

CONTOUR

LANDSCAPE ARCHITECTURE

DA DOCUMENTATION

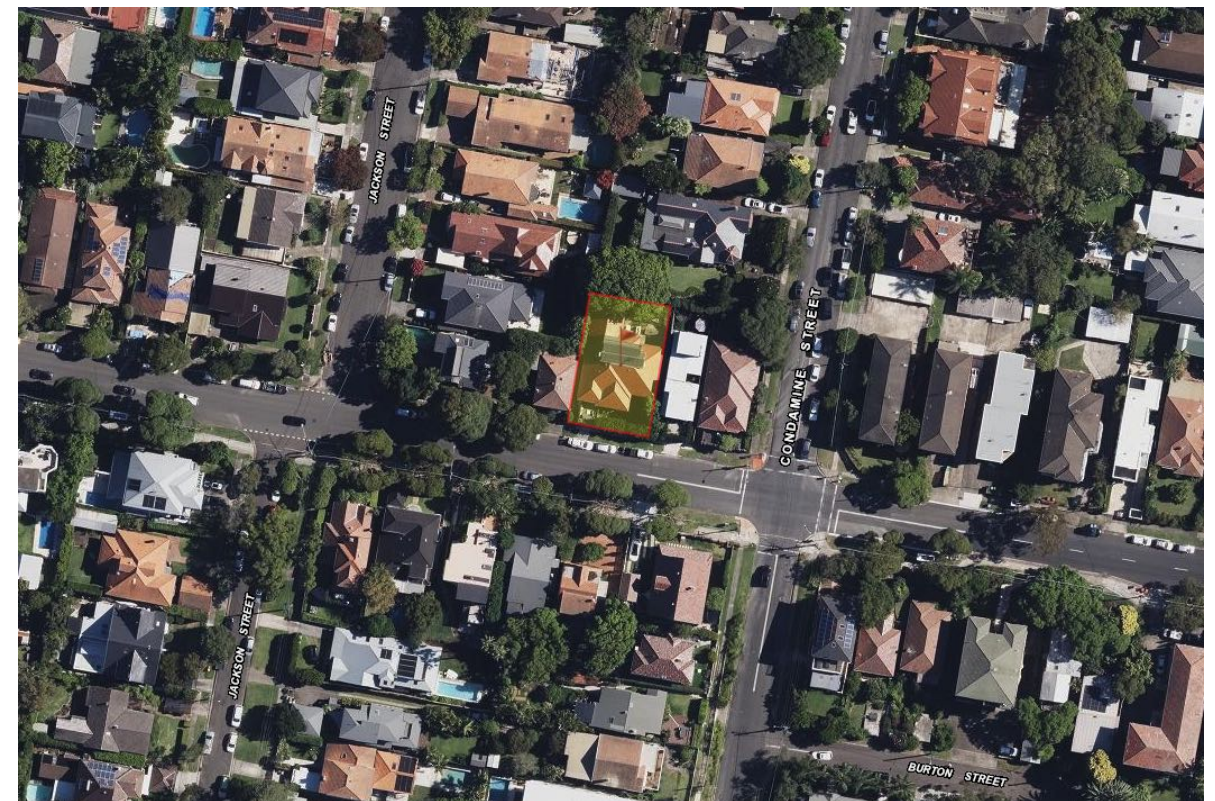
Construction of Swimming Pool, Minor Alterations & Additions to Residence & Associated Landscape Works

