soil erosion. Turf lawns are commonly used to stabilise soil but their high water consumption can be an environmental burden. Native ground cover plants do the same thing with considerably lower water use. Avoid replacing native vegetation with turf. Mulch (straw or other material) can be used on open garden beds to protect soil and support plant growth. Mulch spread to a depth of 75-100mm minimises soil and water loss and controls weed growth. Mulch may be less suitable on steep sites and in high wind areas. Temporary, quick germinating grasses such as rye and oats can be used to stabilise soil until slower growing plants can be established. This method is only effective after the grass seeds have germinated and established a root structure. Semi permeable paving can be used to stabilise areas of the site. Avoid excessive use of hard surfaces that prevent stormwater being absorbed. Biodegradable erosion control mats are useful when revegetating steep slopes. Integrate landscaping strategy with sediment control. For example, diversion channels and trenches that filter sediment can be used with rubble in the base to create a deep root planting opportunity.

SEDIMENT & EROSION CONTROL - ADDITIONAL DETAILS TO BE FOLLOWED BY SITE MANAGER / CONSTRUCTION WORKERS

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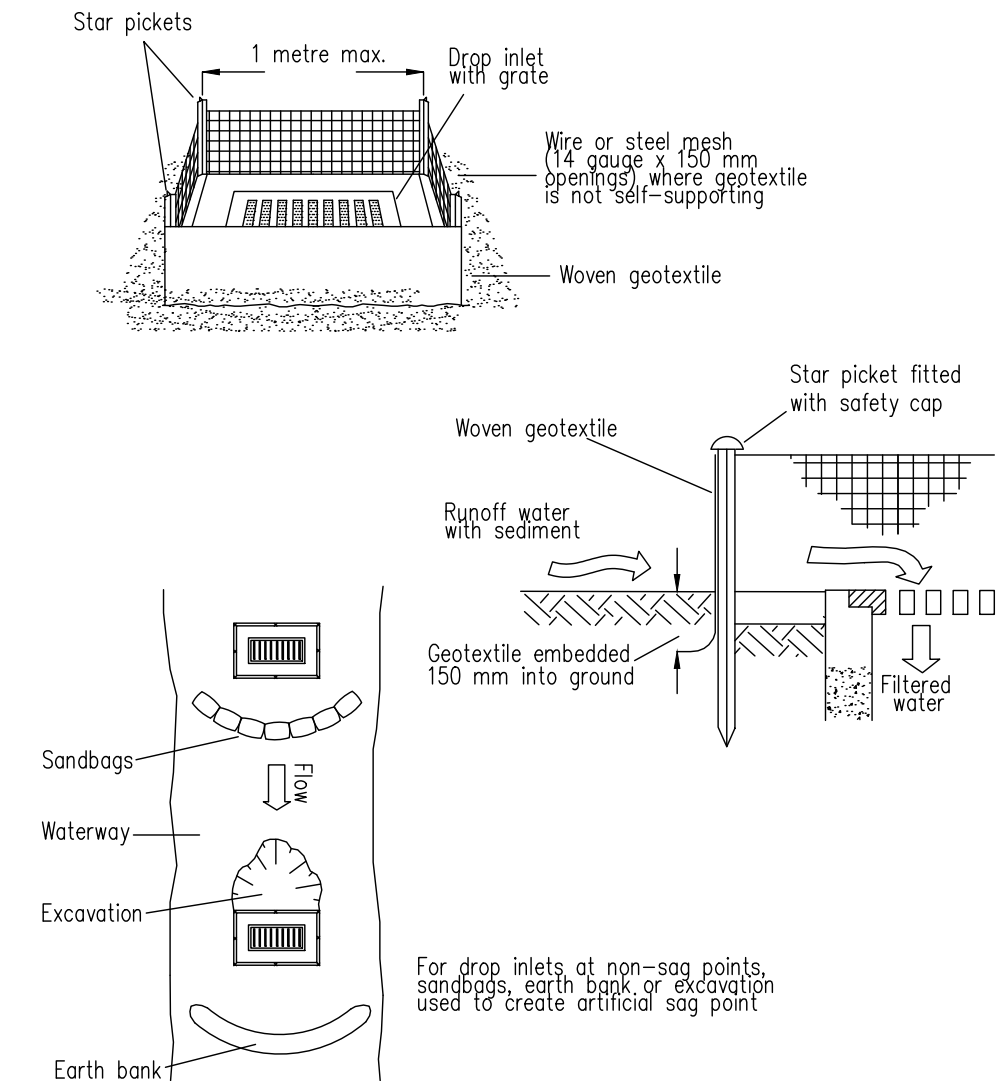
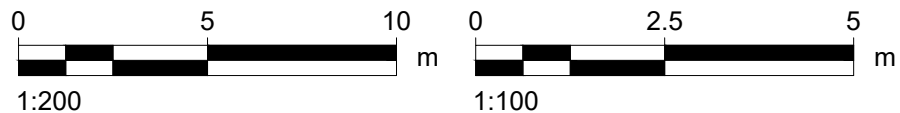
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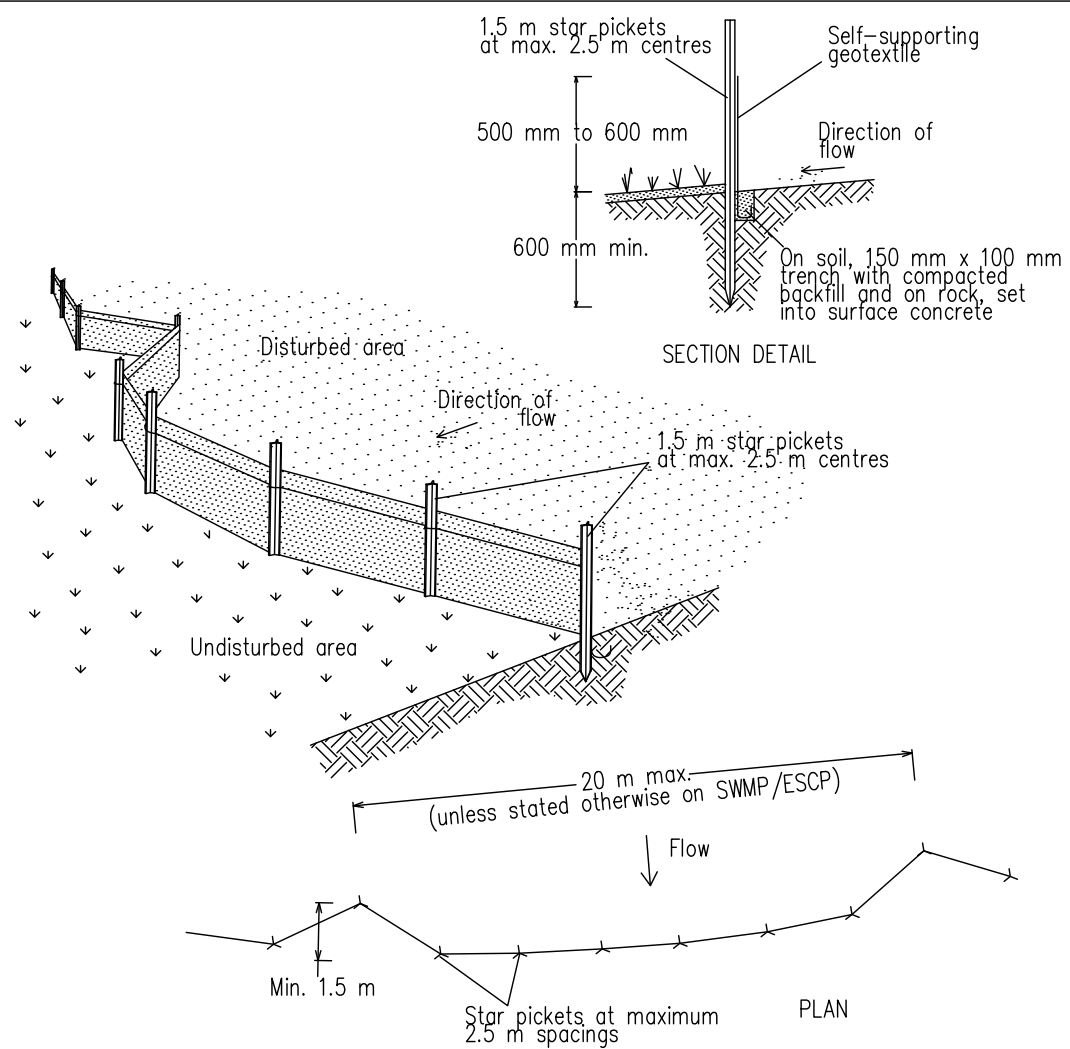


