

Rapid Plans www.rapidplans.com.au

P.O. Box 6193 Frenchs Forest DC NSW 2086

Fax: (02) 9905-8865 Mobile: 0414-945-024

Email: gregg@rapidplans.com.au



**BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA**



**ACCREDITED
BUILDING DESIGNER**

| DRAWING No. | DESCRIPTION | REV | ISSUED DATE |
|-------------|--------------------------------------|-----|--------------|
| DA1000 | Cover Sheet | 1 | - 20-11-2020 |
| DA1001 | A4 NOTIFICATION PLAN | 1 | - 20-11-2020 |
| DA1002 | SITE SURVEY | 1 | - 20-11-2020 |
| DA1003 | SITE SURVEY 2 | 1 | - 20-11-2020 |
| DA1004 | SITE PLAN | 1 | - 20-11-2020 |
| DA1005 | Existing Lower Ground Floor Plan | 1 | - 20-11-2020 |
| DA1006 | Existing Lower Ground Floor Plan 2 | 1 | - 20-11-2020 |
| DA1007 | Existing Ground Floor Plan | 1 | - 20-11-2020 |
| DA1008 | Existing First Floor Plan | 1 | - 20-11-2020 |
| DA1009 | Demolition Lower Ground Floor Plan | 1 | - 20-11-2020 |
| DA1010 | Demolition Lower Ground Floor Plan 2 | 1 | - 20-11-2020 |
| DA1011 | Demolition Ground Floor Plan | 1 | - 20-11-2020 |
| DA1012 | Demolition First Floor Plan | 1 | - 20-11-2020 |
| DA1013 | Excavation & Fill Plan | 1 | - 20-11-2020 |
| DA1014 | Landscape Open Space Plan Existing | 1 | - 20-11-2020 |
| DA1015 | Landscape Open Space Plan Proposed | 1 | - 20-11-2020 |
| DA1016 | Landscape Plan | 1 | - 20-11-2020 |
| DA1017 | Sediment & Erosion Plan | 1 | - 20-11-2020 |
| DA1018 | Waste Management Plan | 1 | - 20-11-2020 |
| DA1019 | Stormwater Plan | 1 | - 20-11-2020 |
| DA2001 | LOWER GROUND FLOOR | 1 | - 20-11-2020 |
| DA2002 | LOWER GROUND FLOOR 2 | 1 | - 20-11-2020 |
| DA2003 | GROUND FLOOR | 1 | - 20-11-2020 |
| DA2004 | FIRST FLOOR | 1 | - 20-11-2020 |
| DA2005 | ROOF | 1 | - 20-11-2020 |
| DA3000 | SECTION 1 | 1 | - 20-11-2020 |
| DA3001 | SECTION 2 | 1 | - 20-11-2020 |
| DA3002 | SECTION GARAGE | 1 | - 20-11-2020 |
| DA3003 | SECTION Studio | 1 | - 20-11-2020 |
| DA4000 | ELEVATIONS 1 | 1 | - 20-11-2020 |
| DA4001 | ELEVATIONS 2 | 1 | - 20-11-2020 |
| DA4002 | ELEVATIONS 3 | 1 | - 20-11-2020 |
| DA4003 | ELEVATIONS 4 | 1 | - 20-11-2020 |
| DA5000 | PERSPECTIVE FRONT | 1 | - 20-11-2020 |
| DA5001 | PERSPECTIVE REAR | 1 | - 20-11-2020 |
| DA5002 | MATERIAL & COLOUR SAMPLE BOARD | 1 | - 20-11-2020 |
| DA5003 | SHADOW PLAN 21st June 9am | 1 | - 20-11-2020 |
| DA5004 | SHADOW PLAN 21st June 12pm | 1 | - 20-11-2020 |
| DA5005 | SHADOW PLAN 21st June 3pm | 1 | - 20-11-2020 |
| DA5006 | WALL ELEVATION SHADOWS | 1 | - 20-11-2020 |

DEVELOPMENT APPLICATION

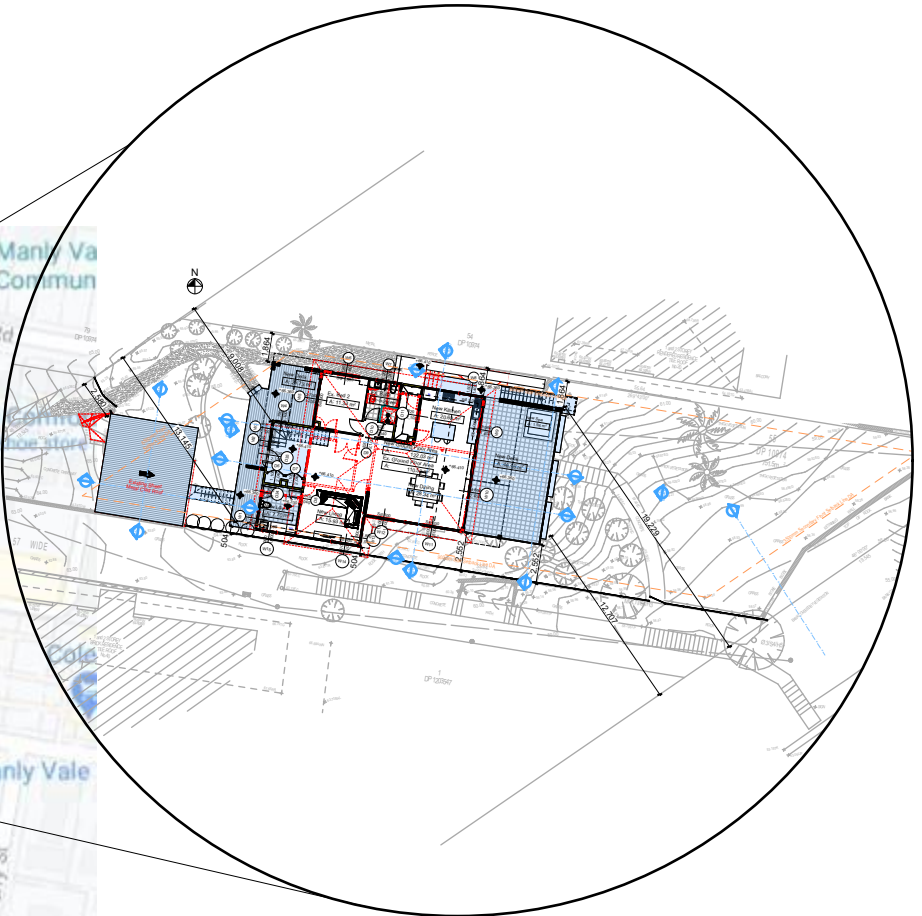
Alterations & Additions To Existing Residence

For Sohuh Gandhi

38 Mildred Avenue Manly Vale

Lot 55 D.P.10974

Project Number: RP0620GAN



BASIX® Certificate

Building Sustainability Index www.basix.nsw.gov.au

Alterations and Additions

Certificate number: A389349

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Alterations and Additions Definitions" dated 06/10/2017 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary
Date of issue: Friday, 11, September 2020
To be valid, this certificate must be lodged within 3 months of the date of issue.



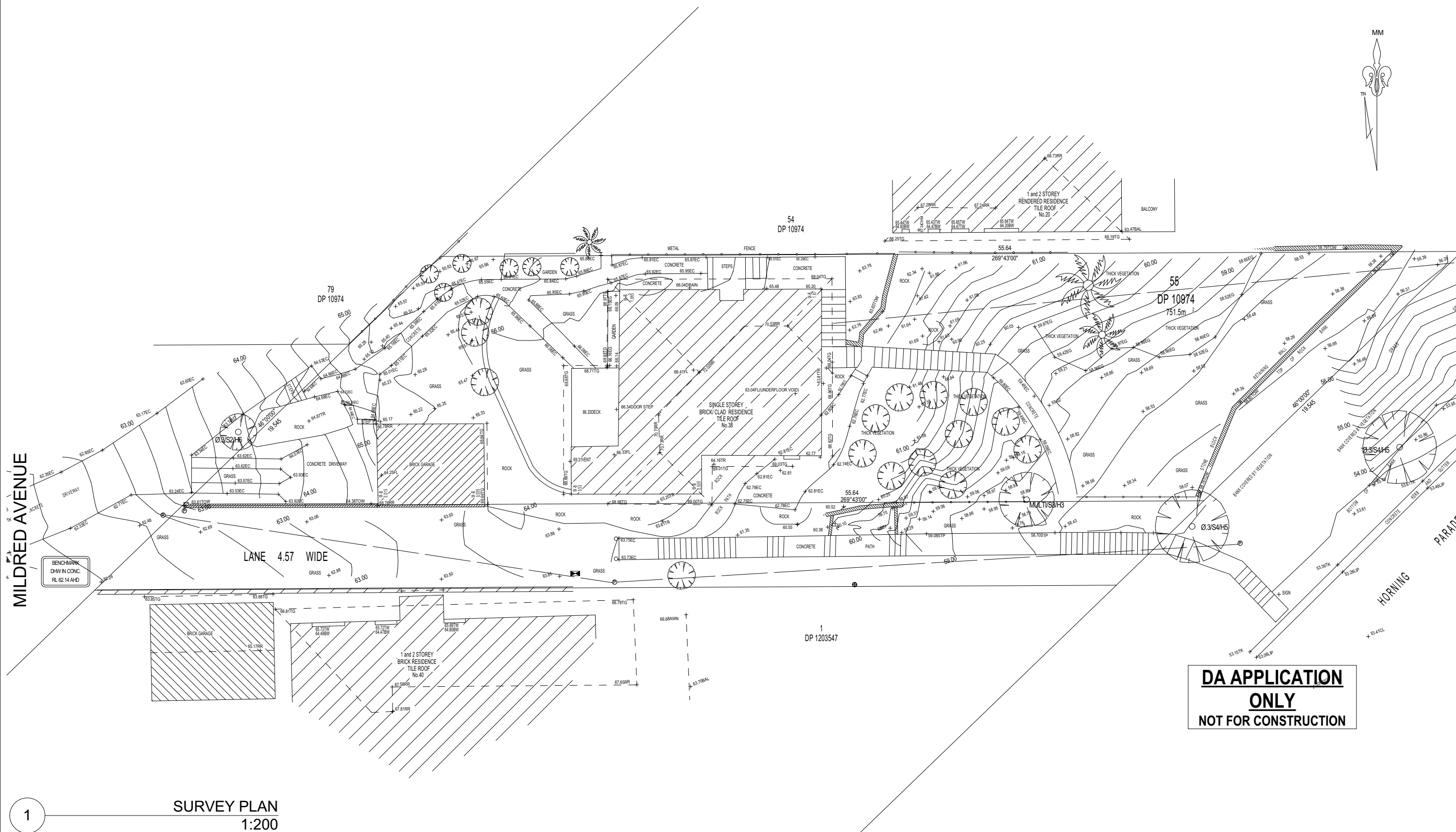
Description of project

| Project address | |
|---------------------------------|---|
| Project name | 38 Mildred R2 |
| Street address | 38 Mildred Avenue Manly Vale 2093 |
| Local Government Area | Warringah Council |
| Plan type and number | Deposited Plan 10974 |
| Lot number | 55 |
| Section number | |
| Project type | |
| Dwelling type | Separate dwelling house |
| Type of alteration and addition | My renovation work is valued at \$50,000 or more, and does not include a pool (and/or spa). |

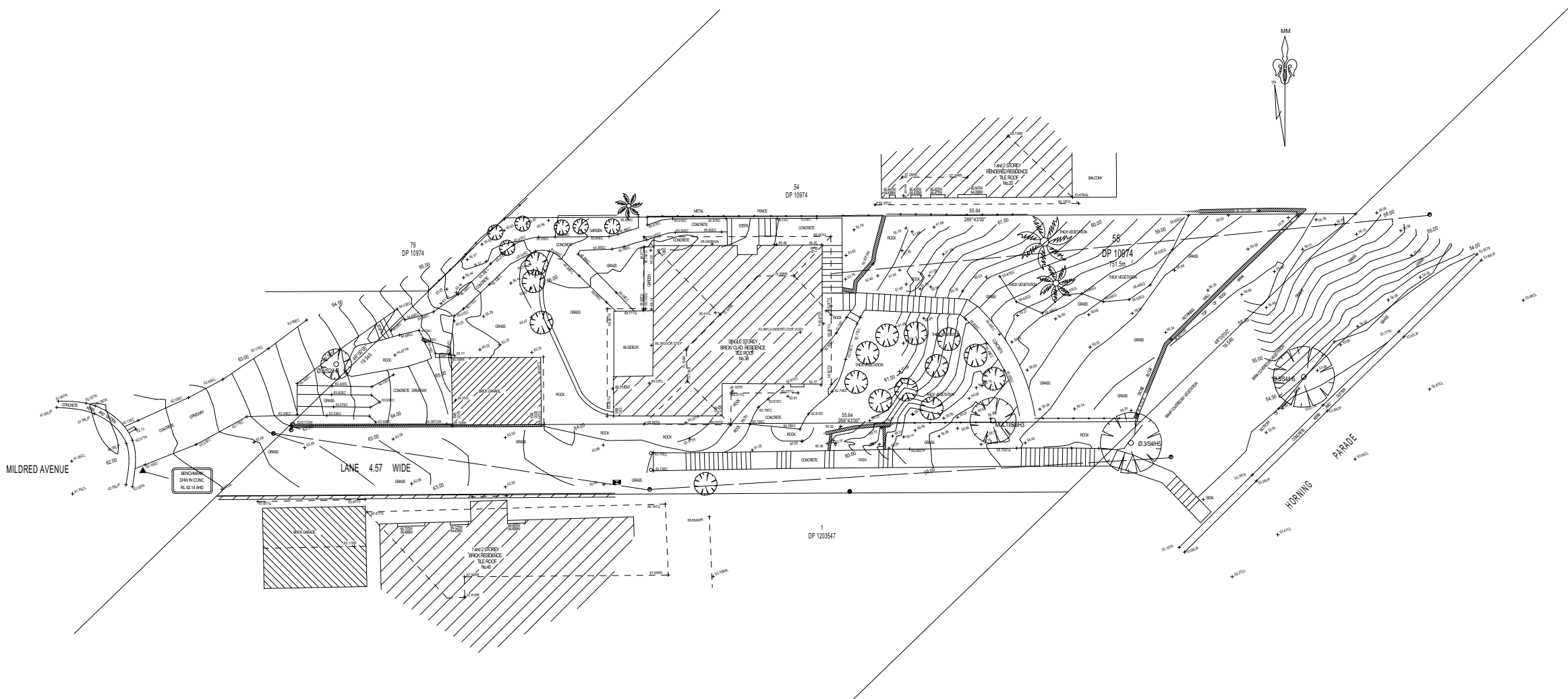
Certificate Prepared by (please complete before submitting to Council or PCA)

Name / Company Name: Sohuh Gandhi

ABN (if applicable): N/A



BOUNDARIES HAVE BEEN DETERMINED BY SURVEY ON 26/05/2020.
PRIOR TO ANY CONSTRUCTION WORK, SURVEY MARKS SHOULD BE PLACED TO DEFINE THE PROPERTY BOUNDARIES.
SERVICES SHOWN ARE INDICATIVE ONLY. POSITIONS ARE BASED ON SURFACE INDICATORS LOCATED DURING FIELD SURVEY. CONFIRMATION OF THE EXACT POSITION SHOULD BE MADE PRIOR TO ANY EXCAVATION WORK. OTHER SERVICES MAY EXIST WHICH ARE NOT SHOWN.
LEVELS ARE BASED ON AUSTRALIAN HEIGHT DATUM (AHD) USING GNSS OBSERVATION TO A BENCH MARK PLACED ON SITE.
RIDGE & GUTTER HEIGHTS HAVE BEEN OBTAINED BY INDIRECT METHOD AND ARE ACCURATE TO ±0.05m.
CONTOURS SHOWN DEPICT THE TOPOGRAPHY, EXCEPT AT SPOT LEVELS SHOWN THEY DO NOT REPRESENT THE EXACT LEVEL AT ANY PARTICULAR POINT. THE SPOT LEVELS ARE TRUE FOR THEIR POSITION, AND ARE INTENDED TO BE USEFUL TO REPRESENT THE GENERAL TERRAIN. CARE SHOULD BE TAKEN IF EXTRAPOLATING.
RESERVATIONS AND CONDITIONS IN THE CROWN GRANTS



| LEGEND | |
|----------------------|-------|
| BENCH MARK | ▲ |
| TELSTRA PIT | ▲ TEL |
| ELECTRIC LIGHT POLE | LP |
| POWER POLE | PP |
| SIGN POST | SP |
| SEWER INSPECTION PIT | SP |
| SEWER VENT | SV |
| MANHOLE | MH |
| SEWER MANHOLE | SMH |
| STOP VALVE | SV |
| WATER HYDRANT | HYD |
| WATER METER | WM |
| GAS METER | GM |
| STATE SURVEY MARK | SSM |

1

SURVEY PLAN
1:333.17

SURVEY PLAN SCALED TO FIT TITLEBLOCK

**DA APPLICATION
ONLY
NOT FOR CONSTRUCTION**

Paul Johnston
Registered Surveyor
N° 5878

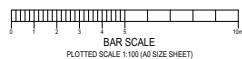


**TSS TOTAL SURVEYING
SOLUTIONS**
LANE COVE | CAMDEN | MANLY VALE | CENTRAL COAST

NOTE:
INFORMATION CONTAINED IN THIS PLAN IS THE COPYRIGHT OF TOTAL SURVEYING SOLUTIONS. THE USE OR DUPLICATION WITHOUT THE WRITTEN CONSENT OF TOTAL SURVEYING SOLUTIONS CONSTITUTES AN INFRINGEMENT OF COPYRIGHT.

| REVISION No. | REVISION DATE: | COMMENT: |
|--------------|----------------|----------|
| | | |
| | | |
| | | |

LEGEND:
EB - EDGE OF BITUMEN
EC - EDGE OF CONCRETE
TB - TOP OF BANK
BB - BOTTOM OF BANK
TW - TOP OF WINDOW
BW - BOTTOM OF WINDOW



| PLAN SHOWING DETAIL & LEVELS OVER LOT 55 IN DP 10974 | | JOB No.: 200838 | LGANORTHERN BEACHES |
|---|--------------------|-----------------|-----------------------|
| CLIENT: SOHUM GANDHI | PLAN No.: 200838-1 | DATE: 27/05/20 | DATUM: AHD |
| PROJECT: MANLY VALE | DRAWN: FS | SCALE: 1:100@A0 | CONT. INTERVAL: 0.25m |
| ADDRESS: 38 MILDRED AVENUE, MANLY VALE | CHK: GS | SHEET 1 OF 1 | |

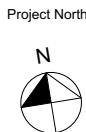


Rapid Plans
www.rapidplans.com.au
PO Box 6193 Frenchs Forest
NSW 2086
Fax: (02) 9905-8865
Mobile: 0414-945-024
Email: greg@rapidplans.com.au
© Copyright
Rapid Plans 2020

Rapid Plans reserves all rights to this drawing, this drawing remains the property of Rapid Plans and may not be copied without written consent, all content including intellectual, remain the property of Rapid Plans, all copies of this drawing will be returned to Rapid Plans upon request.
The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.