CLIENT

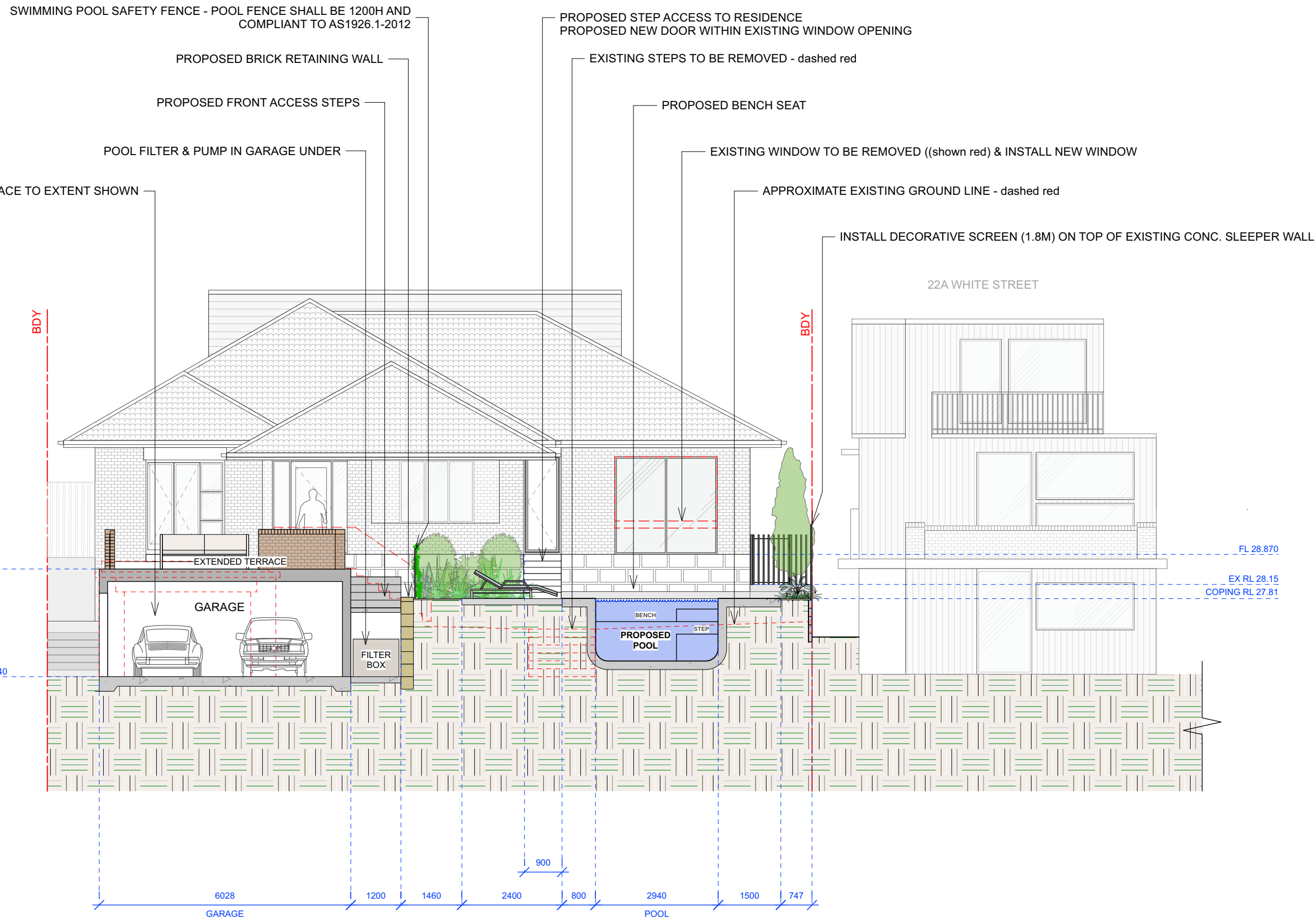
Alex & Susan Jans

ADDRESS

**24 White Street,
Balgowlah, NSW 2093**



SITE LOCATION
LOT A - DP 317685



CONTOUR
LANDSCAPE ARCHITECTURE

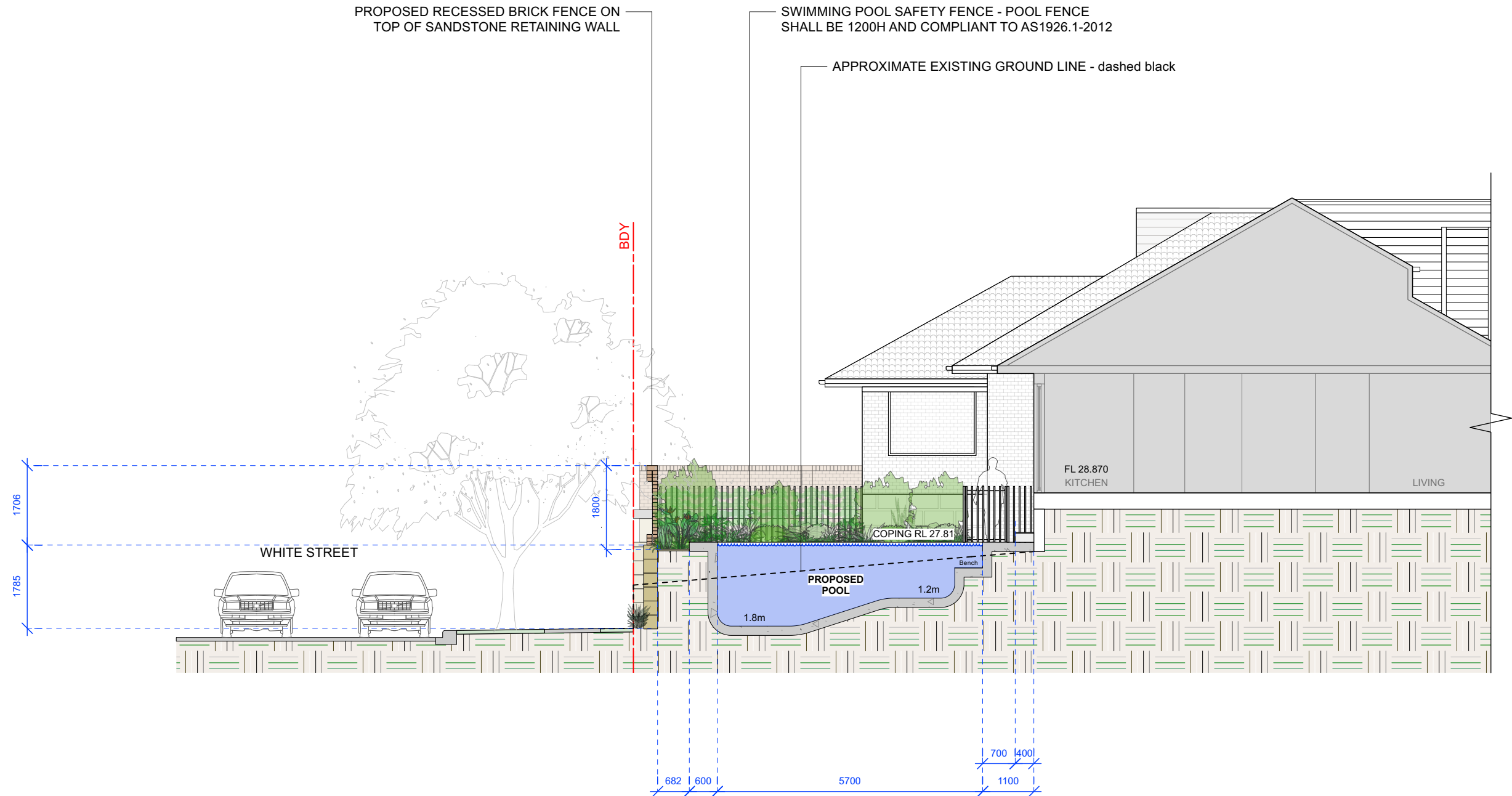
PO Box 698 MONA VALE NSW 1660
Tel: 0434 500 705

PROJECT:
Alex & Susan Jans
SITE:
**24 White Street,
Balgowlah, NSW 2093**

NOTES
comply with building code of Australia and all relevant Australian standards
all works shall be in accordance with development application and construction certificate conditions of consent
all levels to and
refer to survey information relating to existing site data
verify all dimensions prior to works
do not scale from drawings
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DATE	REV.	ISSUE
07/06/24	A	DRAFT
22/10/24	B	DRAFT DA
26/11/24	C	DA

