DP: **11909** LOT No. 53 SITE AREA: 866.30MSQ. EXIST. GFA: 112.00MSQ. PROPOSED GFA: 253.00MSQ MAX. BUILDING HEIGHT: 8.5M

NEW WORKS: NEW 2ND STOREY ADDITION. INTERNAL ALTS AND ADS **NEW FRONT DECK AND ENTRY**

LEGEND: EXISTING BUILDING OUTINE

SMOKE ALARMS TO COMPLY WITH AS 3786









DACIVING artificate		
BASIX™Certificate	Project address	
Building Sustainability Index	Project name	73124, 728 Barrenjoey Rd_02
www.planningportal.nsw.gov.au/development-and-assessment/basix	Street address	728 BARRENJOEY Road AVALON BEACH 2107
Alterations and Additions	Local Government Area	Northern Beaches Council
	Plan type and number	Deposited Plan DP11909
Certificate number: A1778366_02	Lot number	53
	Section number	-
This certificate confirms that the proposed development will meet the NSW	Project type	
government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments.	Dwelling type	Dwelling house (detached)
have the meaning given by the document entitled "BASIX Definitions" dated 10/09/2020 published by the Department. This document is available at www.planningportal.naw.gov.au/definitions	Type of alteration and addition	The estimated development cost for my renovation work is \$50,000 or more, and does not include a pool (and/or spa).
	N/A	N/A
Secretary Date of Issue: Monday, 14 April 2025 To be valid, this certificate must be lodged within 3 months of the date of issue.	Certificate Prepared by (ploc	ase complete before submitting to Council or PCA)
To be valid, this continuate mass be looged maint of maints of the date of issue.	Name / Company Name: Max Brightw	ell
	ABN (if applicable): 95897024384	
GOVERNMENT		

NSW DYTENDRAL	ABN (if applicable): 95897024384			
Fixtures and systems		Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Lighting				
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fill emitting-diode (LEO) lamps.	uorescent, compact fluorescent, or light-		~	V
Fixtures				
The applicant must ensure new or altered showerheads have a flow rate no greater than 9 life	tres per minute or a 3 star water rating.		~	~
The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per rating.	average flush or a minimum 3 star water		~	~
The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per n	ninute or minimum 3 star water rating.		~	

				<u>*</u>	
Construction			Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
nsulation requirements					
listed in the table below, except that a) ad	tered construction (floor(s), walls, and ceilings ditional insulation is not required where the are s of altered construction where insulation alrea	a of new construction is less than 2m2, b)	~	~	~
Construction	Additional insulation required (R- value)	Other specifications			
concrete slab on ground floor.	nil	N/A			
external wall: brick veneer	R1.16 (or R1.70 including construction)				
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)				
flat ceiling, pitched roof	oeiling: R2.50 (up), roof: foil/serking	medium (solar absorptance 0.475 -			

Glazing requirements	Show on DA Plans	Show on GC/CDC Plans & specs	Certifier Check
Windows and glazed doors			
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevent overshadowing specifications must be eatisfied for each window and glazed door.	~	~	-
The following requirements must also be satisfied in relation to each window and glazed door:		~	~
Each window or glazed door with standard aluminium or timber frames and single clear or toned glass may either match the description, or, have a U-vate and a Solar Heat Gain Coefficient (SHCC) no greater than that listed in the table below. Total system U-values and SHGC must be calculated in accordance with National Famestration Rating Council (NFRC) conditions.		~	~
Each window or glazed door with ingreved frames, or pyrulytic law-e glass, or clearful paylitizer glazing, or locativit paylitizer glazing, or locativit paylitizer glazing, or locativity gradual so Solid Head Gain Coefficient (6HQC) or generate than that listed in the table below 10 fall system U-values and SHQCs must be calculated in accordance with National Ferestation Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHQC may be substituted.		~	~
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or grazed door and no more than 2400 mm above the sill.	~	~	v
Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.36.		~	-
Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The specing between battens must not be more than 50 mm.		~	¥

lazing requir lindows and gla	ements zed doors glazin	g requirements					Show on DA Plans	Show on CC/CDC Plans & specs	Certifier
Window/door number	Orientation	Area of glass including frame (m2)	Overshadowing height (m)	Overshadowing distance (m)	Shading device	Frame and glass type			
W1	SW	3.24	0	0	none	timber or uPVC, single clear, (or U- value: 5.71, SHGC: 0.66)			
W2	SW	1.98	a	0	eave/ verandah/ pergola/balcony >=450 mm	timber or uPVC, single clear, (or U- value: 5.71, SHGC: 0.66)			
W3	sw	1.26	0	0	eave/ verandah/ pergola/balcony >=900 mm	timber or uPVC, single clear, (or U- value: 5.71, SHGC: 0.66)			
W4	SW	3	0	0	eave/ verandah/ pergola/balcony >=900 mm	timber or uPVC, single clear, (or U- value: 5.71, SHGC: 0.66)			
W5	NW	1.62	0	0	eave/ verandah/ pergola/balcony >=450 mm	timber or uPVC, single pyrolytic low-e, (U-value: 3.99, SHGC: 0.4)			

GENERAL NOT	<u>res</u>
•BUILDER TO CONFIR SITE BEFORE WORK	RM ALL LEVELS AND DIMENSIONS ON BEGINS
	ACCORDANCE WITH LOCAL AUTHORITIES B.C.A. REQUIREMENTS.
	EXISTING STORMWATER SYSTEM. TAILS TO ENGINEERS SPECIFICATIONS

	Drafting Help Pry Ltd. Architectural Drafting, Design : Office: 18/12-14 Wantah Panad	and D
	Mob: 0424 845 680. Web: www.DraftingHulp.com.a	

Window/door number	Orientation	Area of glass including frame (m2)	Overshadowing height (m)	Overshadowing distance (m)	Shading device	Frame and glass type			
We	NW	0.84	0	0	eave/ verandah/ pergola/balcony >=450 mm	timber or uPVC, single olear, (or U- value: 5.71, SHGC: 0.66)			
W7	NW	4.2	0	0	eave/ verandah/ pergola/balcony >=450 mm	timber or uPVC, single pyrolytic low-e, (U-value: 3.99, SHGC: 0.4)			
W8	NE	0.96	0	0	eave/ verandah/ pergola/balcony >=450 mm	timber or uPVC, single pyrolytic low-e, (U-value: 3.99, SHGC: 0.4)			
W9	NE	3	0	0	eave/ verandah/ pergola/balcony >=450 mm	timber or uPVC, single pyrolytic low-e, (U-value: 3.99, SHGC: 0.4)			
W10	NE	1.2	0	0	eave/ verandah/ pergola/balcony >=450 mm	timber or uPVC, single pyrolytic low-e, (U-value: 3.99, SHGC: 0.4)			
lazing requir	zed doors glazin	a mauiremente					Show on DA Plans	Show on CC/CDC Plans & specs	Certifie Check
indows and gia	zeu doors glazin	A reducements							
						Province and	1	I	1

							UM Plans	Plans & specs	CHROK
indows and glaz	red doors glazing	requirements							
Window/door number	Orientation	Area of glass including frame (m2)	Overshadowing height (m)	Overshadowing distance (m)	Sheding device	Frame and glass type			
W11	NE	3.6	0	0	eave/ verandah/ pergola/balcony >=450 mm	timber or uPVC, single pyrolytic low-e, (U-value: 3.99, SHGC: 0.4)			
W12	NE	1.2	0	0	eave/ verandah/ pergola/balcony >=450 mm	timber or uPVC, single pyrolytic low-e, (U-value: 3.99, SHGC: 0.4)			
D1	N	7.14	Ū	0	eavel verandah/ pergola/balcony >=900 mm	timber or uPVG, single dear, (or U- value: 5.71, SHGC: 0.66)			
D2	NE	5.26	D	0	eave/ verandah/ pergola/balcony >=450 mm	timber or uPVC, single pyrolytic low-e, (U-value: 3.99, 8HGC: 0.4)			

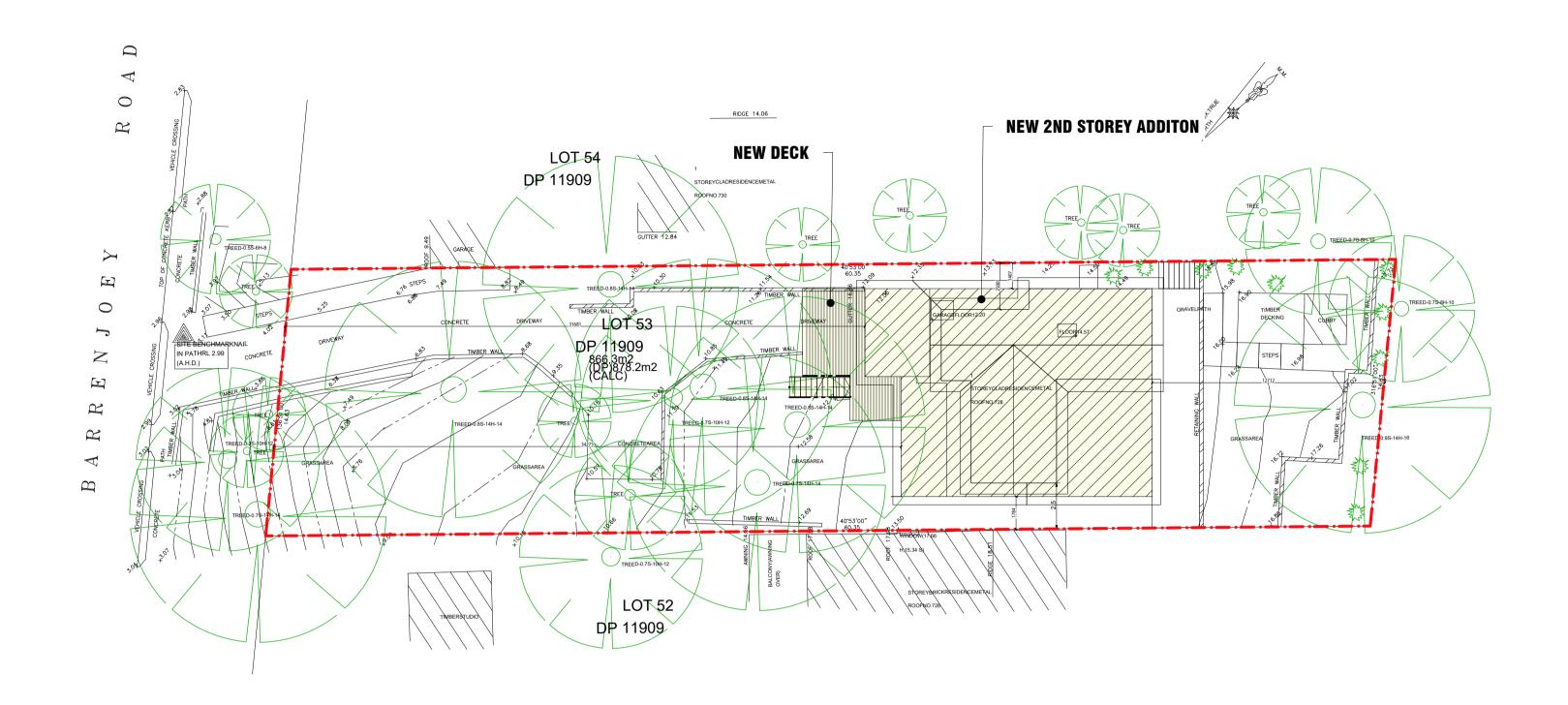
DISCLAIMER:

THE DRAWINGS PROVIDED HEREIN HAVE BEEN COMPILED BY A DRAFTING HELP PTY LTD BASED ON THE DESIGN SPECIFICATIONS AND INSTRUCTIONS PROVIDED BY THE OWNER. WHILE EVERY EFFORT HAS BEEN MADE TO ENSURE ACCURACY, THE DRAFTSMAN DOES NOT ASSUME RESPONSIBILITY FOR THE DESIGN'S COMPLIANCE WITH APPLICABLE CODES, REGULATIONS, OR SPECIFIC PROJECT REQUIREMENTS. IT IS RECOMMENDED THAT ALL DESIGNS BE REVIEWED BY A QUALIFIED PROFESSIONAL BEFORE IMPLEMENTATION. THE OWNER ACCEPTS FULL RESPONSIBILITY FOR THE DESIGN AND ANY ASSOCIATED OUTCOMES.

1:100						
2m	0	2m	4m	6m	8m	10m

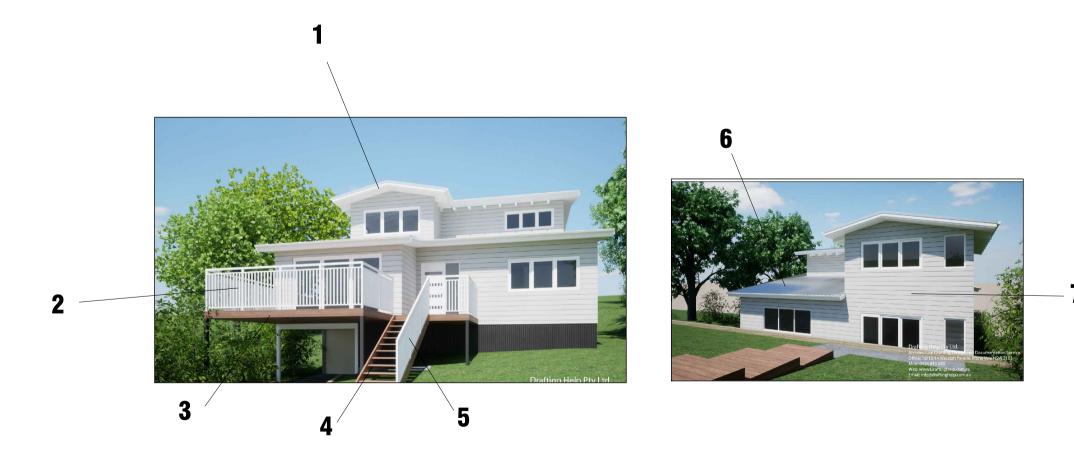
NOTE:
THIS DRAWING IS PROVIDED FOR INFORMATIONAL PURPOSES ONLY. IF USED FOR CONSTRUCTION. THE CONTRACTOR ASSUMES ALL RESPONSIBILITY FOR LOCAL CODE COMPLIANCE. ALL DRAWINGS, PLANS, SKETCHES ETC. ARE PROVIDED TO OUR CLIENTS BASED UPON INFORMATION PROVIDED BY THE CLIENT AND DRAWN IN ACCORDANCE WITH COMMON BUILDING PRACTICES AND LOCAL CODES. NONE OF THE EMPLOYEES OF DRAFTING HELP ARE REGISTERED ARCHITECTS, ENGINEERS OR LAND SURVEYORS. ALL DIMENSIONS AND SPECIFICATIONS SHOULD BE VERIFIED BY CLIENT AND/OR CONTRACTOR BEFORE ACTUAL CONSTRUCTION BEGINS. IF DIMENSIONS AND SPECIFICATIONS ARE NOT VERIFIED BY CLIENT AND/OR CONTRACTOR BEFORE ACTUAL CONSTRUCTION BEGINS DRAFTING HELP WILL BE HELD HARMLESS. DRAFTINGHELP ASSUMES NO LIABILITY FOR CHANGES AND/OR REVISIONS MADE TO PLANS BY CLIENT AND/OR CONTRACTOR.