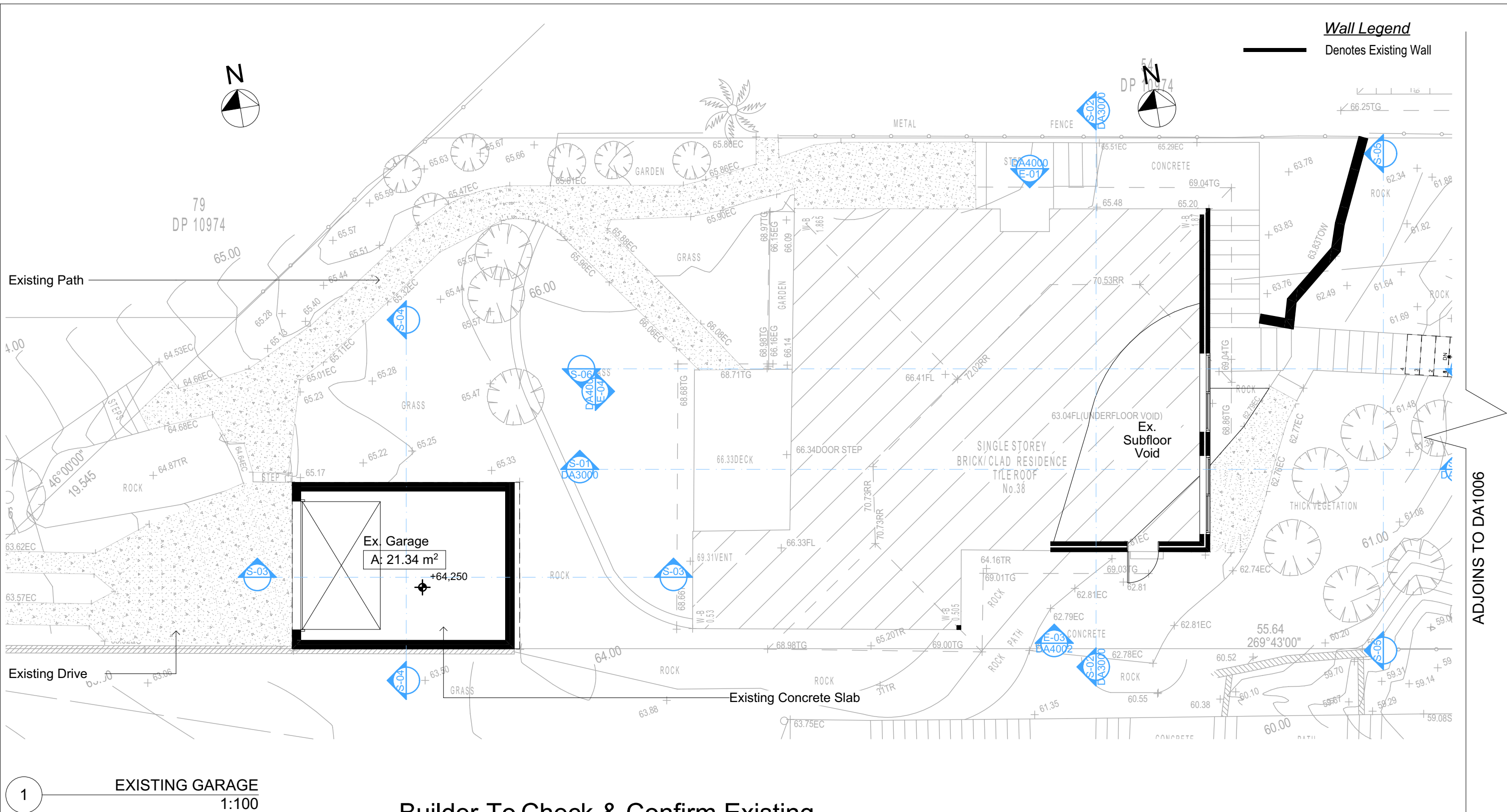
**Builder to Check and Confirm
all Measurements Prior to
Commencement of any works.
Immediately Report any
Discrepancies to Rapid Plans**



Checked
Plot Date: 23/11/2020
Project NO. RP0620GAN
Project Status DA Rev1
Client: Sohumi Gandhi
Site: 38 Mildred Avenue Manly Vale
Sheet Size: A3

DRAWING TITLE :
SITE AND LOCATION
SITE SURVEY 2
PROJECT NAME :
Alterations & Additions

REVISION NO.
1
DATE:
20-11-2020
DRAWING NO.
DA1003



Builder To Check & Confirm Existing Measurements Prior to Commencement

DA APPLICATION ONLY
NOT FOR CONSTRUCTION

NOTES

38 Mildred Avenue Manly Vale is zoned R2 Low Density Res.
All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
38 Mildred Avenue Manly Vale is not considered a heritage item

Certifying

The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Construction

Framed, Framed Walls
Roof Framed to have R1.82 Insulation
Insulation to External Framed Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix

Basix Certificate Number A389601

All Plans to be read in conjunction with Basix Certificate

The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:
a) additional insulation is not required where the area of new construction is less than 2m²
b) insulation specified is not required for parts of altered construction where insulation already exists.

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.

For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

| Site Information | Prop. | Comp. | Site Information | Prop. | Comp. |
|--|---------------------|----------|-------------------------------------|----------|----------|
| Site Area | 751.5m ² | Yes | Building envelope | 4m@45Deg | Variable |
| Housing Density (dwelling/m ²) | 1 | Yes | % of landscape open space (40% min) | 46% | Yes |
| Max Ceiling Ht Above Nat. GL | 7.2m | Variable | Impervious area (m ²) | 54% | Yes |
| Max Bldg Ht Above Nat. GL | 8.5m | Variable | Maximum cut into grd (m) | 1046mm | Yes |
| Front Setback (Min.) | 6.5m/3.5m | Variable | Maximum depth of fill (m) | 2210mm | Yes |
| Rear Setback (Min.) | 6.0m | Yes | No. of car spaces provided | 2 | Yes |
| Min. side bdy setback (Min.) | 0.9m | Variable | | | |

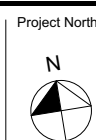


© Copyright
Rapid Plans 2020

Rapid Plans reserves all rights to this drawing, this drawing remains the property of Rapid Plans and may not be copied without written consent, all content including intellectual, remain the property of Rapid Plans, all copies of this drawing will be returned to Rapid Plans upon request.
The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.



Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans



Checked
Plot Date:
Project NO.
Project Status

Client
Site:

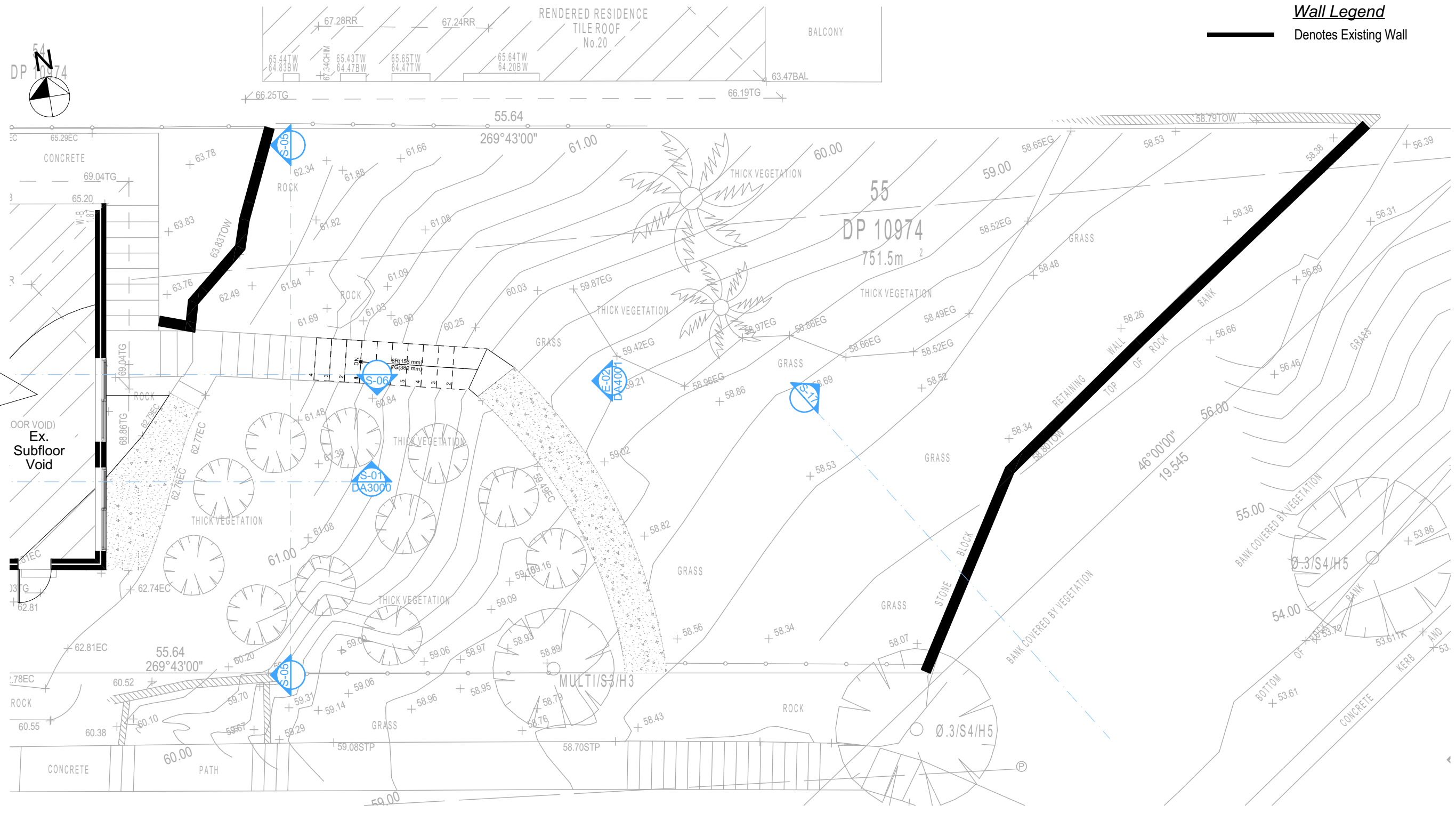
Sheet Size: A3

GBJ
23/11/2020
RP0620GAN
DA Rev1

Sohum Gandhi
38 Mildred Avenue Manly Vale

DRAWING TITLE :
Existing Lower Ground Floor Plan
Alterations & Additions

REVISION NO.
1
DATE:
20-11-2020
DRAWING NO.
DA1005



1 EXISTING GARAGE
1:100

Builder To Check & Confirm Existing Measurements Prior to Commencement

DA APPLICATION ONLY
NOT FOR CONSTRUCTION

NOTES

38 Mildred Avenue Manly Vale is zoned R2 Low Density Res.
All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
38 Mildred Avenue Manly Vale is not considered a heritage item

Certifying

The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Construction

Framed, Framed Walls
Roof Framed to have R1.82 Insulation
Insulation to External Framed Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix

Basix Certificate Number A389601

All Plans to be read in conjunction with Basix Certificate

The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:
a) additional insulation is not required where the area of new construction is less than 2m²
b) insulation specified is not required for parts of altered construction where insulation already exists.

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.

For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

| Site Information | Prop. | Comp. | Site Information | Prop. | Comp. |
|--|---------------------|----------|-------------------------------------|----------|----------|
| Site Area | 751.5m ² | Yes | Building envelope | 4m@45Deg | Variable |
| Housing Density (dwelling/m ²) | 1 | Yes | % of landscape open space (40% min) | 46% | Yes |
| Max Ceiling Ht Above Nat. GL | 7.2m | Variable | Impervious area (m ²) | 54% | Yes |
| Max Bldg Ht Above Nat. GL | 8.5m | Variable | Maximum cut into gnd (m) | 1046mm | Yes |
| Front Setback (Min.) | 6.5m/3.5m | Variable | Maximum depth of fill (m) | 2210mm | Yes |
| Rear Setback (Min.) | 6.0m | Yes | No. of car spaces provided | 2 | Yes |
| Min. side bdy setback (Min.) | 0.9m | Variable | | | |



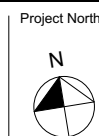
© Copyright
Rapid Plans 2020

Rapid Plans reserves all rights to this drawing, this drawing remains the property of Rapid Plans and may not be copied without written consent, all content including intellectual, remain the property of Rapid Plans, all copies of this drawing will be returned to Rapid Plans upon request.
The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

bdaa
BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA

bdaa
ACCREDITED
BUILDING DESIGNER

Builder to Check and Confirm
all Measurements Prior to
Commencement of any works.
Immediately Report any
Discrepancies to Rapid Plans



Checked
Plot Date:
Project NO.
Project Status
Client
Site:
Sheet Size: A3

GBJ
23/11/2020
RP0620GAN
DA Rev1
Sohum Gandhi
38 Mildred Avenue Manly Vale

DRAWING TITLE :
SITE AND LOCATION
Existing Lower Ground
Floor Plan 2
PROJECT NAME :
Alterations & Additions

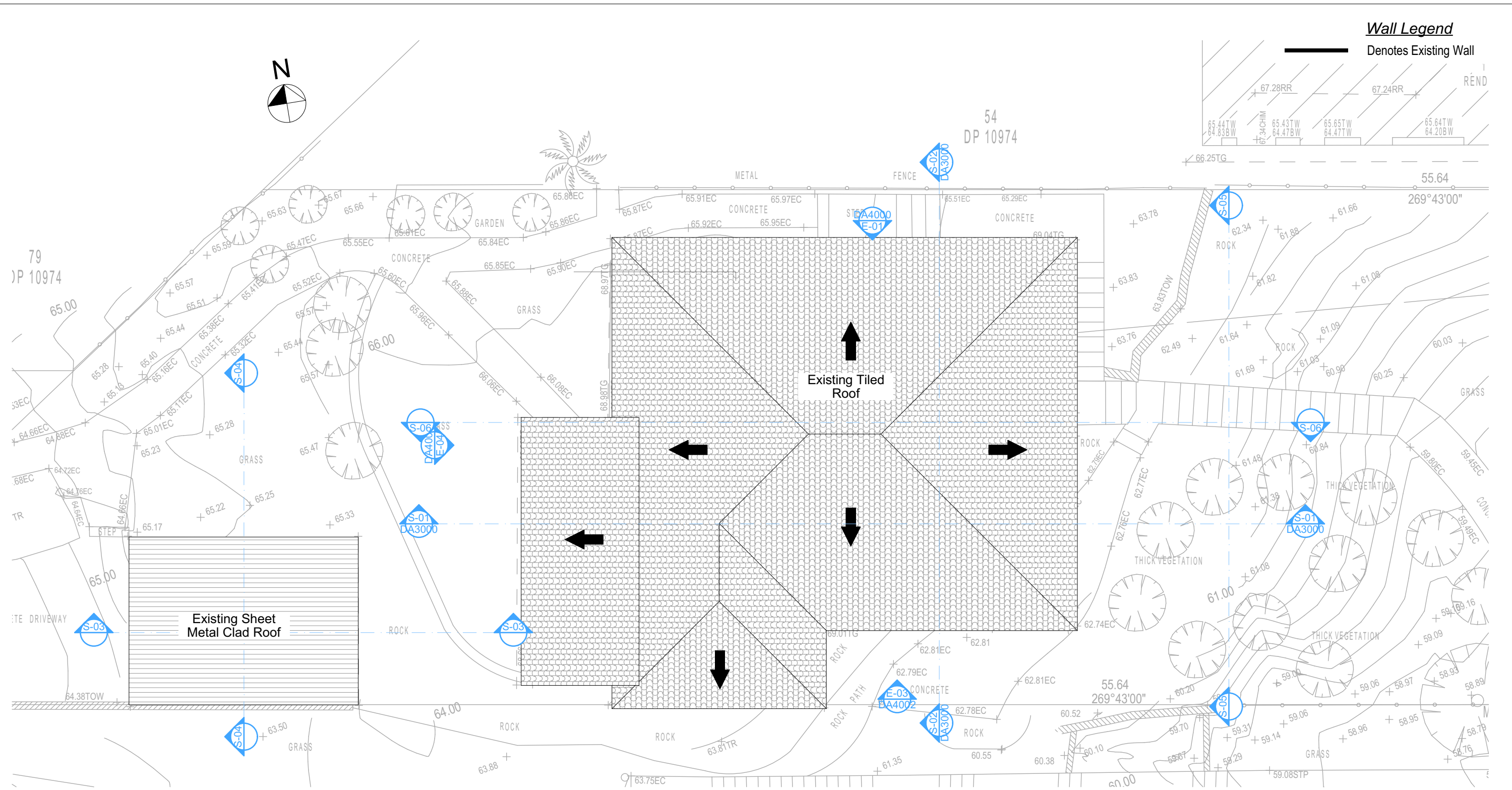
REVISION NO.
1
DATE:
20-11-2020
DRAWING NO.
DA1006

———— Denotes Existing Wall



| Site Information | Prop. | Comp. | Site Information | Prop. | Comp. |
|-------------------------------|---------|---------------|-------------------------------------|----------|----------|
| Site Area | 751.5m2 | Yes | Building envelope | 4m@45Deg | Variable |
| Housing Density (dwelling/m2) | 1 | Yes | % of landscape open space (40% min) | 46% | Yes |
| Max Ceiling Ht Above Nat. GL | 7.2m | Variable | Impervious area (m2) | 54% | Yes |
| Max Bldg Ht Above Nat. GL | 8.5m | Variable | Maximum cut into gnd (m) | 1046mm | Yes |
| Front Setback (Min.) | 6.5m | 3.5m Variable | Maximum depth of fill (m) | 2210mm | Yes |
| Rear Setback (Min.) | 6.0m | Yes | No. of car spaces provided | 2 | Yes |
| Min. side bdy setback (Min.) | 0.9m | Variable | | | |





3

EXISTING FIRST FLOOR

1:100

Builder To Check & Confirm Existing Measurements Prior to Commencement

DA APPLICATION ONLY
NOT FOR CONSTRUCTION

NOTES

38 Mildred Avenue Manly Vale is zoned R2 Low Density Res.
All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
38 Mildred Avenue Manly Vale is not considered a heritage item

Certifying

The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Construction

Framed, Framed Walls
Roof Framed to have R1.82 Insulation
Insulation to External Framed Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix

Basix Certificate Number A389601
All Plans to be read in conjunction with Basix Certificate
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:
a) additional insulation is not required where the area of new construction is less than 2m2
b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

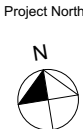


© Copyright
Rapid Plans 2020

Rapid Plans reserves all rights to this drawing, this drawing remains the property of Rapid Plans and may not be copied without written consent, all content including intellectual, remain the property of Rapid Plans upon request.
The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.



Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans



Checked
Plot Date:
Project NO.
Project Status

Client
Site:
Sheet Size: A3

DRAWING TITLE :

SITE AND LOCATION
Existing First Floor Plan

PROJECT NAME :

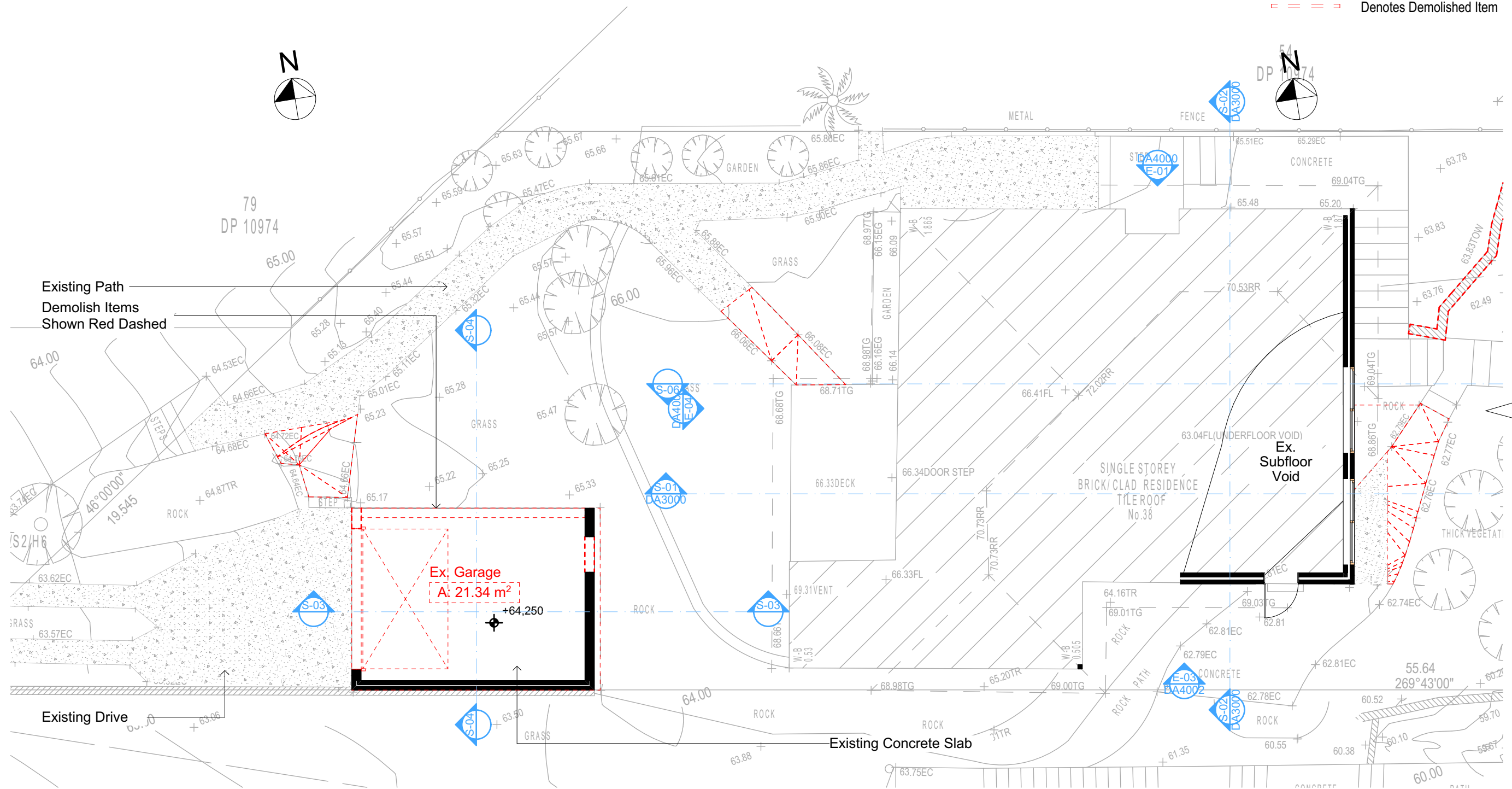
Alterations & Additions

REVISION NO.

1
DATE:
20-11-2020
DRAWING NO.
DA1008

Wall Legend

- Denotes Existing Wall
Denotes Demolished Item



ADJOINS TO DA1010

1

DEMOLITION GARAGE
1:100

All Demolition to be done in Accordance with Australian Standards, BCA and Workcover Regulations

DA APPLICATION ONLY
NOT FOR CONSTRUCTION

NOTES

38 Mildred Avenue Manly Vale is zoned R2 Low Density Res. All Plans to be read in conjunction with Basix Certificate New Works to be constructed shown in Shaded/Blue 38 Mildred Avenue Manly Vale is not considered a heritage item

Certifying

The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Construction

Framed, Framed Walls
Roof Framed to have R1.82 Insulation
Insulation to External Framed Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix

Basix Certificate Number A389601
All Plans to be read in conjunction with Basix Certificate
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:
a) additional insulation is not required where the area of new construction is less than 2m².
b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

| Site Information | Prop. | Comp. | Site Information | Prop. | Comp. |
|--|---------------------|----------|-------------------------------------|----------|----------|
| Site Area | 751.5m ² | Yes | Building envelope | 4m@45Deg | Variable |
| Housing Density (dwelling/m ²) | 1 | Yes | % of landscape open space (40% min) | 46% | Yes |
| Max Ceiling Ht Above Nat. GL | 7.2m | Variable | Impervious area (m ²) | 54% | Yes |
| Max Bldg Ht Above Nat. GL | 8.5m | Variable | Maximum cut into grd (m) | 1046mm | Yes |
| Front Setback (Min.) | 6.5m/3.5m | Variable | Maximum depth of fill (m) | 2210mm | Yes |
| Rear Setback (Min.) | 6.0m | Yes | No. of car spaces provided | 2 | Yes |
| Min. side bdy setback (Min.) | 0.9m | Variable | | | |



© Copyright
Rapid Plans 2020

Rapid Plans reserves all rights to this drawing, this drawing remains the property of Rapid Plans and may not be copied without written consent, all content including intellectual, remain the property of Rapid Plans, all copies of this drawing will be returned to Rapid Plans upon request.
The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.



Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans



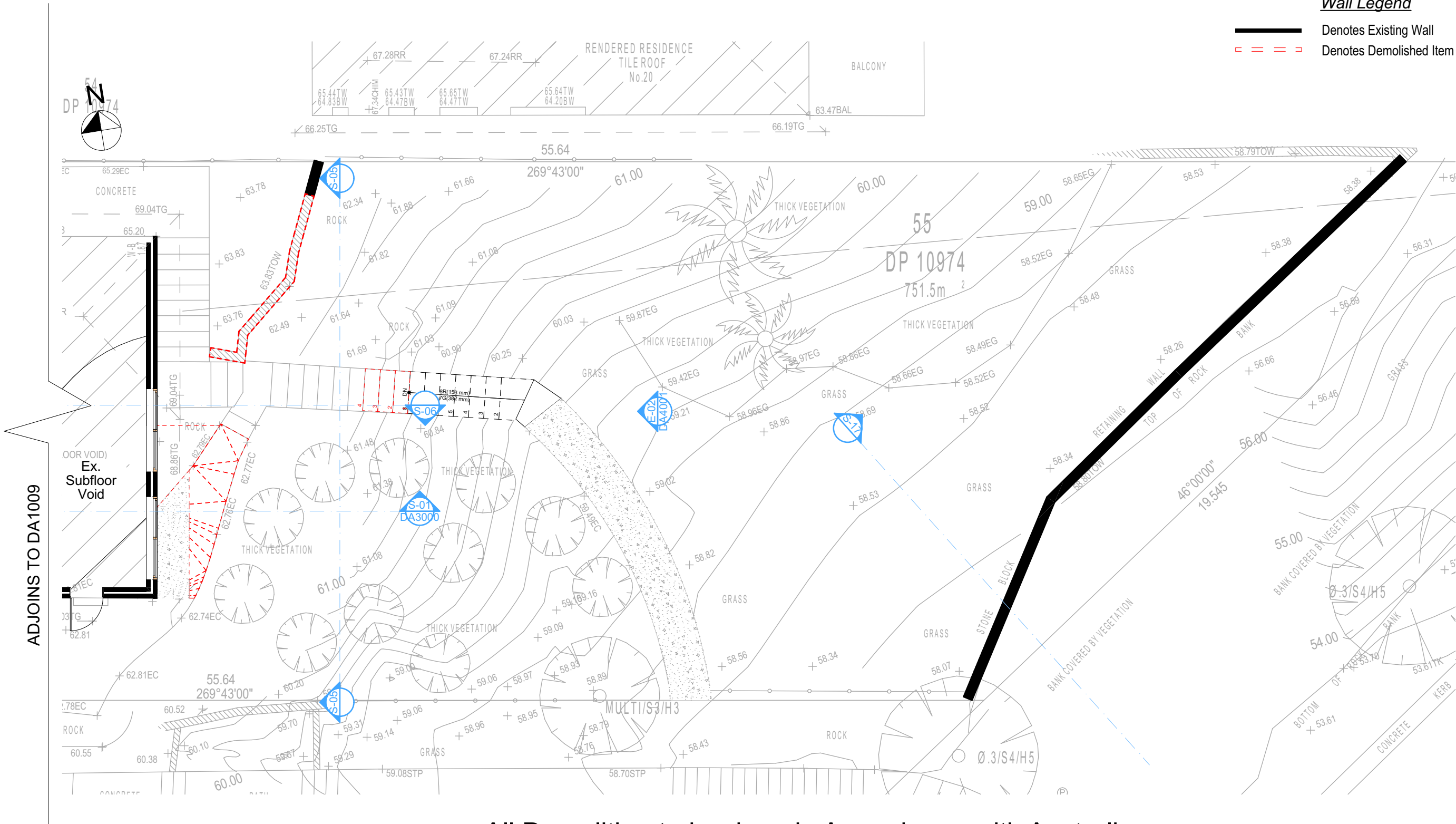
Checked
Plot Date: 23/11/2020
Project NO: RP0620GAN
Project Status: DA Rev1
Client: Sohum Gandhi
Site: 38 Mildred Avenue Manly Vale
Sheet Size: A3

DRAWING TITLE :
SITE AND LOCATION
Demolition Lower Ground Floor Plan
PROJECT NAME :
Alterations & Additions

REVISION NO.
1
DATE: 20-11-2020
DRAWING NO.
DA1009

Wall Legend

Denotes Existing Wall
Denotes Demolished Item



All Demolition to be done in Accordance with Australian Standards, BCA and Workcover Regulations

DA APPLICATION ONLY
NOT FOR CONSTRUCTION

NOTES
38 Mildred Avenue Manly Vale is zoned R2 Low Density Res.
All Plans to be read in conjunction with Basic Certificate
New Works to be constructed shown in Shaded/Blue
38 Mildred Avenue Manly Vale is not considered a heritage item

Certifying
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Construction
Framed, Framed Walls
Roof Framed to have R1.82 Insulation
Insulation to External Framed Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix
Basix Certificate Number A389601
All Plans to be read in conjunction with Basix Certificate
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:
a) additional insulation is not required where the area of new construction is less than 2m2
b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

| Site Information | Prop. | Comp. | Site Information | Prop. | Comp. |
|-------------------------------|-----------|----------|-------------------------------------|----------|----------|
| Site Area | 751.5m2 | Yes | Building envelope | 4m@45Deg | Variable |
| Housing Density (dwelling/m2) | 1 | Yes | % of landscape open space (40% min) | 46% | Yes |
| Max Ceiling Ht Above Nat. GL | 7.2m | Variable | Impervious area (m2) | 54% | Yes |
| Max Bldg Ht Above Nat. GL | 8.5m | Variable | Maximum cut into gnd (m) | 1046mm | Yes |
| Front Setback (Min.) | 6.5m/3.5m | Variable | Maximum depth of fill (m) | 2210mm | Yes |
| Rear Setback (Min.) | 6.0m | Yes | No. of car spaces provided | 2 | Yes |
| Min. side bdy setback (Min.) | 0.9m | Variable | | | |

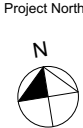


© Copyright
Rapid Plans 2020

Rapid Plans reserves all rights to this drawing, this drawing remains the property of Rapid Plans and may not be copied without written consent, all content including intellectual, remain the property of Rapid Plans upon request.
The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.



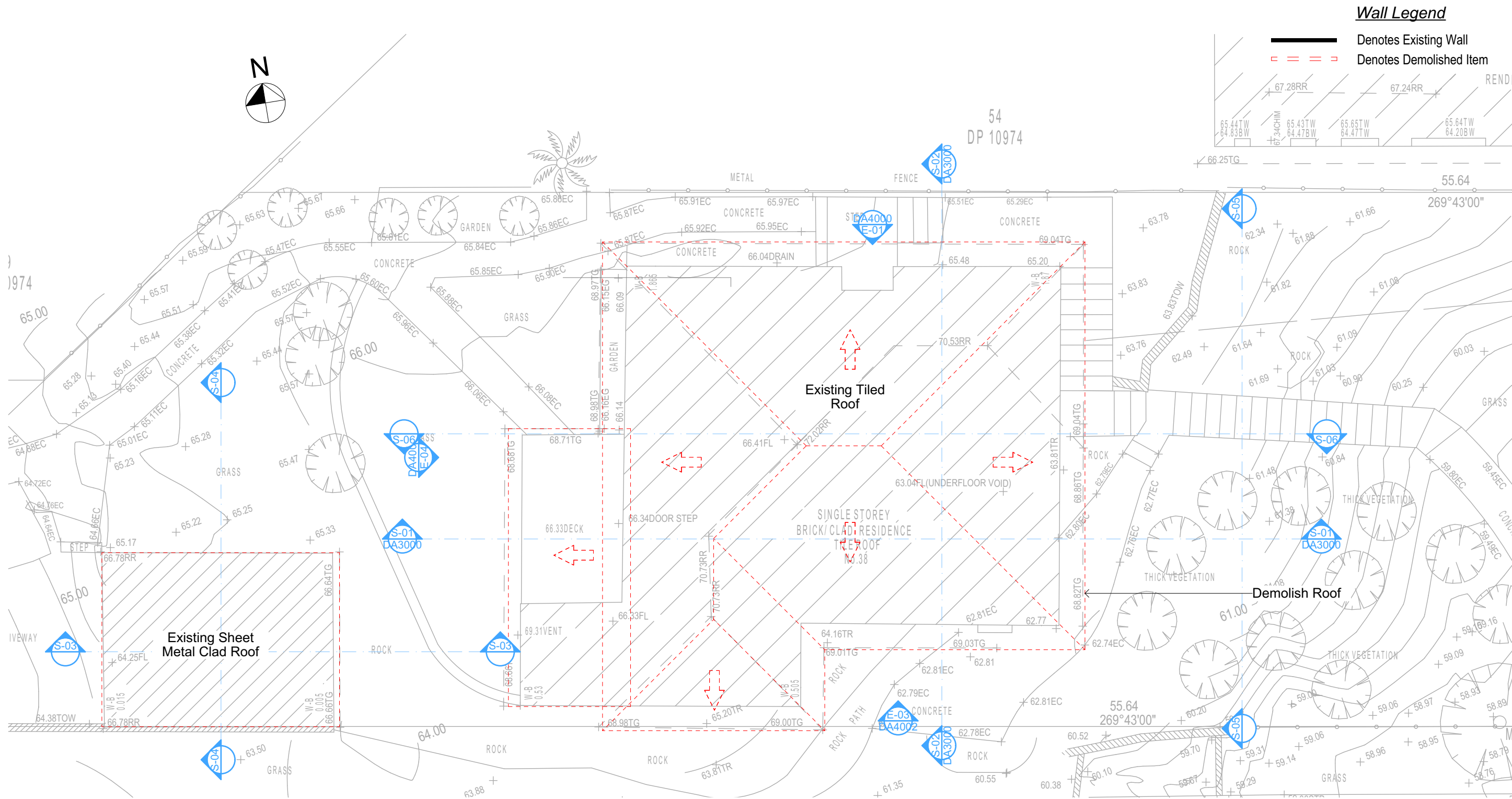
Builder to Check and Confirm
all Measurements Prior to
Commencement of any works.
Immediately Report any
Discrepancies to Rapid Plans



Checked
Plot Date: GBJ
Project NO: 23/11/2020
Project Status: RP0620GAN
DA Rev1
Client: Sohum Gandhi
Site: 38 Mildred Avenue Manly Vale
Sheet Size: A3

DRAWING TITLE :
SITE AND LOCATION
Demolition Lower Ground
Floor Plan 2
PROJECT NAME :
Alterations & Additions

REVISION NO.
1
DATE:
20-11-2020
DRAWING NO.
DA1010



3 DEMOLITION FIRST FLOOR
1:100

All Demolition to be done in Accordance with Australian Standards, BCA and Workcover Regulations

DA APPLICATION ONLY
NOT FOR CONSTRUCTION

NOTES
38 Mildred Avenue Manly Vale is zoned R2 Low Density Res.
All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
38 Mildred Avenue Manly Vale is not considered a heritage item

Certifying
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Construction
Framed, Framed Walls
Roof Framed to have R1.82 Insulation
Insulation to External Framed Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix
Basix Certificate Number A389601
All Plans to be read in conjunction with Basix Certificate
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:
a) additional insulation is not required where the area of new construction is less than 2m².
b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

| Site Information | Prop. | Comp. | Site Information | Prop. | Comp. |
|--|---------------------|----------|-------------------------------------|----------|----------|
| Site Area | 751.5m ² | Yes | Building envelope | 4m@45Deg | Variable |
| Housing Density (dwelling/m ²) | 1 | Yes | % of landscape open space (40% min) | 46% | Yes |
| Max Ceiling Ht Above Nat. GL | 7.2m | Variable | Impervious area (m ²) | 54% | Yes |
| Max Bldg Ht Above Nat. GL | 8.5m | Variable | Maximum cut into grd (m) | 1046mm | Yes |
| Front Setback (Min.) | 6.5m/3.5m | Variable | Maximum depth of fill (m) | 2210mm | Yes |
| Rear Setback (Min.) | 6.0m | Yes | No. of car spaces provided | 2 | Yes |
| Min. side bdy setback (Min.) | 0.9m | Variable | | | |

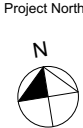


© Copyright
Rapid Plans 2020

Rapid Plans reserves all rights to this drawing, this drawing remains the property of Rapid Plans and may not be copied without written consent, all content including intellectual, remain the property of Rapid Plans upon request.
The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.



Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans



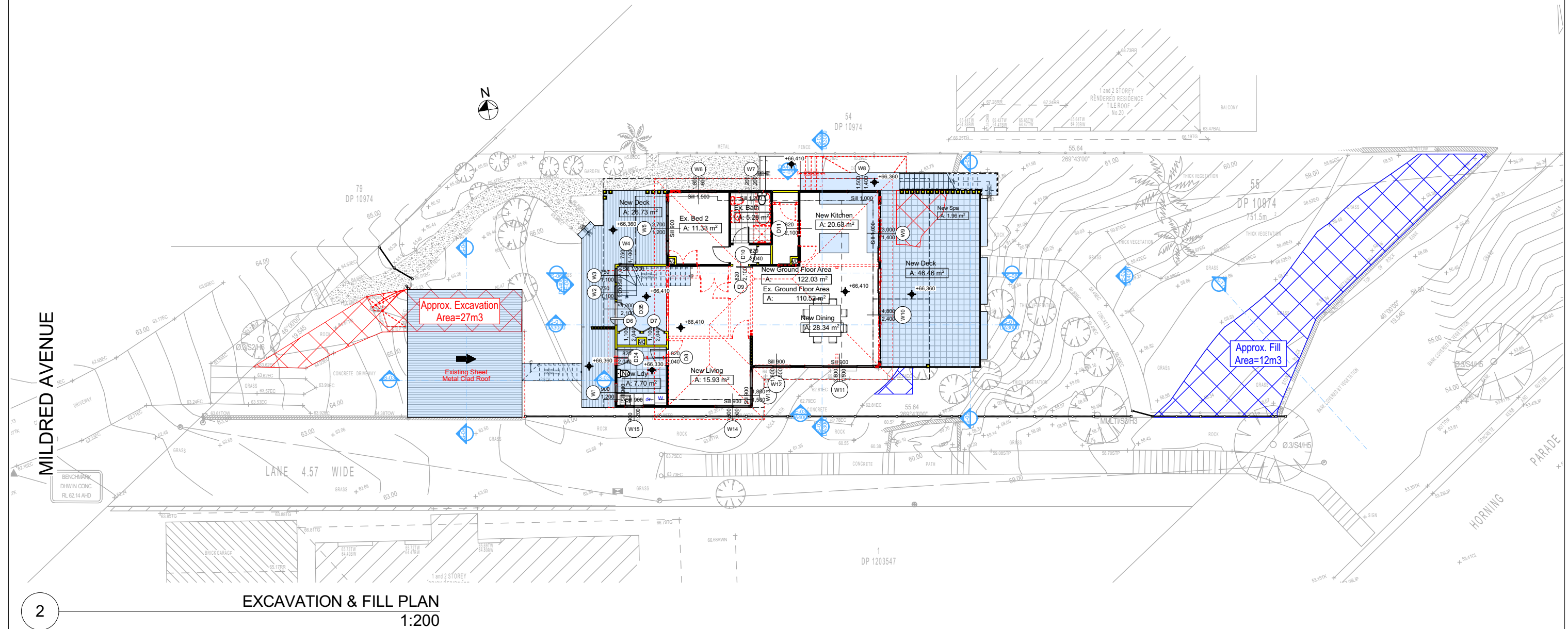
Project North
Checked Plot Date: GBJ 23/11/2020
Project NO: RP0620GAN
Project Status: DA Rev1
Client: Sohumi Gandhi
Site: 38 Mildred Avenue Manly Vale
Sheet Size: A3

DRAWING TITLE :
SITE AND LOCATION
Demolition First Floor Plan
PROJECT NAME :
Alterations & Additions

REVISION NO.
1
DATE: 20-11-2020
DRAWING NO.
DA1012

Denotes Excavation Area

Denotes Fill Area



2

DA APPLICATION
ONLY
NOT FOR CONSTRUCTION

NOTES

NOTES
38 Mildred Avenue Manly Vale is zoned R2 Low Density Res.
All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
38 Mildred Avenue Manly Vale is not considered a heritage item

Certifying

Certifying
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Construction

Contractor's Action
 Framed, Framed Walls
 Roof Framed to have R1.82 Insulation
 Insulation to External Framed Walls R1.70
 Refer to Engineers drawings for structural details
 All work to Engineers Specification and BCA
 Timber framing to BCA and AS 1684
 Termite Management to BCA and AS 3660.1
 Glazing to BCA and AS01288-2047
 Waterproofing to BCA and AS 3740
 New Lighting to have minimum of 40% compact fluorescent lamps

Basix

Basic Certificate Number A389601

All Plans to be read in conjunction with Basic Certificate

The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:

a) additional insulation is not required where the area of new construction is less than 2m².

b) insulation specified is not required for parts of altered construction where insulation already exists.

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.

For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door,

| Site Information | Prop. | Comp. | Site Information | Prop. | Comp. |
|--|---------------------|----------|-------------------------------------|----------|----------|
| Site Area | 751.5m ² | Yes | Building envelope | 4m@45Deg | Variable |
| Housing Density (dwelling/m ²) | 1 | Yes | % of landscape open space (40% min) | 46% | Yes |
| Max Ceiling Ht Above Nat. GL | 7.2m | Variable | Impervious area (m ²) | 54% | Yes |
| Max Bldg Ht Above Nat. GL | 8.5m | Variable | Maximum cut into gnd (m) | 1046mm | Yes |
| Front Setback (Min.) | 6.5m/3.5m | Variable | Maximum depth of fill (m) | 2210mm | Yes |
| Rear Setback (Min.) | 6.0m | Yes | No. of car spaces provided | 2 | Yes |
| Min. side bdy setback (Min.) | 0.9m | Variable | | | |

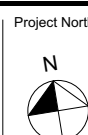


Rapid Plans
www.rapidplans.com.au
PO Box 6193 Frenchs Forest

© Copyright
Rapid Plans 2020



**Builder to Check and Confirm
all Measurements Prior to
Commencement of any works.
Immediately Report any
Discrepancies to Rapid Plans**



Project North

Checked
Plot Date:
Project NO.
Project Status

Client Sohum Gandhi
Site: 38 Mildred Avenue Manly Vale

Sheet Size: A3

DRAWING TITLE :

SITE AND LOCATION

Excavation & Fill Plan

PROJECT NAME :

Alterations & Additions

REVISION NO.

1

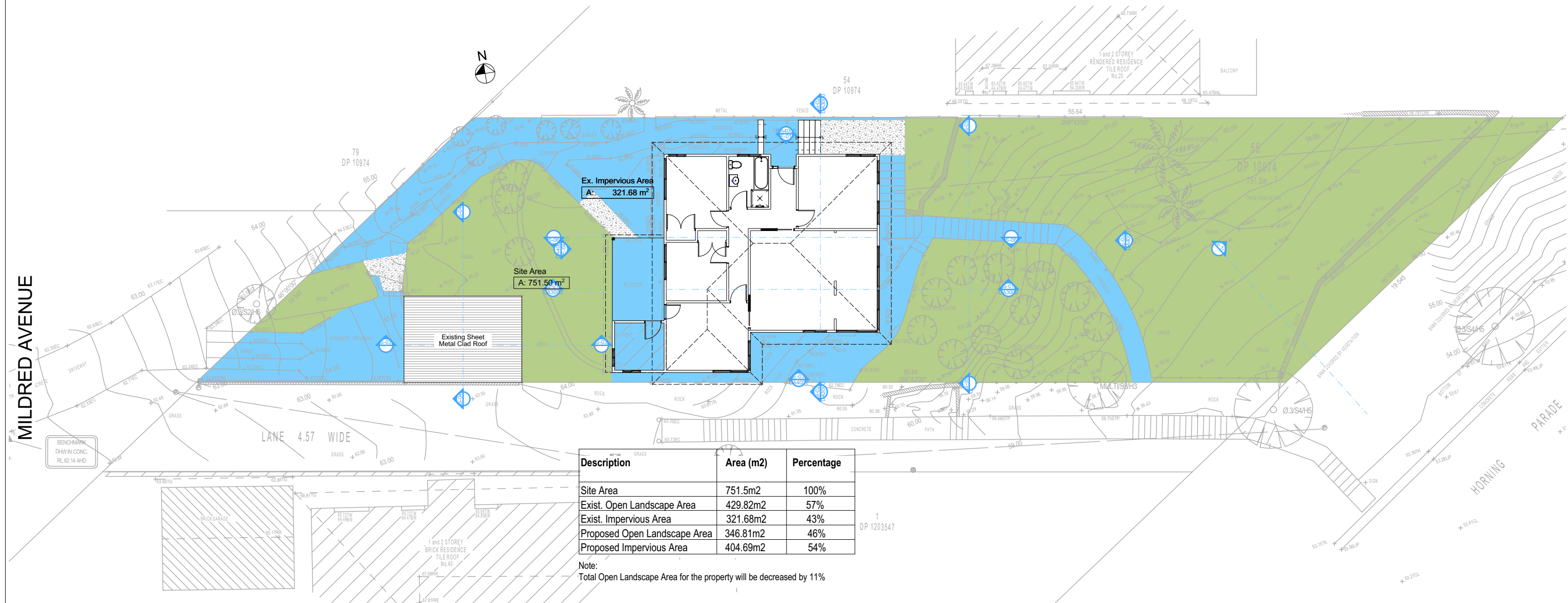
DATE.
20-11-2020

DRAWING NO.

DA1013

Denotes Impervious Area

Denotes Pervious Area



2

LANDSCAPE OPEN SPACE EXISTING
1:200

DA APPLICATION
ONLY
NOT FOR CONSTRUCTION

NOTES
38 Mildred Avenue Manly Vale is zoned R2 Low Density Res.
All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
38 Mildred Avenue Manly Vale is not considered a heritage item

Certifying
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Construction
Framed, Framed Walls
Roof Framed to have R1.82 Insulation
Insulation to External Framed Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix
Basix Certificate Number A389601
All Plans to be read in conjunction with Basix Certificate
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:
a) additional insulation is not required where the area of new construction is less than 2m².
b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

| Site Information | Prop. | Comp. | Site Information | Prop. | Comp. |
|-------------------------------|-----------|----------|-------------------------------------|----------|----------|
| Site Area | 751.5m2 | Yes | Building envelope | 4m@45Deg | Variable |
| Housing Density (dwelling/m2) | 1 | Yes | % of landscape open space (40% min) | 46% | Yes |
| Max Ceiling Ht Above Nat. GL | 7.2m | Variable | Impervious area (m2) | 54% | Yes |
| Max Bldg Ht Above Nat. GL | 8.5m | Variable | Maximum cut into gnd (m) | 1046mm | Yes |
| Front Setback (Min.) | 6.5m/3.5m | Variable | Maximum depth of fill (m) | 2210mm | Yes |
| Rear Setback (Min.) | 6.0m | Yes | No. of car spaces provided | 2 | Yes |
| Min. side bdy setback (Min.) | 0.9m | Variable | | | |

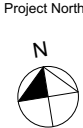


© Copyright
Rapid Plans 2020

Rapid Plans reserves all rights to this drawing, this drawing remains the property of Rapid Plans and may not be copied without written consent, all content including intellectual, remain the property of Rapid Plans, all copies of this drawing will be returned to Rapid Plans upon request.
The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.



Builder to Check and Confirm
all Measurements Prior to
Commencement of any works.
Immediately Report any
Discrepancies to Rapid Plans



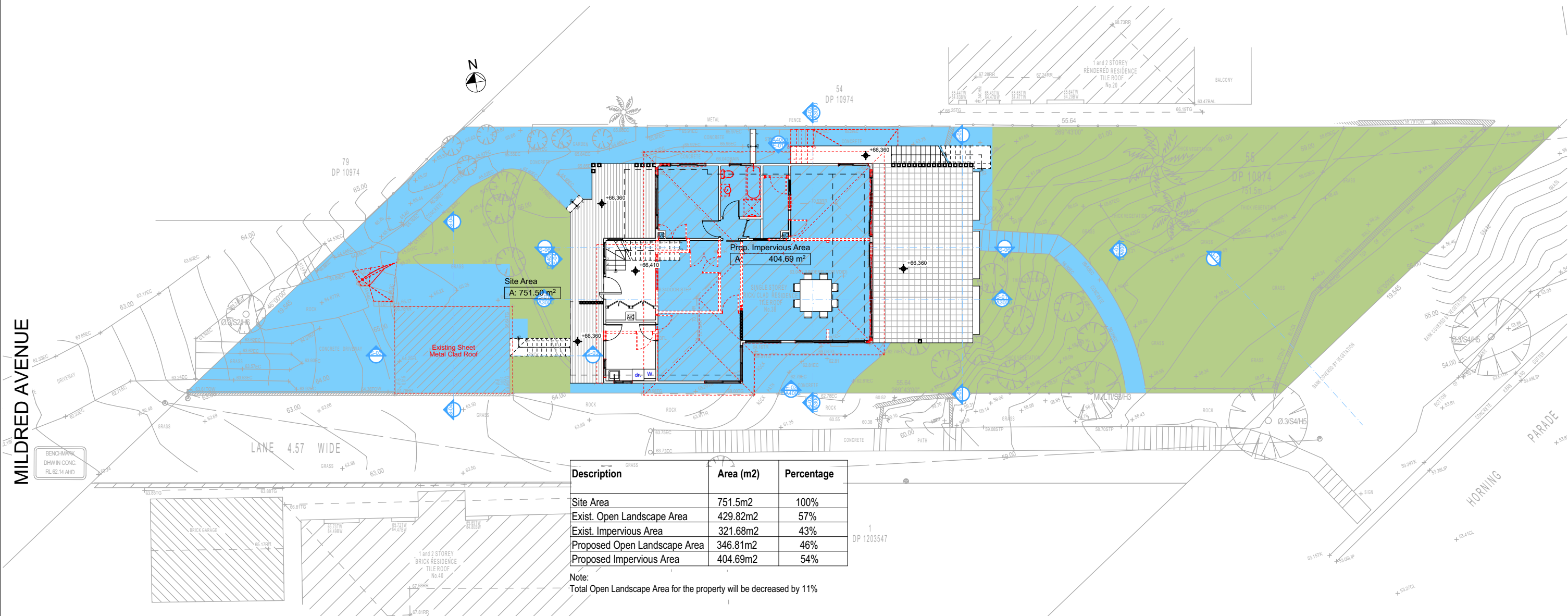
Checked
Plot Date: 23/11/2020
Project NO: RP0620GAN
Project Status: DA Rev1
Client: Sohum Gandhi
Site: 38 Mildred Avenue Manly Vale
Sheet Size: A3

DRAWING TITLE :
SITE AND LOCATION
Landscape Open Space Plan
Existing
PROJECT NAME :
Alterations & Additions

REVISION NO.
1
DATE: 20-11-2020
DRAWING NO.
DA1014

Denotes Impervious Area

Denotes Pervious Area



| Description | Area (m2) | Percentage |
|------------------------------|-----------|------------|
| Site Area | 751.5m2 | 100% |
| Exist. Open Landscape Area | 429.82m2 | 57% |
| Exist. Impervious Area | 321.68m2 | 43% |
| Proposed Open Landscape Area | 346.81m2 | 46% |
| Proposed Impervious Area | 404.69m2 | 54% |

Note:
Total Open Landscape Area for the property will be decreased by 11%

LANDSCAPE OPEN SPACE PROPOSED

1:200

DA APPLICATION
ONLY
NOT FOR CONSTRUCTION

NOTES
38 Mildred Avenue Manly Vale is zoned R2 Low Density Res.
All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
38 Mildred Avenue Manly Vale is not considered a heritage item

Certifying
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Construction
Framed, Framed Walls
Roof Framed to have R1.82 Insulation
Insulation to External Framed Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix
Basix Certificate Number A389601
All Plans to be read in conjunction with Basix Certificate
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:
a) additional insulation is not required where the area of new construction is less than 2m2.
b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

| Site Information | Prop. | Comp. | Site Information | Prop. | Comp. |
|-------------------------------|-----------|----------|-------------------------------------|----------|----------|
| Site Area | 751.5m2 | Yes | Building envelope | 4m@45Deg | Variable |
| Housing Density (dwelling/m2) | 1 | Yes | % of landscape open space (40% min) | 46% | Yes |
| Max Ceiling Ht Above Nat. GL | 7.2m | Variable | Impervious area (m2) | 54% | Yes |
| Max Bldg Ht Above Nat. GL | 8.5m | Variable | Maximum cut into grd (m) | 1046mm | Yes |
| Front Setback (Min.) | 6.5m/3.5m | Variable | Maximum depth of fill (m) | 2210mm | Yes |
| Rear Setback (Min.) | 6.0m | Yes | No. of car spaces provided | 2 | Yes |
| Min. side bdy setback (Min.) | 0.9m | Variable | | | |



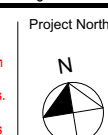
© Copyright
Rapid Plans 2020

Rapid Plans reserves all rights to this drawing, this drawing remains the property of Rapid Plans and may not be copied without written consent, all content including intellectual, remain the property of Rapid Plans, all copies of this drawing will be returned to Rapid Plans upon request.
The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

bdaa
BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA

bdaa
ACCREDITED
BUILDING DESIGNER

Builder to Check and Confirm
all Measurements Prior to
Commencement of any works.
Immediately Report any
Discrepancies to Rapid Plans



Project North
Checked
Plot Date: GBJ
Project NO: 23/11/2020
Project Status: RP0620GAN
DA Rev1
Client: Sohumi Gandhi
Site: 38 Mildred Avenue Manly Vale
Sheet Size: A3

DRAWING TITLE :
SITE AND LOCATION
Landscape Open Space Plan
Proposed
PROJECT NAME :
Alterations & Additions

REVISION NO.
1
DATE: 20-11-2020
DRAWING NO.
DA1015

MILDRED AVENUE



Landscape Legend

| Planting Schedule | Symbol | Botanical Name | Common Name | Mature Height |
|-------------------|--------|-------------------------------|-------------------------|------------------------|
| | | Malus loensis "Plena" | Crab Apple | H= 6000mm W= 4500mm |
| | | Stenotaphrum Secundatum | Sir Walter Buffalo Turf | N/A |
| | | Existing Grass To Remain | | |
| | | Existing Garden To Remain | | |
| | | Existing Vegetation To Remain | | |
| | | Vegetation To Be Removed | | |

Landscape Legend

| Ground Covers Schedule | |
|------------------------|----------------------------|
| | Tiling |
| | Timber Deck |
| | New Concrete Drive |
| | Existing Concrete Drive |
| | New Masonry Retaining Wall |

2

LANDSCAPE PLAN

1:200

**DA APPLICATION
ONLY
NOT FOR CONSTRUCTION**

NOTES

38 Mildred Avenue Manly Vale is zoned R2 Low Density Res.
All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
38 Mildred Avenue Manly Vale is not considered a heritage item

Certifying

The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Construction

Framed, Framed Walls
Roof Framed to have R1.82 Insulation
Insulation to External Framed Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix

Basix Certificate Number A389601

All Plans to be read in conjunction with Basix Certificate

The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:
a) additional insulation is not required where the area of new construction is less than 2m²,
b) insulation specified is not required for parts of altered construction where insulation already exists.