DATE:	26/11/2024	DRAWING SECTION AA
SCALE:	1:100 @ A3	DRAWING NO : C2
DRAWN:	BT	REV: C



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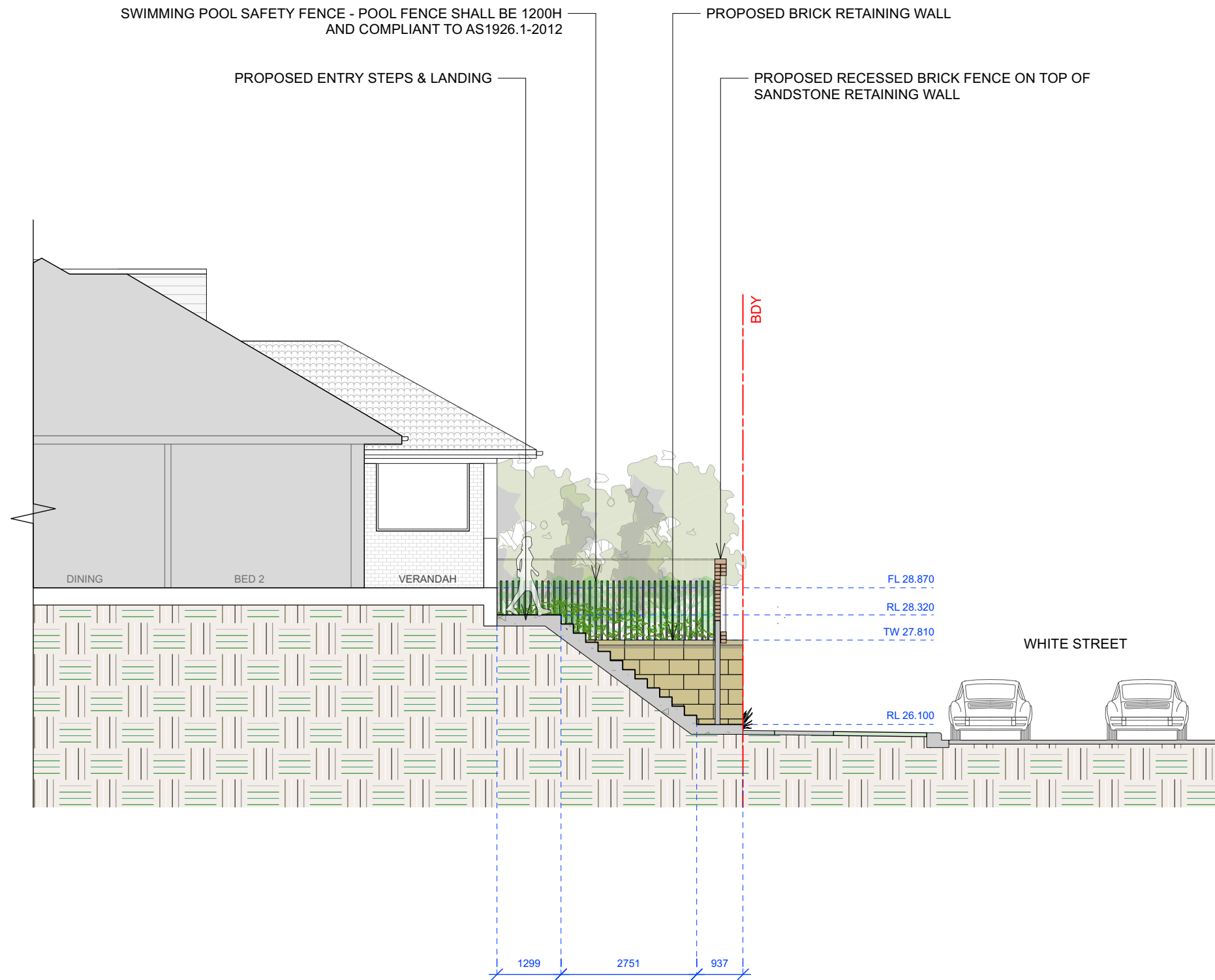
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DATE:	26/11/2024	DRAWING SECTION BB
SCALE:	1:100 @ A3	DRAWING NO : C3
DRAWN:	BT	REV: C



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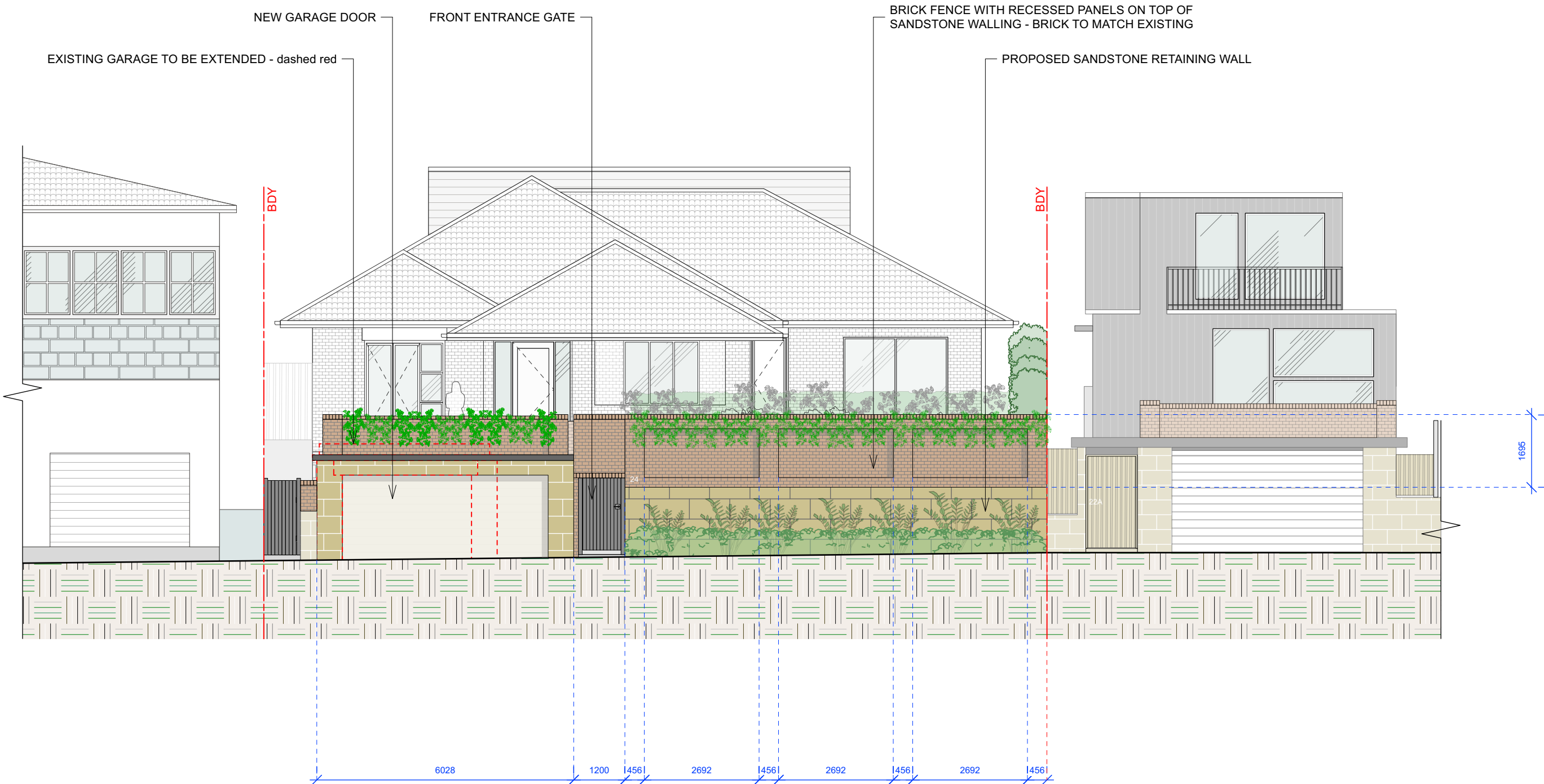
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07/06/24	A	DRAFT
22/10/24	B	DRAFT DA
26/11/24	C	DA