THIS DEVELOPMENT IS REQUIRED TO BE CARRIED OUT IN ACCORDANCE WITH ALL AUSTRALIAN STANDARDS



SITE PLAN SCALE 1:200

MATERIALS AND FINISHES



- 1. ALL CLADDING IS- H3 DESIGN PINE WEATHERBOARD PROFILE 'CHAMFER' 166MM X 18MM - IN DULUX TRANQUIL RETREAT

SMOKE ALARMS TO COMPLY WITH AS 3786

NOTE: 1ST FLOOR WINDOWS

TO BE RESTRICTED

- 2. BALUSTRADE IN TIMBER PAINTED IN VIVID WHITE 3. ALL DECKING IS 140MM HARDWOOD DECKING BOARDS
- 4. ALL DECKING AND STAIRS HARDWOOD
- 5. BALUSTRADE IN TIMBER PAINTED IN VIVID WHITE
- 6. ALL ROOFING IS CORRUGATED IRON, IF LOWER THAT 5 DEGREES IN PITCH FOR LOWER FLOOR ROOFS ROOFING WILL BE TRIMDEK. ROOFING COLOURS WILL BE COLORBOND
- MONUMENT. ALL DOWN PIPES AND FLASHING WILL BE IN COLOUR MONUMENT 7. ALL WINDOWS ARE TIMBER PAINTED IN VIVID WHITE.

BEACH

ARCHITECTURAL DRAFTING 3D VISUALISATION
DEVELOPMENT APPLICATION
ASSISTANCE COUNCIL COMPLIANT PLANS

AS SHOWN DP No. 11909

ISSUED FOR DA 10.01.25

DRAFTING HELP PTY LTD 18/12-14 WARATAH ST MONA VALE 2103 www.draftinghelp.com.au 02 8776 3474

Project Name and Address JESSICA L` GREEN 728 BARRENJOEY RD **AVALON BEACH**

DP: **11909** LOT No. 53 SITE AREA: 866.30MSQ. EXIST. GFA: 112.00MSQ. PROPOSED GFA: 253.00MSQ MAX. BUILDING HEIGHT: 8.5M

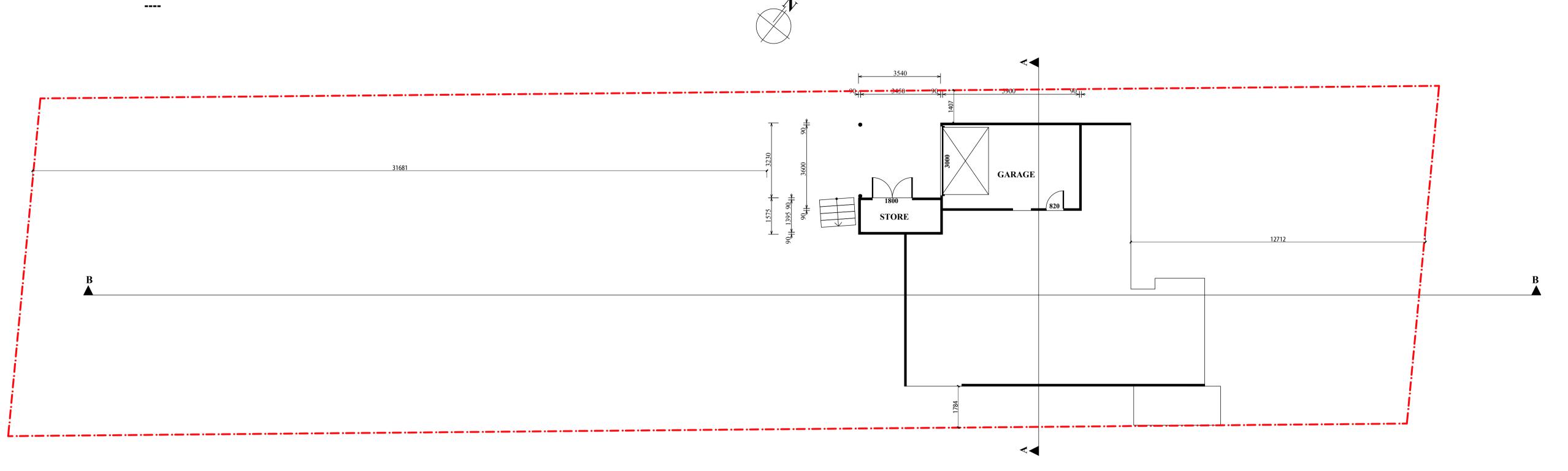
•ALL WORK TO BE IN ACCORDANCE WITH LOCAL AUTHORITIES REQUIREMENTS AND B.C.A. REQUIREMENTS.

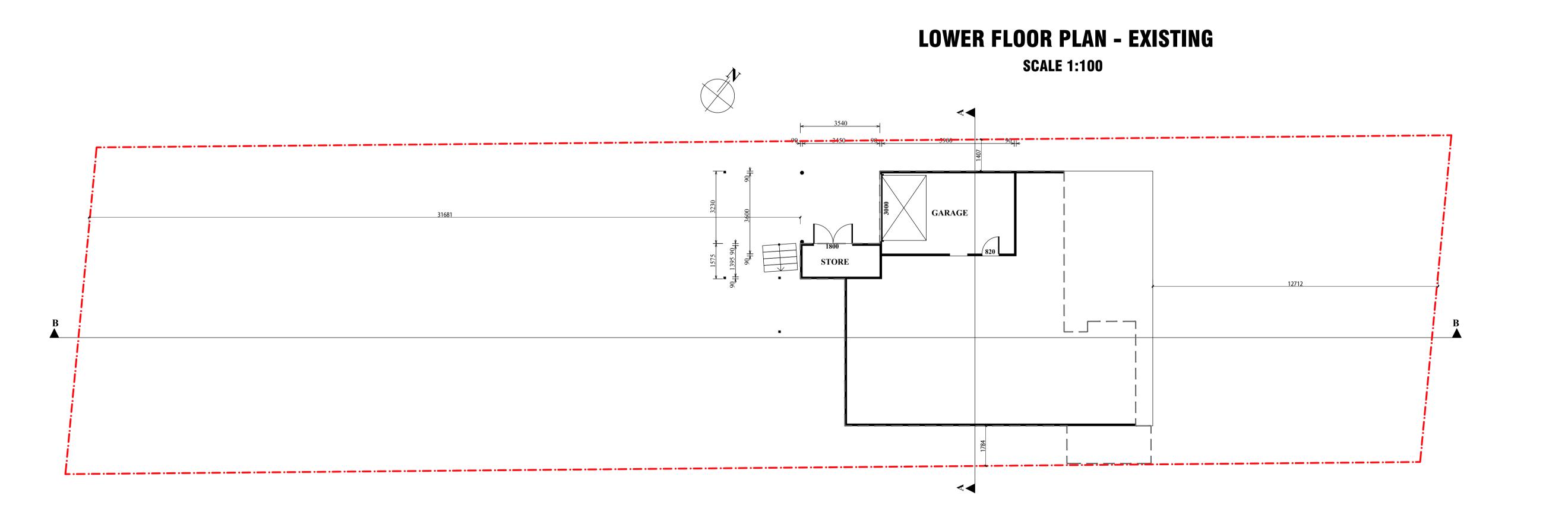
•CONNECT DP'S TO EXISTING STORMWATER SYSTEM.
ALL STRUCTURAL DETAILS TO ENGINEERS SPECIFICATIONS

NEW WORKS: NEW 2ND STOREY ADDITION. INTERNAL ALTS AND ADS

EXISTING BUILDING OUTINE NEW FRONT DECK AND ENTRY SMOKE ALARMS TO COMPLY WITH AS 3786

LEGEND:

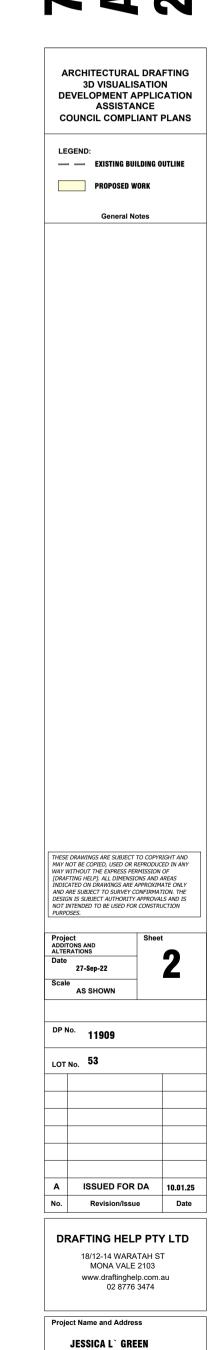




NOTE:
THIS DRAWING IS PROVIDED FOR INFORMATIONAL PURPOSES ONLY. IF USED FOR CONSTRUCTION. THE CONTRACTOR ASSUMES ALL RESPONSIBILITY FOR LOCAL CODE COMPLIANCE. ALL DRAWINGS, PLANS, SKETCHES ETC. ARE PROVIDED TO OUR CLIENTS BASED UPON INFORMATION PROVIDED BY THE CLIENT AND DRAWN IN ACCORDANCE WITH COMMON BUILDING PRACTICES AND LOCAL CODES. NONE OF THE EMPLOYEES OF DRAFTING HELP ARE REGISTERED ARCHITECTS, ENGINEERS OR LAND SURVEYORS. ALL DIMENSIONS AND SPECIFICATIONS SHOULD BE VERIFIED BY CLIENT AND/OR CONTRACTOR BEFORE ACTUAL CONSTRUCTION BEGINS. IF DIMENSIONS AND SPECIFICATIONS ARE NOT VERIFIED BY CLIENT AND/OR CONTRACTOR BEFORE ACTUAL CONSTRUCTION BEGINS DRAFTING HELP WILL BE HELD HARMLESS. DRAFTINGHELP ASSUMES NO LIABILITY FOR CHANGES AND/OR REVISIONS MADE TO PLANS BY CLIENT AND/OR CONTRACTOR.