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

| Site Information | Prop. | Comp. | Site Information | Prop. | Comp. |
|--|---------------------|----------|-------------------------------------|----------|----------|
| Site Area | 751.5m ² | Yes | Building envelope | 4m@45Deg | Variable |
| Housing Density (dwelling/m ²) | 1 | Yes | % of landscape open space (40% min) | 46% | Yes |
| Max Ceiling Ht Above Nat. GL | 7.2m | Variable | Impervious area (m ²) | 54% | Yes |
| Max Bldg Ht Above Nat. GL | 8.5m | Variable | Maximum cut into gnd (m) | 1046mm | Yes |
| Front Setback (Min.) | 6.5m/3.5m | Variable | Maximum depth of fill (m) | 2210mm | Yes |
| Rear Setback (Min.) | 6.0m | Yes | No. of car spaces provided | 2 | Yes |
| Min. side bdy setback (Min.) | 0.9m | Variable | | | |

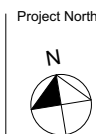


Rapid Plans
www.rapidplans.com.au
PO Box 6193 Frenchs Forest
NSW 2086
Fax: (02) 9905-8865
Mobile: 0414-945-024
Email: greg@rapidplans.com.au

© Copyright
Rapid Plans 2020



Builder to Check and Confirm
all Measurements Prior to
Commencement of any works.
Immediately Report any
Discrepancies to Rapid Plans



Project North

Checked
Plot Date:
Project NO.
Project Status

Client
Site:

Sheet Size: A3

GBJ
23/11/2020
RP0620GAN
DA Rev1

Sohum Gandhi
38 Mildred Avenue Manly Vale

DRAWING TITLE :

SITE AND LOCATION
Landscape Plan

PROJECT NAME :

Alterations & Additions

REVISION NO.

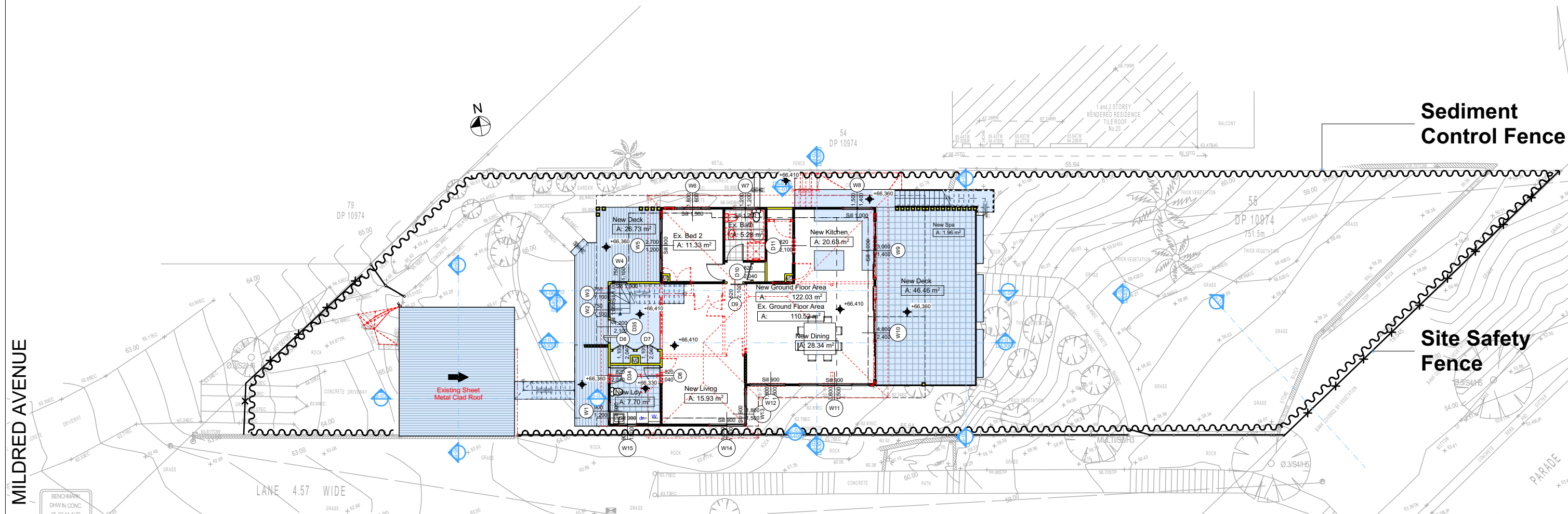
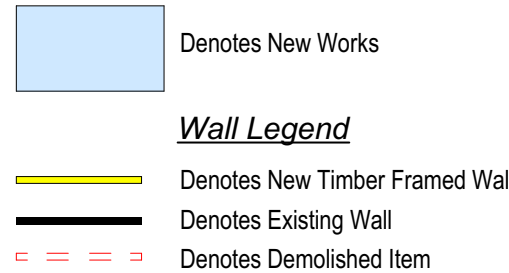
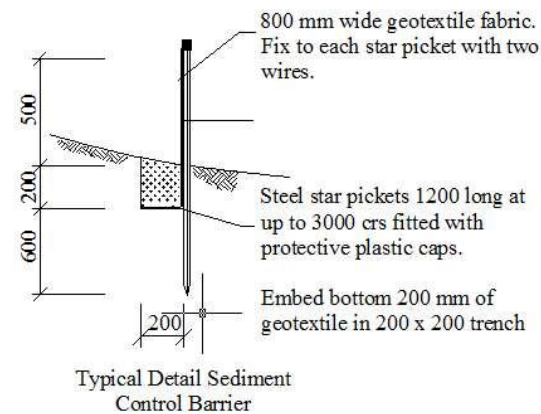
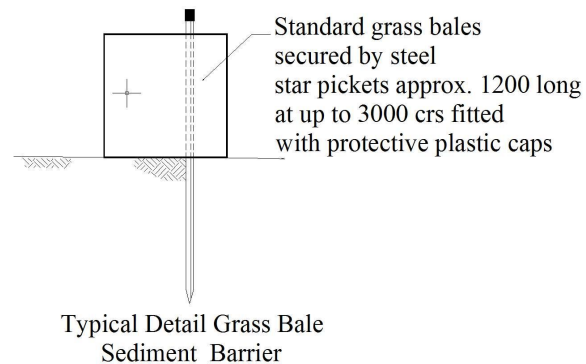
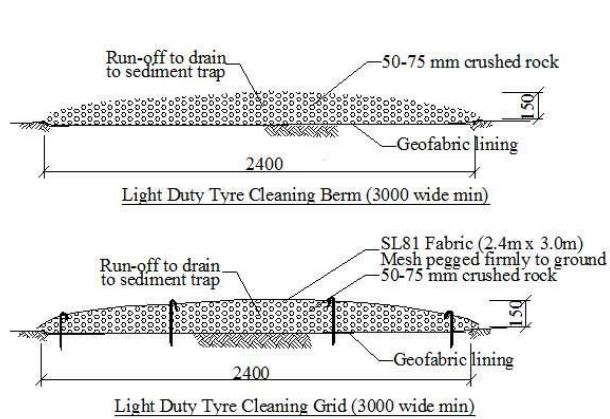
1

DATE

20-11-2020

DRAWING NO.

DA1016



SEDIMENT & EROSION CONTROL PLAN

1:200

2

DA APPLICATION ONLY
NOT FOR CONSTRUCTION

NOTES

38 Mildred Avenue Manly Vale is zoned R2 Low Density Res. All Plans to be read in conjunction with Basix Certificate. New Works to be constructed shown in Shaded/Blue. 38 Mildred Avenue Manly Vale is not considered a heritage item.

Certifying

The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans.

Construction

Framed, Framed Walls
Roof Framed to have R1.82 Insulation
Insulation to External Framed Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix

Basix Certificate Number A389601
All Plans to be read in conjunction with Basix Certificate
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:
a) additional insulation is not required where the area of new construction is less than 2m².
b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

| Site Information | Prop. | Comp. | Site Information | Prop. | Comp. |
|-------------------------------|-----------|----------|-------------------------------------|----------|----------|
| Site Area | 751.5m² | Yes | Building envelope | 4m@45Deg | Variable |
| Housing Density (dwelling/m²) | 1 | Yes | % of landscape open space (40% min) | 46% | Yes |
| Max Ceiling Ht Above Nat. GL | 7.2m | Variable | Impervious area (m²) | 54% | Yes |
| Max Bldg Ht Above Nat. GL | 8.5m | Variable | Maximum cut into grd (m) | 1046mm | Yes |
| Front Setback (Min.) | 6.5m/3.5m | Variable | Maximum depth of fill (m) | 2210mm | Yes |
| Rear Setback (Min.) | 6.0m | Yes | No. of car spaces provided | 2 | Yes |
| Min. side bdy setback (Min.) | 0.9m | Variable | | | |

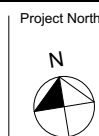


© Copyright
Rapid Plans 2020

Rapid Plans reserves all rights to this drawing. This drawing remains the property of Rapid Plans and may not be copied without written consent. All content including intellectual, remain the property of Rapid Plans. All copies of this drawing will be returned to Rapid Plans upon request.
The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.



Builder to Check and Confirm
all Measurements Prior to
Commencement of any works.
Immediately Report any
Discrepancies to Rapid Plans



Project North

Checked
Plot Date:
Project NO.
Project Status

GBJ
23/11/2020
RP0620GAN
DA Rev1
Client
Site:
Sohum Gandhi
38 Mildred Avenue Manly Vale

Sheet Size: A3

DRAWING TITLE :

SITE AND LOCATION
Sediment & Erosion Plan

PROJECT NAME :

Alterations & Additions

REVISION NO.

1

DATE

20-11-2020

DRAWING NO.

DA1017

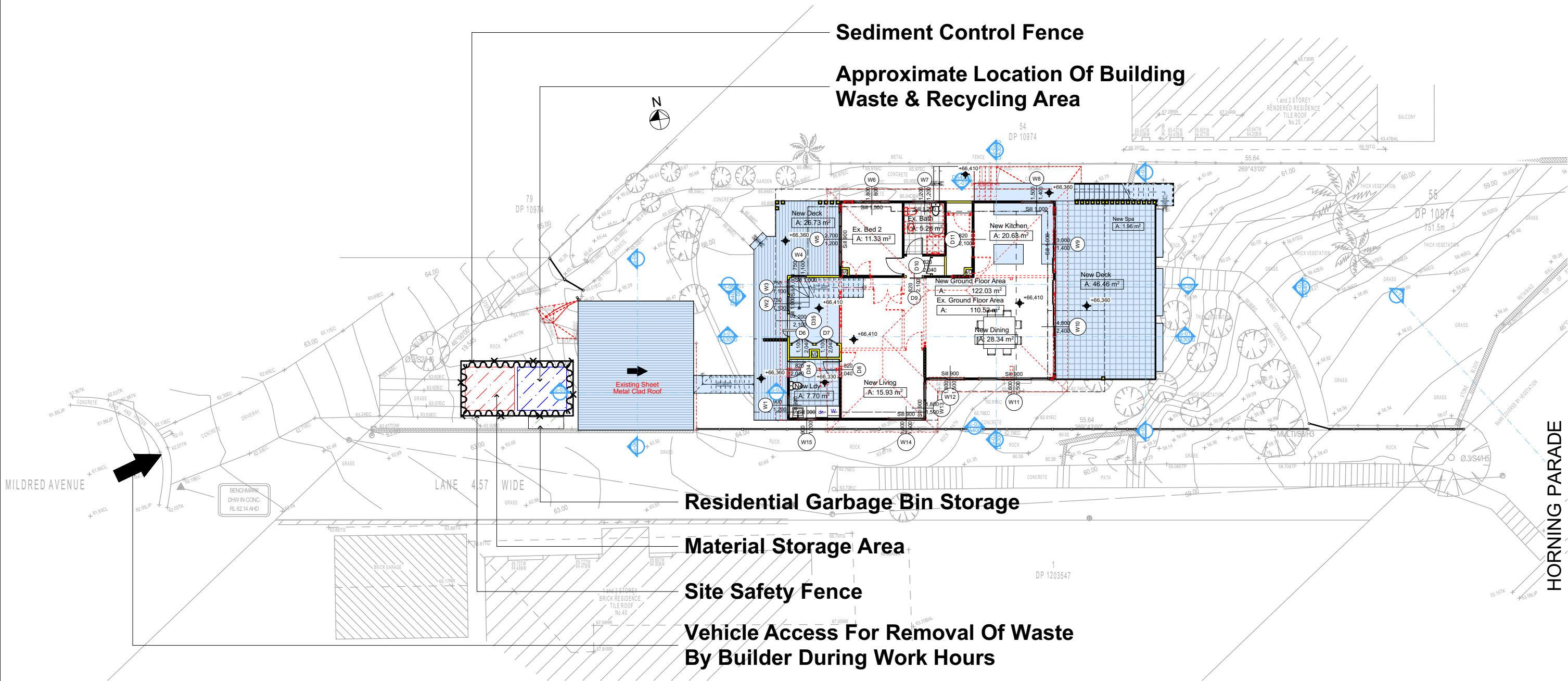
Denotes New Works

Wall Legend

Denotes New Timber Framed Wall

Denotes Existing Wall

Denotes Demolished Item



2

WASTE MANAGEMENT PLAN
1:200

DA APPLICATION ONLY

NOT FOR CONSTRUCTION

NOTES

38 Mildred Avenue Manly Vale is zoned R2 Low Density Res. All Plans to be read in conjunction with Basix Certificate New Works to be constructed shown in Shaded/Blue 38 Mildred Avenue Manly Vale is not considered a heritage item item

Certifying

The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Construction

Framed, Framed Walls
Roof Framed to have R1.82 Insulation
Insulation to External Framed Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix

Basix Certificate Number A389601
All Plans to be read in conjunction with Basix Certificate
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:
a) additional insulation is not required where the area of new construction is less than 2m2.
b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information

Prop.

Comp.

Site Information

Prop.

Comp.

Site Area

751.5m2

Yes

Building envelope

4m@45Deg

Variable

Housing Density (dwelling/m2)

1

Yes

% of landscape open space (40% min)

46%

Yes

Max Ceiling Ht Above Nat. GL

7.2m

Variable

Impervious area (m2)

54%

Yes

Max Bldg Ht Above Nat. GL

8.5m

Variable

Maximum cut into gnd (m)

1046mm

Yes

Front Setback (Min.)

6.5m/3.5m

Variable

Maximum depth of fill (m)

2210mm

Yes

Rear Setback (Min.)

6.0m

Yes

No. of car spaces provided

2

Yes

Min. side bdy setback (Min.)

0.9m

Variable

Rapid Plans

Building Design and Architectural Drafting

www.rapidplans.com.au

PO Box 6193 Frenchs Forest

NSW 2086

Fax: (02) 9905-8865

Mobile: 0414-945-024

Email: greg@rapidplans.com.au

Rapid Plans reserves all rights to this drawing, this drawing remains the property of Rapid Plans and may not be copied without written consent, all content including intellectual, remain the property of Rapid Plans, all copies of this drawing will be returned to Rapid Plans upon request.

The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

bdaa

BUILDING DESIGNERS ASSOCIATION OF AUSTRALIA

bdaa

ACCREDITED BUILDING DESIGNER

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

N

Checked

Plot Date:

Project NO.

Project Status

GBJ

23/11/2020

RP0620GAN

DA Rev1

Client

Site:

Sohum Gandhi

38 Mildred Avenue Manly Vale

Sheet Size: A3

DRAWING TITLE :

SITE AND LOCATION

Waste Management Plan

PROJECT NAME :

Alterations & Additions

REVISION NO.

1

DATE:

20-11-2020

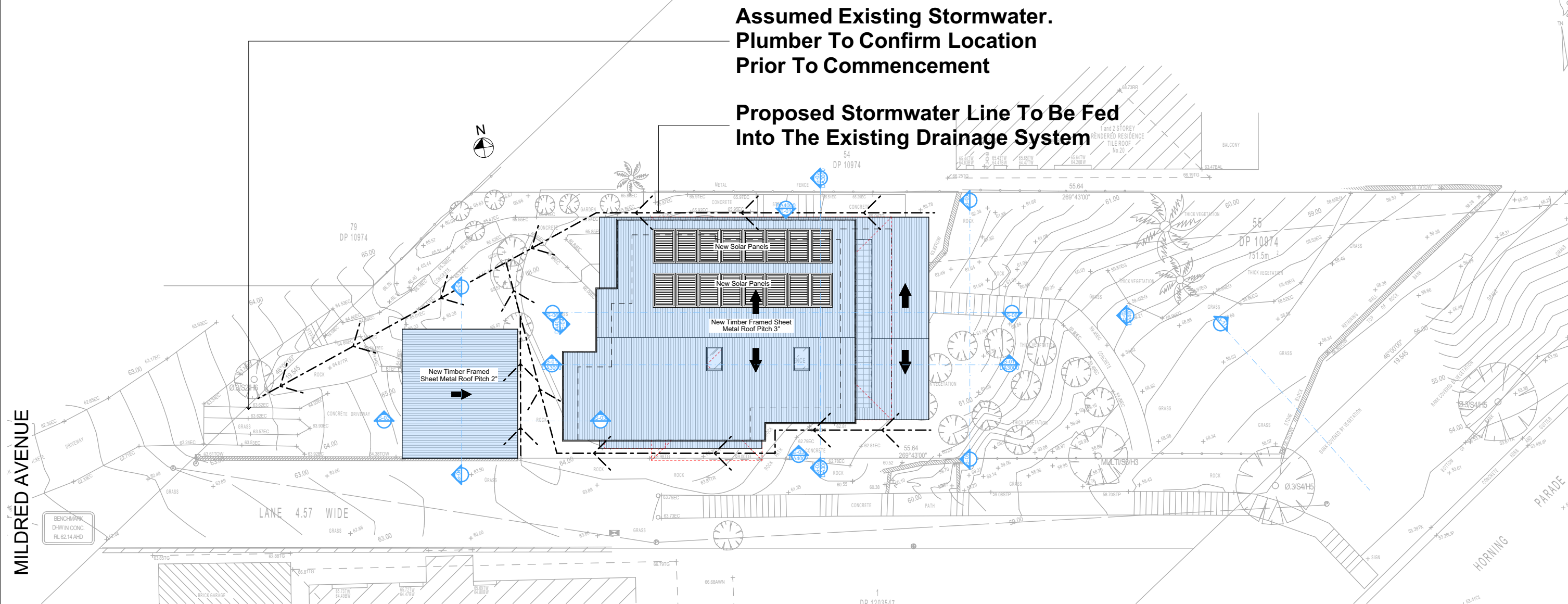
DRAWING NO.

