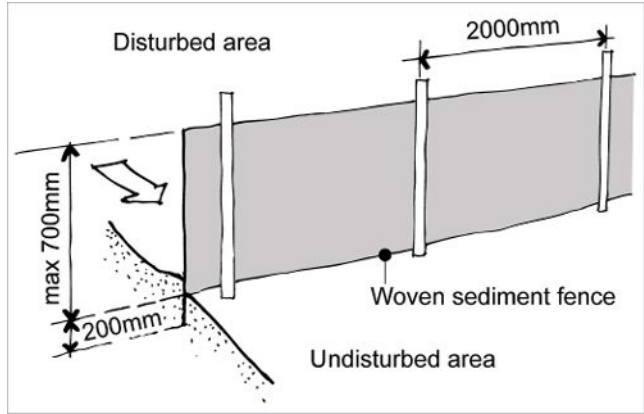


Green shaded area indicates
compliant landscape area

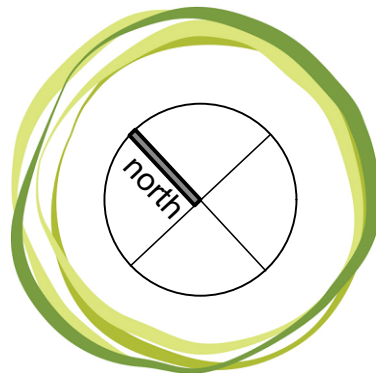
Yellow dashed line indicates sedimentation
control fence to be implemented throughout
construction to appropriate standard

Red dashed line indicates
existing structure to be
demolished



Sedimentation Control Fence
Not to scale.
Source: www.yourhome.gov.au

AREA CALCULATION		
	AREA (m2)	PERCENTAGE
Site	738,22	
Landscape total as per DCP	395,9	53,63%



JAMIE KING
LANDSCAPE ARCHITECT
DESIGN ● APPROVE ● MANAGE

E	22/11/21	Issue E
D	11/10/21	Issue D
C	01/10/21	Issue C
B	17/09/21	Issue B
A	07/09/21	DRAFT issue for review.

ISSUE	DATE	REVISION	PROJECT #
PROJECT	9 Poate Road Davidson		22025
CLIENT	Watts		DWG #
DWG	Master Landscape Plan		Sht-101
CHKD	JK	REVISION	

Jamie King Landscape Architect
84 Palmgrove Rd, Avalon, NSW, 2107
T: 0421 517 991
W: www.jamieking.com.au
E: jamie@jamieking.com.au

