

DEVELOPMENT PROPOSAL

DP: 11909  
LOT No. 53  
SITE AREA: 866.30MSQ.  
EXIST. GFA: 112.00MSQ.  
PROPOSED GFA: 253.00MSQ  
MAX. BUILDING HEIGHT: 8.5M

NEW WORKS:  
NEW 2ND STOREY ADDITION.  
INTERNAL ALTS AND ADS  
NEW FRONT DECK AND ENTRY

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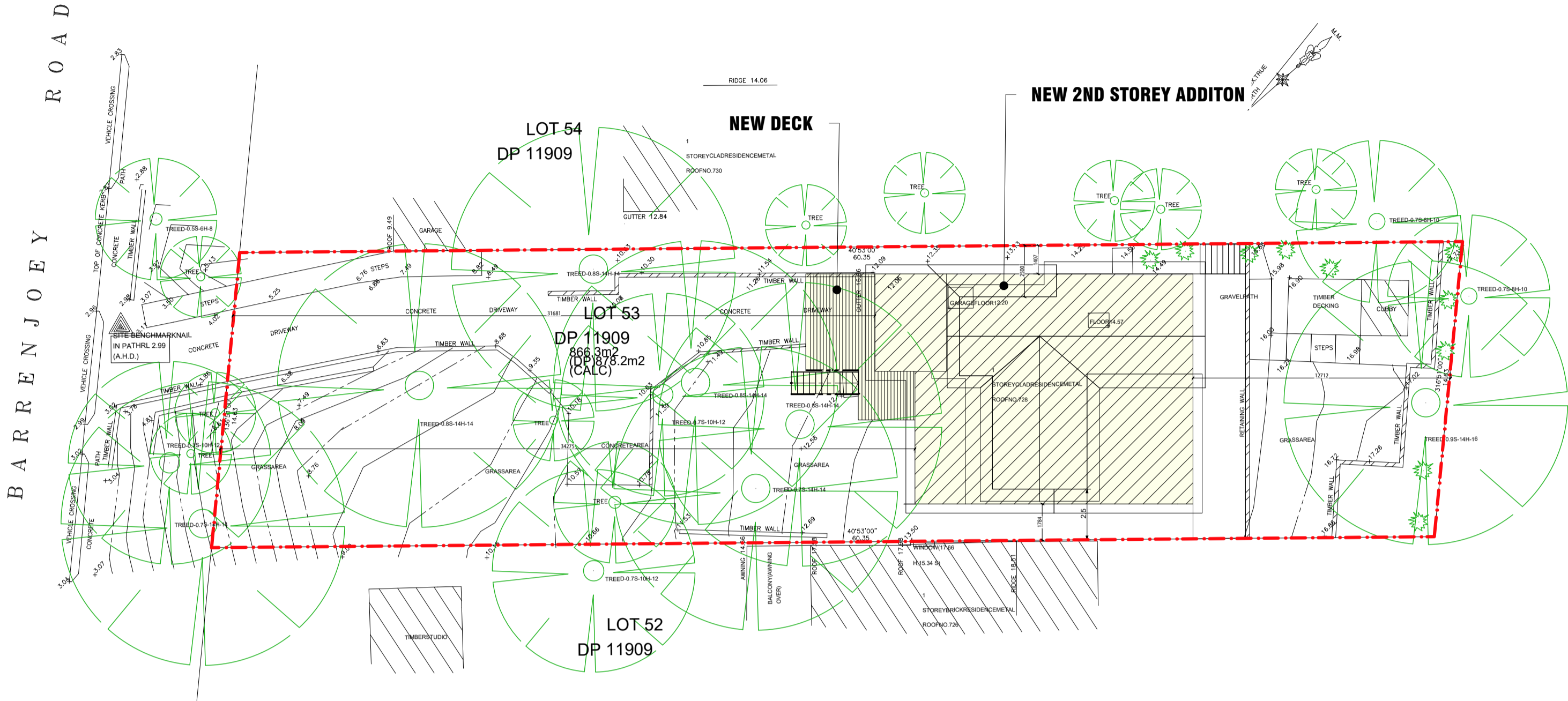
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LEGEND:  
EXISTING BUILDING OUTLINE

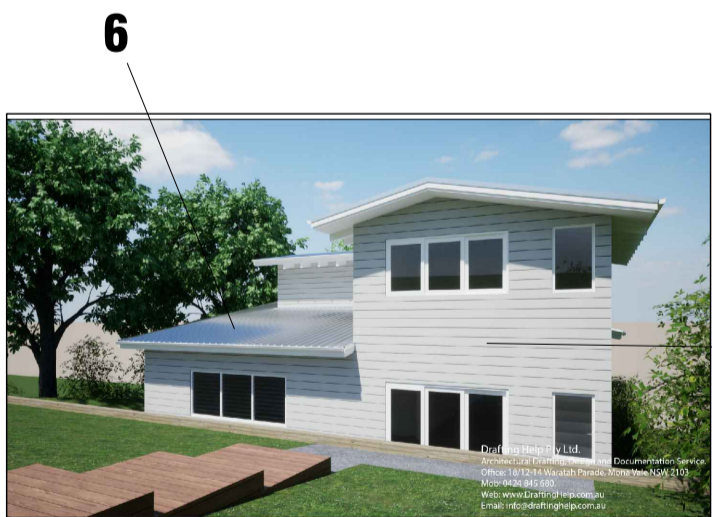
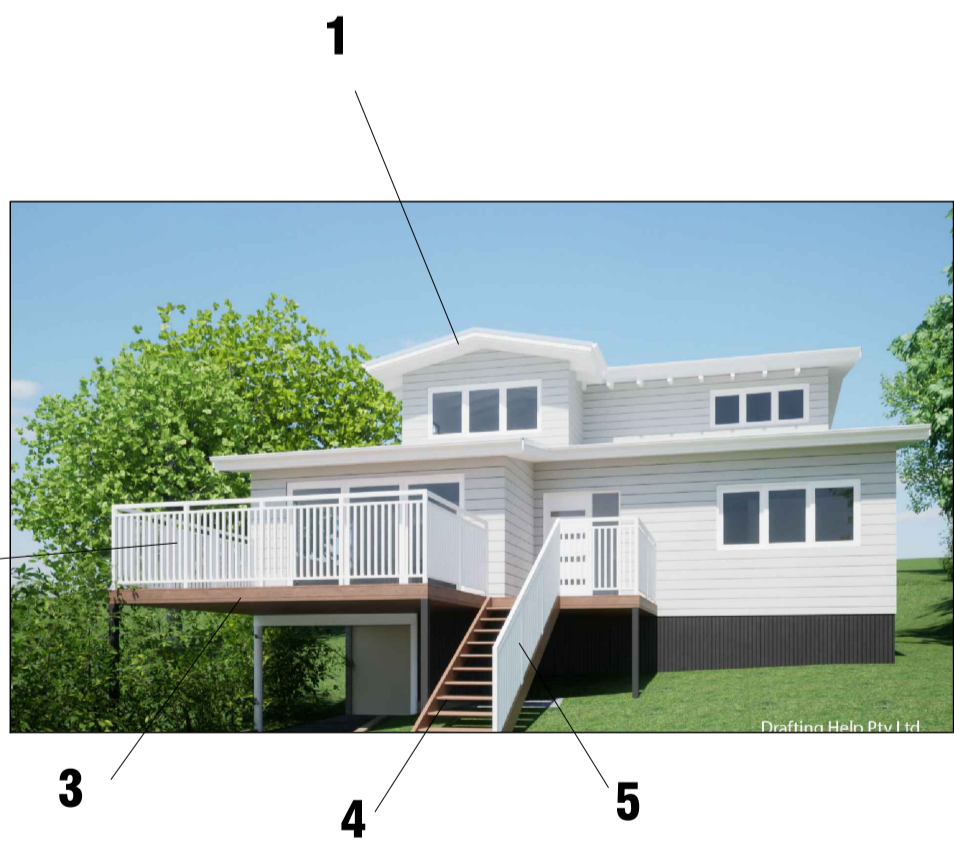
SMOKE ALARMS TO COMPLY WITH AS 3786

THIS DEVELOPMENT IS REQUIRED TO BE CARRIED OUT IN ACCORDANCE WITH ALL AUSTRALIAN STANDARDS



SITE PLAN  
SCALE 1:200

MATERIALS AND FINISHES



1. ALL CLADDING IS- H3 DESIGN PINE WEATHERBOARD PROFILE 'CHAMFER' 166MM X 18MM – IN DULUX TRANQUIL RETREAT
2. BALUSTRADE IN TIMBER PAINTED IN VIVID WHITE
3. ALL DECKING IS 140MM HARDWOOD DECKING BOARDS
4. ALL DECKING AND STAIRS HARDWOOD
5. BALUSTRADE IN TIMBER PAINTED IN VIVID WHITE
6. ALL ROOFING IS CORRUGATED IRON, IF LOWER THAN 5 DEGREES IN PITCH FOR LOWER FLOOR ROOFS ROOFING WILL BE TRIMDEK. ROOFING COLOURS WILL BE COLORBOND MONUMENT. ALL DOWN PIPES AND FLASHING WILL BE IN COLOUR MONUMENT
7. ALL WINDOWS ARE TIMBER PAINTED IN VIVID WHITE.

DISCLAIMER:

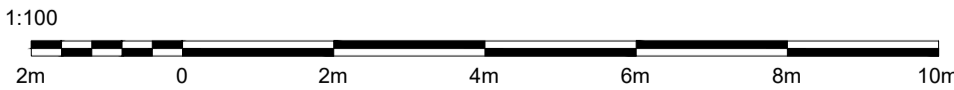
THE DRAWINGS PROVIDED HEREIN HAVE BEEN COMPILED BY A DRAFTING HELP PTY LTD BASED ON THE DESIGN SPECIFICATIONS AND INSTRUCTIONS PROVIDED BY THE OWNER. WHILE EVERY EFFORT HAS BEEN MADE TO ENSURE ACCURACY, THE DRAFTSMAN DOES NOT ASSUME RESPONSIBILITY FOR THE DESIGN'S COMPLIANCE WITH APPLICABLE CODES, REGULATIONS, OR SPECIFIC PROJECT REQUIREMENTS. IT IS RECOMMENDED THAT ALL DESIGNS BE REVIEWED BY A QUALIFIED PROFESSIONAL BEFORE IMPLEMENTATION. THE OWNER ACCEPTS FULL RESPONSIBILITY FOR THE DESIGN AND ANY ASSOCIATED OUTCOMES.

SMOKE ALARMS TO COMPLY WITH AS 3786

NOTE: 1ST FLOOR WINDOWS TO BE RESTRICTED

GENERAL NOTES

- BUILDER TO CONFIRM ALL LEVELS AND DIMENSIONS ON SITE BEFORE WORK BEGINS
- ALL WORK TO BE IN ACCORDANCE WITH LOCAL AUTHORITIES REQUIREMENTS AND B.C.A. REQUIREMENTS
- CONNECT DIPS TO EXISTING STORMWATER SYSTEM
- ALL STRUCTURAL DETAILS TO ENGINEERS SPECIFICATIONS



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728 BARRENJOEY RD  
AVALON BEACH  
2107