DATE:	26/11/2024	DRAWING SECTION CC
SCALE:	1:100 @ A3	DRAWING NO : C4
DRAWN:	BT	REV: C

26 WHITE STREET

SUBJECT LOT
24 WHITE STREET

22A WHITE STREET



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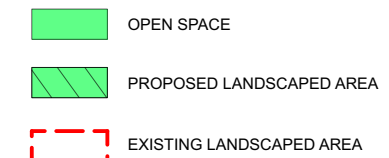
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DATE:	26/11/2024	DRAWING SOUTH ELEVATION - D
SCALE:	1:100 @ A3	DRAWING NO : C5
DRAWN:	BT	REV: C



DEVELOPMENT COMPLIANCE TABLE
with reference to
Manly 21 DCP - 4.1.5 Open Space and Landscaping

SITE AREA: 524.3m2				
	REQUIRED	EXISTING	PROPOSED	COMPL
Total Open Space - Min. 55% of site area (A minimum dimension of 3m & A minimum unbroken area of 12m2)	288.365m2	289.33m2	289.33m2	YES
Landscaped Area- Min. 35% of Total Open Space (A minimum dimension of 0.5m)	100.927m2	113.63m2	67.99m2	NO

As per 4.1.9 Swimmings, Spas and Water Features

- c) The setback of the outer edge of the pool/spa concourse from the side and rear boundaries must be at least 1m, with the water line being at least 1.5m from the boundary.

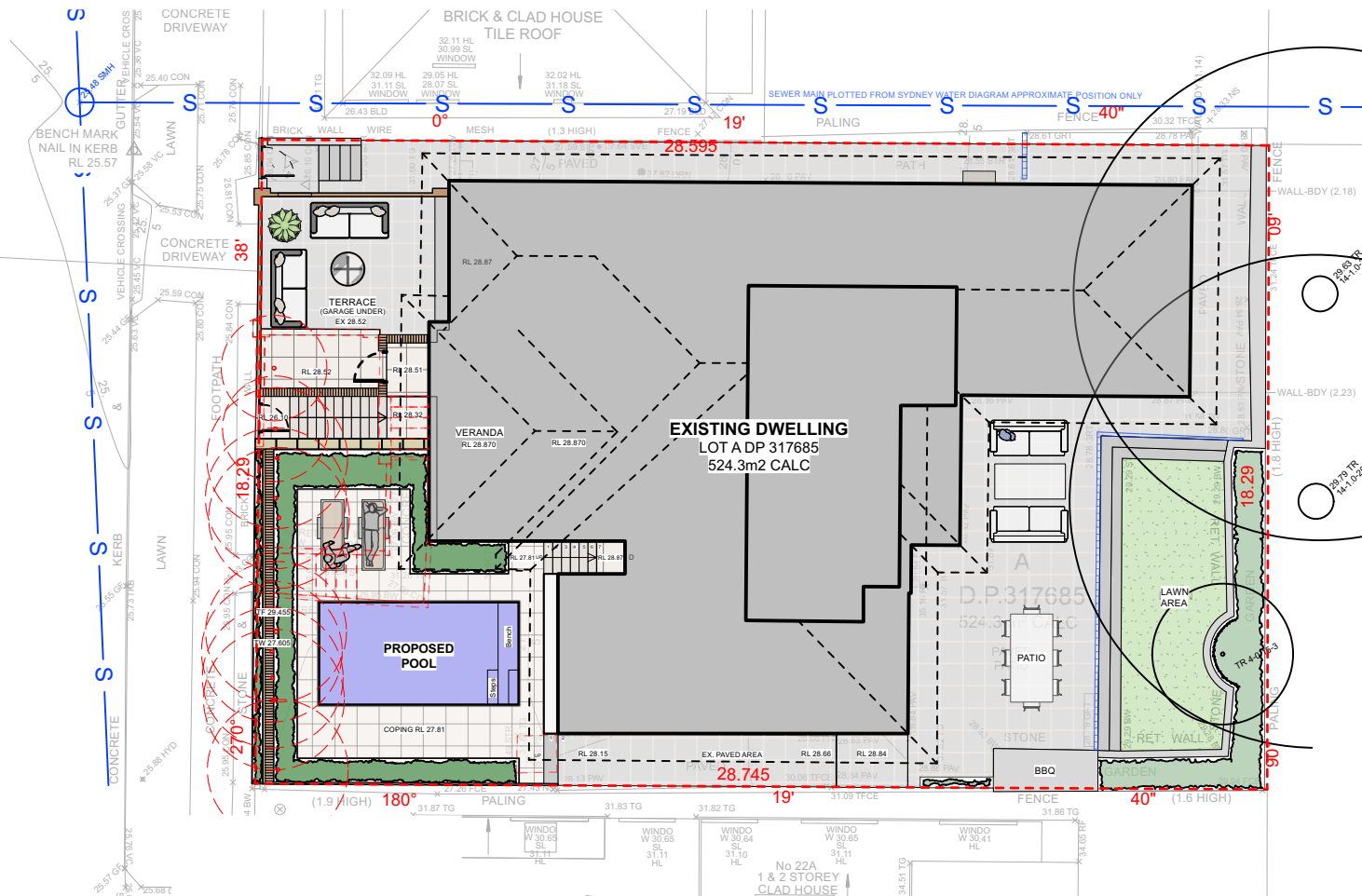
- 4.1.9.4 Other matters

- Pumps and filters must be located, enclosed and acoustically controlled to limit noise to the appropriate standard.
- Swimming pools should be covered with a secure "pool blanket", or similar device, when not in use to minimise water loss by evaporation and to conserve energy in heated pools.