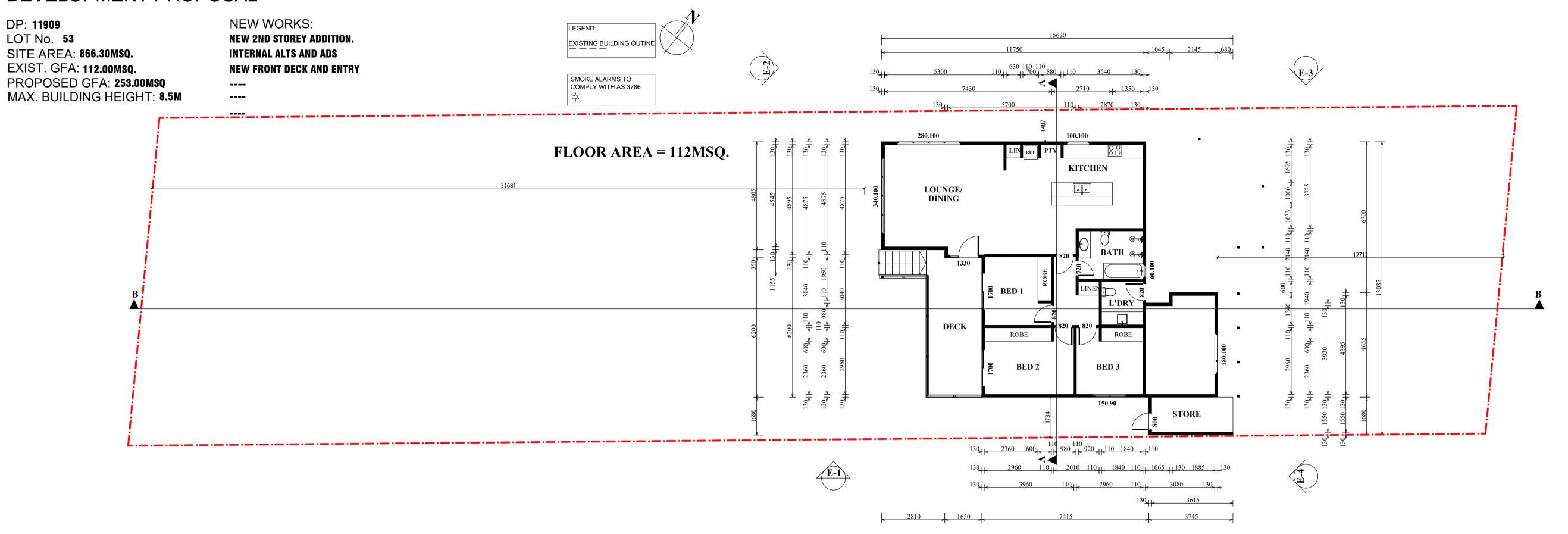
LOWER FLOOR PLAN - PROPOSED

SCALE 1:100



728 BARRENJOEY RD AVALON BEACH

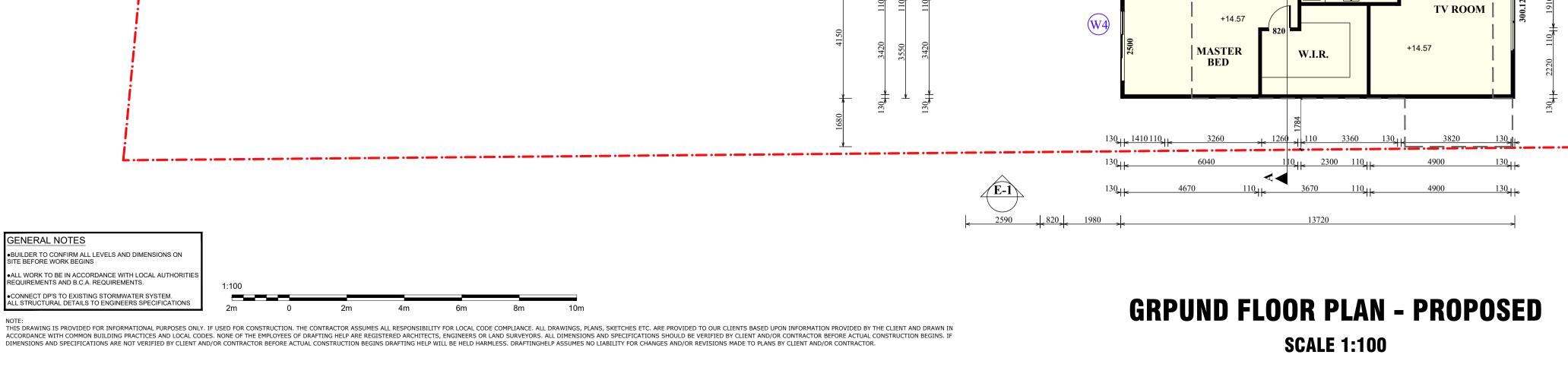
DP: **11909** LOT No. 53



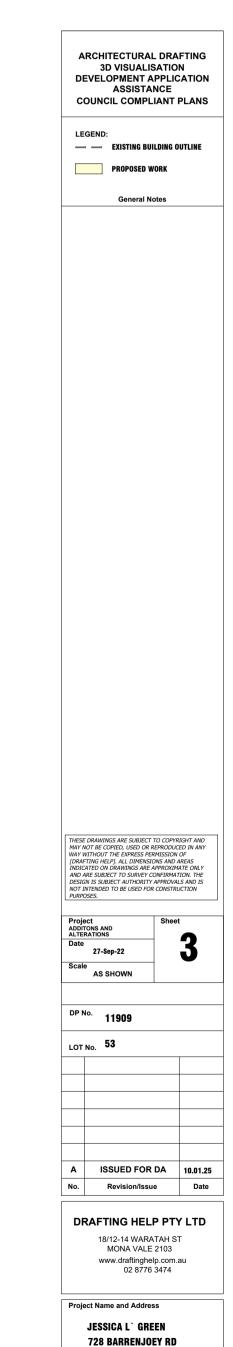
GROUND FLOOR PLAN - EXISTING

SCALE 1:100

W7 350.120 FLOOR AREA = 173MSQ. 100.100 LOUNGE/ DINING DECK SMOKE ALARM +14.57 TV ROOM



SMOKE ALARMS TO COMPLY WITH AS 3786



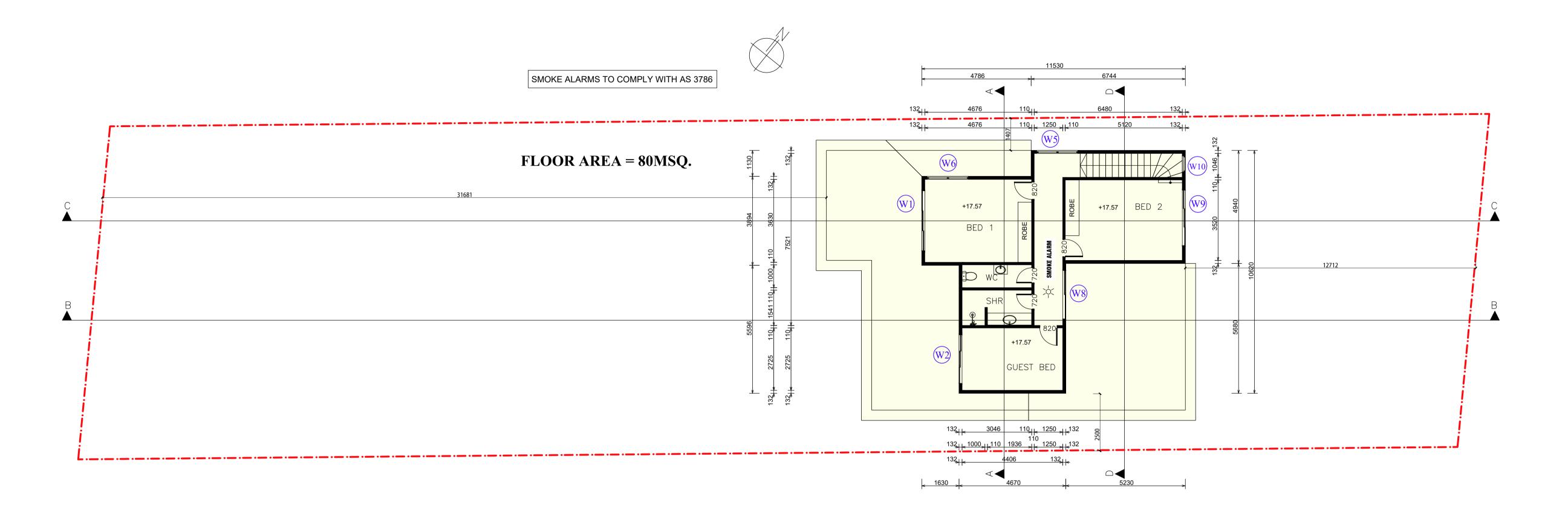
AVALON BEACH

DP: 11909 LOT No. 53 SITE AREA: 866.30MSQ. EXIST. GFA: 112.00MSQ. PROPOSED GFA: 253.00MSQ MAX. BUILDING HEIGHT: 8.5M NEW WORKS:
NEW 2ND STOREY ADDITION.
INTERNAL ALTS AND ADS
NEW FRONT DECK AND ENTRY

LEGEND:

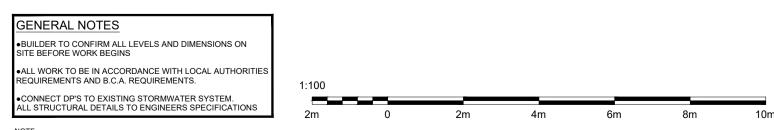
EXISTING BUILDING OUTINE

SMOKE ALARMS TO COMPLY WITH AS 3786



1ST FLOOR PLAN - PROPOSED

SCALE 1:100



NOTE:
THIS DRAWING IS PROVIDED FOR INFORMATIONAL PURPOSES ONLY. IF USED FOR CONSTRUCTION. THE CONTRACTOR ASSUMES ALL RESPONSIBILITY FOR LOCAL CODE COMPLIANCE. ALL DRAWINGS, PLANS, SKETCHES ETC. ARE PROVIDED TO OUR CLIENTS BASED UPON INFORMATION PROVIDED BY THE CLIENT AND DRAWN IN ACCORDANCE WITH COMMON BUILDING PRACTICES AND LOCAL CODES. NONE OF THE EMPLOYEES OF DRAFTING HELP ARE REGISTERED ARCHITECTS, ENGINEERS OR LAND SURVEYORS. ALL DIMENSIONS AND SPECIFICATIONS SHOULD BE VERIFIED BY CLIENT AND/OR CONTRACTOR BEFORE ACTUAL CONSTRUCTION BEGINS. IF DIMENSIONS AND SPECIFICATIONS ARE NOT VERIFIED BY CLIENT AND/OR CONTRACTOR BEFORE ACTUAL CONSTRUCTION BEGINS DRAFTING HELP WILL BE HELD HARMLESS. DRAFTINGHELP ASSUMES NO LIABILITY FOR CHANGES AND/OR REVISIONS MADE TO PLANS BY CLIENT AND/OR CONTRACTOR.

728 BARRENJOEY RD AVALON BEACH 2107

	3D VISUALISATIC EVELOPMENT APPLIC ASSISTANCE OUNCIL COMPLIANT	CATION
		PLANS
	GEND: - — EXISTING BUILDING	DUTLINE
	PROPOSED WORK	
	General Notes	
THESE	E DRAWINGS ARE SUBJECT TO COPY	RIGHT AND
MAY N WAY V [DRAF INDIC	NOT BE COPIED, USED OR REPRODU NITHOUT THE EXPRESS PERMISSION FTING HELP]. ALL DIMENSIONS AND PATED ON DRAWINGS ARE APPROXIN	CED IN ANY I OF AREAS IATE ONLY
MAY N WAY V [DRAF INDIC AND A DESIGNOT I	NOT BE COPIED, USED OR REPRODU VITHOUT THE EXPRESS PERMISSION TITING HELP]. ALL DIMENSIONS AND CATED ON DRAWINGS ARE APPROXINA RE SUBJECT TO SURVEY CONFIRMA FOR IS SUBJECT AUTHORITY APPROVA NTENDED TO BE USED FOR CONSTR	CED IN ANY I OF AREAS MATE ONLY TION. THE NLS AND IS
MAY N WAY V [DRAF INDIC AND A DESIG NOT I PURPO	NOT BE COPIED, USED OR REPRODU TITHOUT THE EXPRESS PERMISSION TITHO HELP], ALL DIMENSIONS AND ATTEO ON DRAWINGS ARE APPROXIM RARE SUBJECT TO SURVEY CONFIRM NI SUBJECT TO SURVEY CONFIRM NI SUBJECT AUTHORITY APPROV. NTENDED TO BE USED FOR CONSTR DSES.	CED IN ANY I OF AREAS MATE ONLY TION. THE ALS AND IS
MAY N WAY V [DRAF INDIC AND A DESIG NOT I PURPO	NOT BE COPIED, USED OR REPRODU TITHOUT THE EXPRESS PERMISSION FITING HELP], ALL DIMENSIONS AND TATED ON DRAWINGS ARE APPROXIM RES SUBJECT TO SURVEY CONFIRM IN IS SUBJECT AND THORTY APPROV NTENDED TO BE USED FOR CONSTR USES. SECT TONS AND RATIONS SHEET SPECIAL SHEET SHEE	CED IN ANY I OF AREAS MATE ONLY TION. THE ALS AND IS
MAY N WAY V [DRAF INDIC AND A DESIG NOT I PURPO	NOT BE COPIED, USED OR REPRODU TITHOUT THE EXPRESS PERMISSION TITNG HELP], ALL DIMENSIONS AND TATED ON DRAWINGS ARE APPROXIM RRE SUBJECT TO SURVEY CONFIRMA IN IS SUBJECT AUTHORITY APPROV NITENDED TO BE USED FOR CONSTR USES. SECT TONS AND RATIONS 27-Sep-22	CED IN ANY I OF AREAS MATE ONLY TION. THE ALS AND IS
MAY N WAY V [DRAF INDIC AND A DESIGN NOT I PURPO	NOT BE COPIED, USED OR REPRODU TITHOUT THE EXPRESS PERMISSION FITING HELP], ALL DIMENSIONS AND TATED ON DRAWINGS ARE APPROXIM RRE SUBJECT TO SURVEY CONFIRM IN IS SUBJECT AUTHORITY APPROV NITEMBED TO BE USED FOR CONSTR DSES. SOCT TONS AND RATIONS 27-Sep-22	CED IN ANY I OF AREAS MATE ONLY TION. THE ALS AND IS
MAY N WAY V [DRAF INDIC AND A DESIGN NOT I PURPO	NOT BE COPIED, USED OR REPRODU TITHOUT THE EXPRESS PERMISSION TITHO HELP], ALL DIMENSIONS AND TATED ON DRAWINGS ARE APPROXIM RAE SUBJECT TO SURVEY CONFIRM IN IS SUBJECT AUTHORITY APPROV. NITENDED TO BE USED FOR CONSTR SCE TONS AND RATIONS 27-Sep-22 B AS SHOWN	CED IN ANY I OF AREAS MATE ONLY TION. THE ALS AND IS
MAY N WAY V [DRAW I NOT I PURPO PTOJE ADDIT ALTEI Date	NOT BE COPIED, USED OR REPRODU INTHOUT THE EXPRESS PERMISSION TITING HELP]. ALL DIMENSIONS AND ATTEO ON DRAWINGS ARE APPROXIM RRE SUBJECT TO SURVEY CONFIRM IN IS SUBJECT AUTHORITY APPROVANTENDED TO BE USED FOR CONSTRUCTION OF THE CONSTRUCTION OF	CED IN ANY I OF AREAS MATE ONLY TION. THE ALS AND IS
MAYN WAY W WAY W WAY W WAY W WAY W WAY N W WAY W W W W	NOT BE COPIED, USED OR REPRODU INTHOUT THE EXPRESS PERMISSION TITING HELP]. ALL DIMENSIONS AND ATTEO ON DRAWINGS ARE APPROXIM RRE SUBJECT TO SURVEY CONFIRM IN IS SUBJECT AUTHORITY APPROVANTENDED TO BE USED FOR CONSTRUCTION OF THE CONSTRUCTION OF	CED IN ANY I OF AREAS MATE ONLY TION. THE ALS AND IS
MAYN WAY W WAY W WAY W WAY W WAY W WAY N W WAY W W W W	NOT BE COPIED, USED OR REPRODU INTHOUT THE EXPRESS PERMISSION TITING HELP]. ALL DIMENSIONS AND ATTEO ON DRAWINGS ARE APPROXIM RRE SUBJECT TO SURVEY CONFIRM IN IS SUBJECT AUTHORITY APPROVANTENDED TO BE USED FOR CONSTRUCTION OF THE CONSTRUCTION OF	CED IN ANY I OF AREAS MATE ONLY TION. THE ALS AND IS
MAYN WAY W WAY W WAY W WAY W WAY W WAY N W WAY W W W W	NOT BE COPIED, USED OR REPRODU INTHOUT THE EXPRESS PERMISSION TITING HELP]. ALL DIMENSIONS AND ATTEO ON DRAWINGS ARE APPROXIM RRE SUBJECT TO SURVEY CONFIRM IN IS SUBJECT AUTHORITY APPROVANTENDED TO BE USED FOR CONSTRUCTION OF THE CONSTRUCTION OF	CED IN ANY I OF AREAS MATE ONLY TION. THE ALS AND IS
MAYN WAY W WAY W WAY W WAY W WAY W WAY N W WAY W W W W	NOT BE COPIED, USED OR REPRODU INTHOUT THE EXPRESS PERMISSION TITING HELP]. ALL DIMENSIONS AND ATTEO ON DRAWINGS ARE APPROXIM RRE SUBJECT TO SURVEY CONFIRM IN IS SUBJECT AUTHORITY APPROVANTENDED TO BE USED FOR CONSTRUCTION OF THE CONSTRUCTION OF	CED IN ANY I OF AREAS MATE ONLY TION. THE ALS AND IS
MAYN WAY W WAY W WAY W WAY W WAY W WAY N W WAY W W W W	NOT BE COPIED, USED OR REPRODU INTHOUT THE EXPRESS PERMISSION TITING HELP]. ALL DIMENSIONS AND ATTEO ON DRAWINGS ARE APPROXIM RRE SUBJECT TO SURVEY CONFIRM IN IS SUBJECT AUTHORITY APPROVANTENDED TO BE USED FOR CONSTRUCTION OF THE CONSTRUCTION OF	CED IN ANY I OF AREAS MATE ONLY TION. THE ALS AND IS

MONA VALE 2103 www.draftinghelp.com.au 02 8776 3474

Project Name and Address

JESSICA L` GREEN

DP: 11909 LOT No. 53 SITE AREA: 866.30MSQ. EXIST. GFA: 112.00MSQ. PROPOSED GFA: 253.00MSQ MAX. BUILDING HEIGHT: 8.5M

•CONNECT DP'S TO EXISTING STORMWATER SYSTEM.
ALL STRUCTURAL DETAILS TO ENGINEERS SPECIFICATIONS

NEW WORKS:

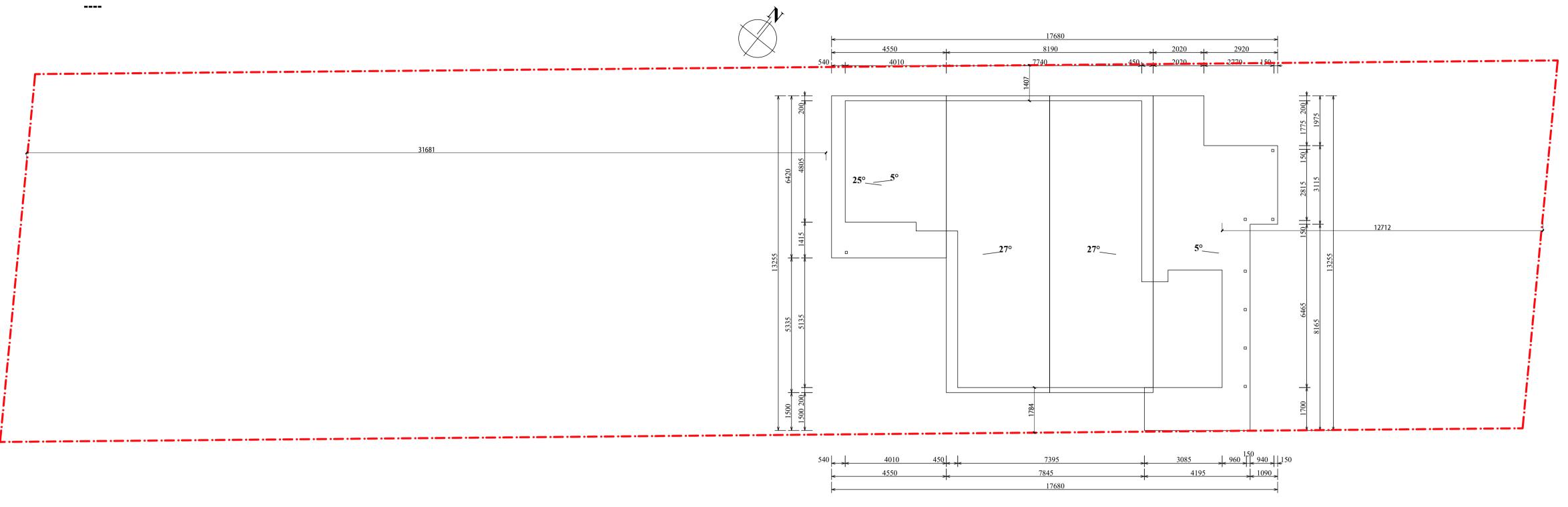
NEW 2ND STOREY ADDITION.