ARCHITECTURAL DRAFTING  
3D VISUALISATION  
DEVELOPMENT APPLICATION  
ASSISTANCE  
COUNCIL COMPLIANT PLANS

LEGEND:  
EXISTING BUILDING OUTLINE  
PROPOSED WORK

General Notes

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JESSICA L' GREEN  
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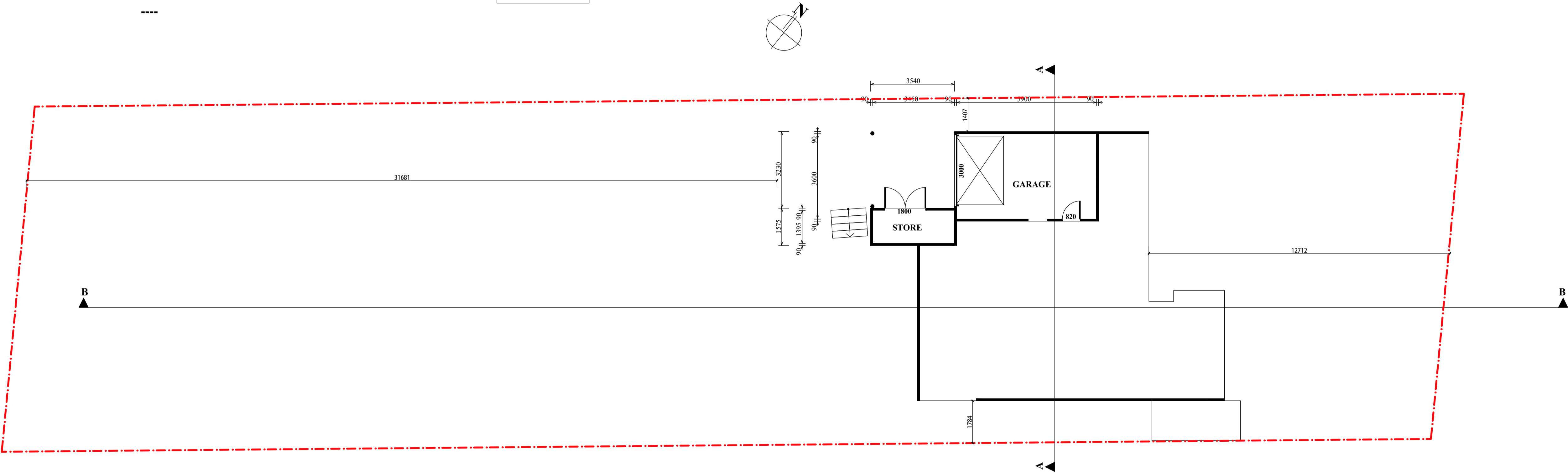
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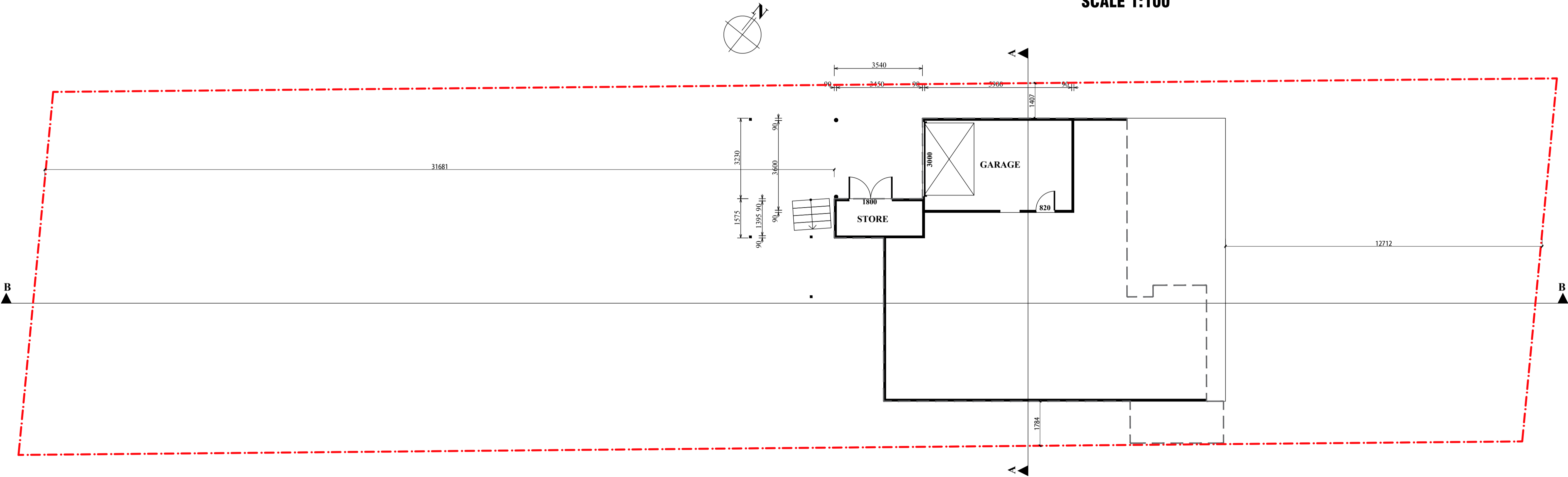
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LEGEND:  
EXISTING BUILDING OUTLINE

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LOWER FLOOR PLAN - EXISTING  
SCALE 1:100



LOWER FLOOR PLAN - PROPOSED  
SCALE 1:100

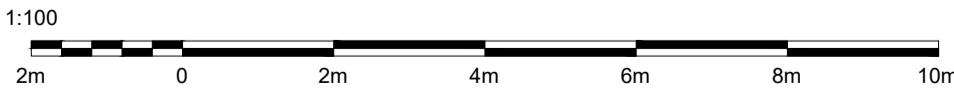
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ALL STRUCTURAL DETAILS TO ENGINEERS SPECIFICATIONS



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LEGEND:

--- EXISTING BUILDING OUTLINE

PROPOSED WORK

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Project ADDITIONS AND ALTERATIONS	Sheet <b>2</b>
Date 27-Sep-22	
Scale AS SHOWN	

DP No. 11909  
LOT No. 53


A	ISSUED FOR DA	10.01.25
No.	Revision/Issue	Date

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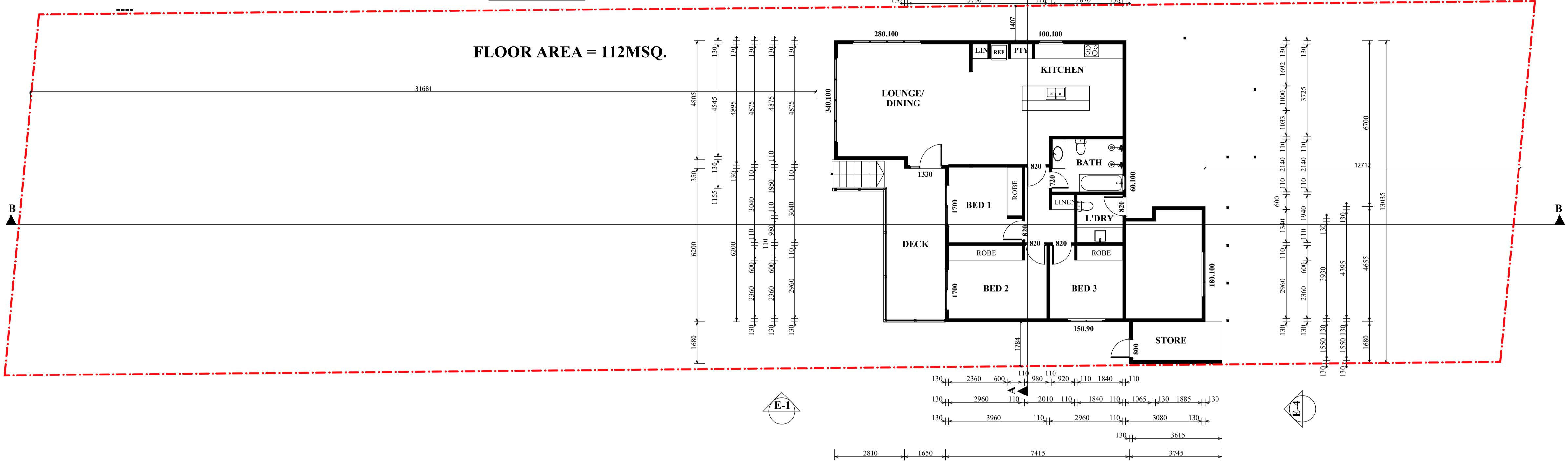
Project Name and Address  
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DEVELOPMENT PROPOSAL

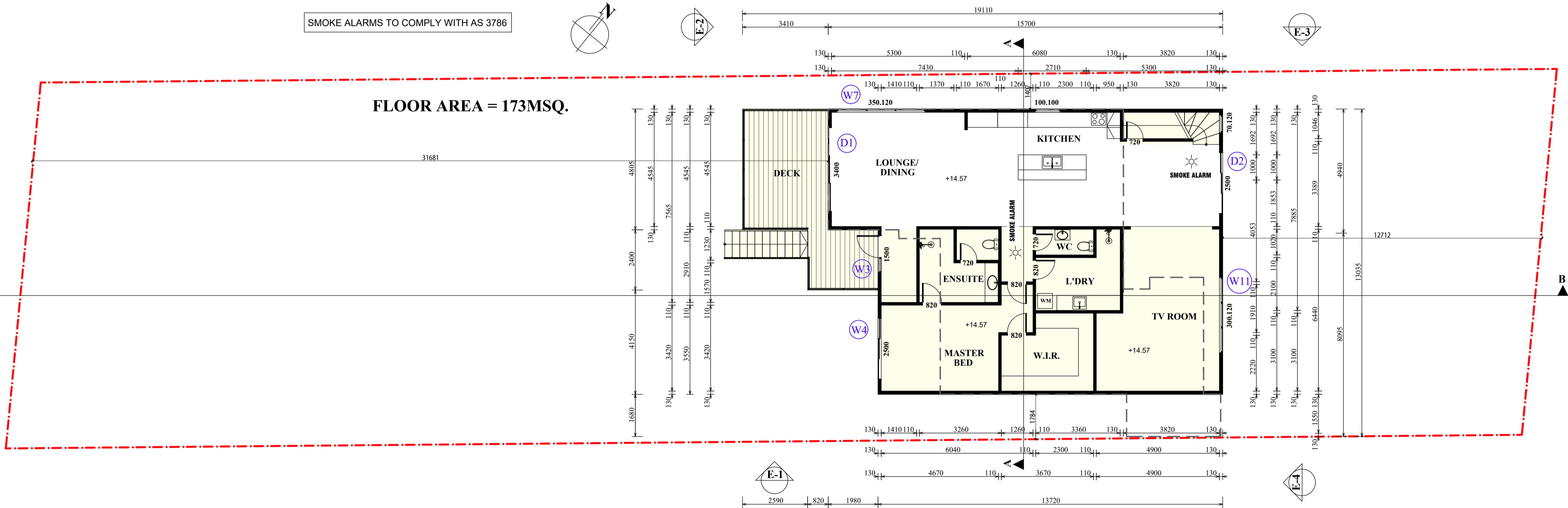
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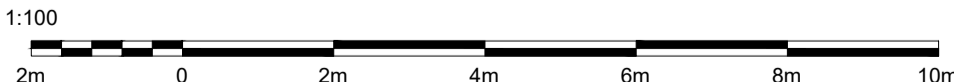


GROUND FLOOR PLAN - EXISTING  
SCALE 1:100



GRPUND FLOOR PLAN - PROPOSED  
SCALE 1:100

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--- PROPOSED WORK

General Notes

Project Annotations and Alterations  
Date: 27-Sep-22  
Scale: AS SHOWN

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Sheet 3

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02 8778 3474

Project Name and Address  
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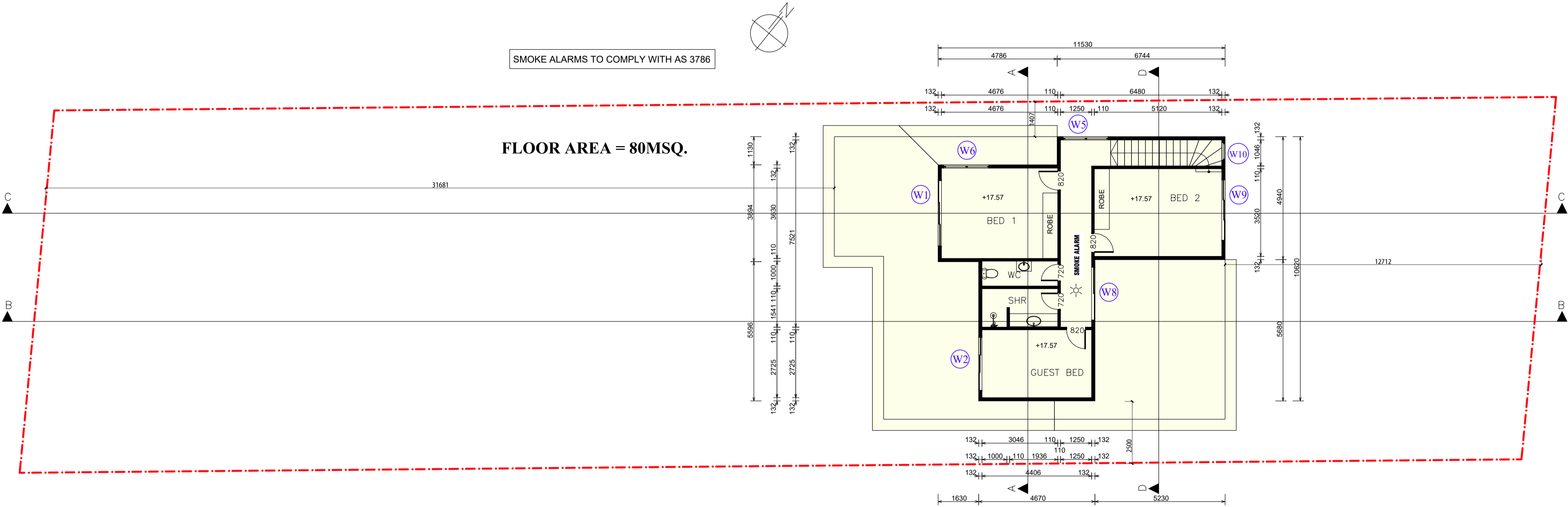
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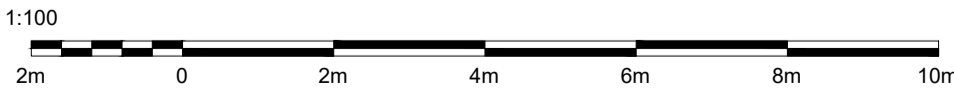
LEGEND:  
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SMOKE ALARMS TO COMPLY WITH AS 3786  
⚡