Legend

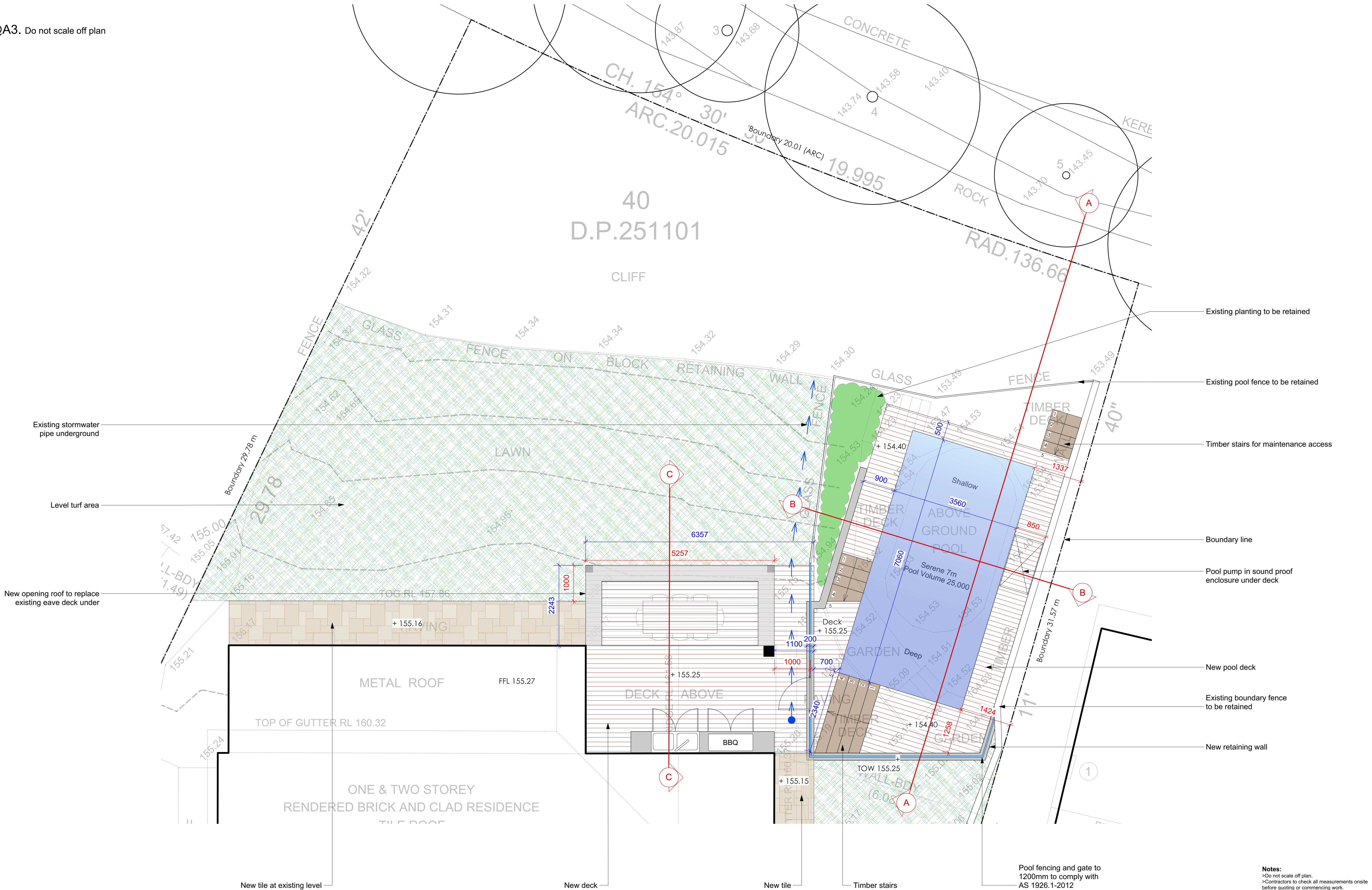
- MULCH AREA
- TURF AREA
- TIMBER DECKING
- CONCRETE PAVING
- UNIT PAVING
- STAIRS
- PEBBLE
- GRAVEL
- COBBLESTONE
- TIMBER
- WATER
- MASONRY RETAINING WALL
- STONE RETAINING WALL
- TIMBER RETAINING WALL
- BOULDER RETAINING WALL
- SITE OR WORKS BOUNDARY
- PROPOSED LEVEL
- TOP OF WALL LEVEL
- MATERIAL NAME
- SURFACE FALL DIRECTION
- SURFACE DRAINS
- SURVEY (50% GREY LINES)
- EXISTING TREE TO RETAIN
- EXISTING TREE TO REMOVE
- EXISTING ROCK OUTCROP



LOMANDRA LONGIFOLIA

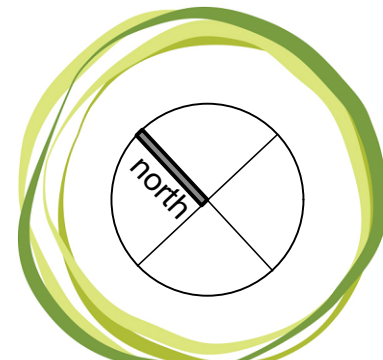
ID	Quantity	Latin Name	Common Name	Plantlist Name	Scheduled Size	Mature Height	Mature Spread
Loma lon	7	Lomandra longifolia	Spiny-headed Mat-Rush	Lomandra longi	150mm	0.75 - 0.9m	0.9 - 1.2m

Notes:
>Do not scale off plan.
>Contractors to check all measurements onsite before quoting or commencing work.
>If abnormalities arise, contact the Landscape Architect.
>This design is copyright and is not to be reproduced in anyway without written consent of Jamie King Landscape Architect.
>POOL TO BE INSTALLED TO MEET THE REQUIREMENTS OF AS1839:2021. POOL LEVEL SHOWN IS INDICATIVE ONLY AND TO BE CONFIRMED ONSITE BY BUILDER TO ENSURE COMPLIANCE WITH AS1839:2021