INTERNAL ALTS AND ADS

NEW FRONT DECK AND ENTRY

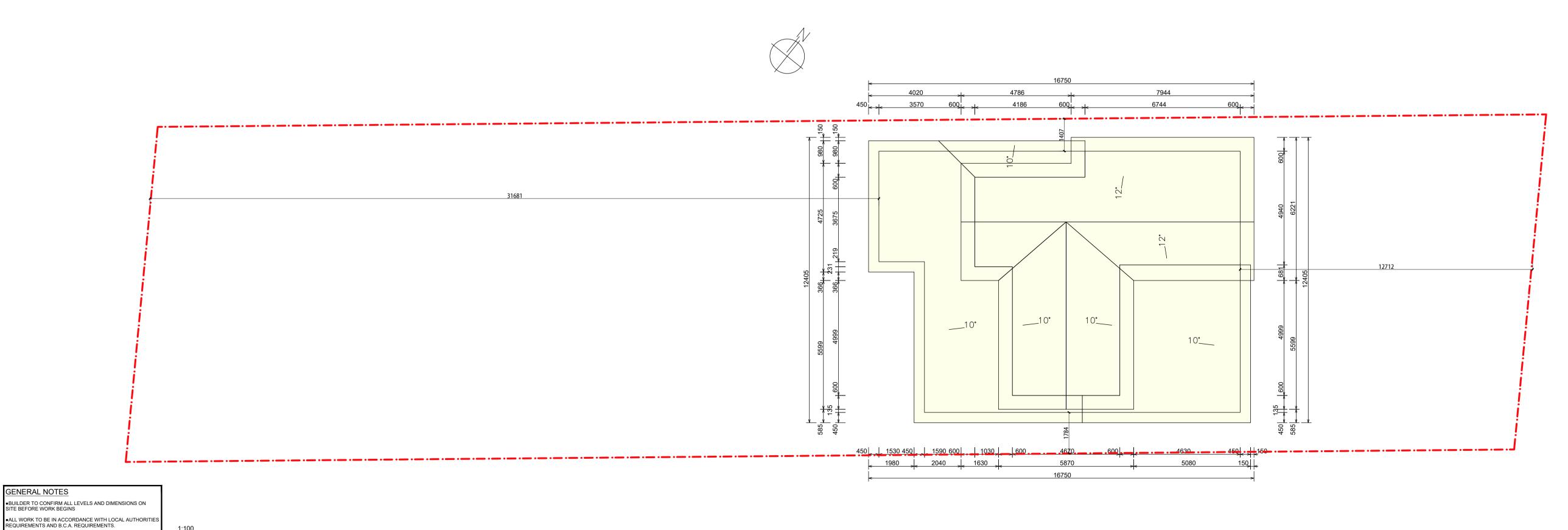
EXISTING BUILDING OUTINE

SMOKE ALARMS TO
COMPLY WITH AS 3786



ROOF PLAN - EXISTING

SCALE 1:100

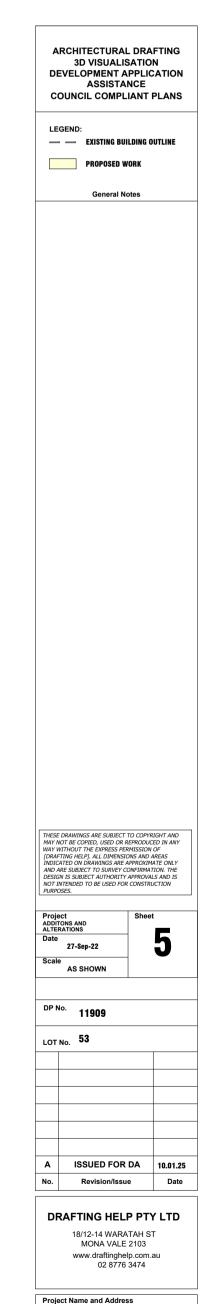


NOTE:
THIS DRAWING IS PROVIDED FOR INFORMATIONAL PURPOSES ONLY. IF USED FOR CONSTRUCTION. THE CONTRACTOR ASSUMES ALL RESPONSIBILITY FOR LOCAL CODE COMPLIANCE. ALL DRAWINGS, PLANS, SKETCHES ETC. ARE PROVIDED TO OUR CLIENTS BASED UPON INFORMATION PROVIDED BY THE CLIENT AND DRAWN IN ACCORDANCE WITH COMMON BUILDING PRACTICES AND LOCAL CODES. NONE OF THE EMPLOYEES OF DRAFTING HELP ARE REGISTERED ARCHITECTS, ENGINEERS OR LAND SURVEYORS. ALL DIMENSIONS AND SPECIFICATIONS SHOULD BE VERIFIED BY CLIENT AND/OR CONTRACTOR BEFORE ACTUAL CONSTRUCTION BEGINS. IF DIMENSIONS AND SPECIFICATIONS ARE NOT VERIFIED BY CLIENT AND/OR CONTRACTOR BEFORE ACTUAL CONSTRUCTION BEGINS DRAFTING HELP WILL BE HELD HARMLESS. DRAFTINGHELP ASSUMES NO LIABILITY FOR CHANGES AND/OR REVISIONS MADE TO PLANS BY CLIENT AND/OR CONTRACTOR.

ROOF PLAN - PROPOSED

SCALE 1:100

728 BARRENJOEY RD AVALON BEACH 2107



JESSICA L` GREEN

DP: 11909 LOT No. 53 SITE AREA: 866.30MSQ. EXIST. GFA: 112.00MSQ. PROPOSED GFA: 253.00MSQ MAX. BUILDING HEIGHT: 8.5M NEW WORKS:

NEW 2ND STOREY ADDITION.

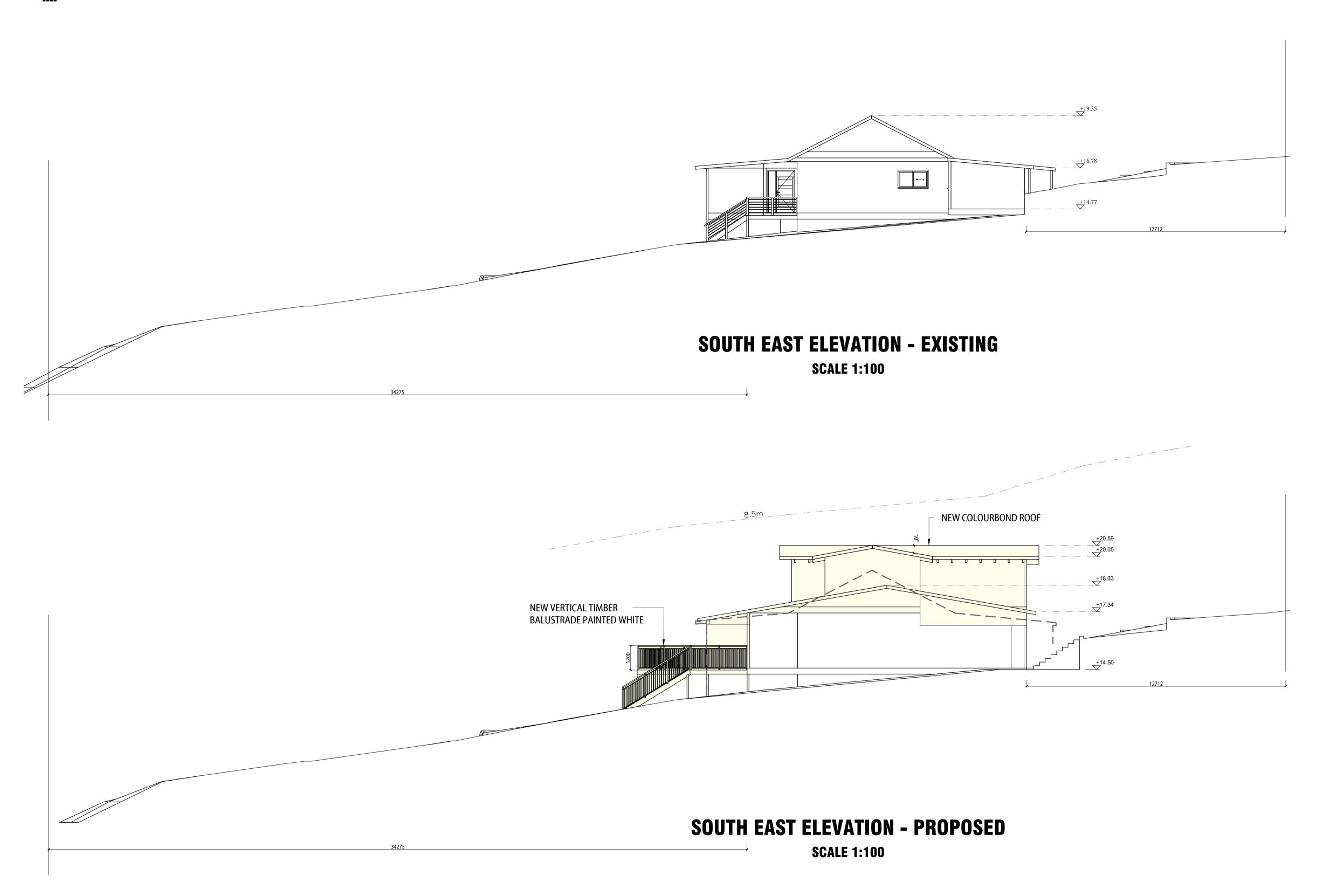
INTERNAL ALTS AND ADS

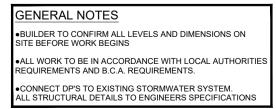
NEW FRONT DECK AND ENTRY

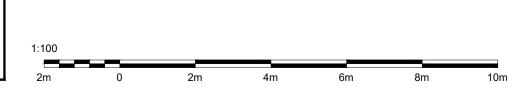
LEGEND:

EXISTING BUILDING OUTINE

SMOKE ALARMS TO
COMPLY WITH AS 3786

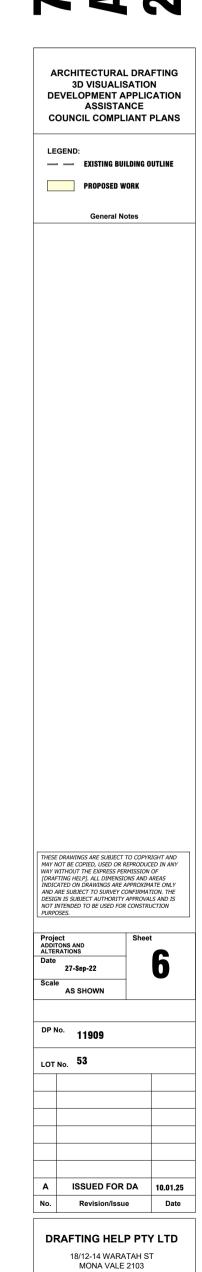






NOTE:
THIS DRAWING IS PROVIDED FOR INFORMATIONAL PURPOSES ONLY. IF USED FOR CONSTRUCTION. THE CONTRACTOR ASSUMES ALL RESPONSIBILITY FOR LOCAL CODE COMPLIANCE. ALL DRAWINGS, PLANS, SKETCHES ETC. ARE PROVIDED TO OUR CLIENTS BASED UPON INFORMATION PROVIDED BY THE CLIENT AND DRAWN IN ACCORDANCE WITH COMMON BUILDING PRACTICES AND LOCAL CODES. NONE OF THE EMPLOYEES OF DRAFTING HELP ARE REGISTERED ARCHITECTS, ENGINEERS OR LAND SURVEYORS. ALL DIMENSIONS AND SPECIFICATIONS SHOULD BE VERIFIED BY CLIENT AND/OR CONTRACTOR BEFORE ACTUAL CONSTRUCTION BEGINS. IF DIMENSIONS AND SPECIFICATIONS ARE NOT VERIFIED BY CLIENT AND/OR CONTRACTOR BEFORE ACTUAL CONSTRUCTION BEGINS DRAFTING HELP WILL BE HELD HARMLESS. DRAFTINGHELP ASSUMES NO LIABILITY FOR CHANGES AND/OR REVISIONS MADE TO PLANS BY CLIENT AND/OR CONTRACTOR.

728 BARRENJOEY RD AVALON BEACH 2107



www.draftinghelp.com.au 02 8776 3474

Project Name and Address

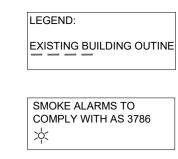
JESSICA L` GREEN

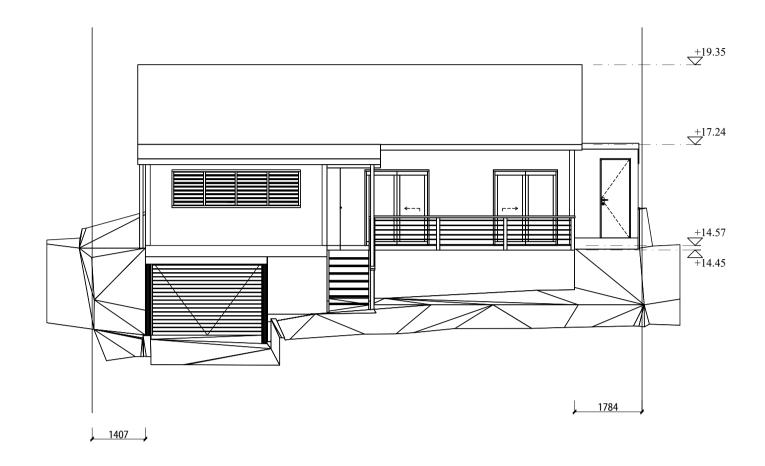
DP: 11909 LOT No. 53 SITE AREA: 866.30MSQ. EXIST. GFA: 112.00MSQ. PROPOSED GFA: 253.00MSQ MAX. BUILDING HEIGHT: 8.5M NEW WORKS:

NEW 2ND STOREY ADDITION.