1ST FLOOR PLAN - PROPOSED  
SCALE 1:100

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Project Additions and Alterations	Sheet <b>4</b>
Date 27-Sep-22	
Scale AS SHOWN	

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1. ☐ 2. ☐ 3. ☐ 4. ☐

5. ☐ 6. ☐ 7. ☐ 8. ☐

9. ☐ 10. ☐ 11. ☐ 12. ☐

## SMOKE ALARMS TO COMPLY WITH AS 3786



1:100



2m 0 2m 4m 6m 8m 10m

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— — EXISTING BUILDING OUTLINE

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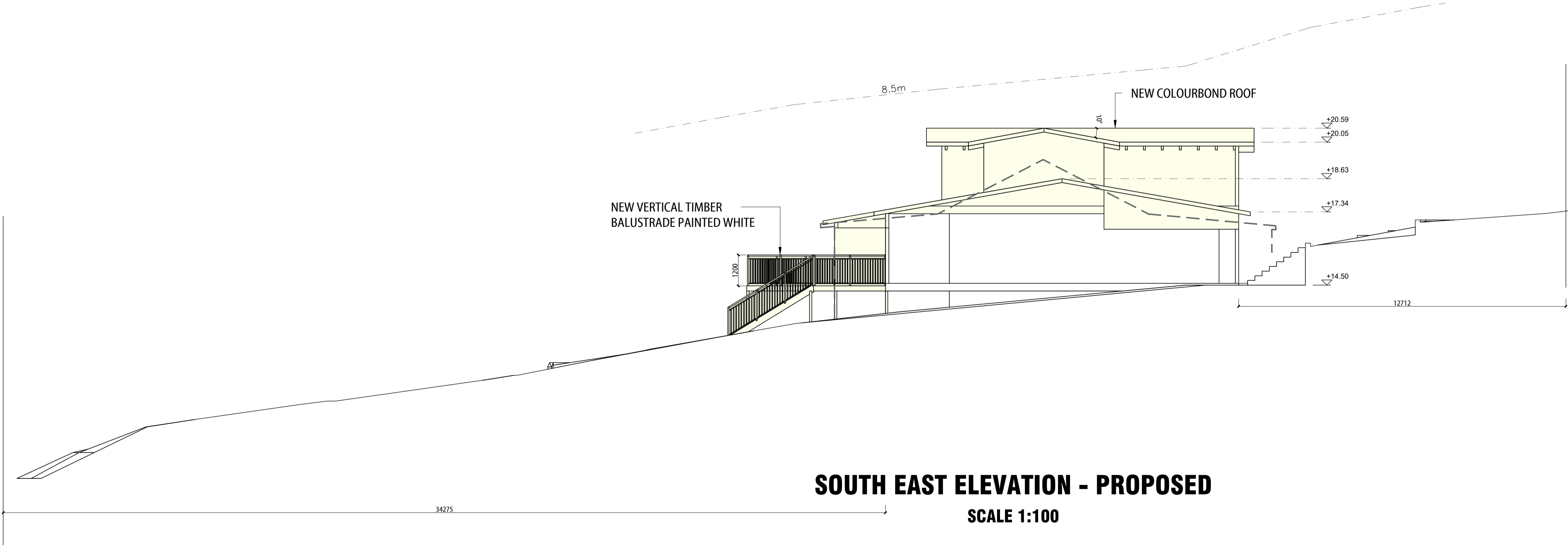
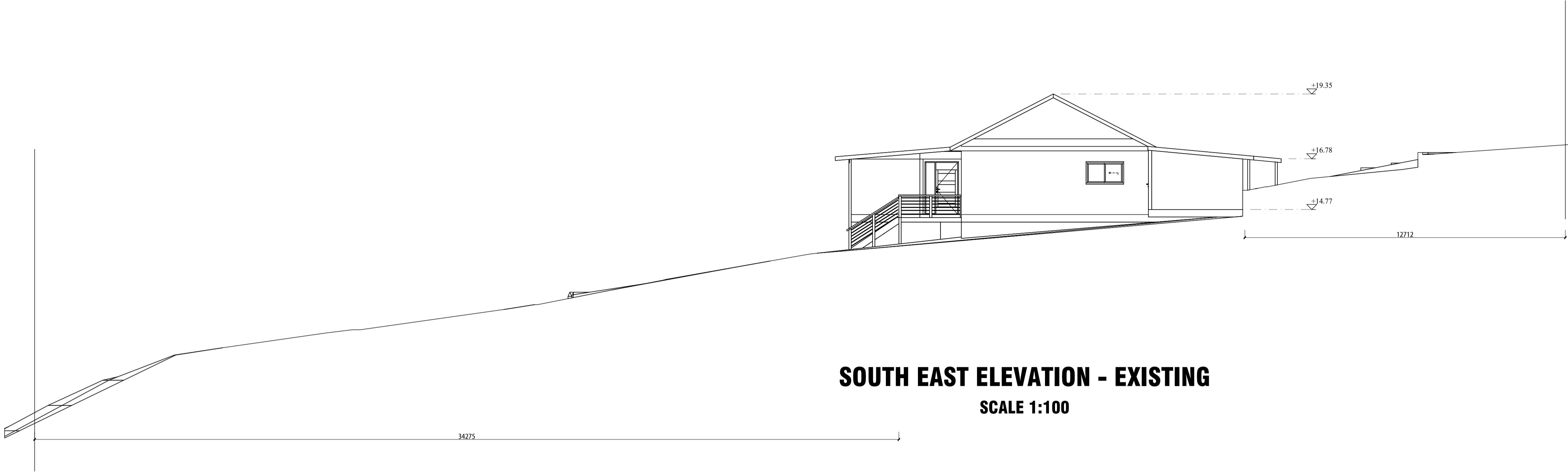
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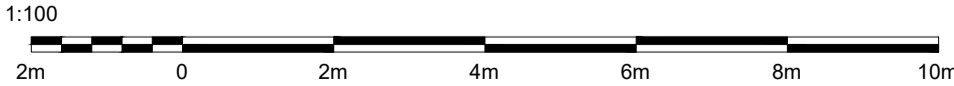
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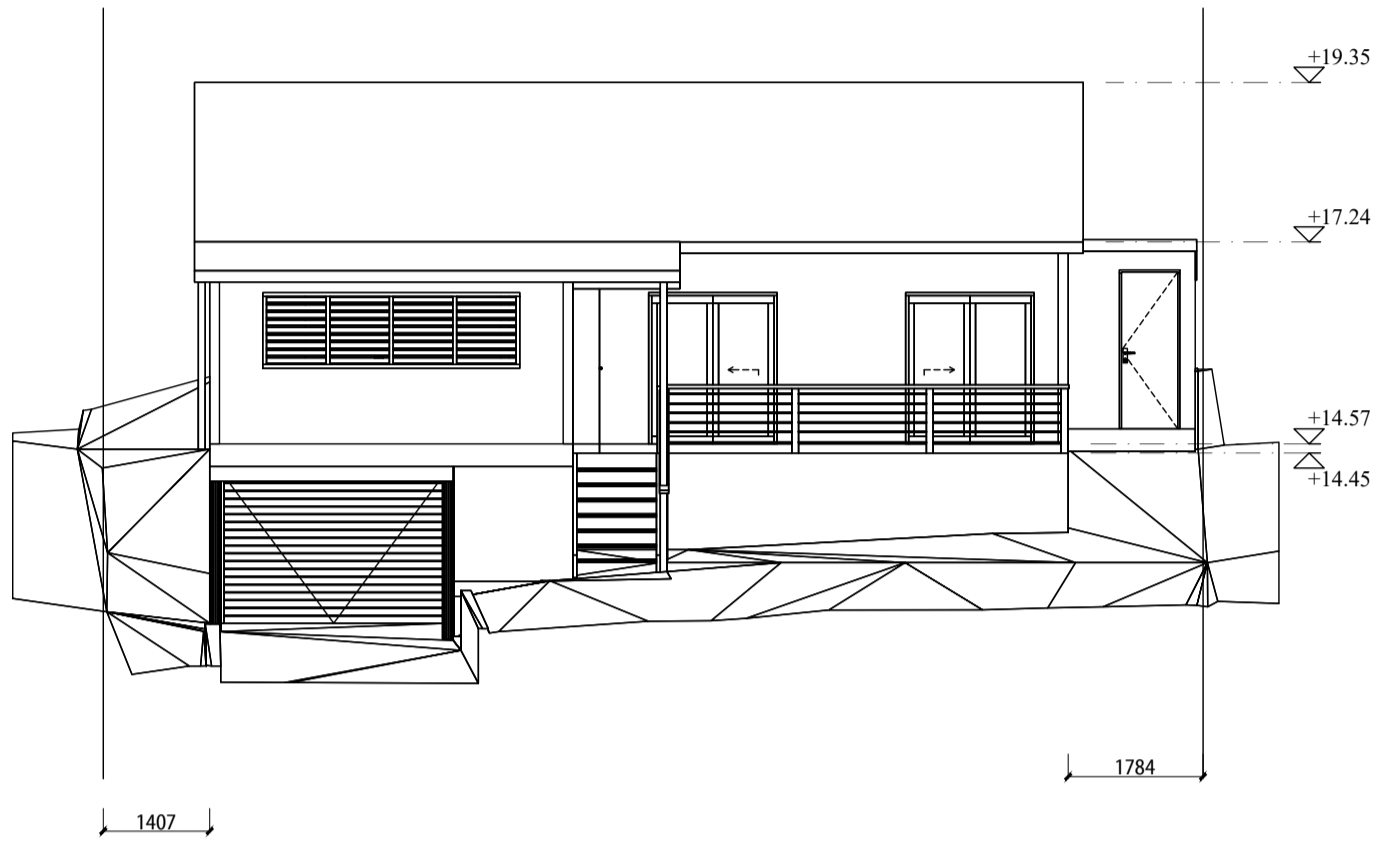
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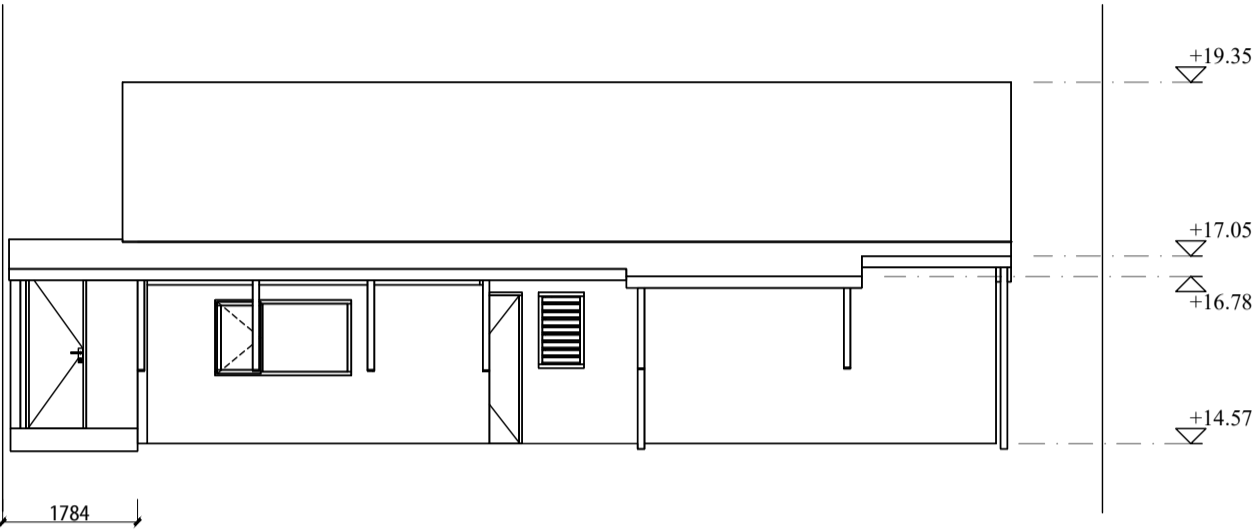
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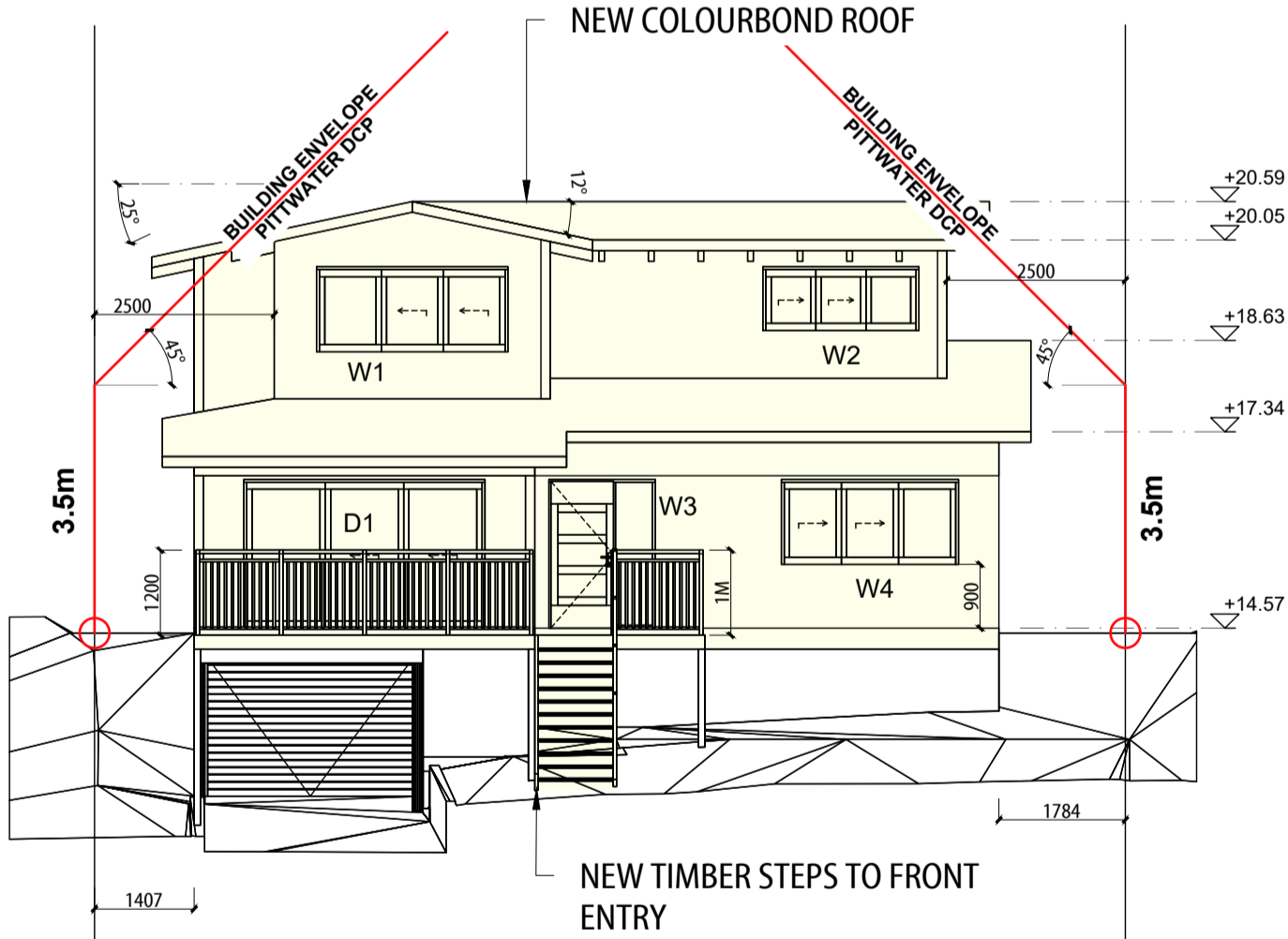
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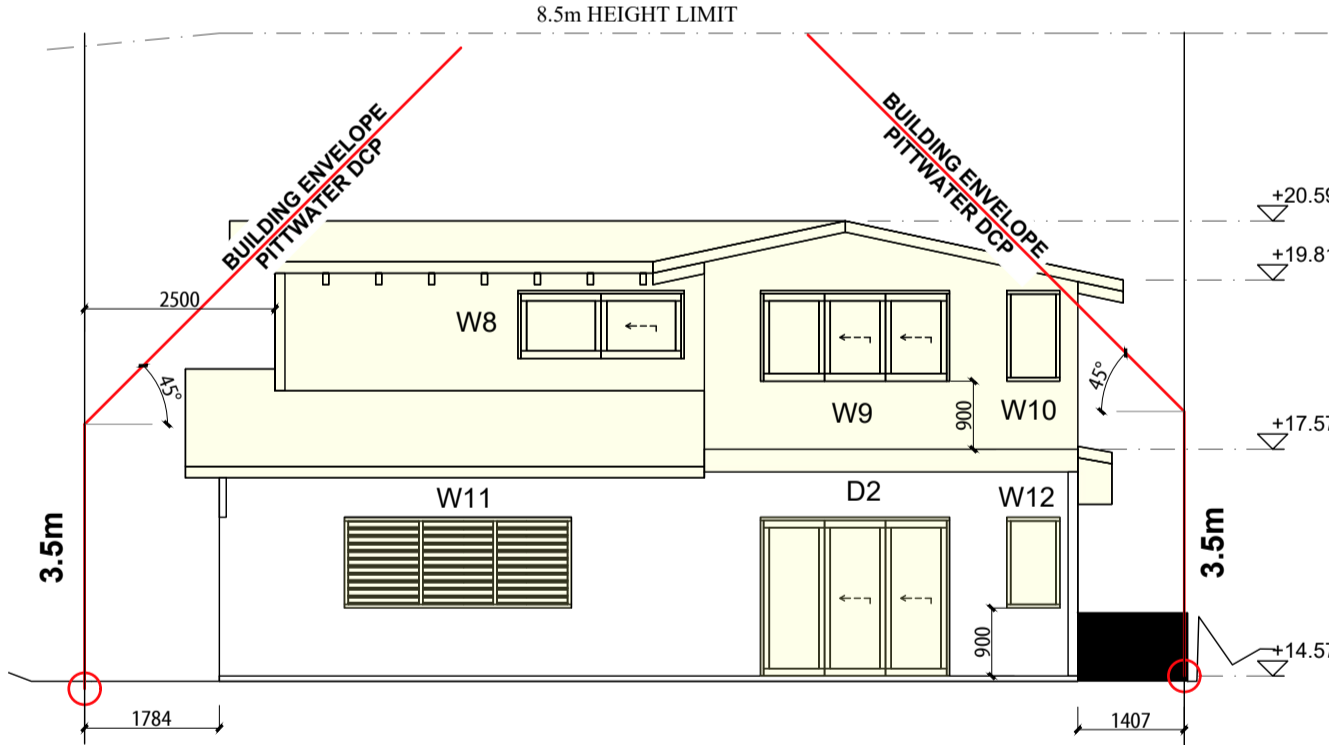
SOUTH WEST ELEVATION - EXISTING  
SCALE 1:100