DA1018

Denotes New Works

Legend

Denotes Demolished Item



4

STORMWATER PLAN
1:200

Plumber To Confirm Location Of Existing
Stormwater/Sewer Prior To Commencement

DA APPLICATION
ONLY
NOT FOR CONSTRUCTION

NOTES
38 Mildred Avenue Manly Vale is zoned R2 Low Density Res.
All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
38 Mildred Avenue Manly Vale is not considered a heritage item

Certifying
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Construction
Framed, Framed Walls
Roof Framed to have R1.82 Insulation
Insulation to External Framed Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix
Basix Certificate Number A389601
All Plans to be read in conjunction with Basix Certificate
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:
a) additional insulation is not required where the area of new construction is less than 2m2
b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

| Site Information | Prop. | Comp. | Site Information | Prop. | Comp. |
|-------------------------------|-----------|----------|-------------------------------------|----------|----------|
| Site Area | 751.5m2 | Yes | Building envelope | 4m@45Deg | Variable |
| Housing Density (dwelling/m2) | 1 | Yes | % of landscape open space (40% min) | 46% | Yes |
| Max Ceiling Ht Above Nat. GL | 7.2m | Variable | Impervious area (m2) | 54% | Yes |
| Max Bldg Ht Above Nat. GL | 8.5m | Variable | Maximum cut into grd (m) | 1046mm | Yes |
| Front Setback (Min.) | 6.5m/3.5m | Variable | Maximum depth of fill (m) | 2210mm | Yes |
| Rear Setback (Min.) | 6.0m | Yes | No. of car spaces provided | 2 | Yes |
| Min. side bdy setback (Min.) | 0.9m | Variable | | | |

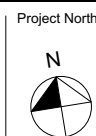


© Copyright
Rapid Plans 2020

Rapid Plans reserves all rights to this drawing, this drawing remains the property of Rapid Plans and may not be copied without written consent, all content including intellectual, remain the property of Rapid Plans, all copies of this drawing will be returned to Rapid Plans upon request.
The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.



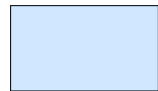
Builder to Check and Confirm
all Measurements Prior to
Commencement of any works.
Immediately Report any
Discrepancies to Rapid Plans



Checked
Plot Date: 23/11/2020
Project NO: RP0620GAN
Project Status: DA Rev1
Client: Sohumi Gandhi
Site: 38 Mildred Avenue Manly Vale
Sheet Size: A3

DRAWING TITLE :
SITE AND LOCATION
Stormwater Plan
PROJECT NAME :
Alterations & Additions

REVISION NO.
1
DATE: 20-11-2020
DRAWING NO.
DA1019

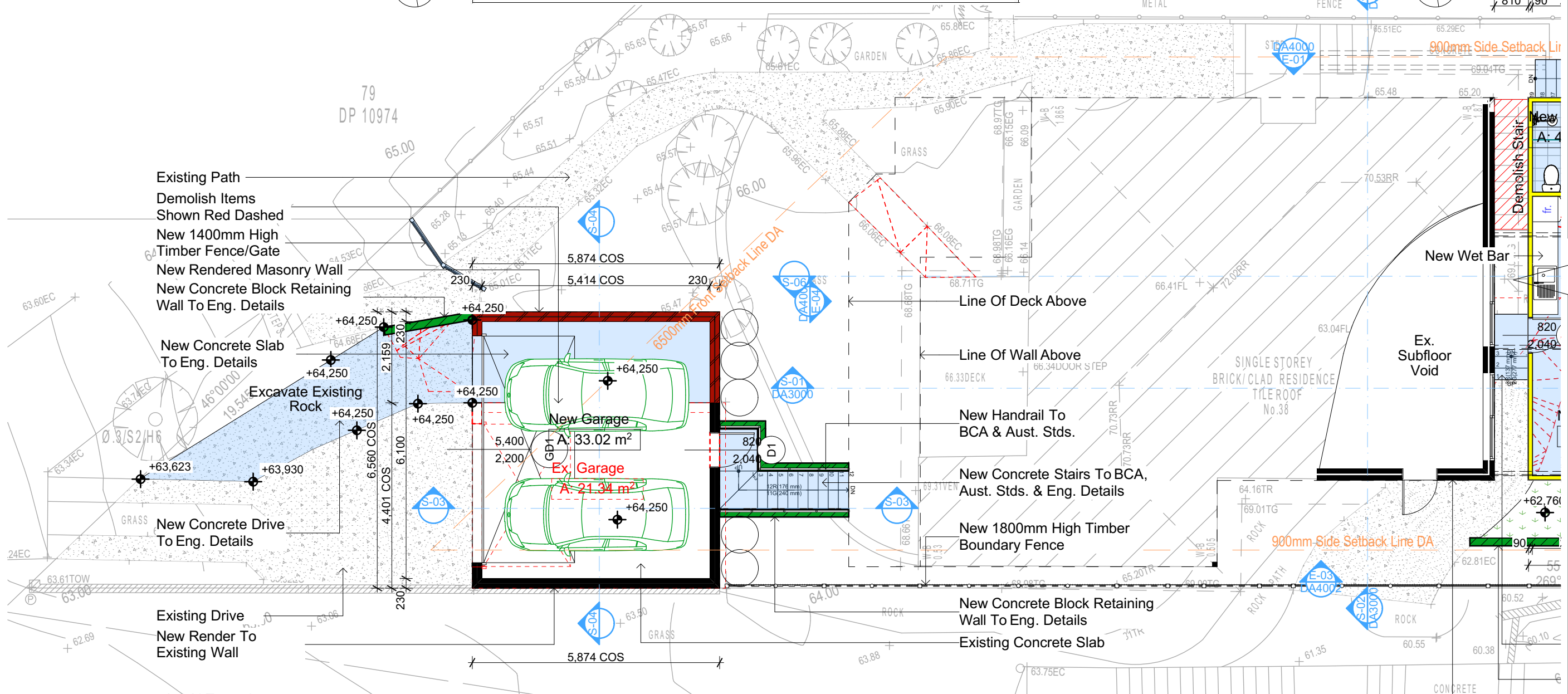


Denotes New Works

Wall Legend

- Denotes New Timber Framed Wall
- Denotes New Masonry Wall
- Denotes New Concrete Block Wall
- Denotes Existing Wall
- Denotes Demolished Item

| Construction | | |
|--|--|----------------------------------|
| Insulation requirements | | |
| The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists. | | |
| Construction | Additional insulation required (R-value) | Other specifications |
| floor above existing dwelling or building. | nil | |
| external wall: framed (weatherboard, fibro, metal clad) | R1.30 (or R1.70 including construction) | |
| flat ceiling, flat roof: framed | ceiling: R1.82 (up), roof: foil/sarking | light (solar absorbance < 0.475) |



1 GARAGE/LOWER GROUND
1:100

NOTES

38 Mildred Avenue Manly Vale is zoned R2 Low Density Res.
All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
38 Mildred Avenue Manly Vale is not considered a heritage item

Certifying

The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Construction

Framed, Framed Walls
Roof Framed to have R1.82 Insulation
Insulation to External Framed Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix

Basix Certificate Number A389601
All Plans to be read in conjunction with Basix Certificate
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:
a) additional insulation is not required where the area of new construction is less than 2m2,
b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

DA APPLICATION ONLY
NOT FOR CONSTRUCTION

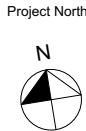


© Copyright
Rapid Plans 2020

Rapid Plans reserves all rights to this drawing, this drawing remains the property of Rapid Plans and may not be copied without written consent, all content including intellectual, remain the property of Rapid Plans, all copies of this drawing will be returned to Rapid Plans upon request.
The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.



Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans



Checked Plot Date: GBJ 23/11/2020
Project NO: RP0620GAN
Project Status: DA Rev1
Client: Sohumi Gandhi
Site: 38 Mildred Avenue Manly Vale
Sheet Size: A3

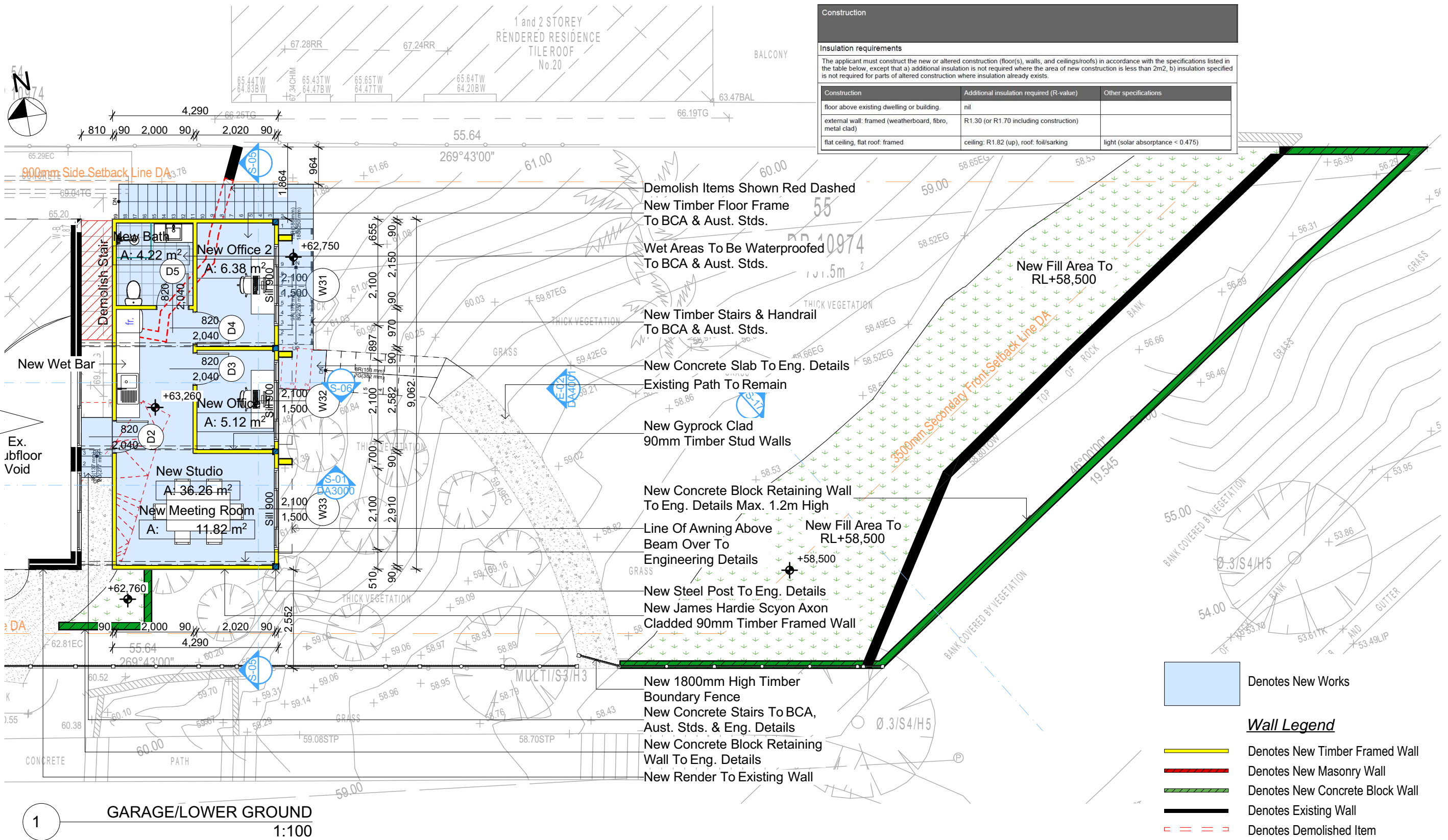
DRAWING TITLE :
PLANS
LOWER GROUND FLOOR
PROJECT NAME :
Alterations & Additions

| Site Information | Prop. | Comp. | Site Information | Prop. | Comp. |
|-------------------------------|-----------|----------|-------------------------------------|----------|----------|
| Site Area | 751.5m2 | Yes | Building envelope | 4m@45Deg | Variable |
| Housing Density (dwelling/m2) | 1 | Yes | % of landscape open space (40% min) | 46% | Yes |
| Max Ceiling Ht Above Nat. GL | 7.2m | Variable | Impervious area (m2) | 54% | Yes |
| Max Bldg Ht Above Nat. GL | 8.5m | Variable | Maximum cut into grd (m) | 1046mm | Yes |
| Front Setback (Min.) | 6.5m/3.5m | Variable | Maximum depth of fill (m) | 2210mm | Yes |
| Rear Setback (Min.) | 6.0m | Yes | No. of car spaces provided | 2 | Yes |
| Min. side bdy setback (Min.) | 0.9m | Variable | | | |

REVISION NO.
1
DATE:
20-11-2020
DRAWING NO.
DA2001

ADJOINS TO DA2002

ADJOINS TO DA2001



| Construction | | |
|--|--|----------------------------------|
| Insulation requirements | | |
| The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists. | | |
| Construction | Additional insulation required (R-value) | Other specifications |
| floor above existing dwelling or building. | nil | |
| external wall: framed (weatherboard, fibro, metal clad) | R1.30 (or R1.70 including construction) | |
| flat ceiling, flat roof: framed | ceiling: R1.82 (up), roof: foil/sarking | light (solar absorbance < 0.475) |

GARAGE/LOWER GROUND
1:100

NOTES

38 Mildred Avenue Manly Vale is zoned R2 Low Density Res.
All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
38 Mildred Avenue Manly Vale is not considered a heritage item

Certifying

The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Construction

Framed, Framed Walls
Roof Framed to have R1.82 Insulation
Insulation to External Framed Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix

Basix Certificate Number A389601
All Plans to be read in conjunction with Basix Certificate
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:
a) additional insulation is not required where the area of new construction is less than 2m2,
b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

DA APPLICATION ONLY
NOT FOR CONSTRUCTION

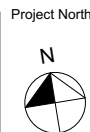


© Copyright
Rapid Plans 2020

Rapid Plans reserves all rights to this drawing, this drawing remains the property of Rapid Plans and may not be copied without written consent, all content including intellectual, remain the property of Rapid Plans, all copies of this drawing will be returned to Rapid Plans upon request.
The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.



Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans



Checked Plot Date: GBJ 23/11/2020
Project NO: RP0620GAN
Project Status: DA Rev1
Client: Sohumi Gandhi
Site: 38 Mildred Avenue Manly Vale
Sheet Size: A3

DRAWING TITLE :
PLANS
LOWER GROUND FLOOR 2
PROJECT NAME :
Alterations & Additions

| Site Information | Prop. | Comp. | Site Information | Prop. | Comp. |
|-------------------------------|-----------|----------|-------------------------------------|----------|----------|
| Site Area | 751.5m2 | Yes | Building envelope | 4m@45Deg | Variable |
| Housing Density (dwelling/m2) | 1 | Yes | % of landscape open space (40% min) | 46% | Yes |
| Max Ceiling Ht Above Nat. GL | 7.2m | Variable | Impervious area (m2) | 54% | Yes |
| Max Bldg Ht Above Nat. GL | 8.5m | Variable | Maximum cut into grd (m) | 1046mm | Yes |
| Front Setback (Min.) | 6.5m/3.5m | Variable | Maximum depth of fill (m) | 2210mm | Yes |
| Rear Setback (Min.) | 6.0m | Yes | No. of car spaces provided | 2 | Yes |
| Min. side bdy setback (Min.) | 0.9m | Variable | | | |

REVISION NO.

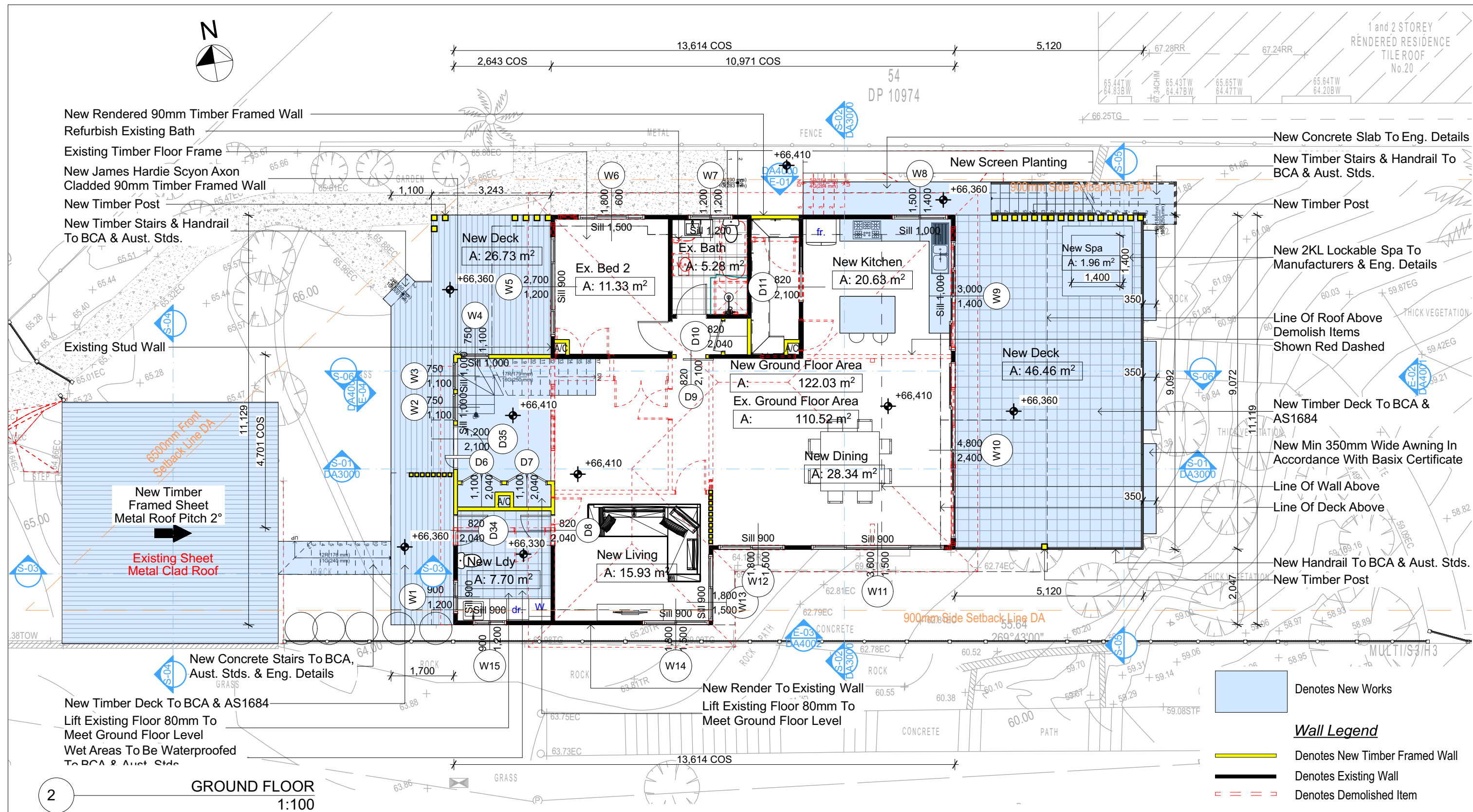
1

DATE

20-11-2020

DRAWING NO.