Construction Notes

1. Fabricate a sediment barrier made from geotextile or straw bales.
2. Follow Standard Drawing 6-7 and Standard Drawing 6-8 for installation procedures for the straw bales or geofabric. Reduce the picket spacing to 1 metre centres.
3. In waterways, artificial sag points can be created with sandbags or earth banks as shown in the drawing.
4. Do not cover the inlet with geotextile unless the design is adequate to allow for all waters to bypass it.

GEOTEXTILE INLET FILTER

SD 6-12



Construction Notes

1. Construct sediment fences as close as possible to being parallel to the contours of the site, but with small returns as shown in the drawing to limit the catchment area of any one section. The catchment area should be small enough to limit water flow if concentrated at one point to 50 litres per second in the design storm event, usually the 10-year event.
2. Cut a 150-mm deep trench along the upslope line of the fence for the bottom of the fabric to be entrenched.
3. Drive 1.5 metre long star pickets into ground at 2.5 metre intervals (max) at the downslope edge of the trench. Ensure any star pickets are fitted with safety caps.
4. Fix self-supporting geotextile to the upslope side of the posts ensuring it goes to the base of the trench. Fix the geotextile with wire ties or as recommended by the manufacturer. Only use geotextile specifically produced for sediment fencing. The use of shade cloth for this purpose is not satisfactory.
5. Join sections of fabric at a support post with a 150-mm overlap.
6. Backfill the trench over the base of the fabric and compact it thoroughly over the geotextile.

SEDIMENT FENCE

SD 6-8



northern
beaches
council

**THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT**

DA2021/0406

ARCHITECTURAL DRAFTING
3D VISUALISATION
DEVELOPMENT APPLICATION
ASSISTANCE
COUNCIL COMPLIANT PLANS

LEGEND:

EXISTING BUILDING OUTLINE

PROPOSED WORK

General Notes



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Project ADDITIONS AND ALTERATIONS	Sheet
Date 09/03/2021	S3
Scale NTS	

DP No. 14017

LOT No. 10

A	ISSUED FOR DA	XXXX
No.	Revision/Issue	Date

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