NORTH EAST ELEVATION - EXISTING  
SCALE 1:100



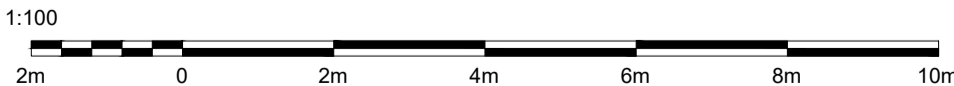
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AVALON BEACH  
2107

ARCHITECTURAL DRAFTING  
3D VISUALISATION  
DEVELOPMENT APPLICATION  
ASSISTANCE  
COUNCIL COMPLIANT PLANS

LEGEND:  
--- EXISTING BUILDING OUTLINE  
--- PROPOSED WORK  
General Notes

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Project Additions and Alterations	Date	27-Sep-22	Sheet	7
Scale	AS SHOWN			
DP No. 11909				
LOT No. 53				
A	ISSUED FOR DA		10.01.25	
No.	Revision/Issue	Date		
DRAFTING HELP PTY LTD 18/12-14 WARATAH ST MONA VALE 2103 www.draftinghelp.com.au 02 8776 3474				
Project Name and Address JESSICA L' GREEN 728 BARRENJOEY RD AVALON BEACH 2107				

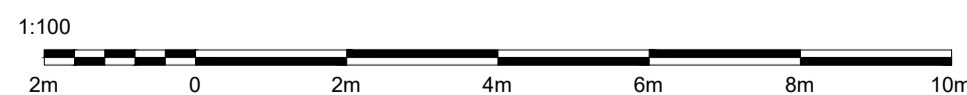
DP: **11909**  
LOT No. **53**  
SITE AREA: **866.30MSQ.**  
EXIST. GFA: **112.00MSQ.**  
PROPOSED GFA: **253.00MSQ**  
MAX. BUILDING HEIGHT: **8.5M**

100 100 100 100  
 100 100 100 100  
 100 100 100 100

SMOKE ALARMS TO  
COMPLY WITH AS 3786



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DP No.	<b>11909</b>
LOT No.	<b>53</b>

[illegible]

A	ISSUED FOR DA	10.01.25
No.	Revision/Issue	Date

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**AVALON BEACH**  
**2107**

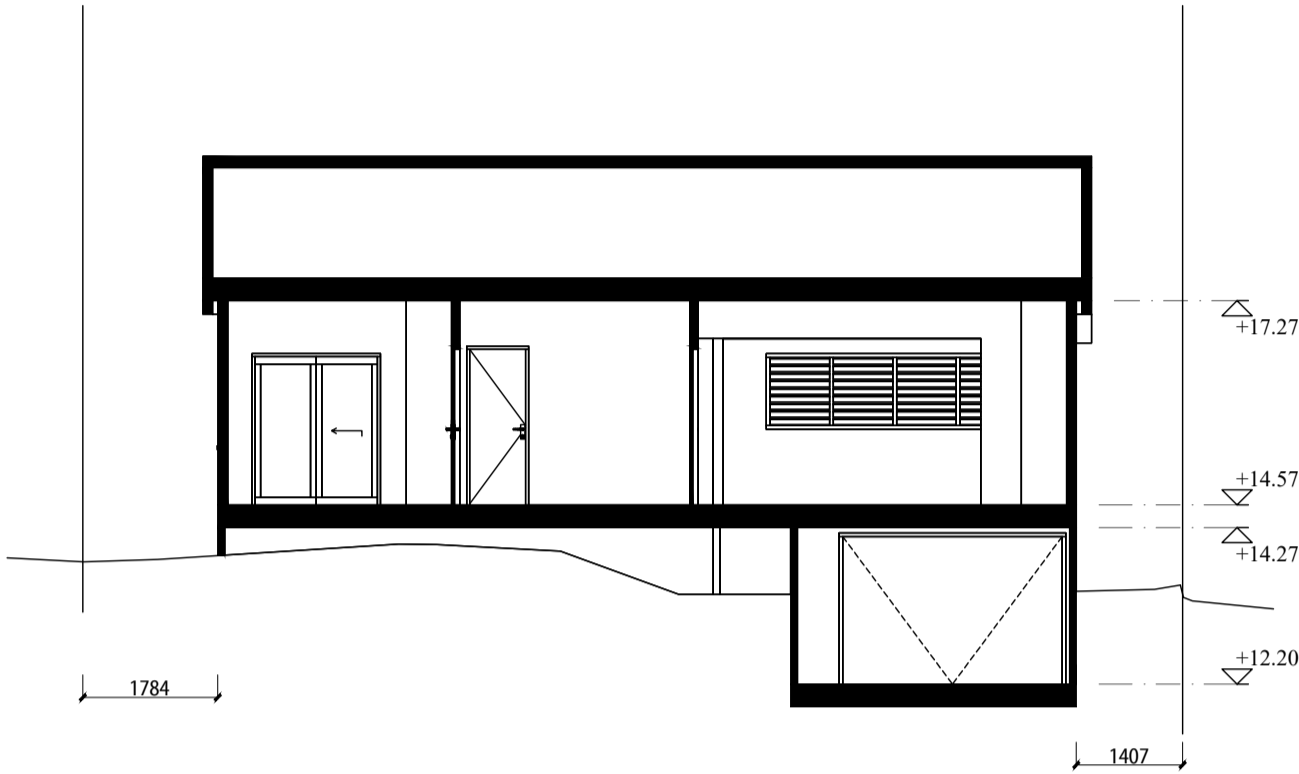
DEVELOPMENT PROPOSAL

DP: 11909  
LOT No. 53  
SITE AREA: 866.30MSQ.  
EXIST. GFA: 112.00MSQ.  
PROPOSED GFA: 253.00MSQ  
MAX. BUILDING HEIGHT: 8.5M