DA2002



**DA APPLICATION
ONLY
NOT FOR CONSTRUCTION**

NOTES
38 Mildred Avenue Manly Vale is zoned R2 Low Density Res.
All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
38 Mildred Avenue Manly Vale is not considered a heritage item
Certifying
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Construction
Framed, Framed Walls
Roof Framed to have R1.82 Insulation
Insulation to External Framed Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix
Basix Certificate Number A389601
All Plans to be read in conjunction with Basix Certificate
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:
a) additional insulation is not required where the area of new construction is less than 2m²
b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

| Site Information | Prop. | Comp. | Site Information | Prop. | Comp. |
|-------------------------------|-----------|----------|-------------------------------------|----------|----------|
| Site Area | 751.5m2 | Yes | Building envelope | 4m@45Deg | Variable |
| Housing Density (dwelling/m2) | 1 | Yes | % of landscape open space (40% min) | 46% | Yes |
| Max Ceiling Ht Above Nat. GL | 7.2m | Variable | Impervious area (m2) | 54% | Yes |
| Max Bldg Ht Above Nat. GL | 8.5m | Variable | Maximum cut into grd (m) | 1046mm | Yes |
| Front Setback (Min.) | 6.5m/3.5m | Variable | Maximum depth of fill (m) | 2210mm | Yes |
| Rear Setback (Min.) | 6.0m | Yes | No. of car spaces provided | 2 | Yes |
| Min. side bdy setback (Min.) | 0.9m | Variable | | | |

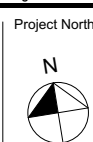


Rapid Plans
www.rapidplans.com.au
PO Box 6193 Frenchs Forest
NSW 1585
Fax: (02) 9305-8865
Mobile: 0414-945-024
Email: greg@rapidplans.com.au
© Copyright
Rapid Plans 2020

Rapid Plans reserves all rights to this drawing, this drawing remains the property of Rapid Plans and may not be copied without written consent, all content including intellectual, remain the property of Rapid Plans, all copies of this drawing will be returned to Rapid Plans upon request.
The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.



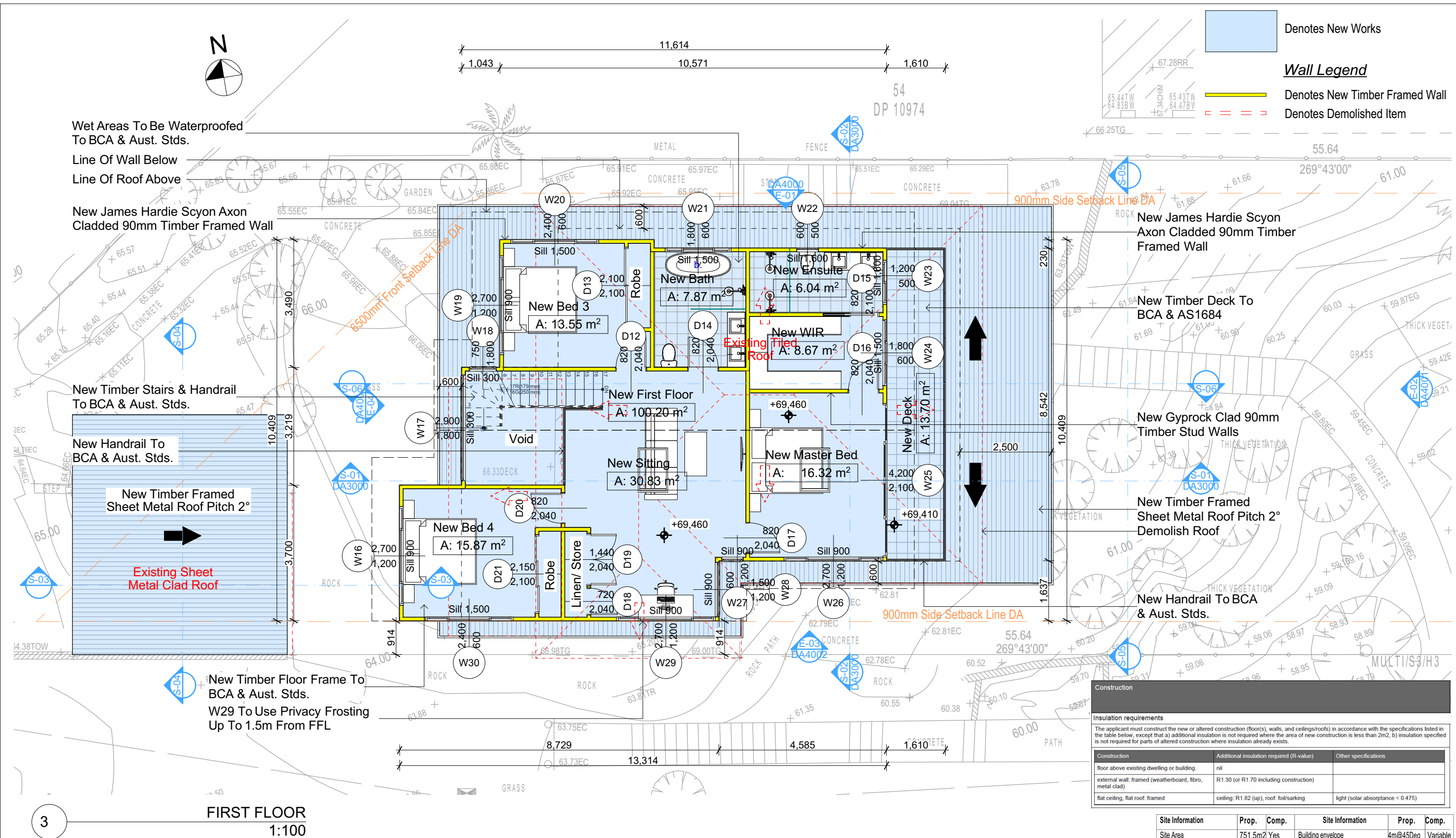
Builder to Check and Confirm
all Measurements Prior to
Commencement of any works.
Immediately Report any
Discrepancies to Rapid Plans



Project North
Checked
Plot Date: 23/11/2020
Project NO: RP0620GAN
Project Status: DA Rev1
Client: Sohum Gandhi
Site: 38 Mildred Avenue Manly Vale
Sheet Size: A3

DRAWING TITLE :
**PLANS
GROUND FLOOR
Alterations & Additions**
PROJECT NAME :

REVISION NO.
1
DATE:
20-11-2020
DRAWING NO.
DA2003



DA APPLICATION ONLY

NOT FOR CONSTRUCTION

NOTES

38 Mildred Avenue Manly Vale is zoned R2 Low Density Res. All Plans to be read in conjunction with Basix Certificate New Works to be constructed shown in Shaded/Blue 38 Mildred Avenue Manly Vale is not considered a heritage item

Certifying

The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Construction

Framed, Framed Walls Roof Framed to have R1.82 Insulation Insulation to External Framed Walls R1.70 Refer to Engineers drawings for structural details All work to Engineers Specification and BCA Timber framing to BCA and AS 1684 Termite Management to BCA and AS 3660.1 Glazing to BCA and AS01288-2047 Waterproofing to BCA and AS 3740 New Lighting to have minimum of 40% compact fluorescent lamps

Basix

Basix Certificate Number A389601 All Plans to be read in conjunction with Basix Certificate The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that: a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists. The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door. For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill. Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Insulation requirements

The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.

| Construction | Additional insulation required (R-value) | Other specifications |
|---|--|----------------------------------|
| floor above existing dwelling or building | nil | |
| external wall: framed (weatherboard, fibro, metal clad) | R1.30 (or R1.70 including construction) | |
| flat ceiling, flat roof: framed | ceiling: R1.82 (up), roof: foil/sarking | light (solar absorbance < 0.475) |

| Site Information | Prop. | Comp. | Site Information | Prop. | Comp. |
|-------------------------------|-----------|----------|-------------------------------------|----------|----------|
| Site Area | 751.5m2 | Yes | Building envelope | 4m@45Deg | Variable |
| Housing Density (dwelling/m2) | 1 | Yes | % of landscape open space (40% min) | 46% | Yes |
| Max Ceiling Ht Above Nat. GL | 7.2m | Variable | Impervious area (m2) | 54% | Yes |
| Max Bldg Ht Above Nat. GL | 8.5m | Variable | Maximum cut into grd (m) | 1046mm | Yes |
| Front Setback (Min.) | 6.5m/3.5m | Variable | Maximum depth of fill (m) | 2210mm | Yes |
| Rear Setback (Min.) | 6.0m | Yes | No. of car spaces provided | 2 | Yes |
| Min. side bdy setback (Min.) | 0.9m | Variable | | | |

© Copyright Rapid Plans 2020

Rapid Plans

Building Design and Architectural Drafting

bdaa

BUILDING DESIGNERS ASSOCIATION OF AUSTRALIA

bdaa

ACCREDITED BUILDING DESIGNER

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

Checked Plot Date: Project NO. Project Status

Client Site: Sohum Gandhi 38 Mildred Avenue Manly Vale

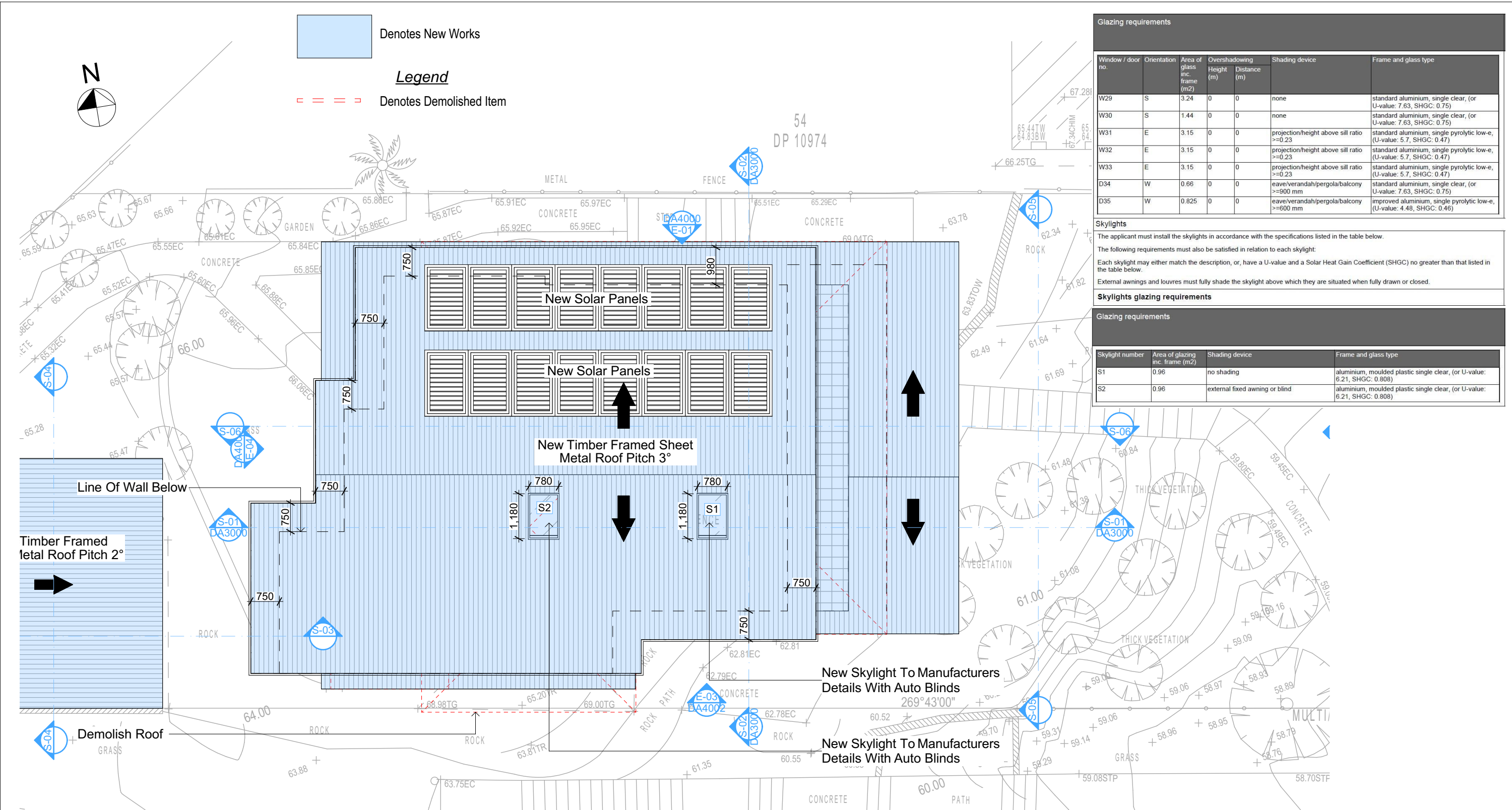
GBJ 23/11/2020 RP0620GAN DA Rev1

Sheet Size: A3

DRAWING TITLE : PLANS FIRST FLOOR Alterations & Additions

PROJECT NAME :

REVISION NO. 1 DATE: 20-11-2020 DRAWING NO. DA2004



| Glazing requirements | | | | | | |
|----------------------|-------------|-------------------------------|--------------------------|----------------------------|---|---|
| Window / door no. | Orientation | Area of glass inc. frame (m2) | Overshadowing Height (m) | Overshadowing Distance (m) | Shading device | Frame and glass type |
| W29 | S | 3.24 | 0 | 0 | none | standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75) |
| W30 | S | 1.44 | 0 | 0 | none | standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75) |
| W31 | E | 3.15 | 0 | 0 | projection/height above sill ratio >=0.23 | standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47) |
| W32 | E | 3.15 | 0 | 0 | projection/height above sill ratio >=0.23 | standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47) |
| W33 | E | 3.15 | 0 | 0 | projection/height above sill ratio >=0.23 | standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47) |
| D34 | W | 0.66 | 0 | 0 | eave/verandah/ pergola/balcony >=900 mm | standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75) |
| D35 | W | 0.825 | 0 | 0 | eave/verandah/ pergola/balcony >=900 mm | improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46) |

Skylights
The applicant must install the skylights in accordance with the specifications listed in the table below.
The following requirements must also be satisfied in relation to each skylight:
Each skylight may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below.
External awnings and louvers must fully shade the skylight above which they are situated when fully drawn or closed.

| Skylights glazing requirements | | | |
|--------------------------------|---------------------------------|--------------------------------|--|
| Glazing requirements | | | |
| Skylight number | Area of glazing inc. frame (m2) | Shading device | Frame and glass type |
| S1 | 0.96 | no shading | aluminium, moulded plastic single clear, (or U-value: 6.21, SHGC: 0.808) |
| S2 | 0.96 | external fixed awning or blind | aluminium, moulded plastic single clear, (or U-value: 6.21, SHGC: 0.808) |

4 Roof Plan 1:100

DA APPLICATION ONLY
NOT FOR CONSTRUCTION

NOTES
38 Mildred Avenue Manly Vale is zoned R2 Low Density Res.
All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
38 Mildred Avenue Manly Vale is not considered a heritage item
Certifying
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Construction
Framed, Framed Walls
Roof Framed to have R1.82 Insulation
Insulation to External Framed Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix
Basix Certificate Number A389601
All Plans to be read in conjunction with Basix Certificate
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:
a) additional insulation is not required where the area of new construction is less than 2m2
b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

| Site Information | Prop. | Comp. | Site Information | Prop. | Comp. |
|-------------------------------|-----------|----------|-------------------------------------|----------|----------|
| Site Area | 751.5m2 | Yes | Building envelope | 4m@45Deg | Variable |
| Housing Density (dwelling/m2) | 1 | Yes | % of landscape open space (40% min) | 46% | Yes |
| Max Ceiling Ht Above Nat. GL | 7.2m | Variable | Impervious area (m2) | 54% | Yes |
| Max Bldg Ht Above Nat. GL | 8.5m | Variable | Maximum cut into grd (m) | 1046mm | Yes |
| Front Setback (Min.) | 6.5m/3.5m | Variable | Maximum depth of fill (m) | 2210mm | Yes |
| Rear Setback (Min.) | 6.0m | Yes | No. of car spaces provided | 2 | Yes |
| Min. side bdy setback (Min.) | 0.9m | Variable | | | |



© Copyright
Rapid Plans 2020

Rapid Plans reserves all rights to this drawing. This drawing remains the property of Rapid Plans and may not be copied without written consent. All content including intellectual, remain the property of Rapid Plans upon request.
The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.



Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North
Checked Plot Date: GBJ 23/11/2020
Project NO: RP0620GAN
Project Status: DA Rev1
Client: Sohumi Gandhi
Site: 38 Mildred Avenue Manly Vale
Sheet Size: A3

DRAWING TITLE :
PLANS
ROOF
PROJECT NAME :
Alterations & Additions

REVISION NO.
1
DATE: 20-11-2020
DRAWING NO.
DA2005

New Skylight To Manufacturers Details With Auto Blinds
New Timber Floor Frame To BCA & Aust. Stds.