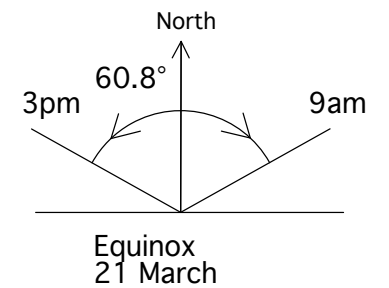
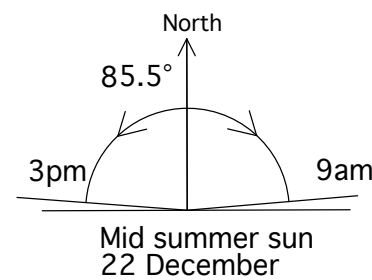
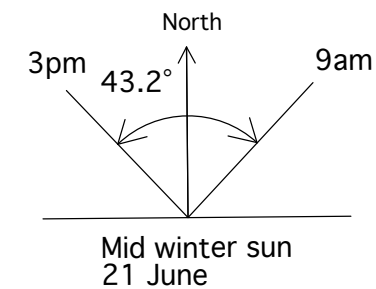
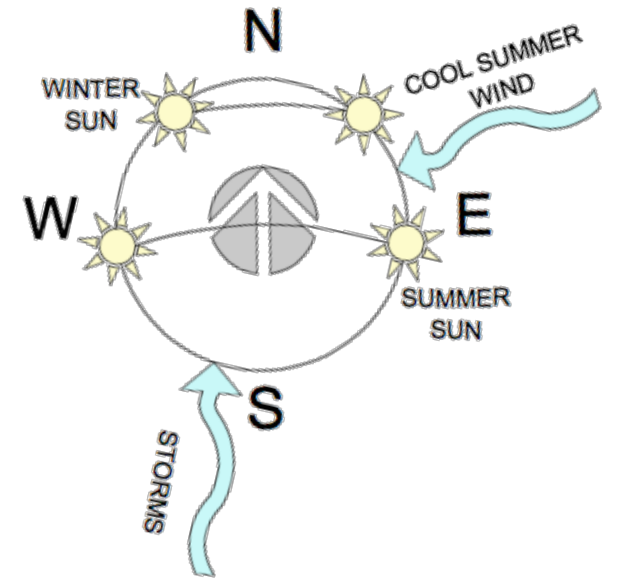
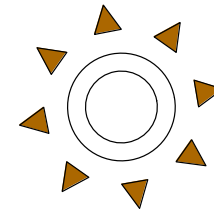
STREET

(BITUMEN FORMATION)

WHITE



Sun Angles



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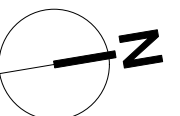
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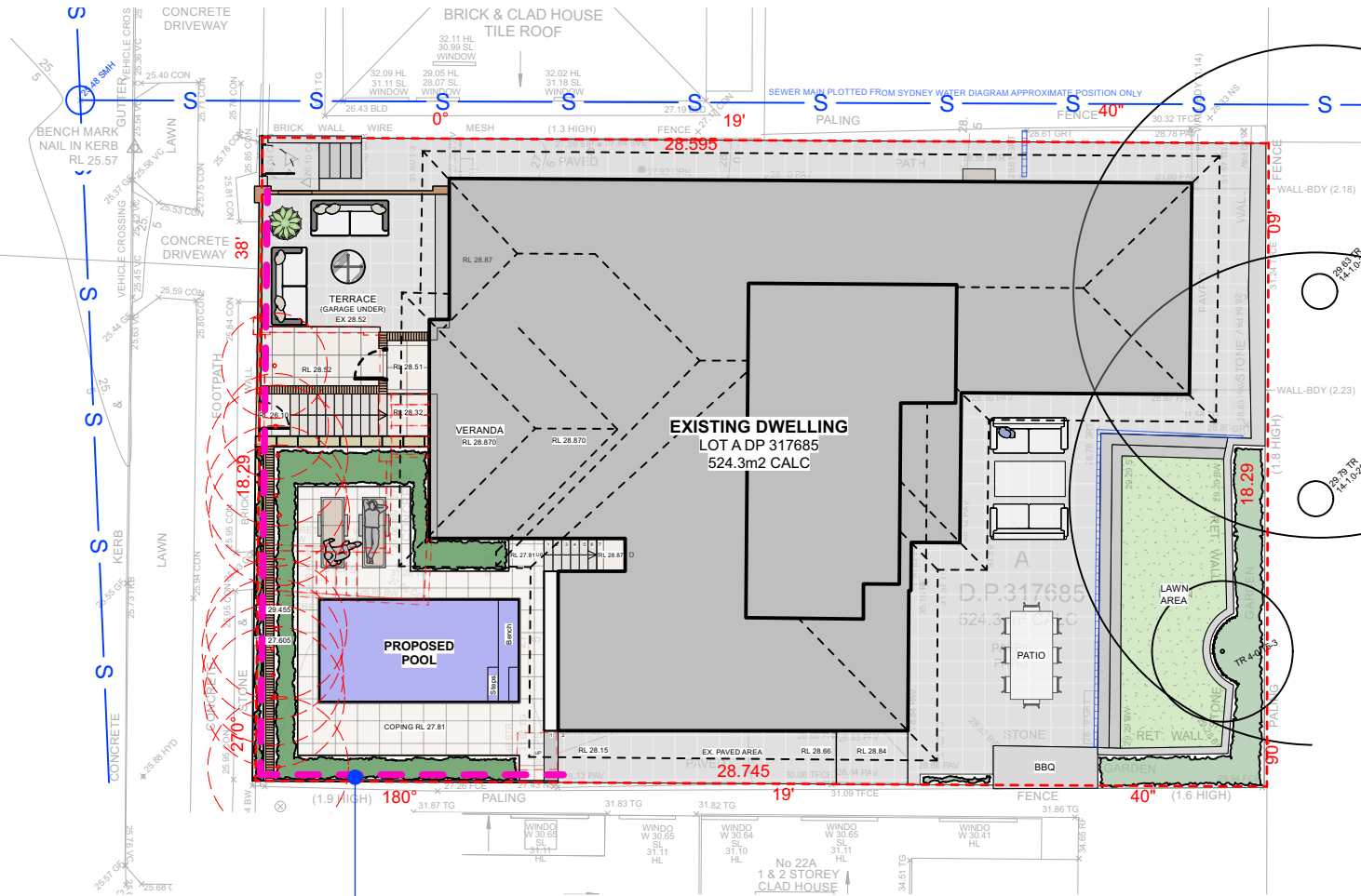
DATE:	26/11/2024	DRAWING SITE ANALYSIS
SCALE:	1:200 @ A3	DRAWING NO : C7
DRAWN:	BT	REV: C