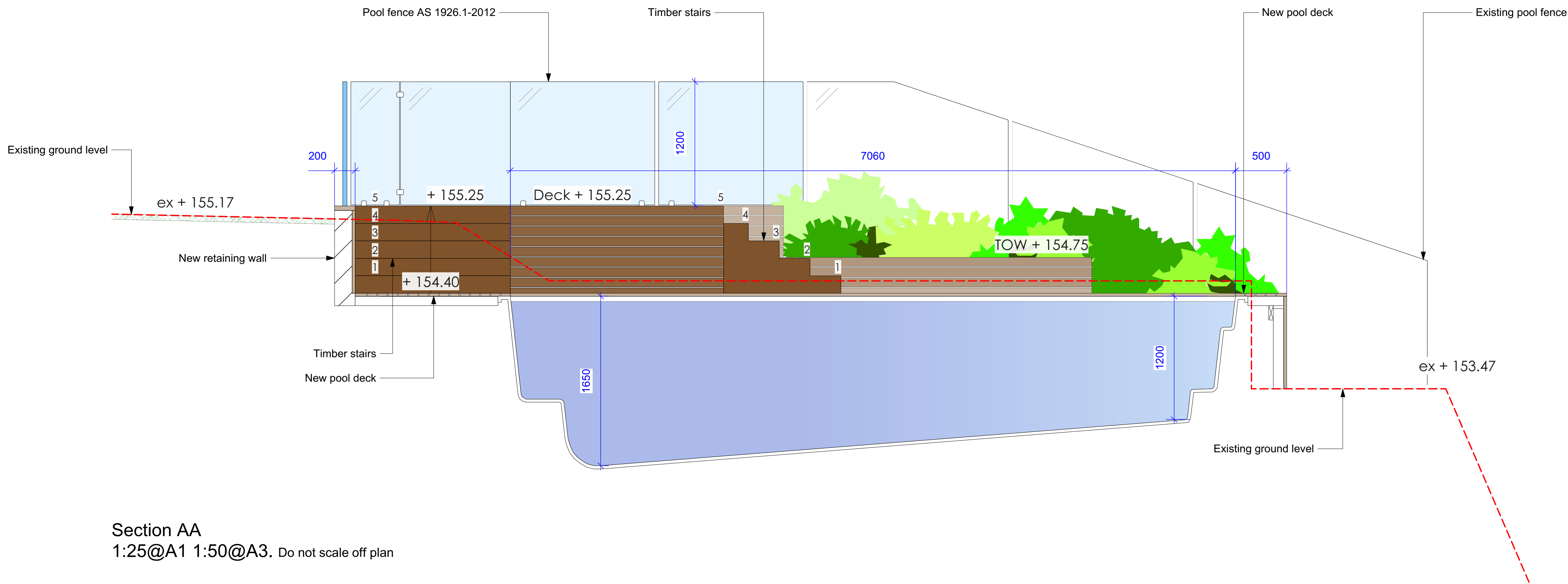


Notes:
>Do not scale off plan.
>Contractors to check all measurements onsite before quoting or commencing work.
>If abnormalities arise, contact the Landscape Architect.
>This design is copyright and is not to be reproduced in anyway without written consent of Jamie King Landscape Architect.
>POOL TO BE INSTALLED TO MEET THE REQUIREMENTS OF AS1839:2021. POOL LEVEL SHOWN IS INDICATIVE ONLY AND TO BE CONFIRMED ONSITE BY BUILDER TO ENSURE COMPLIANCE WITH AS1839:2021

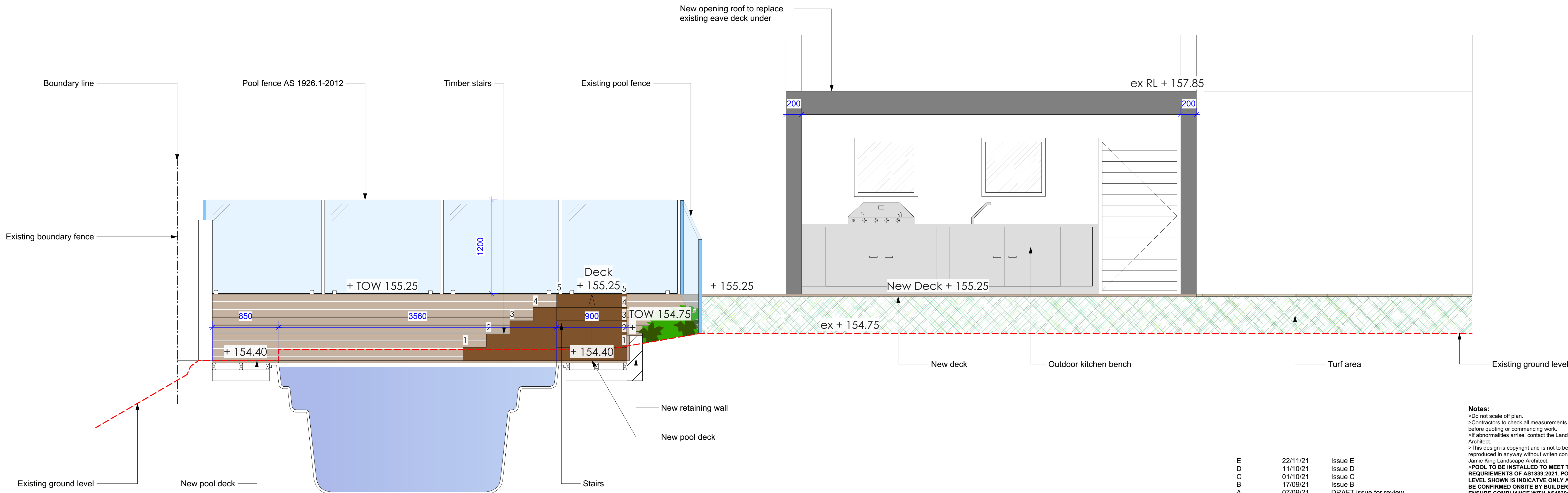
ISSUE	DATE	REVISION	PROJECT #
PROJECT	22/11/21	Issue E	22025
CLIENT	11/10/21	Issue D	
SCALE @ A1	01/10/21	Issue C	
DWG	17/09/21	Issue B	
CHKD	07/09/21	DRAFT issue for review.	