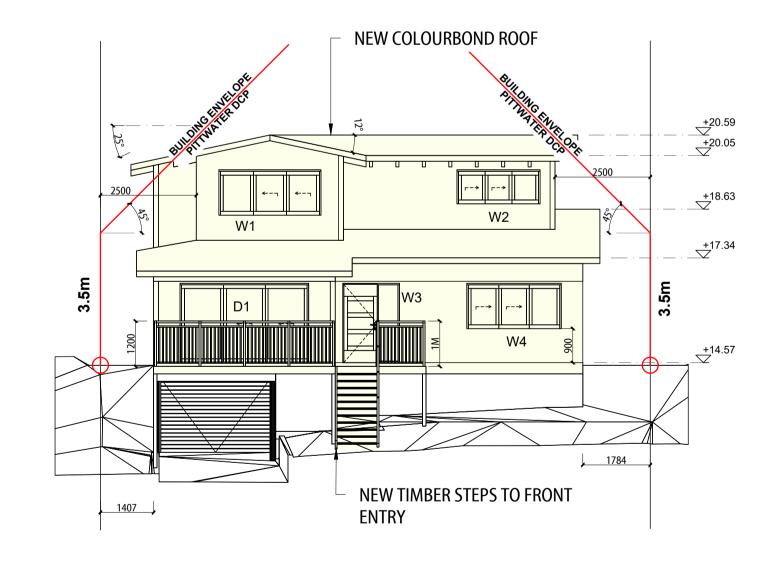
INTERNAL ALTS AND ADS

NEW FRONT DECK AND ENTRY



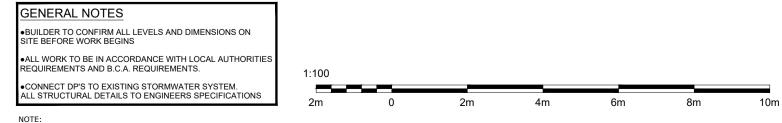


SOUTH WEST ELEVATION - EXISTING
SCALE 1:100

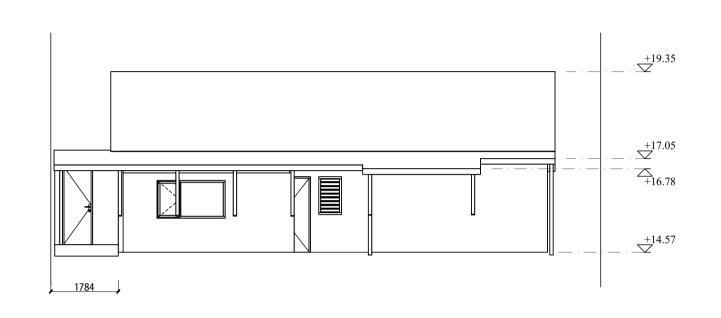


SOUTH WEST ELEVATION - PROPOSED

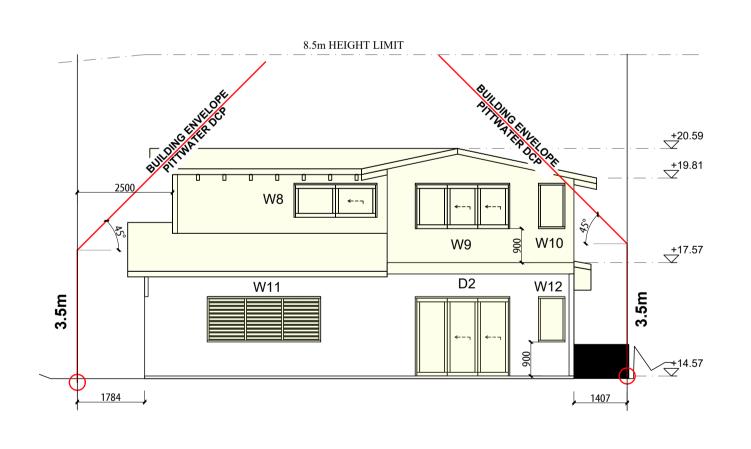
SCALE 1:100



THIS DRAWING IS PROVIDED FOR INFORMATIONAL PURPOSES ONLY. IF USED FOR CONSTRUCTION. THE CONTRACTOR ASSUMES ALL RESPONSIBILITY FOR LOCAL CODE COMPLIANCE. ALL DRAWINGS, PLANS, SKETCHES ETC. ARE PROVIDED TO OUR CLIENTS BASED UPON INFORMATION PROVIDED BY THE CLIENT AND DRAWN IN ACCORDANCE WITH COMMON BUILDING PRACTICES AND LOCAL CODES. NONE OF THE EMPLOYEES OF DRAFTING HELP ARE REGISTERED ARCHITECTS, ENGINEERS OR LAND SURVEYORS. ALL DIMENSIONS AND SPECIFICATIONS SHOULD BE VERIFIED BY CLIENT AND/OR CONTRACTOR BEFORE ACTUAL CONSTRUCTION BEGINS. IF DIMENSIONS AND SPECIFICATIONS ARE NOT VERIFIED BY CLIENT AND/OR CONTRACTOR BEFORE ACTUAL CONSTRUCTION BEGINS DRAFTING HELP WILL BE HELD HARMLESS. DRAFTINGHELP ASSUMES NO LIABILITY FOR CHANGES AND/OR REVISIONS MADE TO PLANS BY CLIENT AND/OR CONTRACTOR.



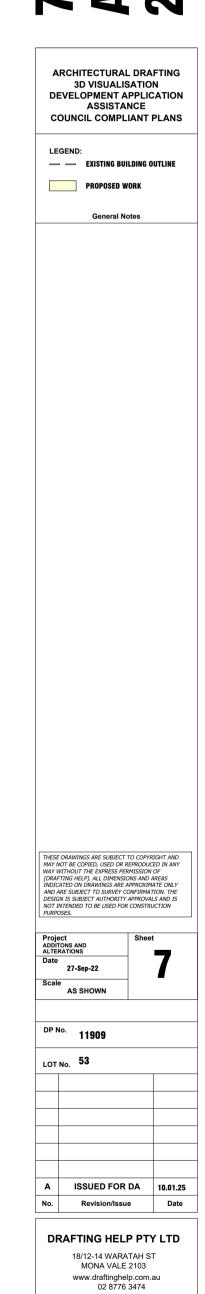
NORTH EAST ELEVATION - EXISTING
SCALE 1:100



NORTH EAST ELEVATION - PROPOSED

SCALE 1:100





Project Name and Address

JESSICA L` GREEN

DP: 11909 LOT No. 53 SITE AREA: 866.30MSQ. EXIST. GFA: 112.00MSQ. PROPOSED GFA: 253.00MSQ MAX. BUILDING HEIGHT: 8.5M NEW WORKS:

NEW 2ND STOREY ADDITION.

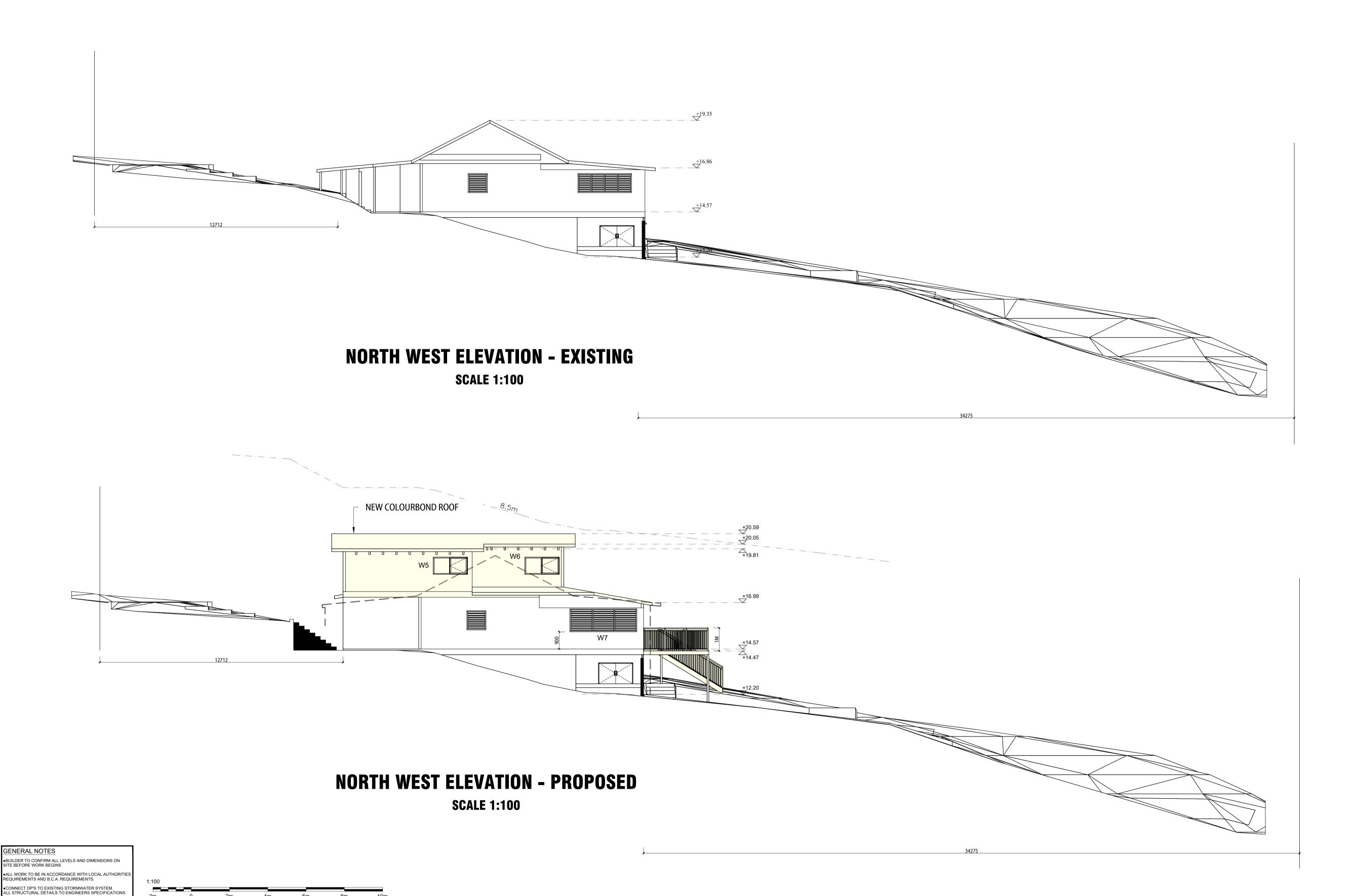
INTERNAL ALTS AND ADS

NEW FRONT DECK AND ENTRY

LEGEND:

EXISTING BUILDING OUTINE

SMOKE ALARMS TO COMPLY WITH AS 3786



728 BARRENJOEY RD AVALON BEACH 2107

ARCHITECTURAL DRAFTING
3D VISUALISATION
DEVELOPMENT APPLICATION
ASSISTANCE
COUNCIL COMPLIANT PLANS

LEGEND:
— EXISTING BUILDING OUTLINE
PROPOSED WORK

General Notes

SE DRAWINGS ARE SUBJECT TO COPYRIGHT AND
NOT BE COPIED, USED OR REPRODUCED IN ANY
WITHOUT THE EXPRESS PERMISSION OF
AFTING HEIP, ALL DIMENSIONS AND AREAS
ICATED ON DRAWINGS ARE APPROXIMATE ONLY
ARE SUBJECT TO SURVEY CONFIRMATION. THE
IGN IS SUBJECT AUTHORITY APPROVALS AND IS
INTENDED TO BE USED FOR CONSTRUCTION
POSES.

Sheet

Sheet

Date 27-Sep-22

Scale AS SHOWN

DP No. 11909

LOT No. 53

A ISSUED FOR DA 10.01.25
No. Revision/Issue Date

DRAFTING HELP PTY LTD

DRAFTING HELP PTY LTI

18/12-14 WARATAH ST

MONA VALE 2103

www.draftinghelp.com.au

02 8776 3474

Project Name and Address

JESSICA L` GREEN

728 BARRENJOEY RD

AVALON BEACH
2107

NOTE:
THIS DRAWING IS PROVIDED FOR INFORMATIONAL PURPOSES ONLY. IF USED FOR CONSTRUCTION. THE CONTRACTOR ASSUMES ALL RESPONSIBILITY FOR LOCAL CODE COMPLIANCE. ALL DRAWINGS, PLANS, SKETCHES ETC. ARE PROVIDED TO OUR CLIENTS BASED UPON INFORMATION PROVIDED BY THE CLIENT AND DRAWN IN ACCORDANCE WITH COMMON BUILDING PRACTICES AND LOCAL CODES. NONE OF THE EMPLOYEES OF DRAFTING HELP ARE REGISTERED ARCHITECTS, ENGINEERS OR LAND SURVEYORS. ALL DIMENSIONS AND SPECIFICATIONS SHOULD BE VERIFIED BY CLIENT AND/OR CONTRACTOR BEFORE ACTUAL CONSTRUCTION BEGINS. IF DIMENSIONS AND SPECIFICATIONS ARE NOT VERIFIED BY CLIENT AND/OR CONTRACTOR BEFORE ACTUAL CONSTRUCTION BEGINS DRAFTING HELP WILL BE HELD HARMLESS. DRAFTINGHELP ASSUMES NO LIABILITY FOR CHANGES AND/OR REVISIONS MADE TO PLANS BY CLIENT AND/OR CONTRACTOR.

DP: 11909 LOT No. 53 SITE AREA: 866.30MSQ. EXIST. GFA: 112.00MSQ. PROPOSED GFA: 253.00MSQ MAX. BUILDING HEIGHT: 8.5M NEW WORKS:

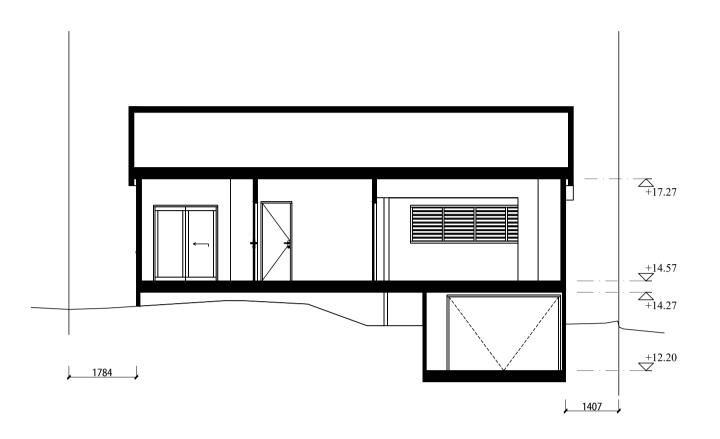
NEW 2ND STOREY ADDITION.