STREET

(BITUMEN FORMATION)

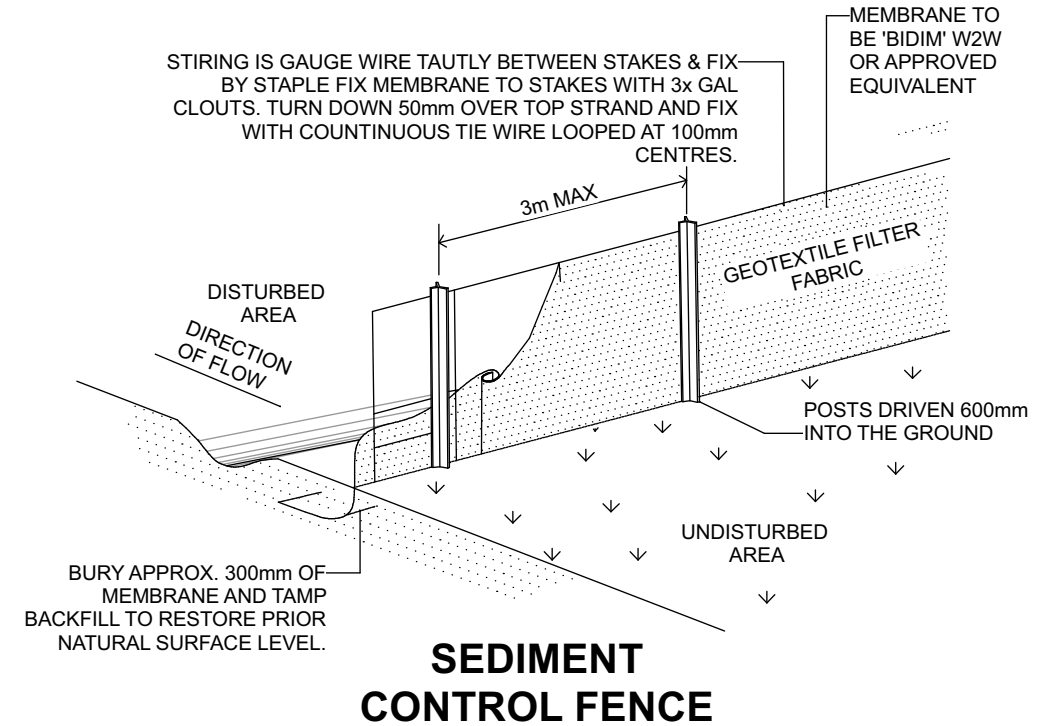
WHITE



APPROXIMATE LOCATION OF SEDIMENT CONTROL BARRIER

SEDIMENT CONTROL PLAN

Scale 1:200



SEDIMENT CONTROL FENCE

1. ALL WORK SHALL BE GENERALLY CARRIED OUT IN ACCORDANCE WITH:
 - A. LOCAL AUTHORITY REQUIREMENTS
 - B. EPA REQUIREMENTS
 - C. NSW DEPARTMENT OF HOUSING MANUAL
2. MAINTAIN THE EROSION CONTROL DEVICES TO THE SATISFACTION OF THE SUPERINTENDENT AND THE LOCAL AUTHORITY.
3. WHEN STORMWATER PITS ARE CONSTRUCTED, PREVENT SITE RUNOFF ENTERING UNLESS SILT FENCES ARE ERECTED AROUND PITS.
4. CONTRACTOR IS TO ENSURE ALL EROSION & SEDIMENTATION CONTROL DEVICES ARE MAINTAINED IN GOOD WORKING ORDER AND OPERATE EFFECTIVELY. REPAIRS AND/OR MAINTENANCE SHALL BE UNDERTAKEN AS REQUIRED, PARTICULARLY FOLLOWING STORM EVENTS.
5. CLEAN BEHIND FENCE EACH MAJOR STORM OR OTHERWISE AS DIRECTED AND REMOVE ALL SILT FROM THE SITE.
6. 'BIDIM' W2W IS SUPPLIED BY GEOFABRICS AUST. P/L