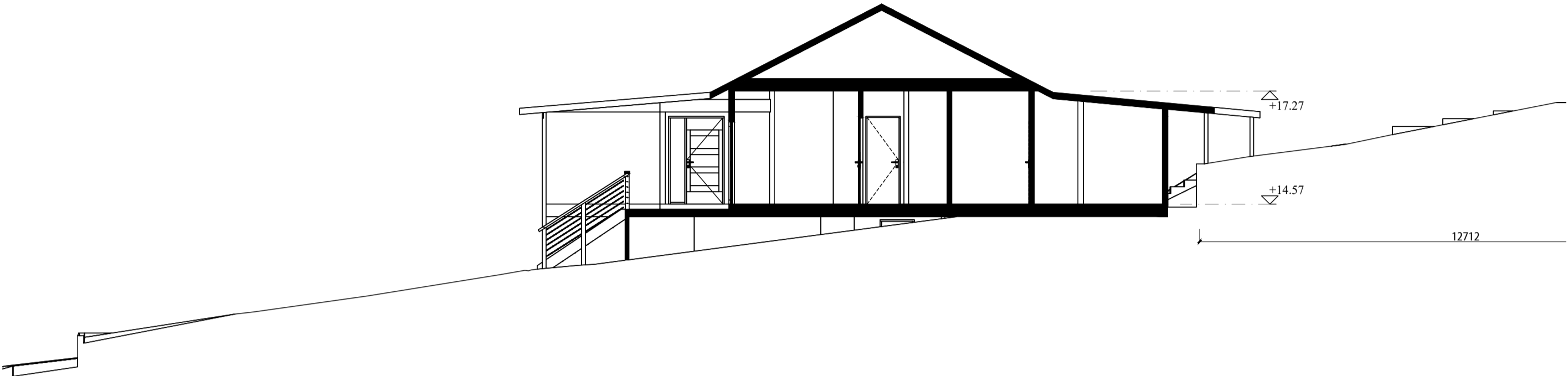
NEW WORKS:  
NEW 2ND STOREY ADDITION.  
INTERNAL ALTS AND ADS  
NEW FRONT DECK AND ENTRY  
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LEGEND:  
EXISTING BUILDING OUTLINE

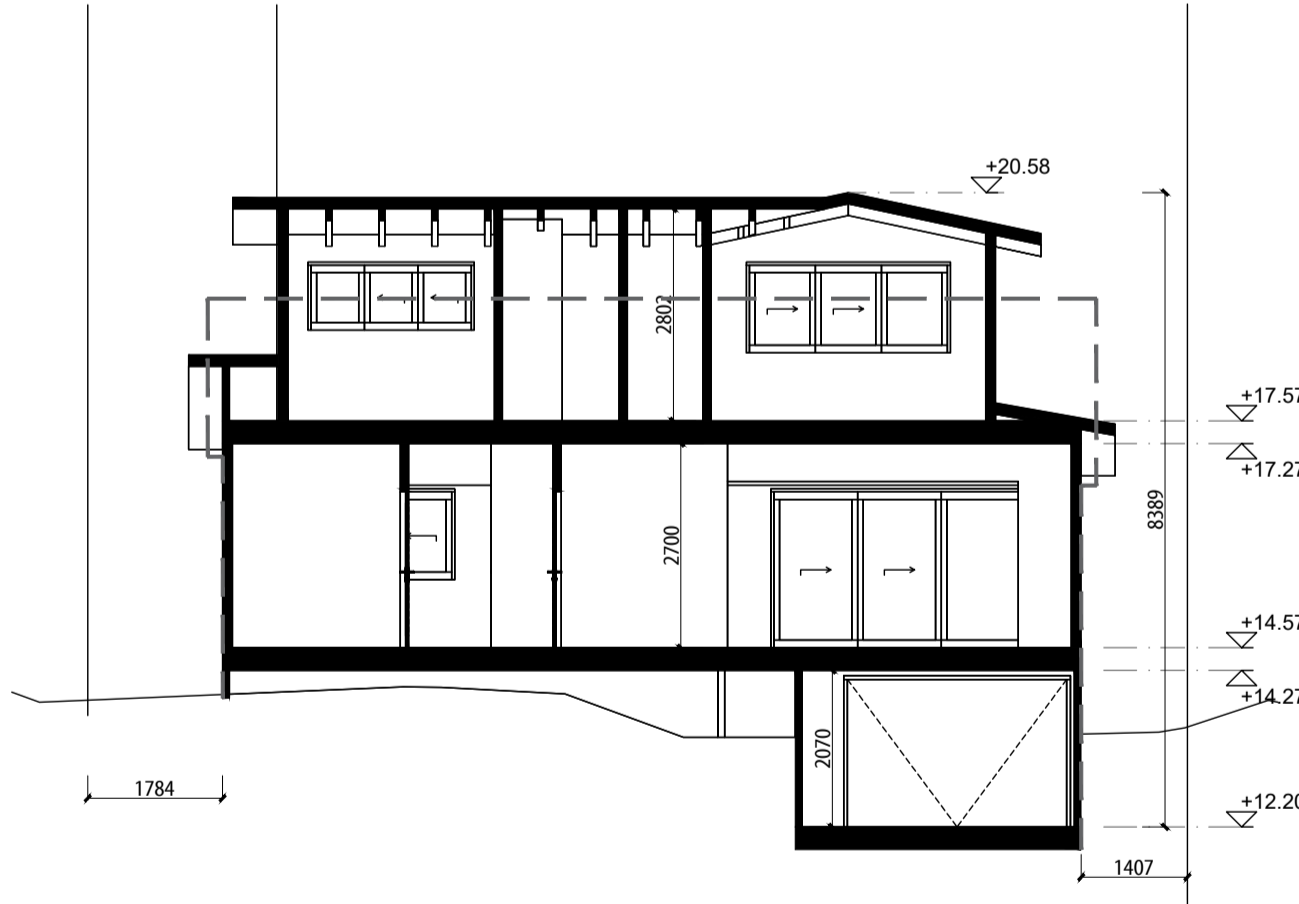
SMOKE ALARMS TO COMPLY WITH AS 3786  
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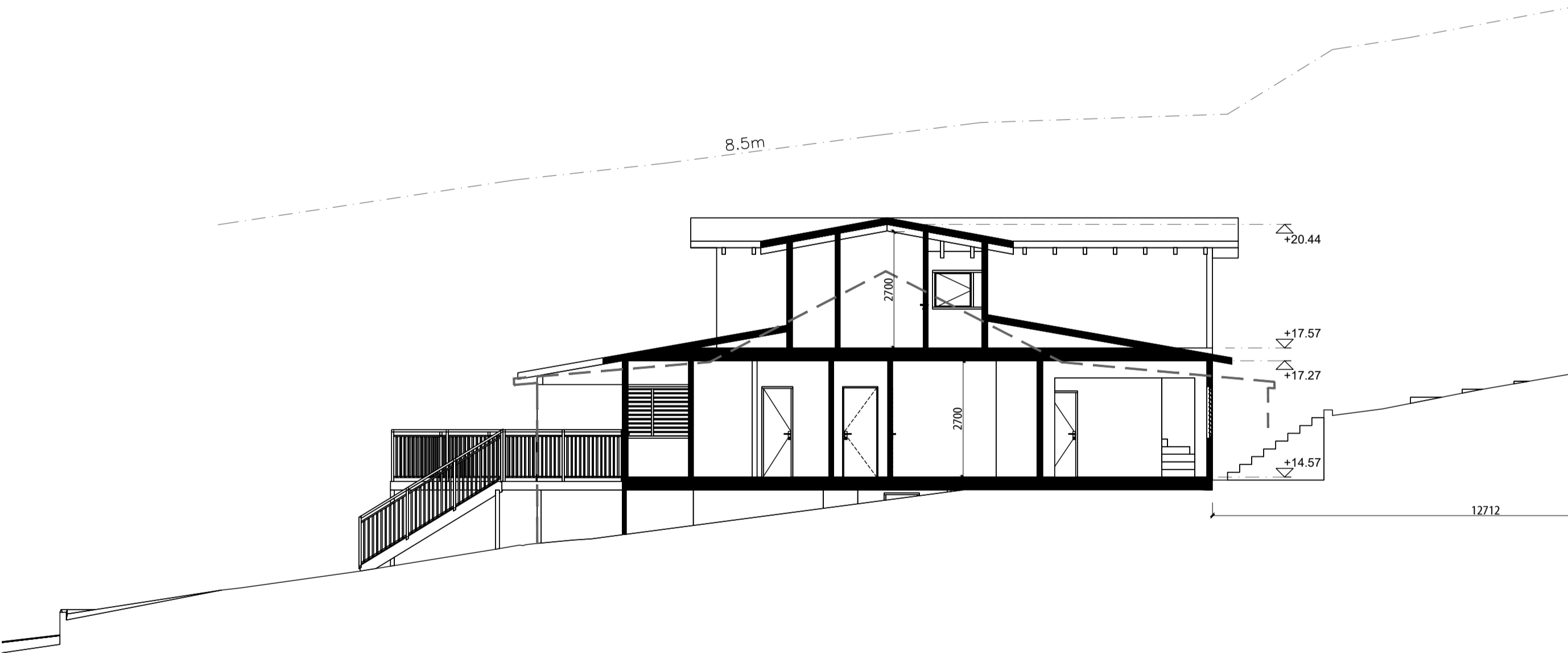
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SCALE 1:100



SECTION - EXISTING  
SCALE 1:100



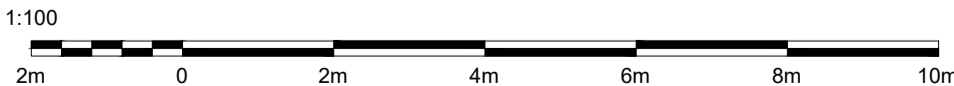
SECTION - PROPOSED  
SCALE 1:100



SECTION - PROPOSED  
SCALE 1:100

GENERAL NOTES

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ARCHITECTURAL DRAFTING  
3D VISUALISATION  
DEVELOPMENT APPLICATION  
ASSISTANCE  
COUNCIL COMPLIANT PLANS

LEGEND:  
--- EXISTING BUILDING OUTLINE  
PROPOSED WORK

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Project Additions and Alterations	Sheet
Date 27-Sep-22	9
Scale AS SHOWN	

DP No. 11909  
LOT No. 53

A	ISSUED FOR DA	10.01.25
No.	Revision/Issue	Date

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Project Name and Address  
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728 BARRENJOEY RD  
AVALON BEACH  
2107