INTERNAL ALTS AND ADS

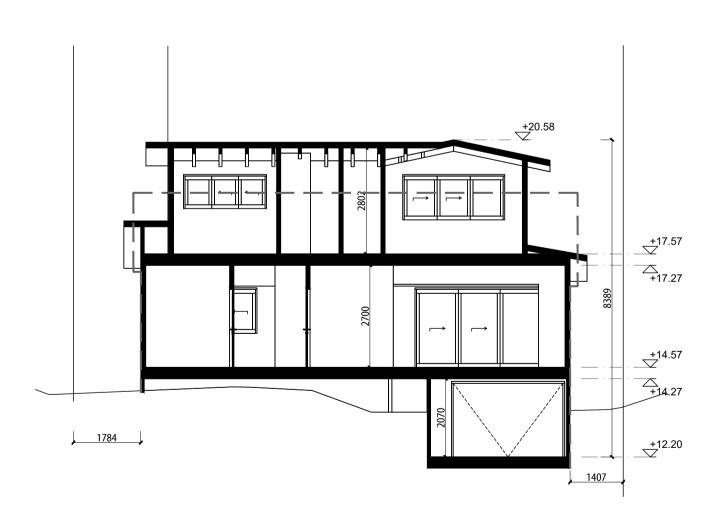
NEW FRONT DECK AND ENTRY

EXISTING BUILDING OUTINE

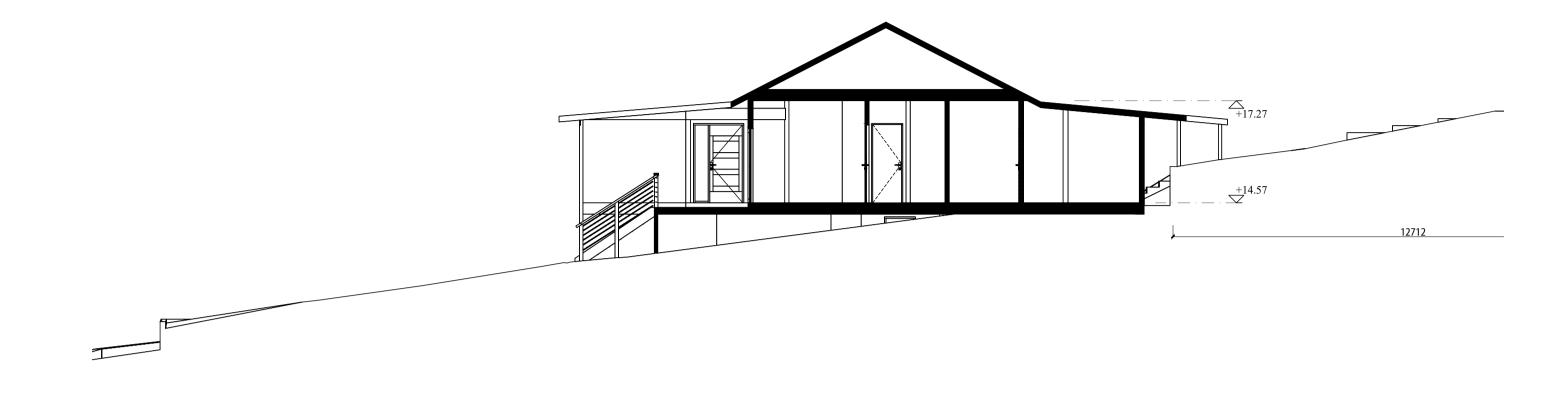
SMOKE ALARMS TO COMPLY WITH AS 3786



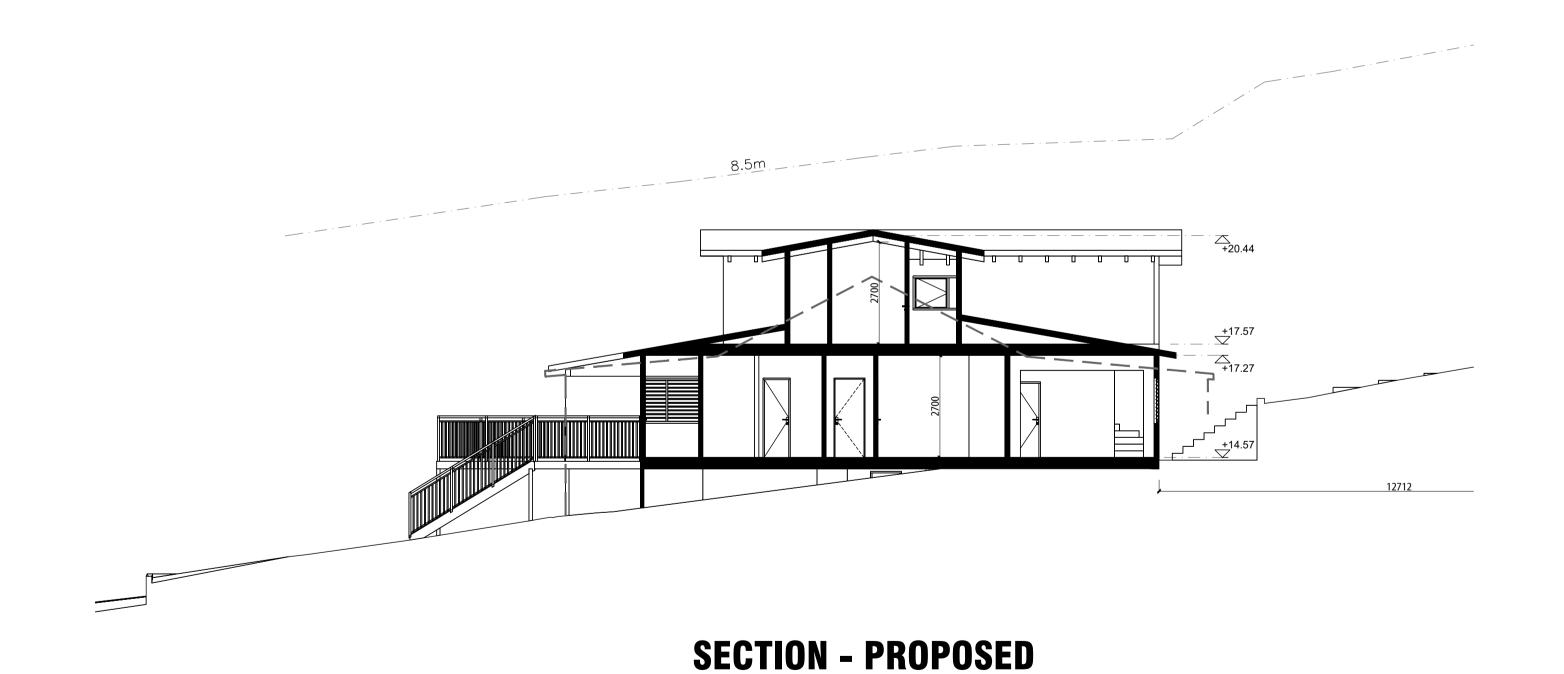
SECTION - EXISTING
SCALE 1:100



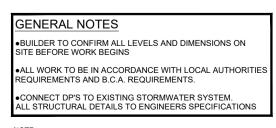
SECTION - PROPOSED
SCALE 1:100

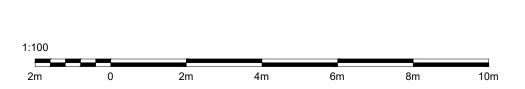


SECTION - EXISTING
SCALE 1:100



SCALE 1:100





NOTE:
THIS DRAWING IS PROVIDED FOR INFORMATIONAL PURPOSES ONLY. IF USED FOR CONSTRUCTION. THE CONTRACTOR ASSUMES ALL RESPONSIBILITY FOR LOCAL CODE COMPLIANCE. ALL DRAWINGS, PLANS, SKETCHES ETC. ARE PROVIDED TO OUR CLIENTS BASED UPON INFORMATION PROVIDED BY THE CLIENT AND DRAWN IN ACCORDANCE WITH COMMON BUILDING PRACTICES AND LOCAL CODES. NONE OF THE EMPLOYEES OF DRAFTING HELP ARE REGISTERED ARCHITECTS, ENGINEERS OR LAND SURVEYORS. ALL DIMENSIONS AND SPECIFICATIONS SHOULD BE VERIFIED BY CLIENT AND/OR CONTRACTOR BEFORE ACTUAL CONSTRUCTION BEGINS. IF DIMENSIONS AND SPECIFICATIONS ARE NOT VERIFIED BY CLIENT AND/OR CONTRACTOR BEFORE ACTUAL CONSTRUCTION BEGINS DRAFTING HELP WILL BE HELD HARMLESS. DRAFTINGHELP ASSUMES NO LIABILITY FOR CHANGES AND/OR REVISIONS MADE TO PLANS BY CLIENT AND/OR CONTRACTOR.



DRAFTING HELP PTY LTD

18/12-14 WARATAH ST

MONA VALE 2103

www.draftinghelp.com.au

02 8776 3474

Project Name and Address

JESSICA L` GREEN

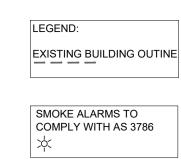
DP: 11909 LOT No. 53 SITE AREA: 866.30MSQ. EXIST. GFA: 112.00MSQ. PROPOSED GFA: 253.00MSQ MAX. BUILDING HEIGHT: 8.5M

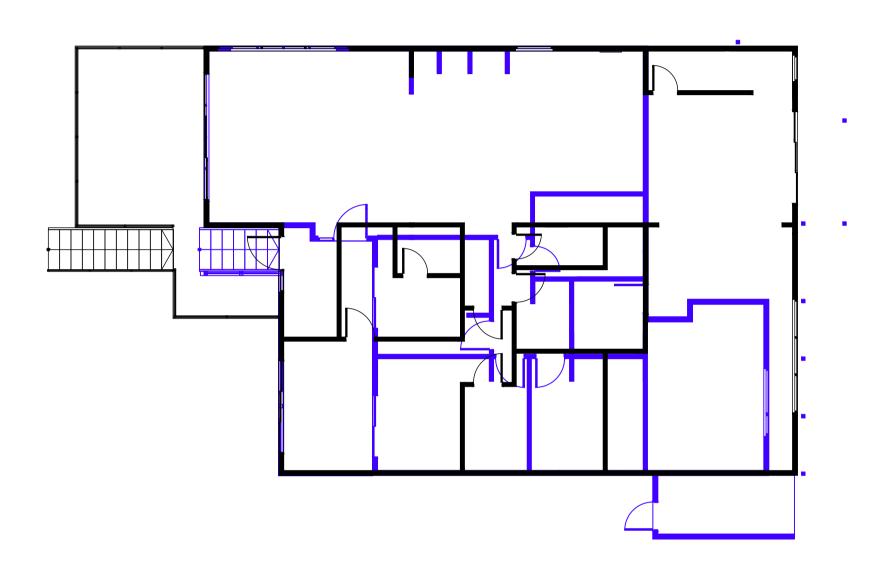
NEW WORKS:

NEW 2ND STOREY ADDITION.

INTERNAL ALTS AND ADS

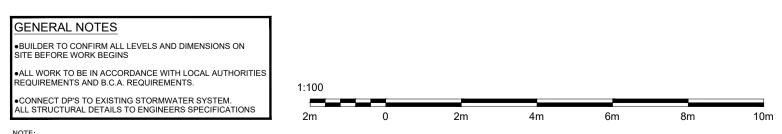
NEW FRONT DECK AND ENTRY



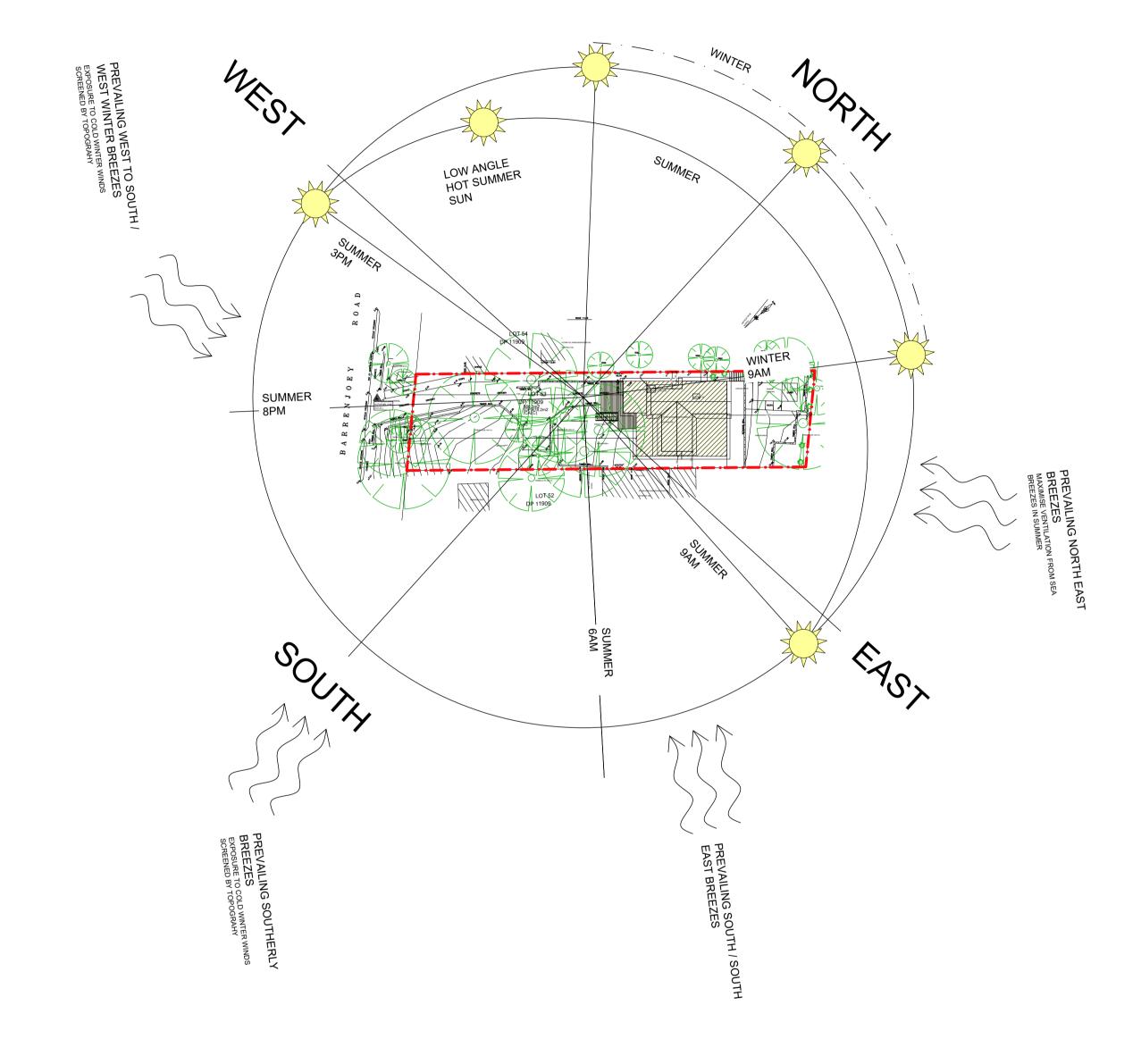


GROUND FLOOR DEMO PLAN SCALE 1:100



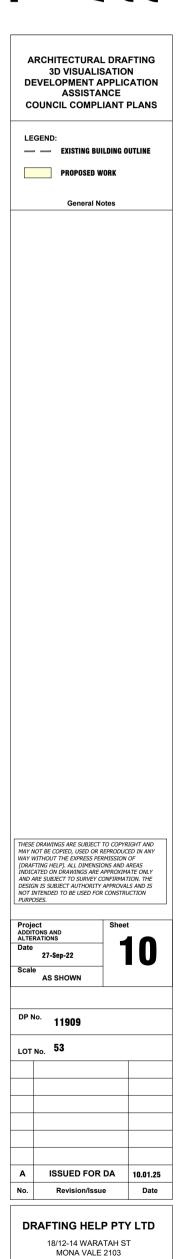


THIS DRAWING IS PROVIDED FOR INFORMATIONAL PURPOSES ONLY. IF USED FOR CONSTRUCTION. THE CONTRACTOR ASSUMES ALL RESPONSIBILITY FOR LOCAL CODE COMPLIANCE. ALL DRAWINGS, PLANS, SKETCHES ETC. ARE PROVIDED TO OUR CLIENTS BASED UPON INFORMATION PROVIDED BY THE CLIENT AND DRAWN IN ACCORDANCE WITH COMMON BUILDING PRACTICES AND LOCAL CODES. NONE OF THE EMPLOYEES OF DRAFTING HELP ARE REGISTERED ARCHITECTS, ENGINEERS OR LAND SURVEYORS. ALL DIMENSIONS AND SPECIFICATIONS SHOULD BE VERIFIED BY CLIENT AND/OR CONTRACTOR BEFORE ACTUAL CONSTRUCTION BEGINS. IF DIMENSIONS AND SPECIFICATIONS ARE NOT VERIFIED BY CLIENT AND/OR CONTRACTOR BEFORE ACTUAL CONSTRUCTION BEGINS DRAFTING HELP WILL BE HELD HARMLESS. DRAFTINGHELP ASSUMES NO LIABILITY FOR CHANGES AND/OR REVISIONS MADE TO PLANS BY CLIENT AND/OR CONTRACTOR.



SITE ANALYSIS PLAN
SCALE NTS





www.draftinghelp.com.au 02 8776 3474

Project Name and Address

JESSICA L` GREEN

DP: 11909
LOT No. 53
SITE AREA: 866.30MSQ.
EXIST. GFA: 112.00MSQ.
PROPOSED GFA: 253.00MSQ
MAX. BUILDING HEIGHT: 8.5M

NEW WORKS:

NEW 2ND STOREY ADDITION.