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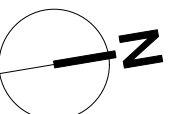
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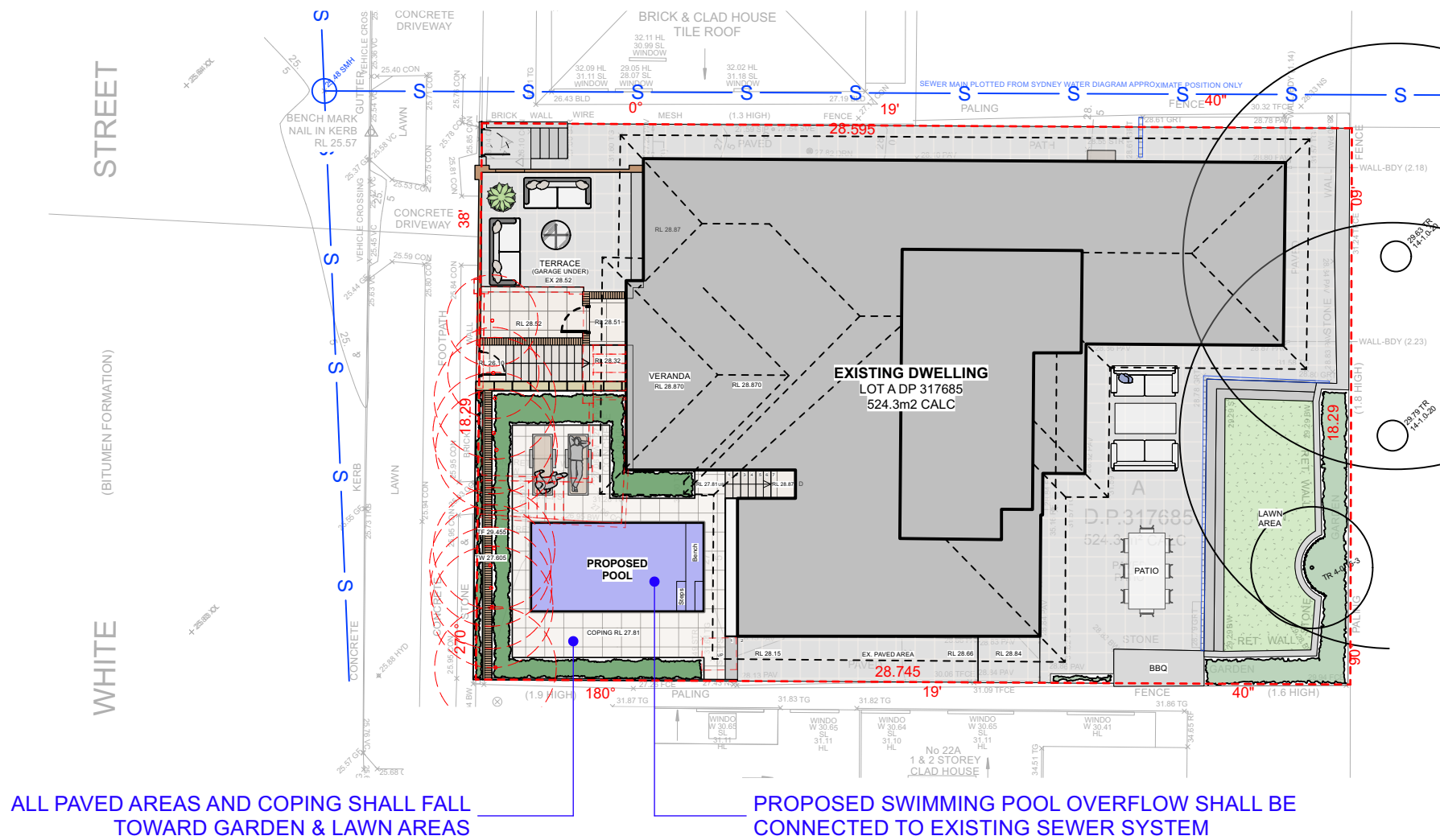
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DRAWING
SEDIMENT CONTROL PLAN

DRAWING NO :
C8

REV: C





STORMWATER DRAINAGE PLAN

Scale 1:200

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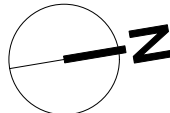
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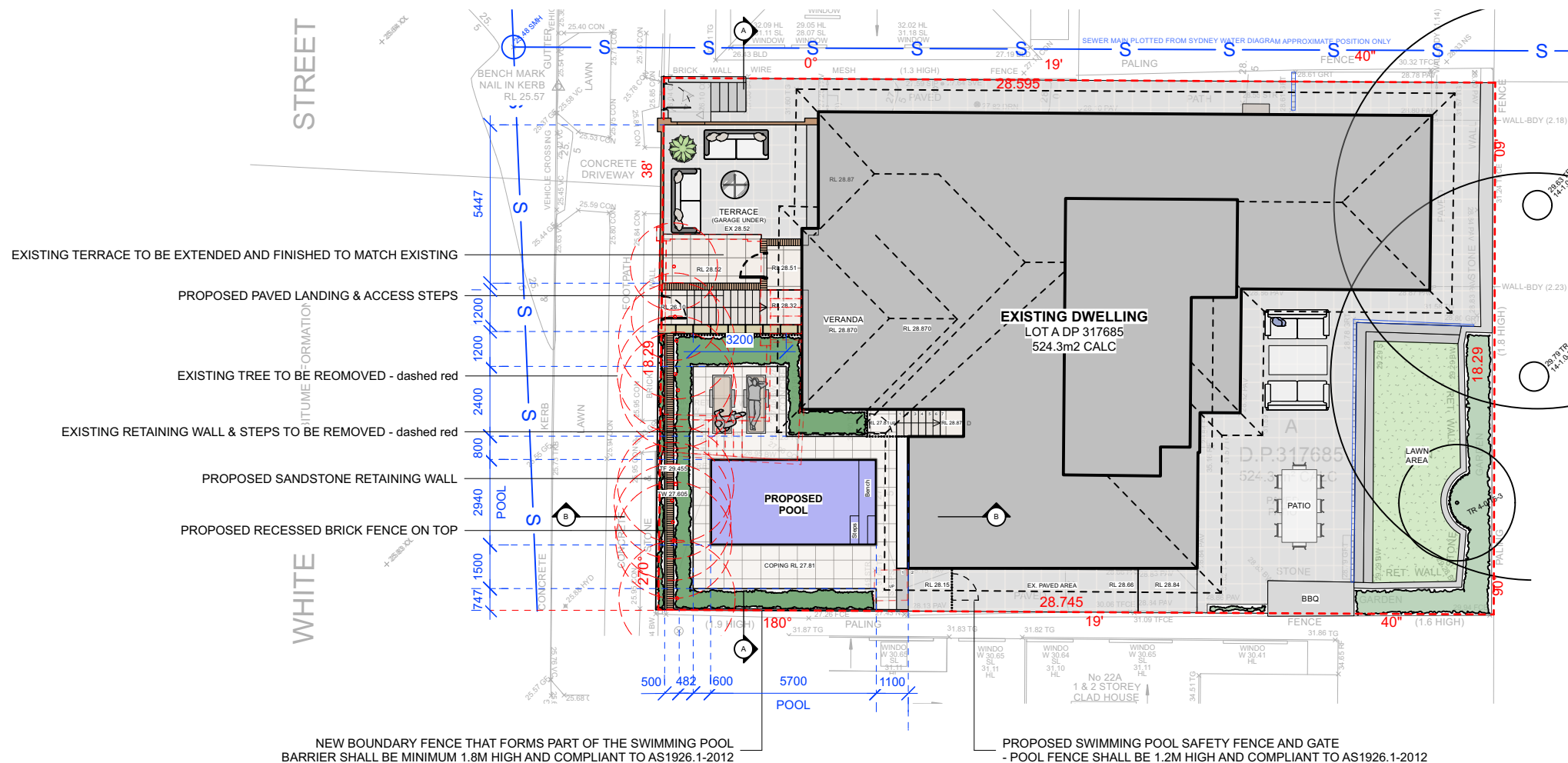
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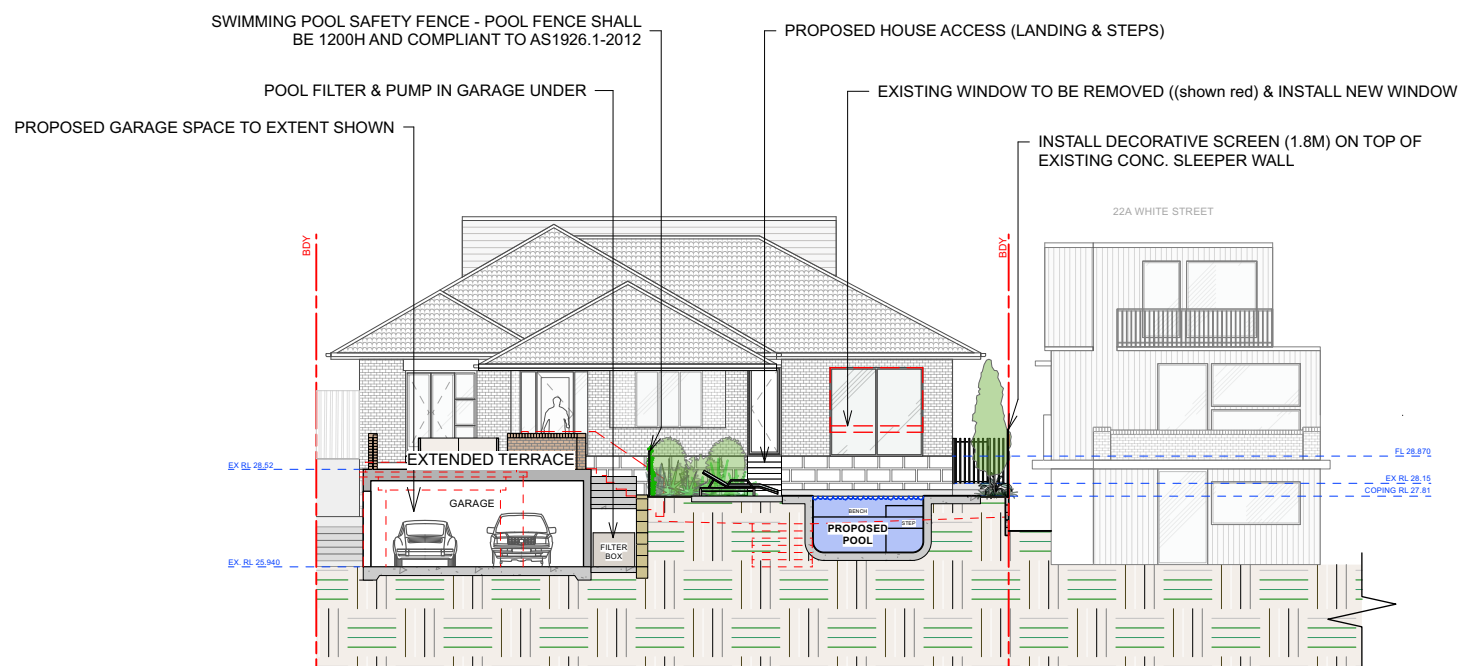
DATE: 26/11/2024
SCALE: 1:200 @ A3
DRAWN: BT