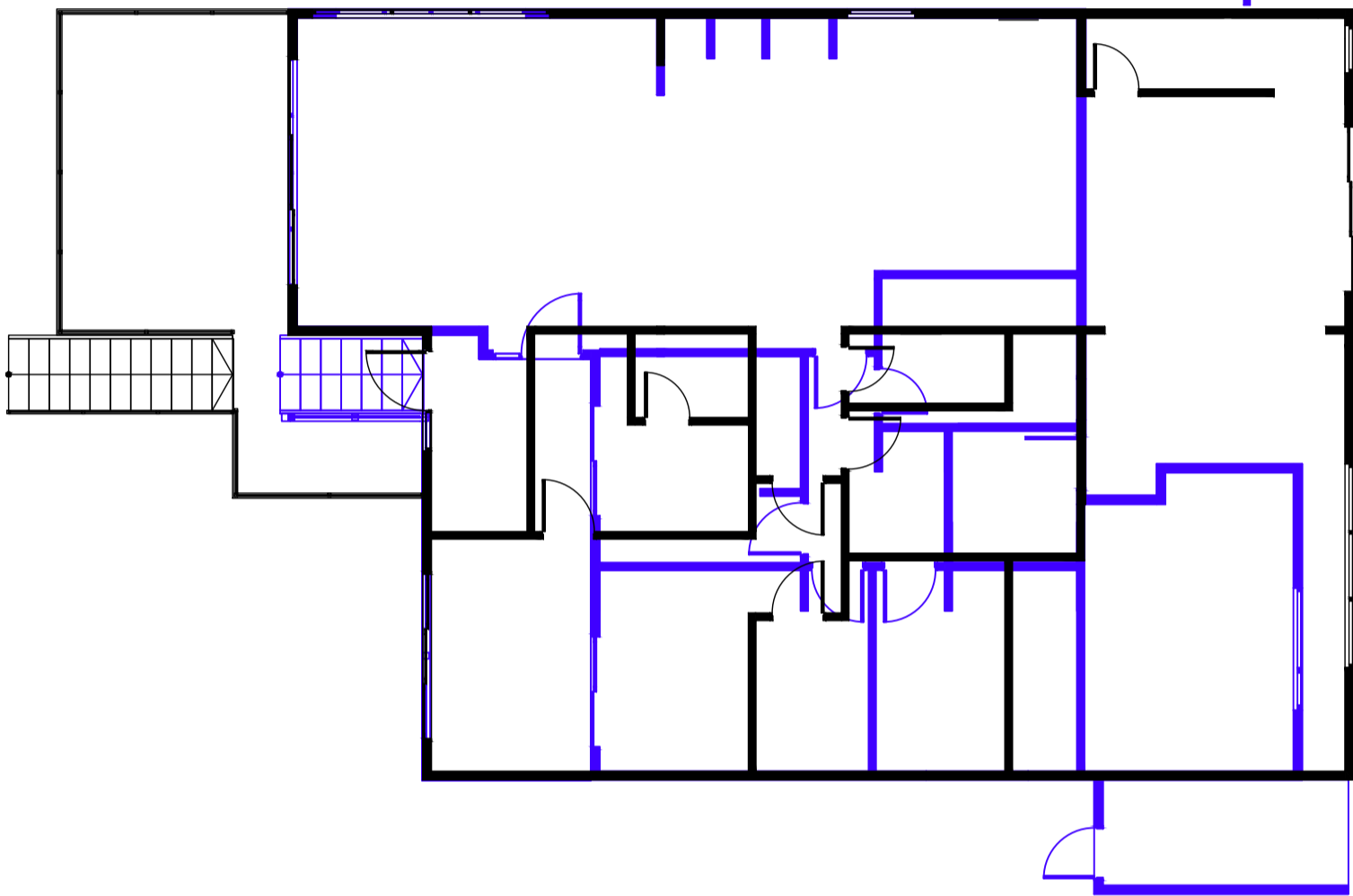
DEVELOPMENT PROPOSAL

DP: 11909  
LOT No. 53  
SITE AREA: 866.30MSQ.  
EXIST. GFA: 112.00MSQ.  
PROPOSED GFA: 253.00MSQ  
MAX. BUILDING HEIGHT: 8.5M

NEW WORKS:  
NEW 2ND STOREY ADDITION.  
INTERNAL ALTS AND ADS  
NEW FRONT DECK AND ENTRY  
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LEGEND:  
EXISTING BUILDING OUTLINE

SMOKE ALARMS TO COMPLY WITH AS 3786  
☆



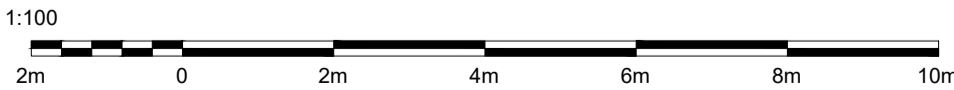
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SCALE 1:100

LEGEND:

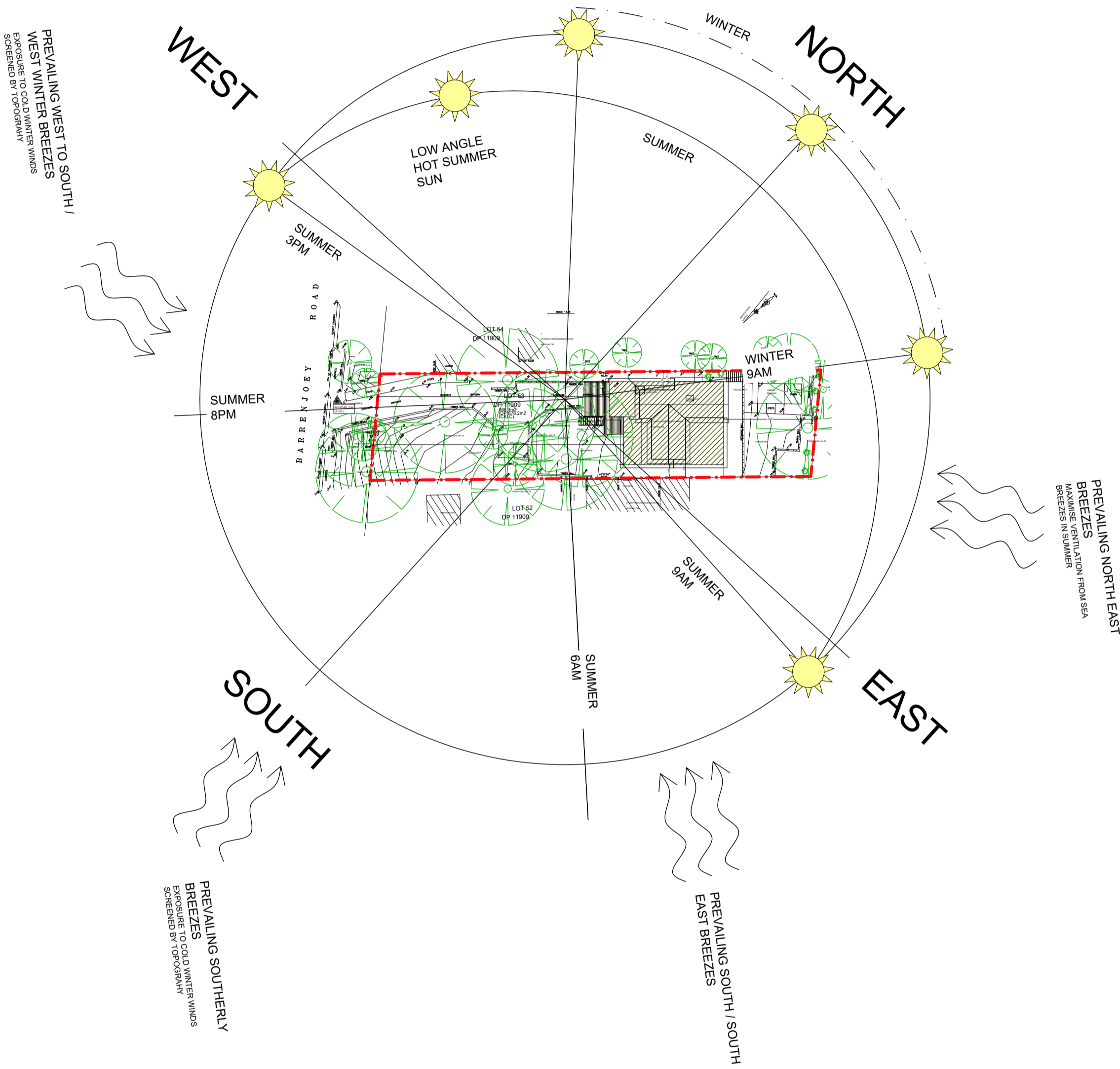
EXISTING WORKS TO BE REMOVED

GENERAL NOTES

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SITE ANALYSIS PLAN  
SCALE NTS

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ARCHITECTURAL DRAFTING  
3D VISUALISATION  
DEVELOPMENT APPLICATION  
ASSISTANCE  
COUNCIL COMPLIANT PLANS

LEGEND:  
EXISTING BUILDING OUTLINE  
PROPOSED WORK

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Project ADDRESS AND ALTERNATION	Sheet <b>10</b>
Date 27-Sep-22	
Scale AS SHOWN	

DP No.	11909
LOT No.	53


A	ISSUED FOR DA	10.01.25
No.	Revision/Issue	Date

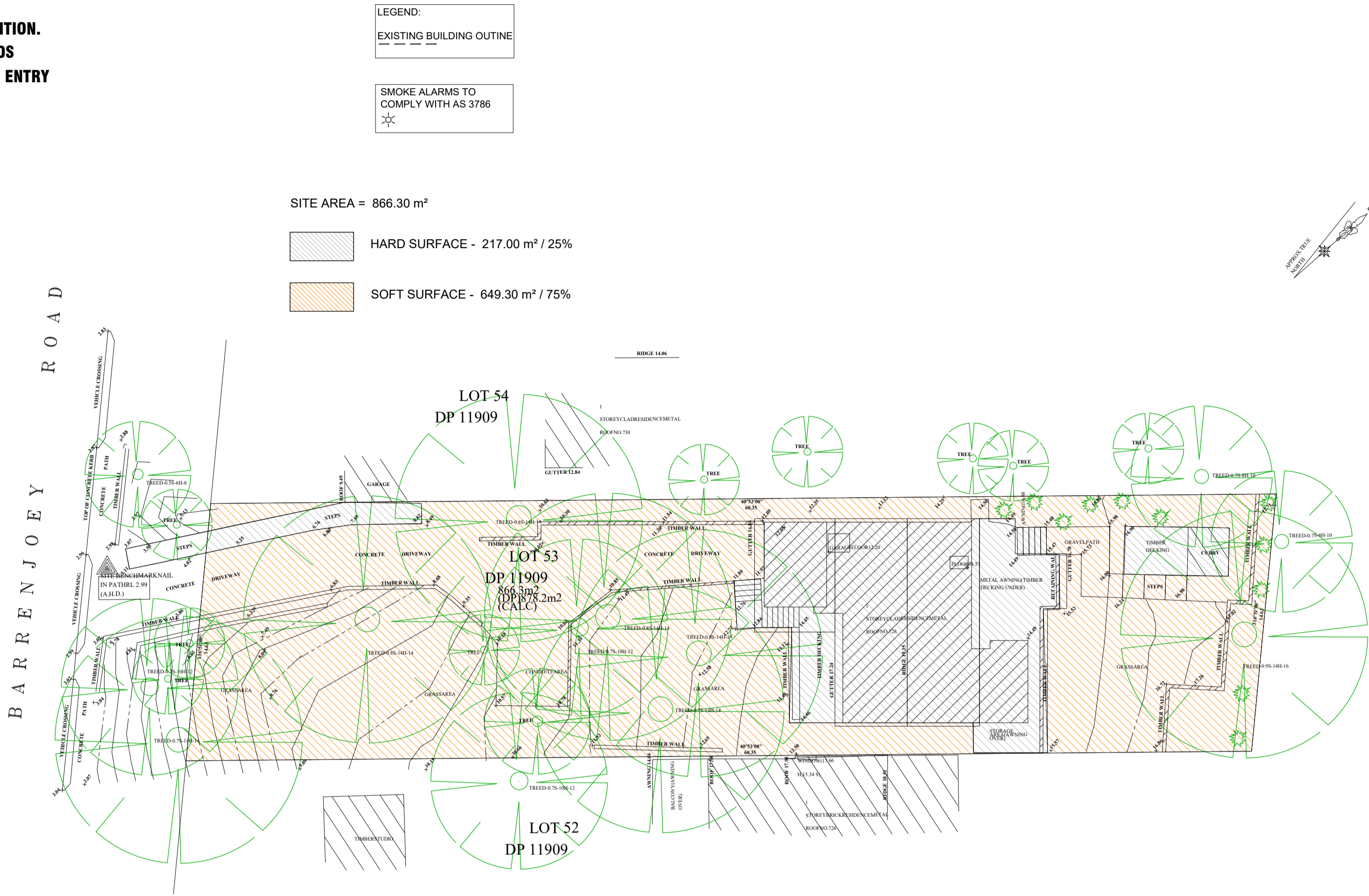
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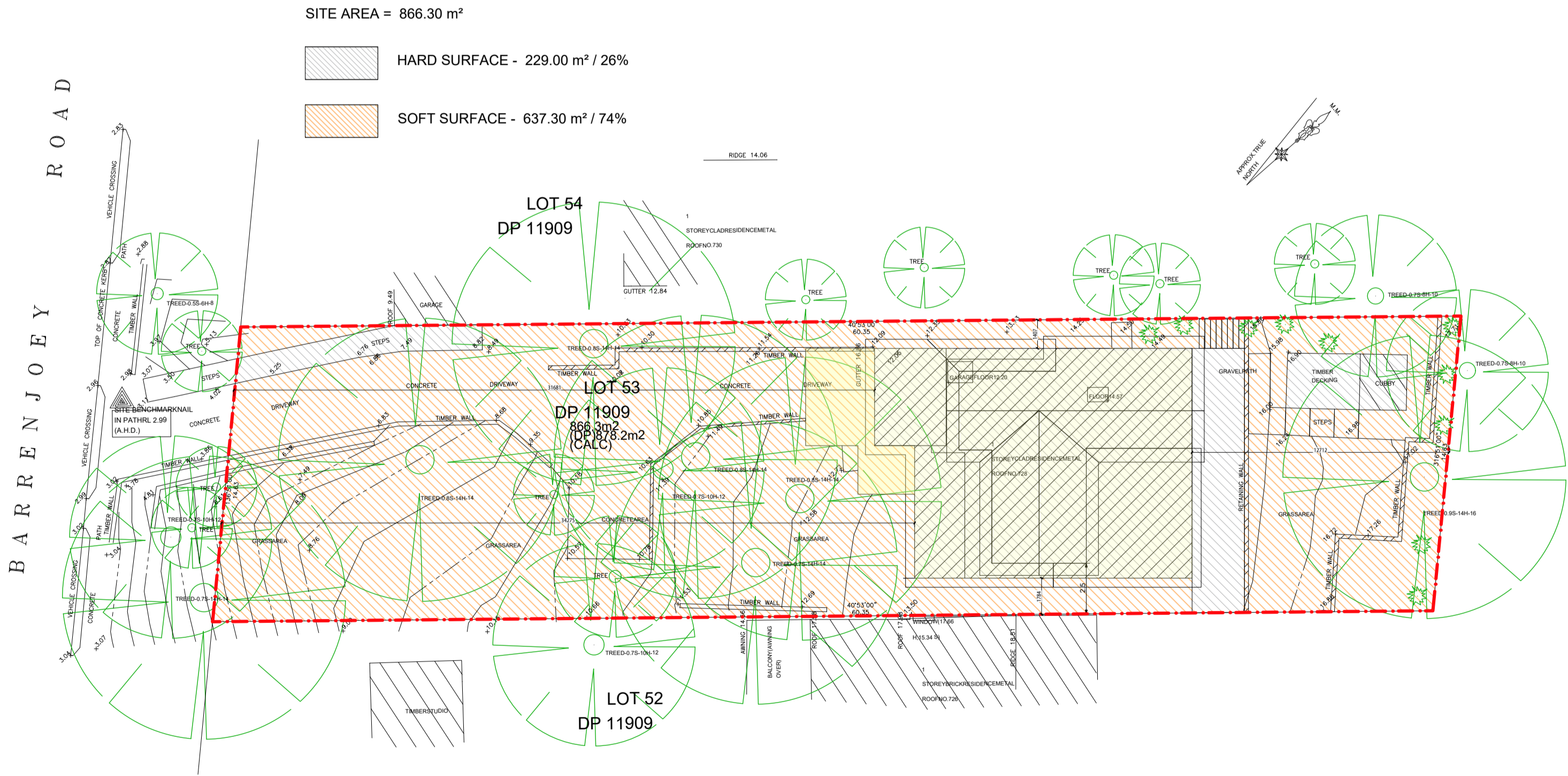
DEVELOPMENT PROPOSAL