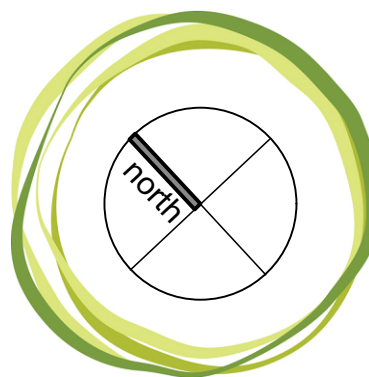
JAMIE KING
LANDSCAPE ARCHITECT
DESIGN ● APPROVE ● MANAGE



Section AA
1:25@A1 1:50@A3. Do not scale off plan



Section BB
1:25@A1 1:50@A3. Do not scale off plan



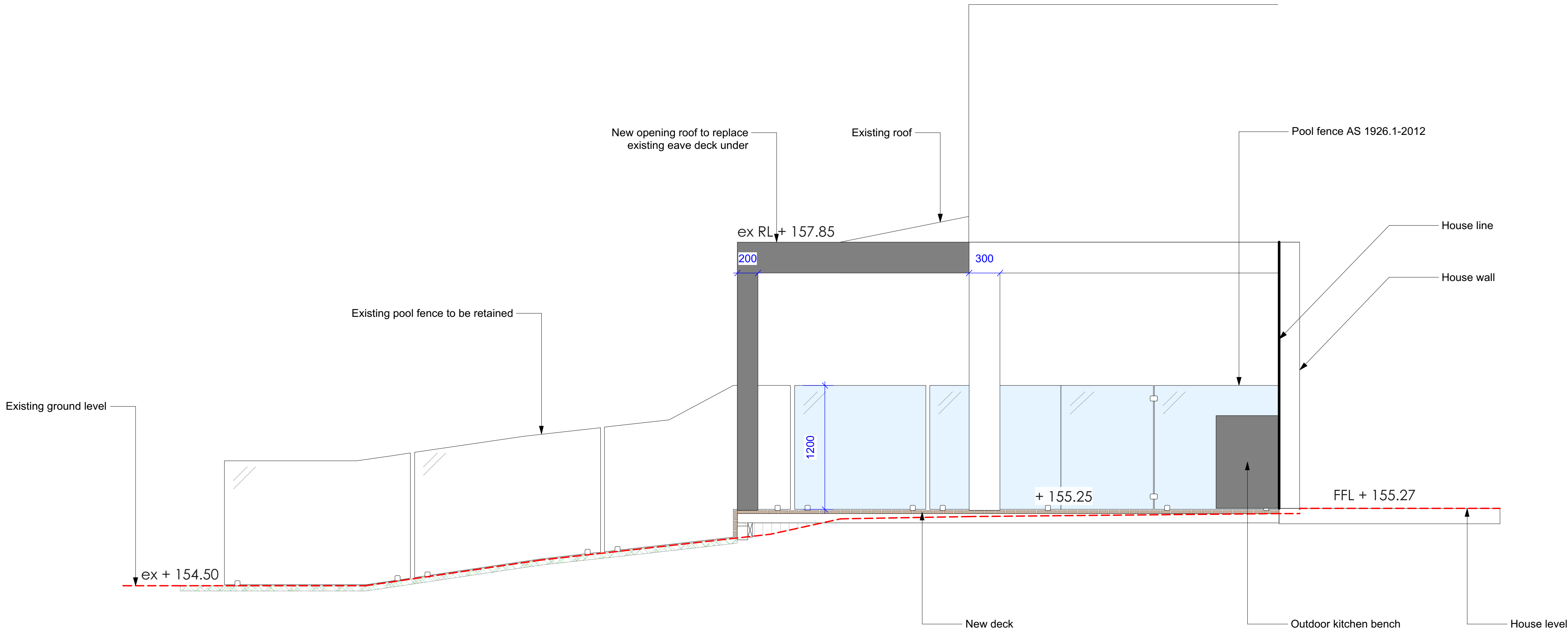
JAMIE KING
LANDSCAPE ARCHITECT
DESIGN • APPROVE • MANAGE

E	22/11/21	Issue E
D	11/10/21	Issue D
C	01/10/21	Issue C
B	17/09/21	Issue B
A	07/09/21	DRAFT issue for review.