DRAWING
**STORMWATER DRAINAGE
PLAN**
DRAWING NO :
C9
REV: C

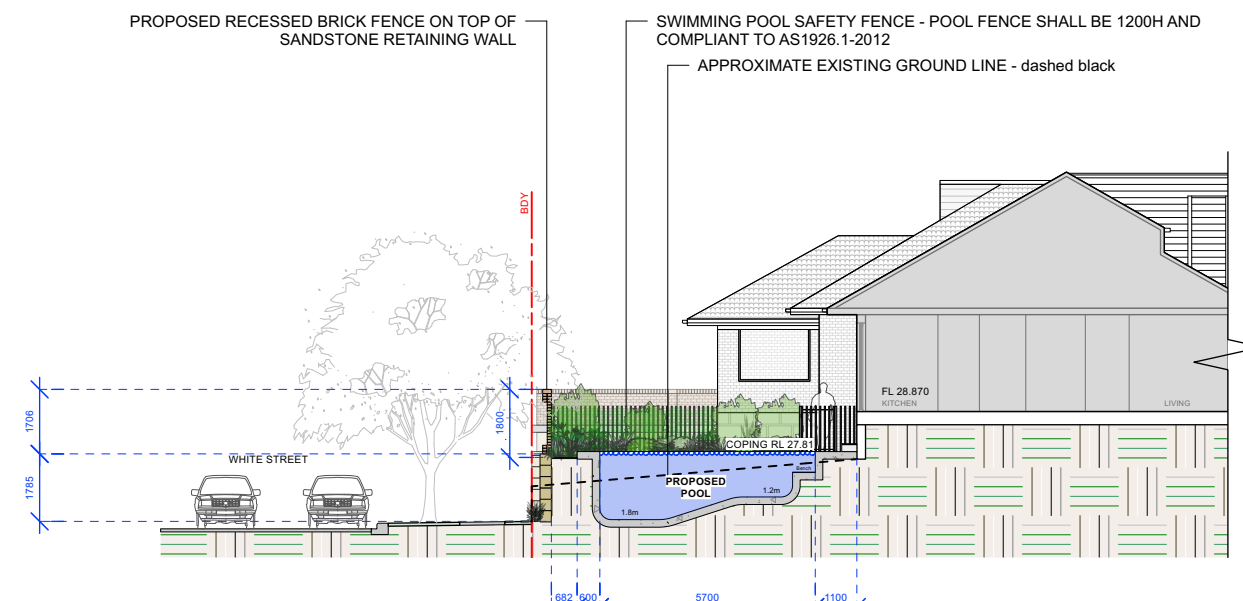




SITE PLAN 1:200 @ A3



SECTION A 1:200 @ A3



SECTION B 1:200 @ A3

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SCALE: 1:200 @ A3
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DRAWING
NOTIFICATION PLAN

DRAWING NO :
C10
REV: C