DP: 11909  
LOT No. 53  
SITE AREA: 866.30MSQ.  
EXIST. GFA: 112.00MSQ.  
PROPOSED GFA: 253.00MSQ  
MAX. BUILDING HEIGHT: 8.5M

NEW WORKS:  
NEW 2ND STOREY ADDITION.  
INTERNAL ALTS AND ADS  
NEW FRONT DECK AND ENTRY  
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LANDUSE DIAGRAM - EXISTING  
SCALE 1:200



LANDUSE DIAGRAM - PROPOSED  
SCALE 1:200

GENERAL NOTES

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ARCHITECTURAL DRAFTING  
3D VISUALISATION  
DEVELOPMENT APPLICATION  
ASSISTANCE  
COUNCIL COMPLIANT PLANS

LEGEND:

EXISTING BUILDING OUTLINE

PROPOSED WORK

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Project  
ADDRESS AND  
ALTERNATION  
Date  
27-Sep-22  
Scale  
AS SHOWN

Sheet  
11

DP No. 11909  
LOT No. 53

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No. Revision Issue Date


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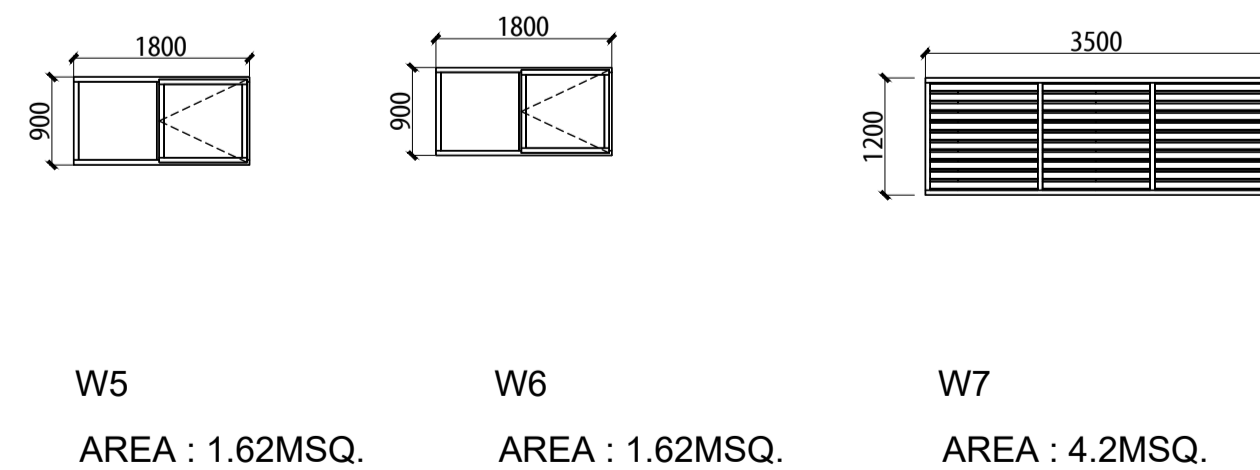
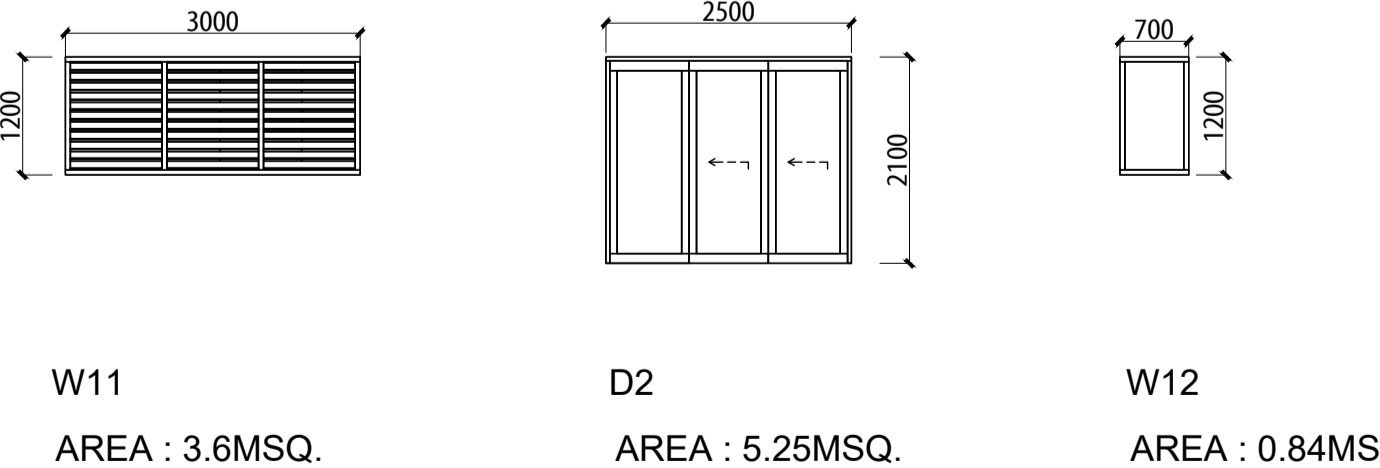
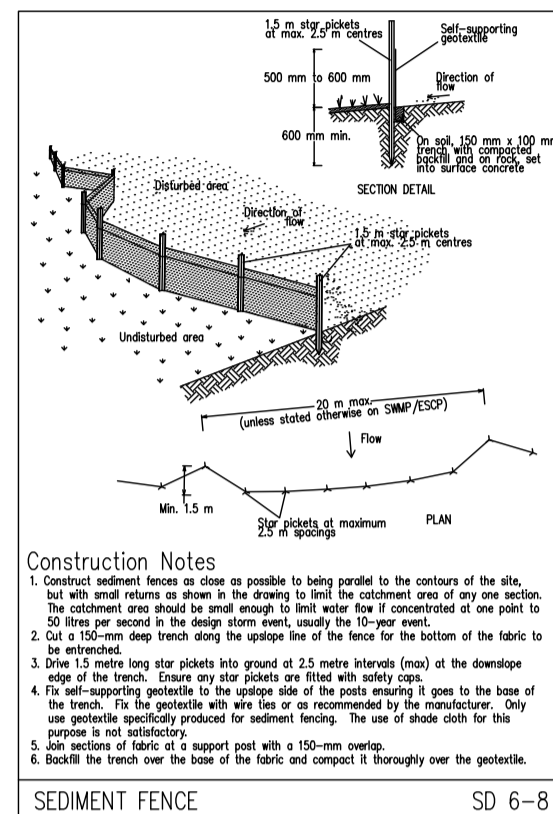
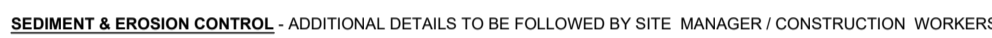
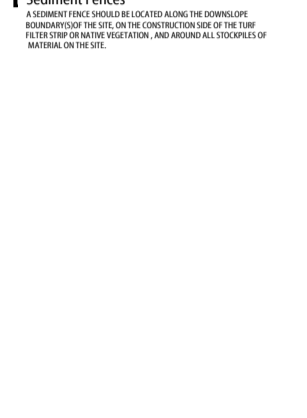
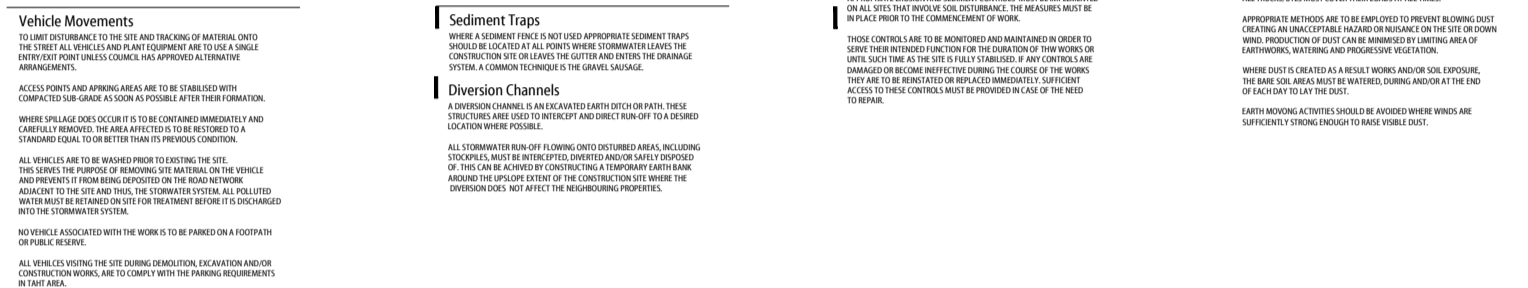
Project Name and Address  
JESSICA L' GREEN  
728 BARRENJOEY RD  
AVALON BEACH  
2107

DP: **11909**  
LOT No. **53**  
SITE AREA: **866.30MSQ.**  
EXIST. GFA: **112.00MSQ.**  
PROPOSED GFA: **253.00MSQ**  
MAX. BUILDING HEIGHT: **8.5M**

LEGEND:

EXISTING BUILDING OUTLINE  
— — — — —

SMOKE ALARMS TO  
COMPLY WITH AS 3786  




1:100





2m 0 2m 4m 6m 8m 10m

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2107**

**ARCHITECTURAL DRAFTING  
3D VISUALISATION  
DEVELOPMENT APPLICATION  
ASSISTANCE  
COUNCIL COMPLIANT PLANS**

**LEGEND:**  
 **EXISTING BUILDING OUTLINE**  
 **PROPOSED WORK**

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Project ADDITONS AND ALTERATIONS	Sheet
Date 27-Sep-22	<b>12</b>
Scale AS SHOWN	