ISSUE	DATE	REVISION	PROJECT #
PROJECT	9 Poate Road Davidson		22025
CLIENT	Watts	DATE # See above	DWG #
DWG	Sections	SCALE @ A1 See Plan	Sht-103
DRAWN	RAR	CHKD	JK
REVISION			

Jamie King Landscape Architect
84 Palmgrove Rd, Avalon, NSW, 2107 T: 0421 517 991 E: jamie@jamieking.com.au
W: www.jamieking.com.au E: jamie@jamieking.com.au

Notes:
>Do not scale off plan.
>Contractors to check all measurements onsite before quoting or commencing work.
>If abnormalities arise, contact the Landscape Architect.
>This design is copyright and is not to be reproduced in anyway without written consent of Jamie King Landscape Architect.
>POOL TO BE INSTALLED TO MEET THE REQUIREMENTS OF AS1839:2021. POOL LEVEL SHOWN IS INDICATIVE ONLY AND TO BE CONFIRMED ONSITE BY BUILDER TO ENSURE COMPLIANCE WITH AS1839:2021

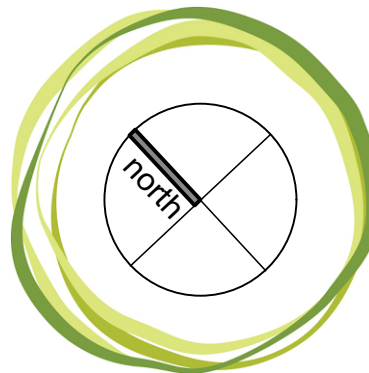


Section CC
1:25@A1 1:50@A3. Do not scale off plan

Notes:
>Do not scale off plan.
>Contractors to check all measurements onsite before quoting or commencing work.
>If abnormalities arise, contact the Landscape Architect.
>This design is copyright and is not to be reproduced in anyway without written consent of Jamie King Landscape Architect.
>POOL TO BE INSTALLED TO MEET THE REQUIREMENTS OF AS1839:2021. POOL LEVEL SHOWN IS INDICATIVE ONLY AND TO BE CONFIRMED ONSITE BY BUILDER TO ENSURE COMPLIANCE WITH AS1839:2021

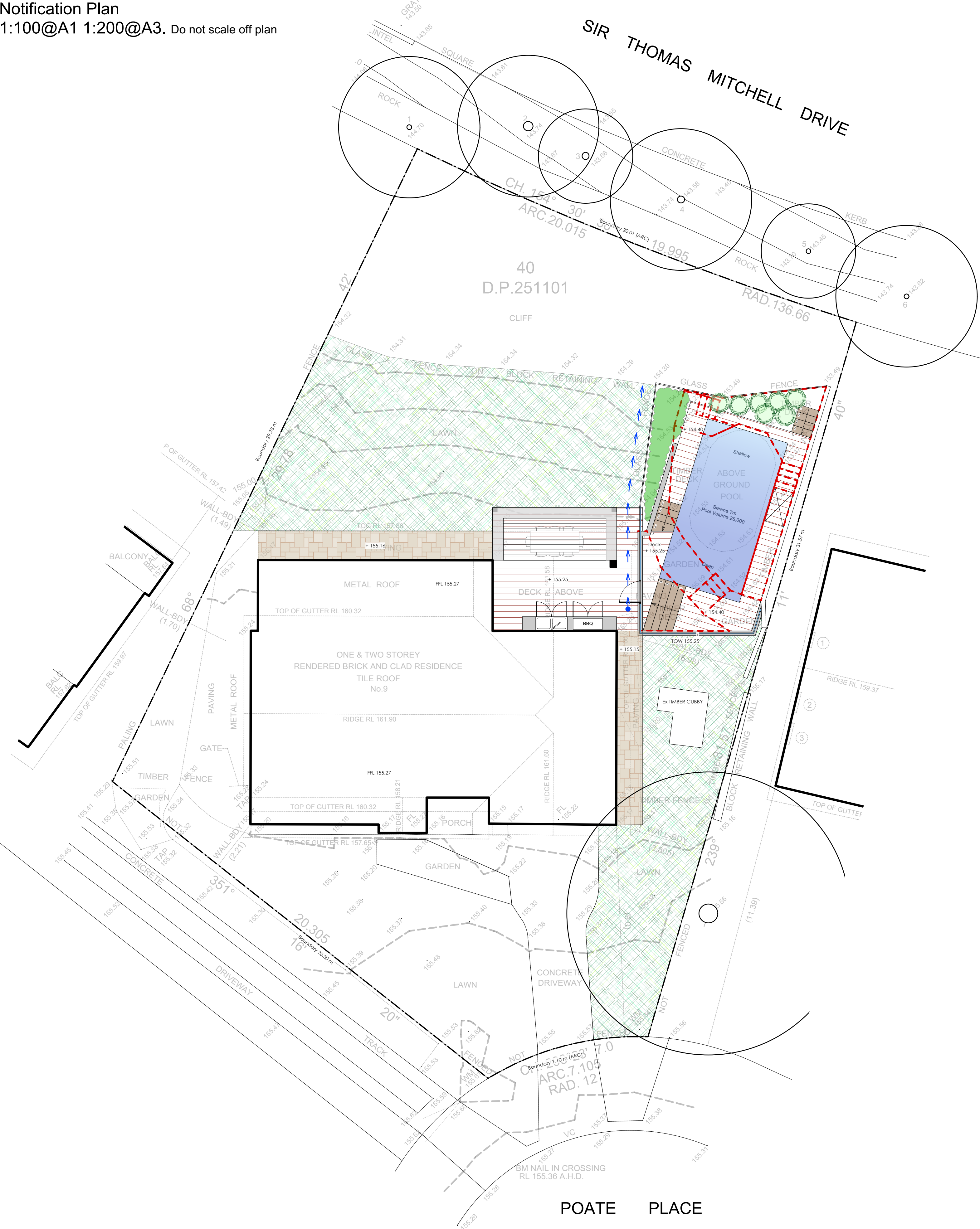
E	22/11/21	Issue E
D	11/10/21	Issue D
C	01/10/21	Issue C
B	17/09/21	Issue B
A	07/09/21	DRAFT issue for review.