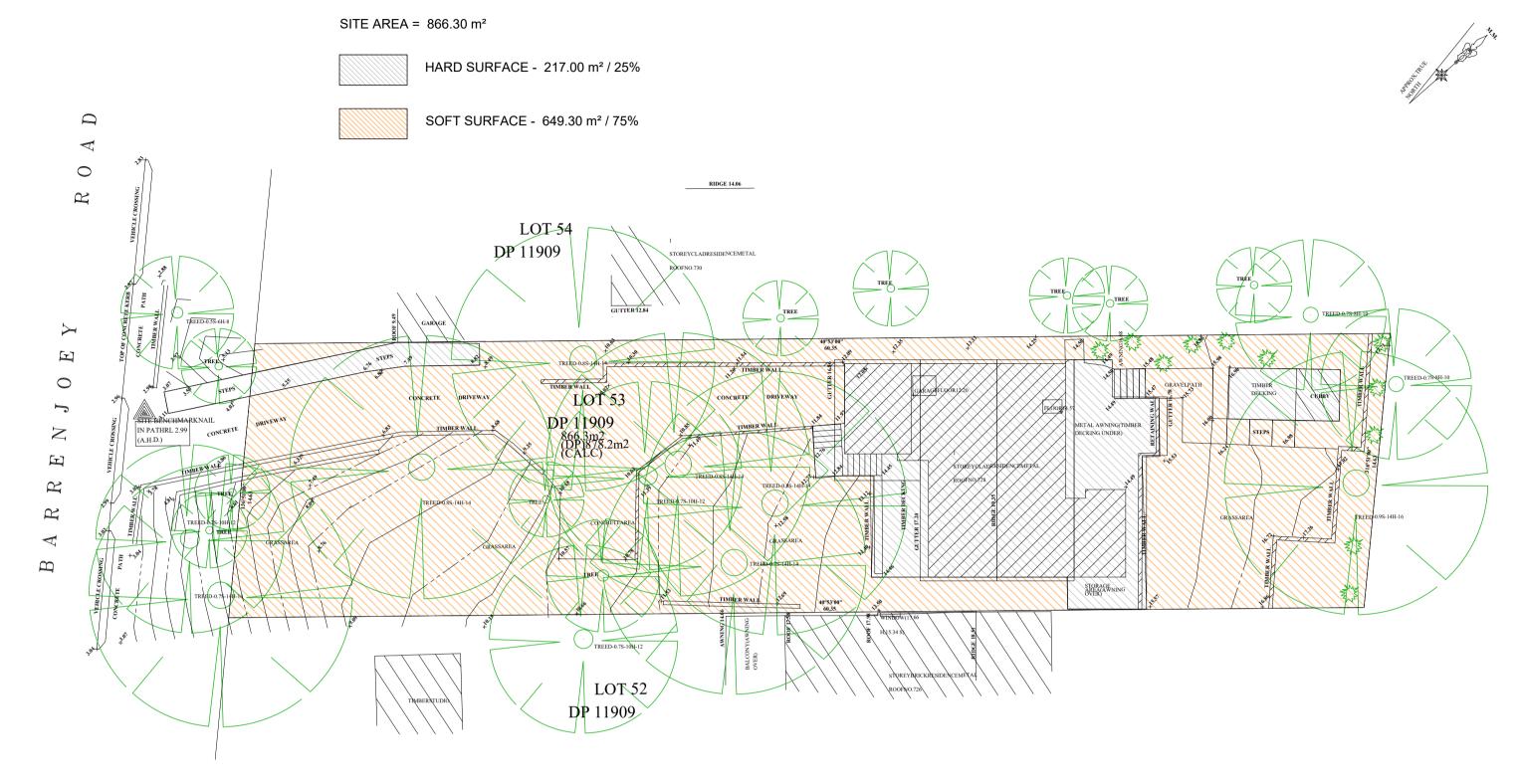
INTERNAL ALTS AND ADS

NEW FRONT DECK AND ENTRY

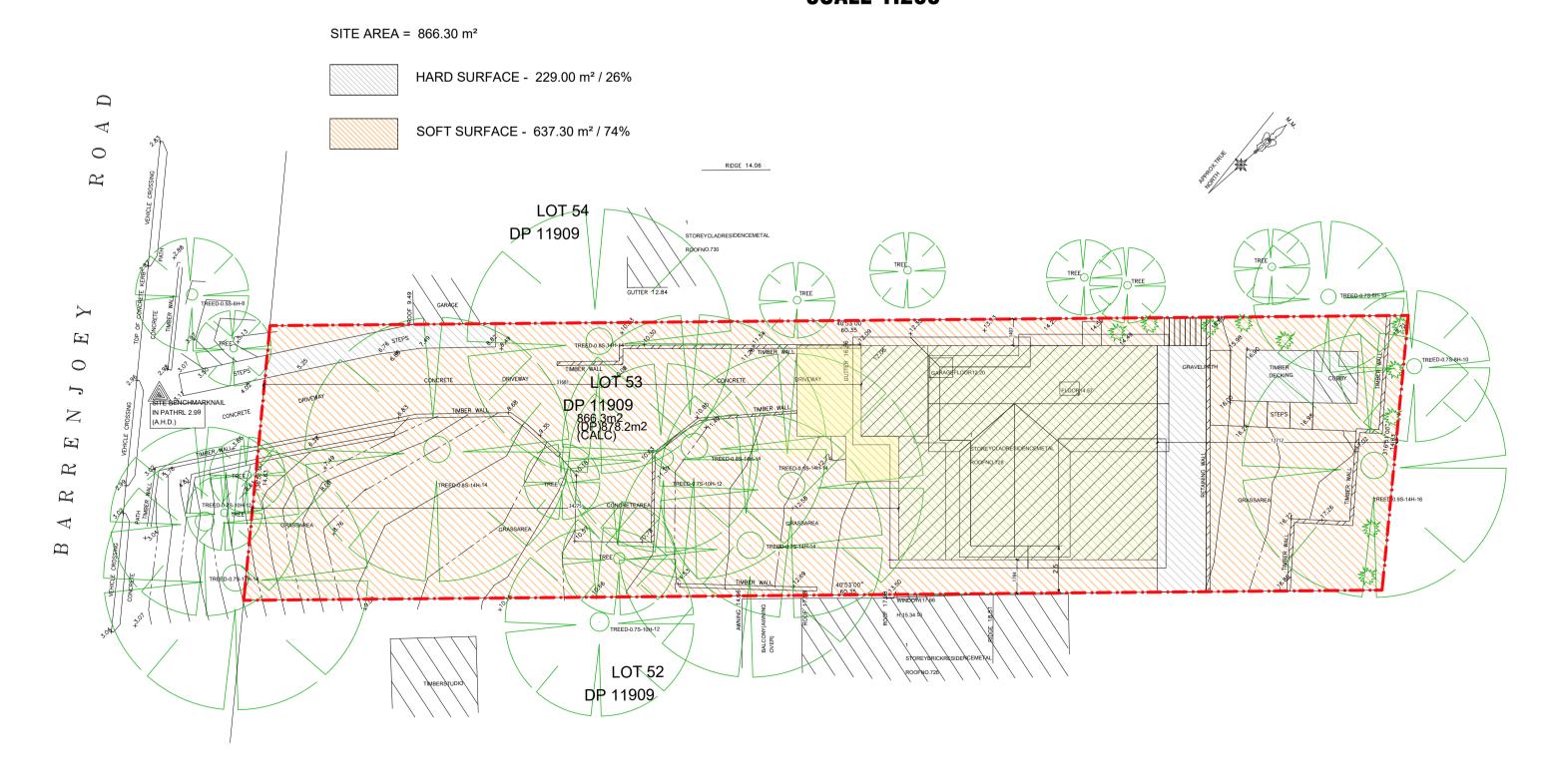
LEGEND:

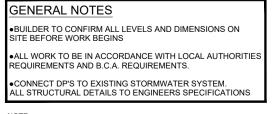
EXISTING BUILDING OUTINE

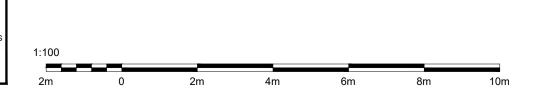
SMOKE ALARMS TO
COMPLY WITH AS 3786



LANDUSE DIAGRAM - EXISTING SCALE 1:200



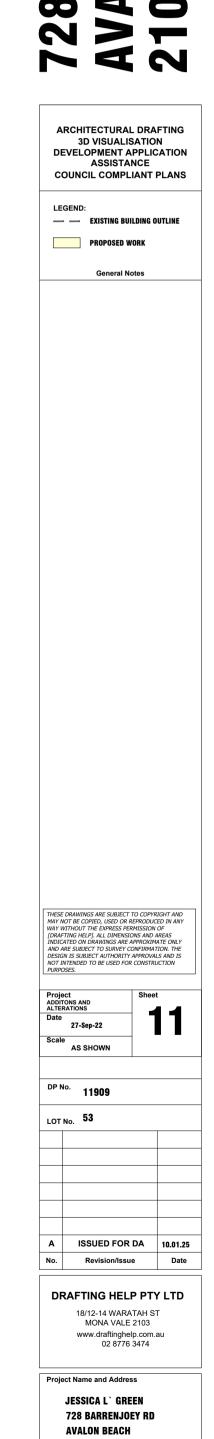




LANDUSE DIAGRAM - PROPOSED

SCALE 1:200

728 BARRENJOEY RD AVALON BEACH 2107



NOTE:
THIS DRAWING IS PROVIDED FOR INFORMATIONAL PURPOSES ONLY. IF USED FOR CONSTRUCTION. THE CONTRACTOR ASSUMES ALL RESPONSIBILITY FOR LOCAL CODE COMPLIANCE. ALL DRAWINGS, PLANS, SKETCHES ETC. ARE PROVIDED TO OUR CLIENTS BASED UPON INFORMATION PROVIDED BY THE CLIENT AND DRAWN IN ACCORDANCE WITH COMMON BUILDING PRACTICES AND LOCAL CODES. NONE OF THE EMPLOYEES OF DRAFTING HELP ARE REGISTERED ARCHITECTS, ENGINEERS OR LAND SURVEYORS. ALL DIMENSIONS AND SPECIFICATIONS SHOULD BE VERIFIED BY CLIENT AND/OR CONTRACTOR BEFORE ACTUAL CONSTRUCTION BEGINS. IF DIMENSIONS AND SPECIFICATIONS ARE NOT VERIFIED BY CLIENT AND/OR CONTRACTOR BEFORE ACTUAL CONSTRUCTION BEGINS DRAFTING HELP WILL BE HELD HARMLESS. DRAFTINGHELP ASSUMES NO LIABILITY FOR CHANGES AND/OR REVISIONS MADE TO PLANS BY CLIENT AND/OR CONTRACTOR.

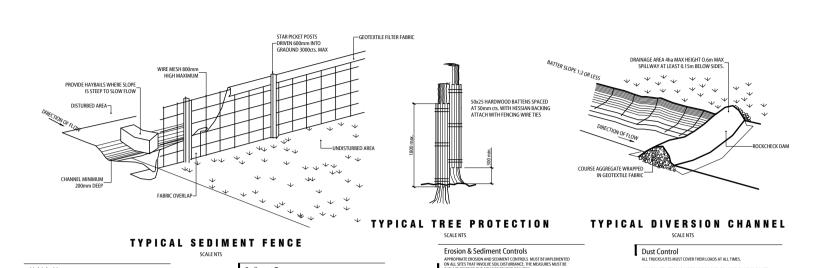
DP: 11909 LOT No. 53 SITE AREA: 866.30MSQ. EXIST. GFA: 112.00MSQ. PROPOSED GFA: 253.00MSQ MAX. BUILDING HEIGHT: 8.5M

CONNECT DP'S TO EXISTING STORMWATER SYSTEM.
 ALL STRUCTURAL DETAILS TO ENGINEERS SPECIFICATIONS

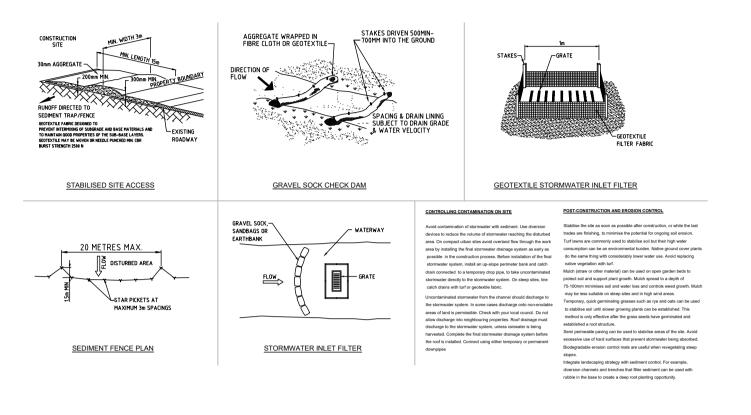
NEW WORKS:
NEW 2ND STOREY ADDITION.
INTERNAL ALTS AND ADS
NEW FRONT DECK AND ENTRY