DP No. **11909**

LOT No.	53	

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No.	Revision/Issue	Date

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**728 BARRENJOEY RD**  
**AVALON BEACH**  
**2107**

DEVELOPMENT PROPOSAL

DP: 11909  
LOT No. 53  
SITE AREA: 866.30MSQ.  
EXIST. GFA: 112.00MSQ.  
PROPOSED GFA: 253.00MSQ  
MAX. BUILDING HEIGHT: 8.5M

NEW WORKS:  
NEW 2ND STOREY ADDITION.  
INTERNAL ALTS AND ADS  
NEW FRONT DECK AND ENTRY

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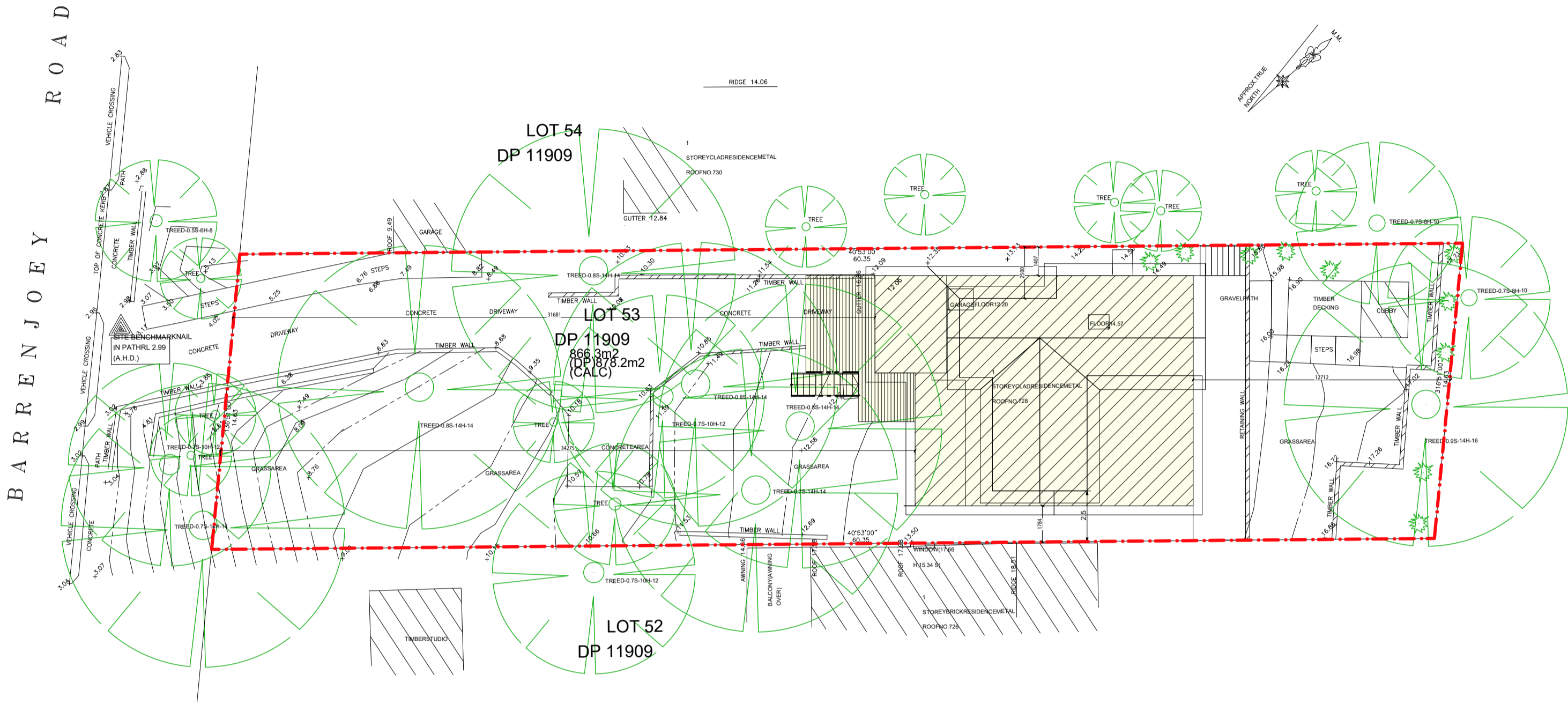
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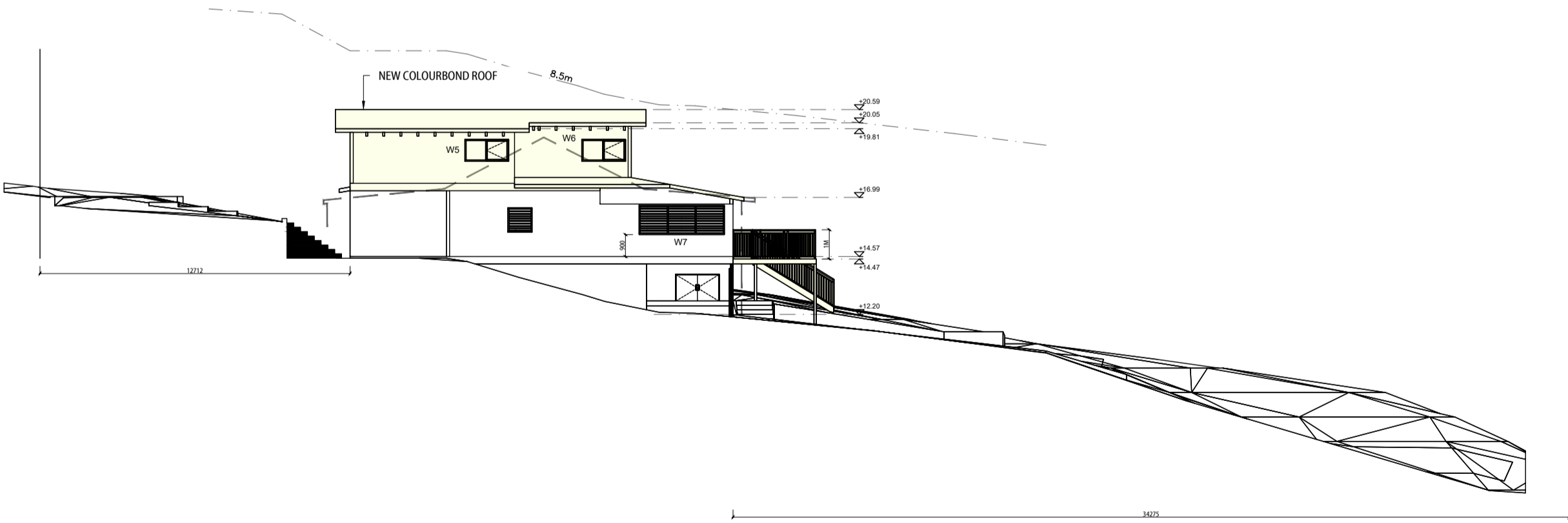
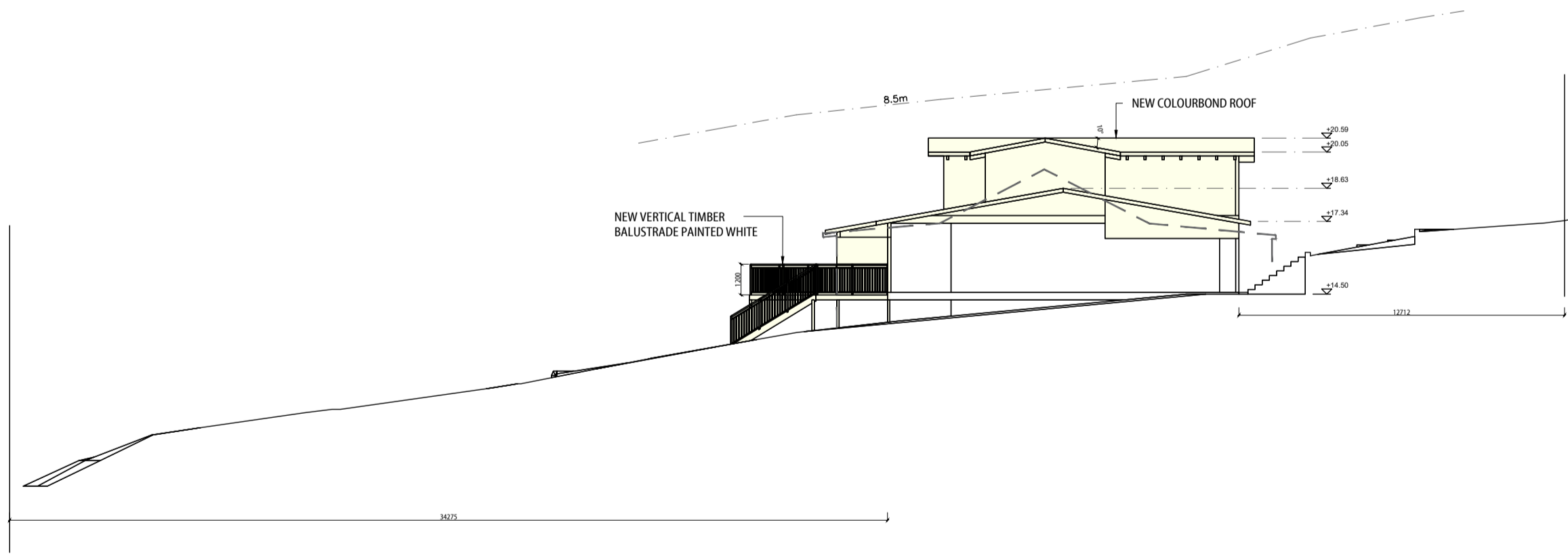
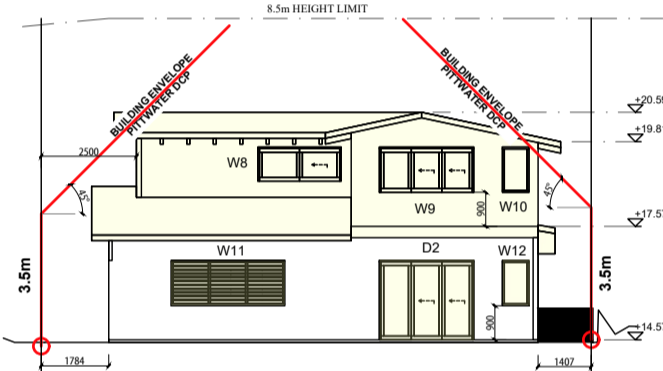
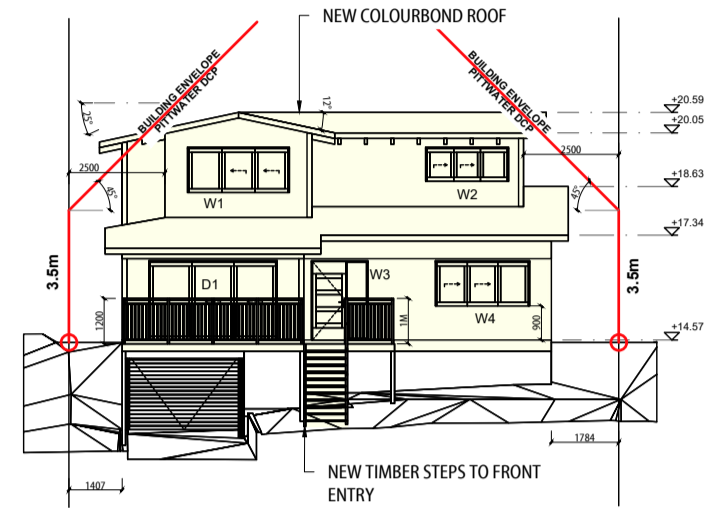
EXISTING BUILDING OUTLINE

SMOKE ALARMS TO COMPLY WITH AS 3786

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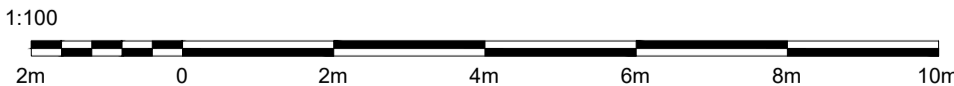


NOTIFICATION PLAN



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AVALON BEACH  
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ARCHITECTURAL DRAFTING  
3D VISUALISATION  
DEVELOPMENT APPLICATION  
ASSISTANCE  
COUNCIL COMPLIANT PLANS

LEGEND:

EXISTING BUILDING OUTLINE

PROPOSED WORK

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Project  
ADDRESS AND  
ALTITUDE  
Date  
27-Sep-22  
Scale  
AS SHOWN

Sheet  
13

DP No. 11909  
LOT No. 53

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