ISSUE	DATE	REVISION	PROJECT #
PROJECT	9 Poate Road Davidson		22025
CLIENT	Watts		DWG #
DWG	SCALE @ A1	See Plan	Sht-104
CHKD	JK	REVISION	

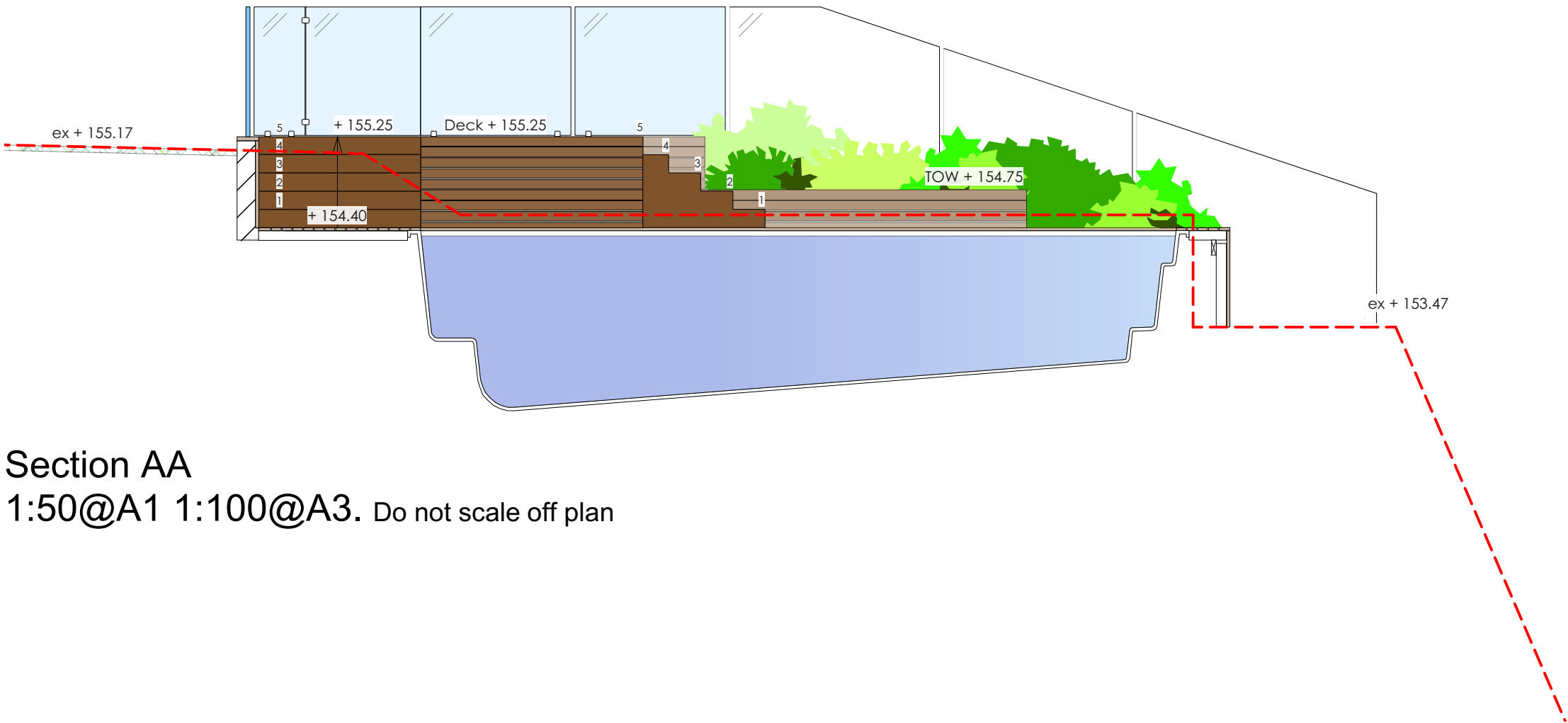


JAMIE KING
LANDSCAPE ARCHITECT