EXISTING BUILDING OUTINE

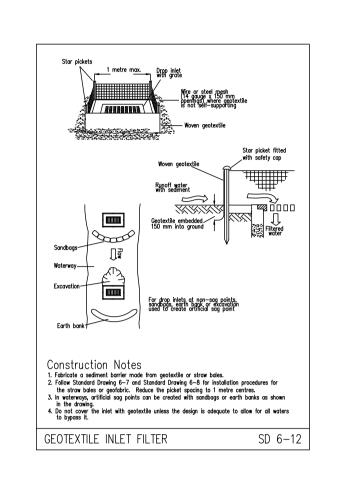
SMOKE ALARMS TO
COMPLY WITH AS 3786

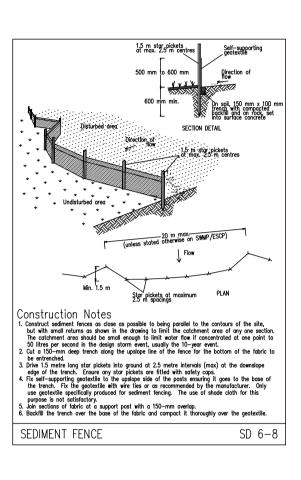


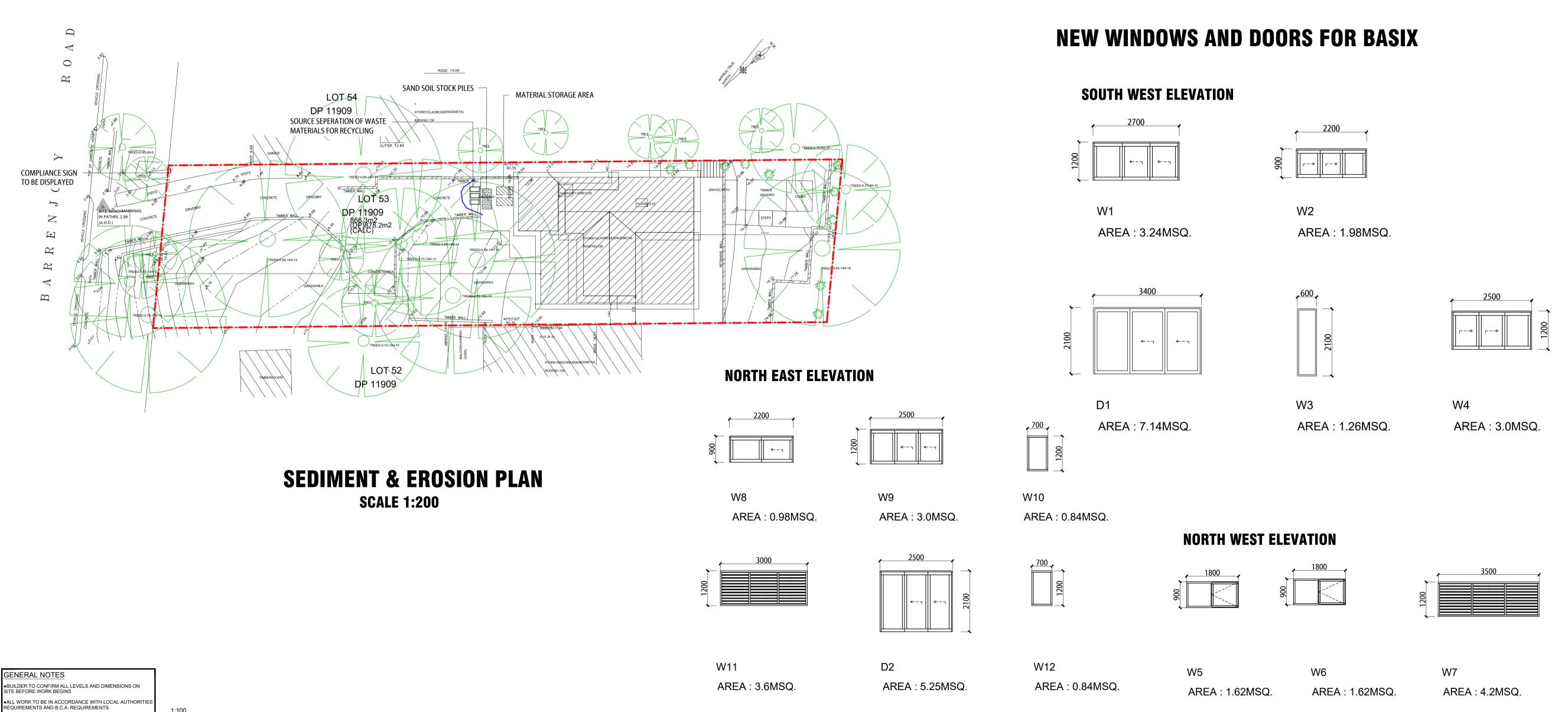




SEDIMENT & EROSION CONTROL - ADDITIONAL DETAILS TO BE FOLLOWED BY SITE MANAGER / CONSTRUCTION WORKERS



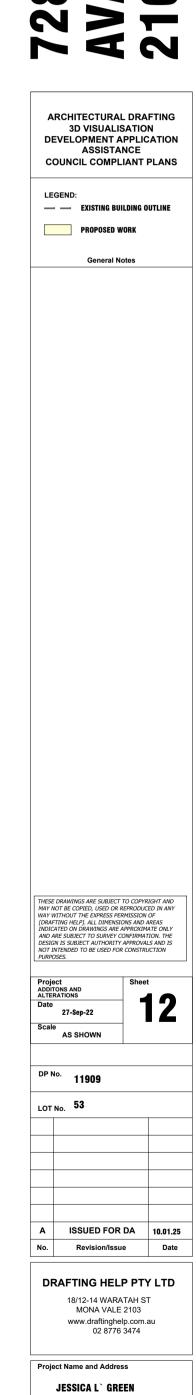




THIS DRAWING IS PROVIDED FOR INFORMATIONAL PURPOSES ONLY. IF USED FOR CONSTRUCTION. THE CONTRACTOR ASSUMES ALL RESPONSIBILITY FOR LOCAL CODE COMPLIANCE. ALL DRAWINGS, PLANS, SKETCHES ETC. ARE PROVIDED TO OUR CLIENTS BASED UPON INFORMATION PROVIDED BY THE CLIENT AND DRAWN IN ACCORDANCE WITH COMMON BUILDING PRACTICES AND LOCAL CODES. NONE OF THE EMPLOYEES OF DRAFTING HELP ARE REGISTERED ARCHITECTS, ENGINEERS OR LAND SURVEYORS. ALL DIMENSIONS AND SPECIFICATIONS SHOULD BE VERIFIED BY CLIENT AND/OR CONTRACTOR BEFORE ACTUAL CONSTRUCTION BEGINS. IF DIMENSIONS AND SPECIFICATIONS ARE NOT VERIFIED BY CLIENT AND/OR CONTRACTOR BEFORE ACTUAL CONSTRUCTION BEGINS DRAFTING HELP WILL BE HELD HARMLESS. DRAFTINGHELP ASSUMES NO LIABILITY FOR CHANGES AND/OR REVISIONS MADE TO PLANS BY CLIENT AND/OR CONTRACTOR.

NOTE: ALL WINDOWS AND DOORS MUST BE CHECKED AND MEASURED BY THE WINDOW / DOOR MANUFACTURER BEFORE ORDERING

728 BARRENJOEY RD AVALON BEACH



DP: 11909 LOT No. 53 SITE AREA: 866.30MSQ. EXIST. GFA: 112.00MSQ. PROPOSED GFA: 253.00MSQ MAX. BUILDING HEIGHT: 8.5M NEW WORKS:

NEW 2ND STOREY ADDITION.

INTERNAL ALTS AND ADS

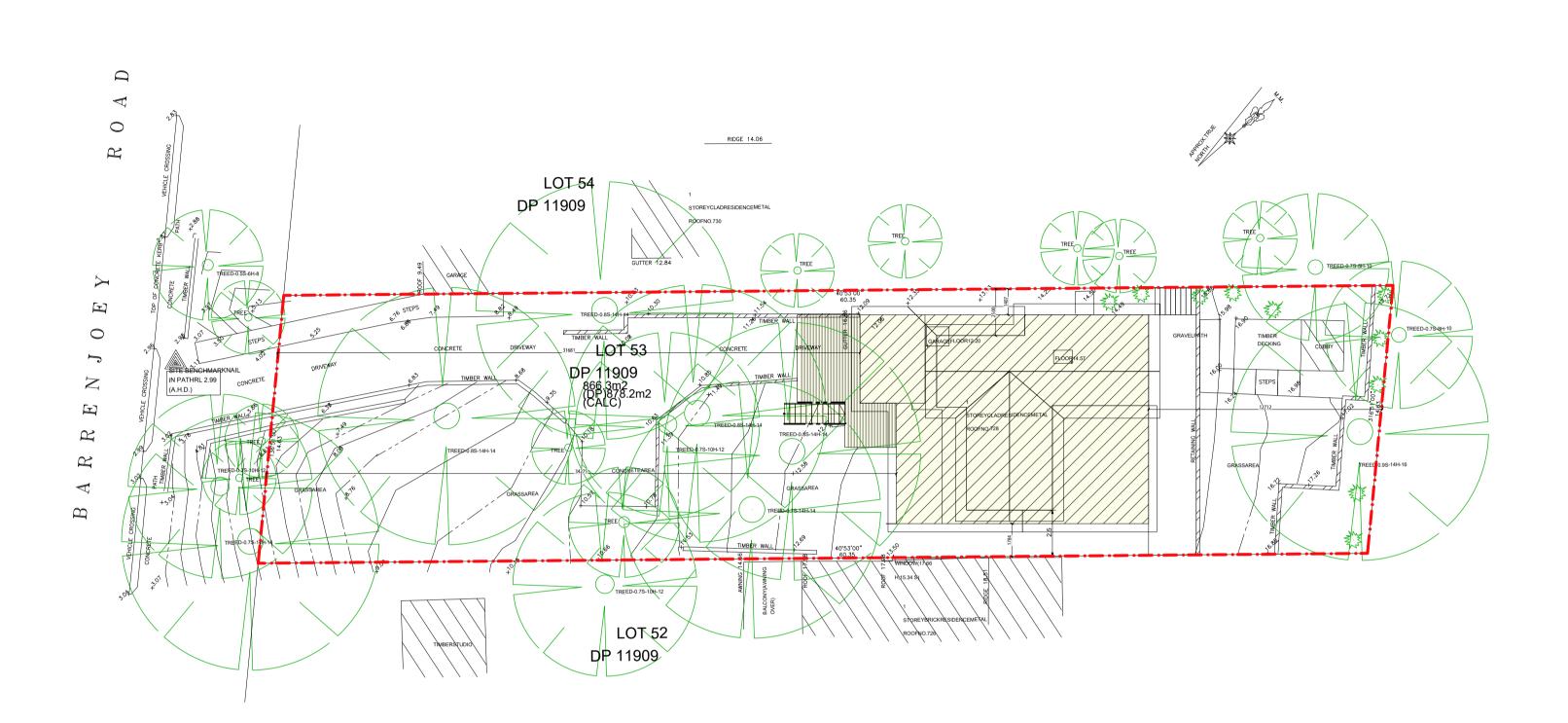
NEW FRONT DECK AND ENTRY

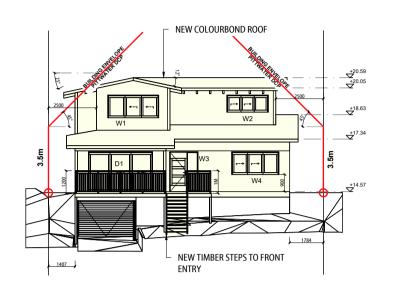
LEGEND:

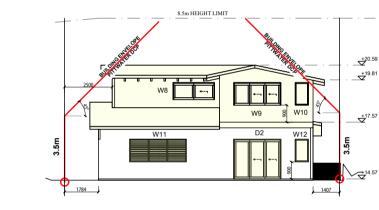
EXISTING BUILDING OUTINE

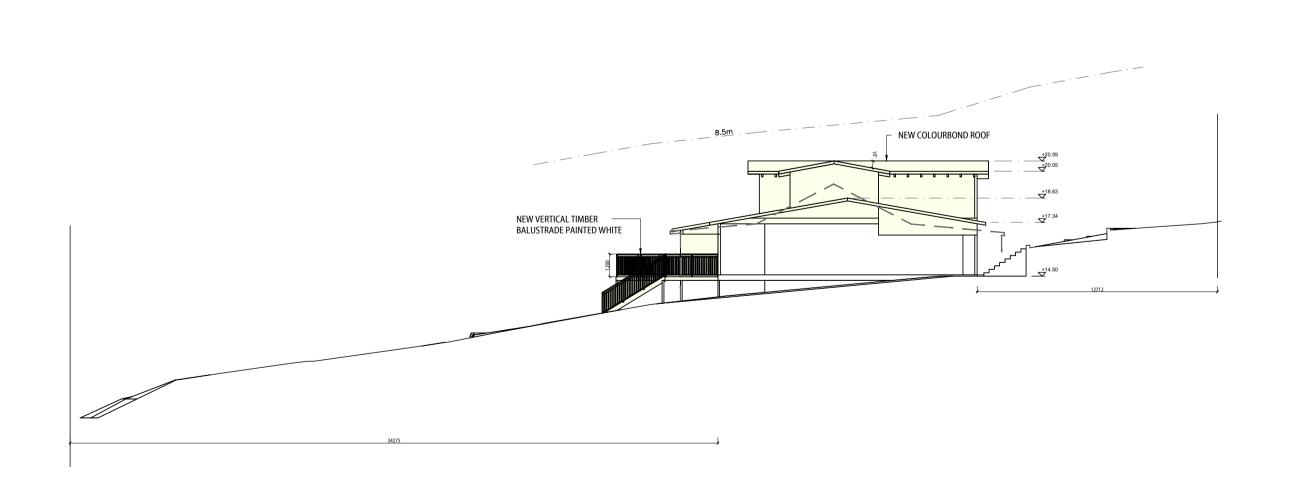
SMOKE ALARMS TO
COMPLY WITH AS 3786

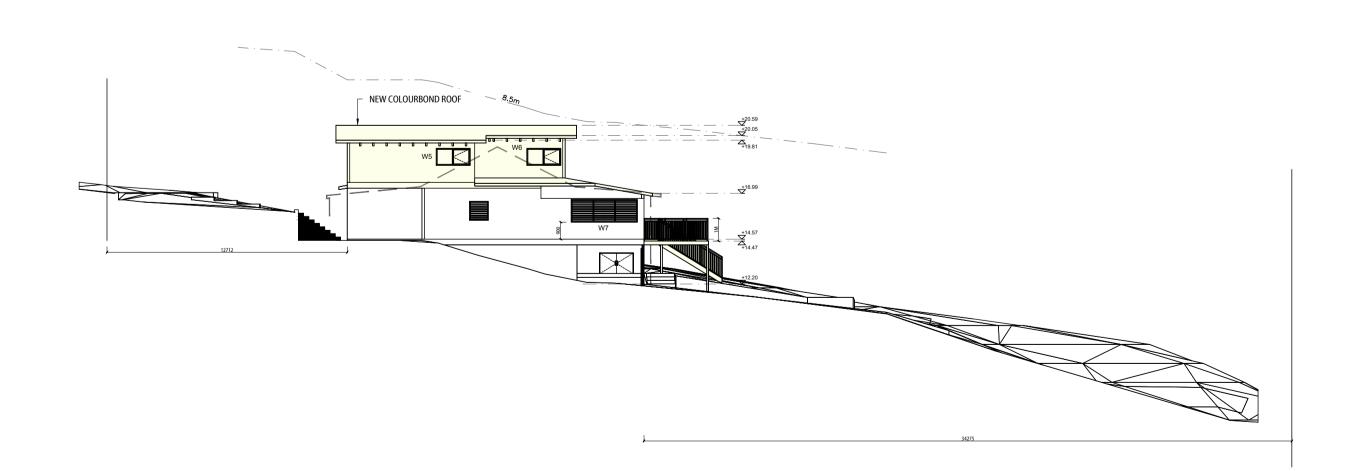
NOTIFICATION PLAN

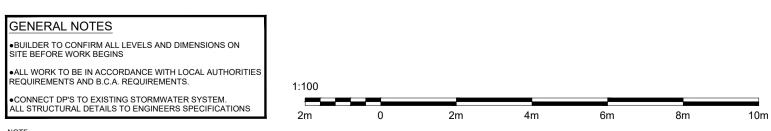




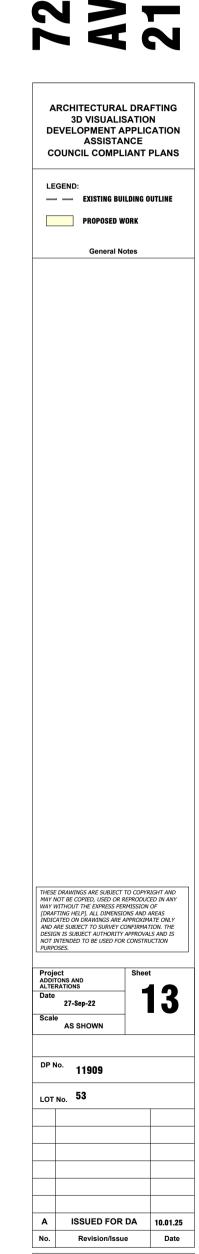








NOTE:
THIS DRAWING IS PROVIDED FOR INFORMATIONAL PURPOSES ONLY. IF USED FOR CONSTRUCTION. THE CONTRACTOR ASSUMES ALL RESPONSIBILITY FOR LOCAL CODE COMPLIANCE. ALL DRAWINGS, PLANS, SKETCHES ETC. ARE PROVIDED TO OUR CLIENTS BASED UPON INFORMATION PROVIDED BY THE CLIENT AND DRAWN IN ACCORDANCE WITH COMMON BUILDING PRACTICES AND LOCAL CODES. NONE OF THE EMPLOYEES OF DRAFTING HELP ARE REGISTERED ARCHITECTS, ENGINEERS OR LAND SURVEYORS. ALL DIMENSIONS AND SPECIFICATIONS SHOULD BE VERIFIED BY CLIENT AND/OR CONTRACTOR BEFORE ACTUAL CONSTRUCTION BEGINS. IF DIMENSIONS AND SPECIFICATIONS ARE NOT VERIFIED BY CLIENT AND/OR CONTRACTOR BEFORE ACTUAL CONSTRUCTION BEGINS DRAFTING HELP WILL BE HELD HARMLESS. DRAFTINGHELP ASSUMES NO LIABILITY FOR CHANGES AND/OR REVISIONS MADE TO PLANS BY CLIENT AND/OR CONTRACTOR.



DRAFTING HELP PTY LTD

18/12-14 WARATAH ST

MONA VALE 2103

www.draftinghelp.com.au

02 8776 3474

Project Name and Address

JESSICA L` GREEN