DESIGN ● APPROVE ● MANAGE

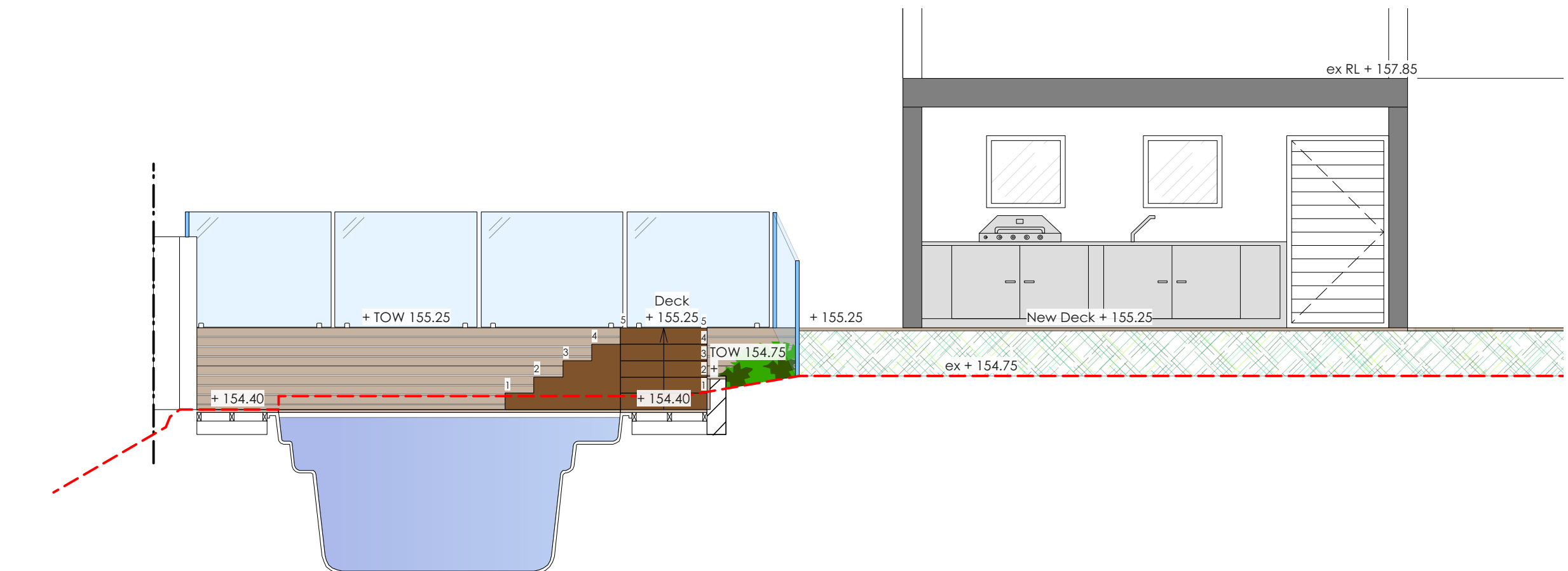
Jamie King Landscape Architect
84 Palmgrove Rd, Avalon, NSW, 2107
W: www.jamieking.com.au
T: 0421 517 991
E: jamie@jamieking.com.au



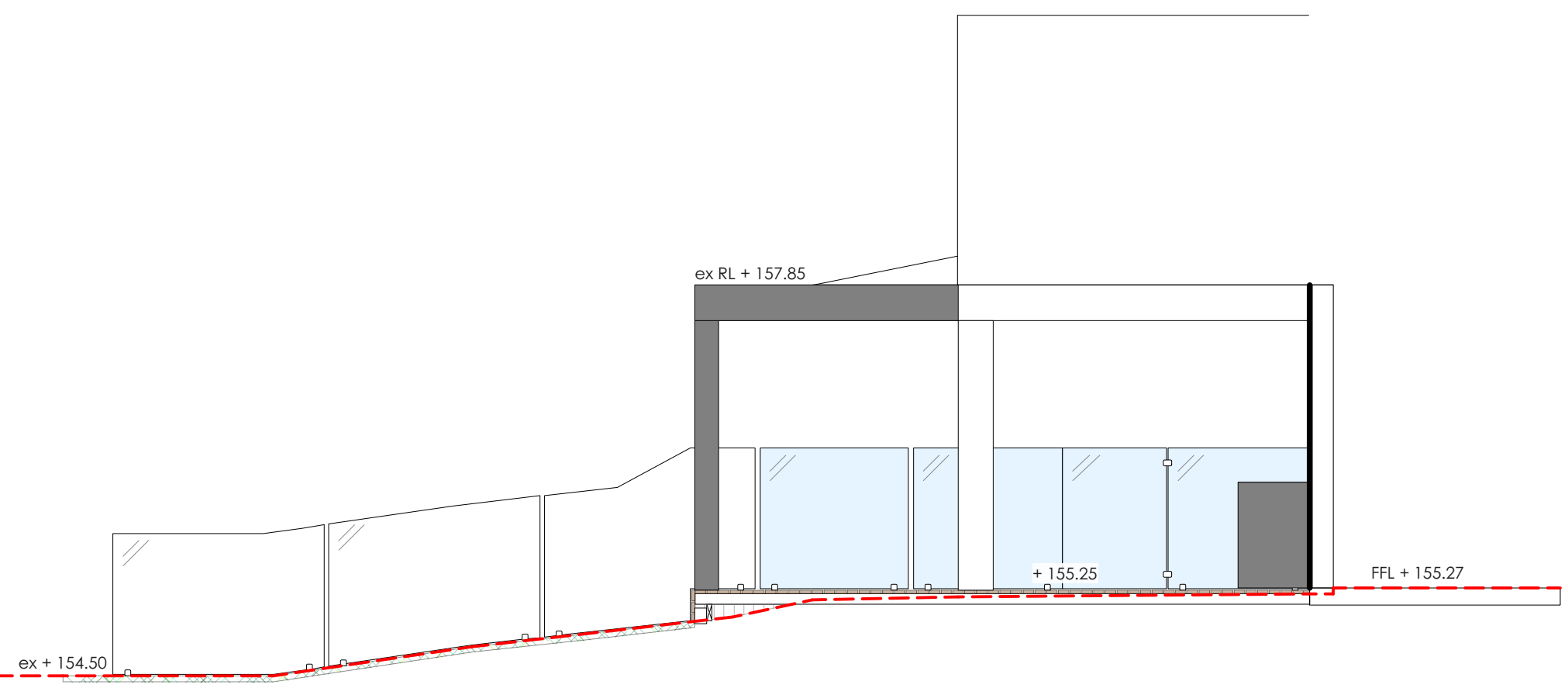
Section AA
1:50@A1 1:100@A3. Do not scale off plan



Section BB
1:50@A1 1:100@A3. Do not scale off plan



Section CC
1:50@A1 1:100@A3. Do not scale off plan



Legend

	MULCH AREA
	TURF AREA
	TIMBER DECKING
	CONCRETE PAVING
	UNIT PAVING
	STAIRS
	PEBBLE
	GRAVEL
	COBBLESTONE
	TIMBER
	WATER
	MASONRY RETAINING WALL
	STONE RETAINING WALL
	TIMBER RETAINING WALL
	BOULDER RETAINING WALL
	SITE OR WORKS BOUNDARY
	PROPOSED LEVEL
	TOP OF WALL LEVEL
	MATERIAL NAME
	SURFACE FALL DIRECTION
	SURFACE DRAINS
	SURVEY (50% GREY LINES)
	EXISTING TREE TO RETAIN
	EXISTING TREE TO REMOVE
	EXISTING ROCK OUTCROP

Notes:
>Do not scale off plan.
>Contractors to check all measurements onsite before quoting or commencing work.
>If abnormalities arise, contact the Landscape Architect.
>This design is copyright and is not to be reproduced in anyway without written consent of Jamie King Landscape Architect.
>POOL TO BE INSTALLED TO MEET THE REQUIREMENTS OF AS1839:2021. POOL LEVEL SHOWN IS INDICATIVE ONLY AND TO BE CONFIRMED ONSITE BY BUILDER TO ENSURE COMPLIANCE WITH AS1839:2021



JAMIE KING
LANDSCAPE ARCHITECT
DESIGN • APPROVE • MANAGE

ISSUE	DATE	REVISION	PROJECT #
PROJECT	22/11/21	Issue E	22025
CLIENT	11/10/21	Issue D	
SCALE @ A1	01/10/21	Issue C	
DRAWN	17/09/21	Issue B	
CHKD	07/09/21	DRAFT issue for review.	
9 Poate Road Davidson			
Watts			
Notification Plan			
Jamie King Landscape Architect			
84 Palmgrove Rd, Avalon, NSW, 2107			
T: 0421 517 991			
W: www.jamieking.com.au			
E: jamie@jamieking.com.au			