+72,360
5 ROOF
+71,860
4 FCL

New Rendered 90mm
Timber Framed Wall

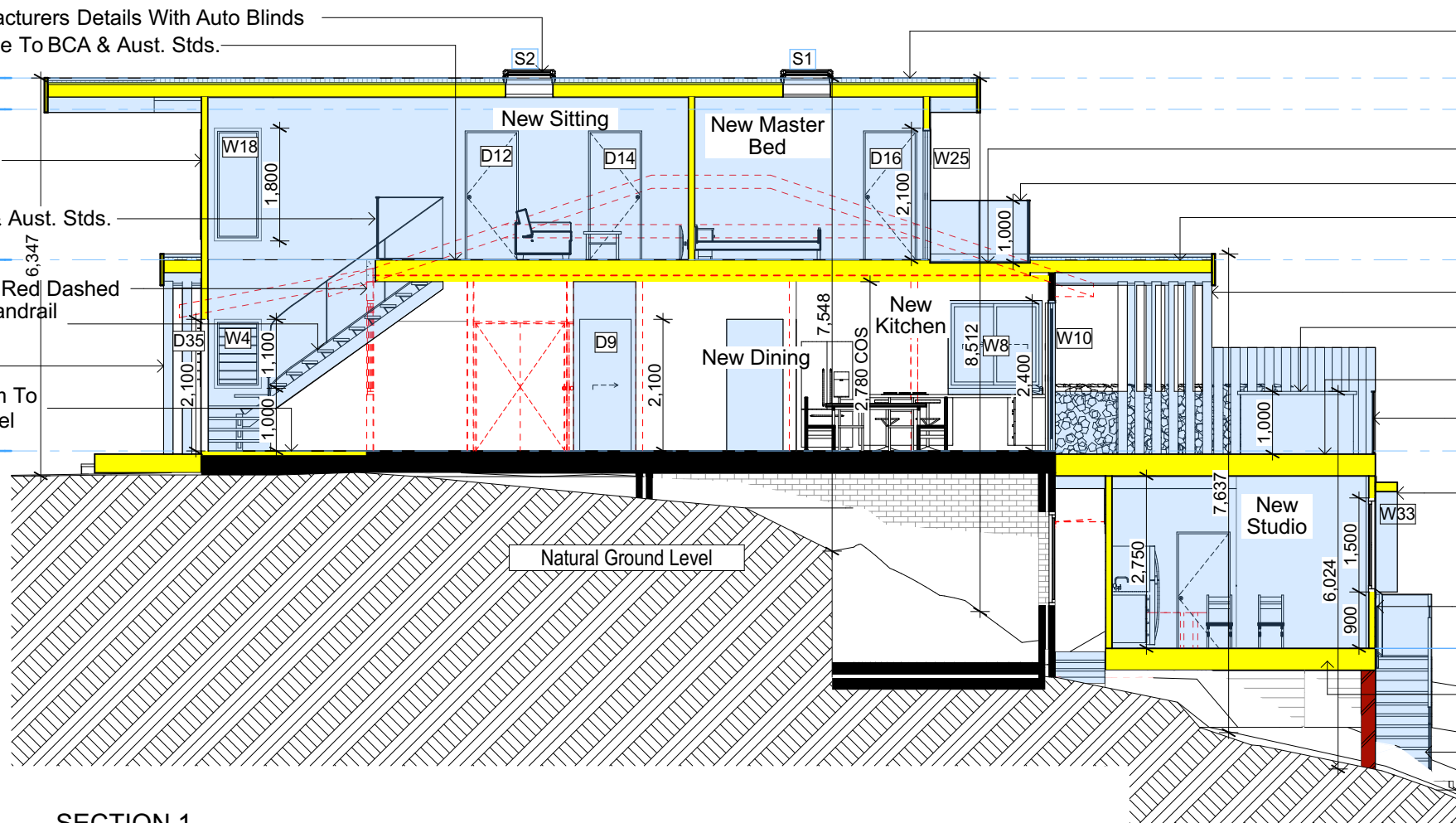
New Handrail To BCA & Aust. Stds.

+69,460
3 FIRST FLOOR

Demolish Items Shown Red Dashed
New Timber Stairs & Handrail
To BCA & Aust. Stds.

New Timber Post
Lift Existing Floor 80mm To
Meet Ground Floor Level

+66,410
2 GROUND FLOOR



SECTION 1
1:100

New Timber Framed Sheet
Metal Roof Pitch 3°

+72,360
5 ROOF
+71,860
4 FCL

New Timber Deck To BCA &
AS1684

New Handrail To BCA & Aust. Stds.
New Timber Framed
Sheet Metal Roof Pitch 2°

+69,460
3 FIRST FLOOR

New Timber Post
New 2KL Lockable Spa To
Manufacturers & Eng. Details

New Timber Deck To BCA &
AS1684

New Handrail To BCA & Aust. Stds.
+66,410

2 GROUND FLOOR
New Min 350mm Wide Awning In
Accordance With Basix Certificate

New James Hardie Scyon Axon
Cladded 90mm Timber Framed Wall
+63,260

1 LWR GROUND
New Timber Floor Frame To BCA &
Aust. Stds.

New Timber Stairs & Handrail To
BCA & Aust. Stds.

New Gyprock Clad 90mm
Timber Stud Walls

+72,360
5 ROOF
+71,860
4 FCL

New Timber Floor Frame
To BCA & Aust. Stds.

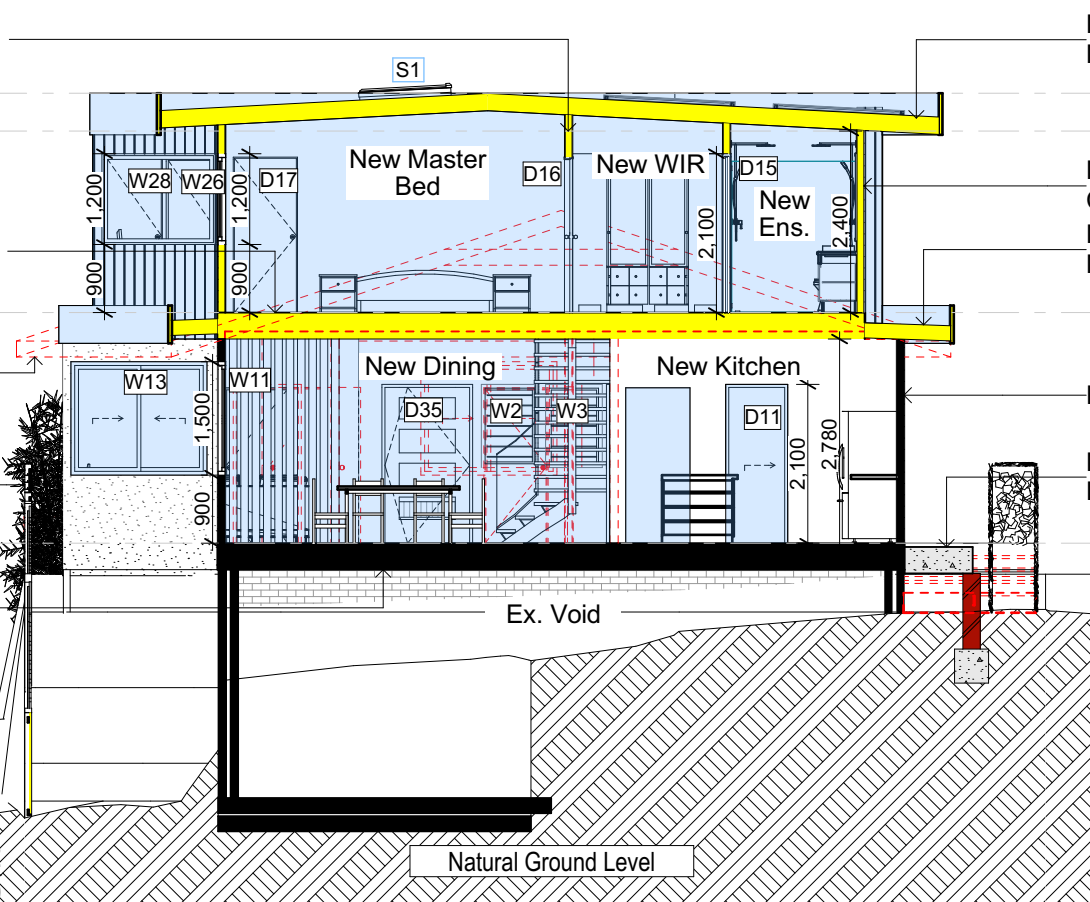
+69,460
3 FIRST FLOOR

Demolish Items
Shown Red Dashed

New 1800mm High
Timber Boundary Fence

+66,410
2 GROUND FLOOR

Existing Timber
Floor Frame



SECTION 2
1:100

New Timber Framed Sheet
Metal Roof Pitch 3°

+72,360
5 ROOF
+71,860
4 FCL

New James Hardie Scyon Axon
Cladded 90mm Timber Framed Wall
New Timber Framed Sheet
Metal Roof Pitch 2°

+69,460
3 FIRST FLOOR

Existing Stud Wall

New Concrete Slab To Eng.
Details

+66,410
2 GROUND FLOOR

| | |
|--|--------------------------------|
| | Denotes New Works |
| | Denotes New Timber Framed Wall |
| | Denotes New Concrete |
| | Denotes Existing Wall |
| | Denotes Demolished Item |

Wall Legend

| | |
|--|--------------------------------|
| | Denotes New Works |
| | Denotes New Timber Framed Wall |
| | Denotes New Concrete |
| | Denotes Existing Wall |
| | Denotes Demolished Item |

These plans are for DA Application purposes only. These plans are not to be used for construction certificate application without the written permission of Rapid Plans

DA APPLICATION ONLY
NOT FOR CONSTRUCTION

Building Design and Architectural Drafting

© Copyright Rapid Plans 2020

BUILDING DESIGNERS ASSOCIATION OF AUSTRALIA

ACCREDITED BUILDING DESIGNER

Rapid Plans reserves all rights to this drawing. This drawing remains the property of Rapid Plans and may not be copied without written consent. All content including intellectual, remain the property of Rapid Plans. All copies of this drawing will be returned to Rapid Plans upon request.

The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

NOTES

38 Mildred Avenue Manly Vale is zoned R2 Low Density Res.

All Plans to be read in conjunction with Basic Certificate

New Works to be constructed shown in Shaded/Blue

Construction

Framed, Framed Walls

Roof Framed to have R1.82 Insulation

Insulation to External Framed Walls R1.70

Refer to Engineers drawings for structural details

All work to Engineers Specification and BCA

Timber Framing to BCA and AS 1684

Termite Management to BCA and AS 3660.1

Glazing to BCA and AS1098-2007

Waterproofing to BCA and AS 3740

New Lighting to have minimum of 40% compact fluorescent lamps

All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Certifying

The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Basix

Basix Certificate Number A389601

All Plans to be read in conjunction with Basix Certificate

The applicant must construct the new or altered construction (floor, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.

For projections described in millimetres, the leading edge of each eave, gopola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

| Site Information | Prop. | Comp. |
|--|---------------------|----------|
| Site Area | 751.5m ² | Yes |
| Housing Density (dwelling/m ²) | 1 | Yes |
| Max Ceiling Ht Above Nat. GL | 7.2m | Variable |
| Max Bldg Ht Above Nat. GL | 8.5m | Variable |
| Front Setback (Min.) | 6.5m/3.5m | Variable |
| Rear Setback (Min.) | 6.0m | Yes |
| Min. side bdy setback (Min.) | 0.9m | Variable |
| Building envelope | 4m@45Deg | Variable |
| % of landscape open space (40% min) | 46% | Yes |
| Impervious area (m ²) | 54% | Yes |
| Maximum cut into gnd (m) | 1046mm | Yes |
| Maximum depth of fill (m) | 2210mm | Yes |
| No. of car spaces provided | 2 | Yes |

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

Drawn | Checked GBJ
Plot Date: 23/11/2020
Project NO.: RP0820CAN
Project Status DA Rev1

Client Sohum Gandhi

Site: 38 Mildred Avenue Manly Vale

DRAWING TITLE: SECTIONS
SECTION 1

PROJECT NAME: **Alterations & Additions**

| | |
|--------------|------------|
| REVISION NO. | DATE |
| 1 | 20-11-2020 |

DRAWING NO. **DA3000**

Plot Date: 23/11/2020
Sheet Size: A3

Denotes New Works

Wall Legend

Denotes New Timber Framed Wall
Denotes Existing Wall
Denotes Demolished Item

New Timber Framed Sheet
Metal Roof Pitch 3°

+72,360
5 ROOF
+71,860
4 FCL

New James Hardie Scyon Axon
Cladded 90mm Timber Framed Wall

New Timber Framed Sheet
Metal Roof Pitch 2°

+69,460
3 FIRST FLOOR

New Timber Post

New Timber Stairs & Handrail To
BCA & Aust. Stds.
New Timber Floor Frame To
BCA & Aust. Stds.

+66,410
2 GROUND FLOOR

New Skylight To Manufacturers Details With Auto Blinds

+72,360
5 ROOF
+71,860
4 FCL

New Handrail To BCA & Aust. Stds.

Demolish Items Shown Red Dashed

New Timber Framed Sheet
Metal Roof Pitch 2°

+69,460
3 FIRST FLOOR

New Timber Post

New Timber Deck To BCA &
AS1684

New Handrail To
BCA & Aust. Stds.

+66,410
2 GROUND FLOOR

New Min 350mm Wide
Awning In Accordance
With Basix Certificate

New James Hardie Scyon
Axon Cladded 90mm Timber
Framed Wall

New Timber Floor Frame
To BCA & Aust. Stds.

Glazing requirements

Windows and glazed doors

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.

The following requirements must also be satisfied in relation to each window and glazed door:

Each window or glazed door with standard aluminium or timber frames and single clear or toned glass may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions.

Each window or glazed door with improved frames, or pyrolytic low-e glass, or clear/air gap/clear glazing, or toned/air gap/clear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted.

For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

For projections described as a ratio, the ratio of the projection from the wall to the height above the window or glazed door sill must be at least that shown in the table below.

Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.

Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.

Windows and glazed doors glazing requirements

| Window / door no. | Orientation | Area of glass inc. frame (m2) | Overshadowing Height (m) | Distance (m) | Shading device | Frame and glass type |
|-------------------|-------------|-------------------------------|--------------------------|--------------|---|--|
| W1 | W | 1.08 | 0 | 0 | eave/verandah/pergola/balcony >=900 mm | standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75) |
| W2 | W | 0.825 | 0 | 0 | projection/height above sill ratio >=0.36 | standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75) |

Glazing requirements

| Window / door no. | Orientation | Area of glass inc. frame (m2) | Overshadowing Height (m) | Distance (m) | Shading device | Frame and glass type |
|-------------------|-------------|-------------------------------|--------------------------|--------------|---|--|
| W3 | W | 0.825 | 0 | 0 | projection/height above sill ratio >=0.36 | standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75) |
| W4 | N | 0.825 | 0 | 0 | eave/verandah/pergola/balcony >=900 mm | standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75) |
| W5 | W | 3.24 | 0 | 0 | eave/verandah/pergola/balcony >=900 mm | standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75) |
| W6 | N | 1.08 | 0 | 0 | eave/verandah/pergola/balcony >=600 mm | standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47) |
| W7 | N | 1.44 | 0 | 0 | eave/verandah/pergola/balcony >=600 mm | standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47) |
| W8 | N | 2.1 | 0 | 0 | eave/verandah/pergola/balcony >=600 mm | standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47) |
| W9 | E | 4.2 | 0 | 0 | eave/verandah/pergola/balcony >=900 mm | standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75) |
| W10 | E | 11.52 | 0 | 0 | eave/verandah/pergola/balcony >=900 mm | standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75) |
| W11 | S | 5.4 | 0 | 0 | eave/verandah/pergola/balcony >=600 mm | standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75) |
| W12 | S | 2.7 | 0 | 0 | eave/verandah/pergola/balcony >=600 mm | standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75) |
| W13 | E | 2.7 | 0 | 0 | eave/verandah/pergola/balcony >=600 mm | standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47) |
| W14 | S | 2.7 | 0 | 0 | none | standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75) |
| W15 | S | 1.08 | 0 | 0 | none | standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75) |

Glazing requirements

| Window / door no. | Orientation | Area of glass inc. frame (m2) | Overshadowing Height (m) | Distance (m) | Shading device | Frame and glass type |
|-------------------|-------------|-------------------------------|--------------------------|--------------|--|--|
| W16 | W | 3.24 | 0 | 0 | eave/verandah/pergola/balcony >=750 mm | standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75) |
| W17 | W | 5.22 | 0 | 0 | eave/verandah/pergola/balcony >=750 mm | standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75) |
| W18 | N | 1.35 | 0 | 0 | eave/verandah/pergola/balcony >=750 mm | standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75) |
| W19 | W | 3.24 | 0 | 0 | eave/verandah/pergola/balcony >=750 mm | standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75) |
| W20 | N | 1.44 | 0 | 0 | eave/verandah/pergola/balcony >=750 mm | standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75) |
| W21 | N | 1.08 | 0 | 0 | eave/verandah/pergola/balcony >=750 mm | standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75) |
| W22 | N | 0.3 | 0 | 0 | eave/verandah/pergola/balcony >=750 mm | standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75) |
| W23 | E | 0.6 | 0 | 0 | eave/verandah/pergola/balcony >=750 mm | standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47) |
| W24 | E | 1.08 | 0 | 0 | eave/verandah/pergola/balcony >=750 mm | standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47) |
| W25 | E | 8.82 | 0 | 0 | eave/verandah/pergola/balcony >=750 mm | standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47) |
| W26 | S | 3.24 | 0 | 0 | eave/verandah/pergola/balcony >=750 mm | standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75) |
| W27 | S | 0.72 | 0 | 0 | eave/verandah/pergola/balcony >=750 mm | standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75) |
| W28 | E | 1.8 | 0 | 0 | eave/verandah/pergola/balcony >=750 mm | standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47) |

DA APPLICATION
ONLY
NOT FOR CONSTRUCTION



Rapid Plans
PO Box 6239 Pirrama NSW 1512
Tel: (02) 9550-8845 Mobile: 0414-545-024
Email: info@rapidplans.com.au

© Copyright Rapid Plans 2020



Rapid Plans reserves all rights to this drawing. This drawing remains the property of Rapid Plans and may not be copied without written consent. All content including intellectual, remain the property of Rapid Plans. All copies of this drawing will be returned to Rapid Plans upon request.

The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

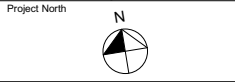
NOTES
38 Mildred Avenue Manly Vale is zoned R2 Low Density Res.
38 Mildred Avenue Manly Vale is not considered a heritage item.
All Plans to be read in conjunction with Basix Certificate.
New Works to be constructed shown in Shaded/Blue.
Construction
Framed Timber Walls
Roof Framed to have R1.82 Insulation
Insulation to External Framed Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS1029:2007
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 1 compact fluorescent lamp
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Carrying
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans.

Basix
Basix Certificate Number A389601
All Plans to be read in conjunction with Basix Certificate.
The applicant must construct the new or altered construction (floor slabs, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

| Site Information | Prop. | Comp. |
|-------------------------------------|-----------|----------|
| Site Area | 751.5m2 | Yes |
| Housing Density (dwelling/m2) | 1 | Yes |
| Max Ceiling Ht Above Nat. GL | 7.2m | Variable |
| Max Bldg Ht Above Nat. GL | 8.5m | Variable |
| Front Setback (Min.) | 6.5m/3.5m | Variable |
| Rear Setback (Min.) | 6.0m | Yes |
| Min. side bdy setback (Min.) | 0.9m | Variable |
| Building envelope | 4m@45Deg | Variable |
| % of landscape open space (40% min) | 46% | Yes |
| Impervious area (m2) | 54% | Yes |
| Maximum cut into gnd (m) | 1046mm | Yes |
| Maximum depth of fill (m) | 2210mm | Yes |
| No. of car spaces provided | 2 | Yes |

Builder to Check and Confirm all
Measurements Prior to
Commencement of any works.
Immediately Report any Discrepancies
to Rapid Plans



Drawn | Checked GBJ
Plot Date: 23/11/2020
Project NO.: RP082020AN
Project Status: DA Rev1

Client: Sohum Gandhi

Site: 38 Mildred Avenue Manly Vale

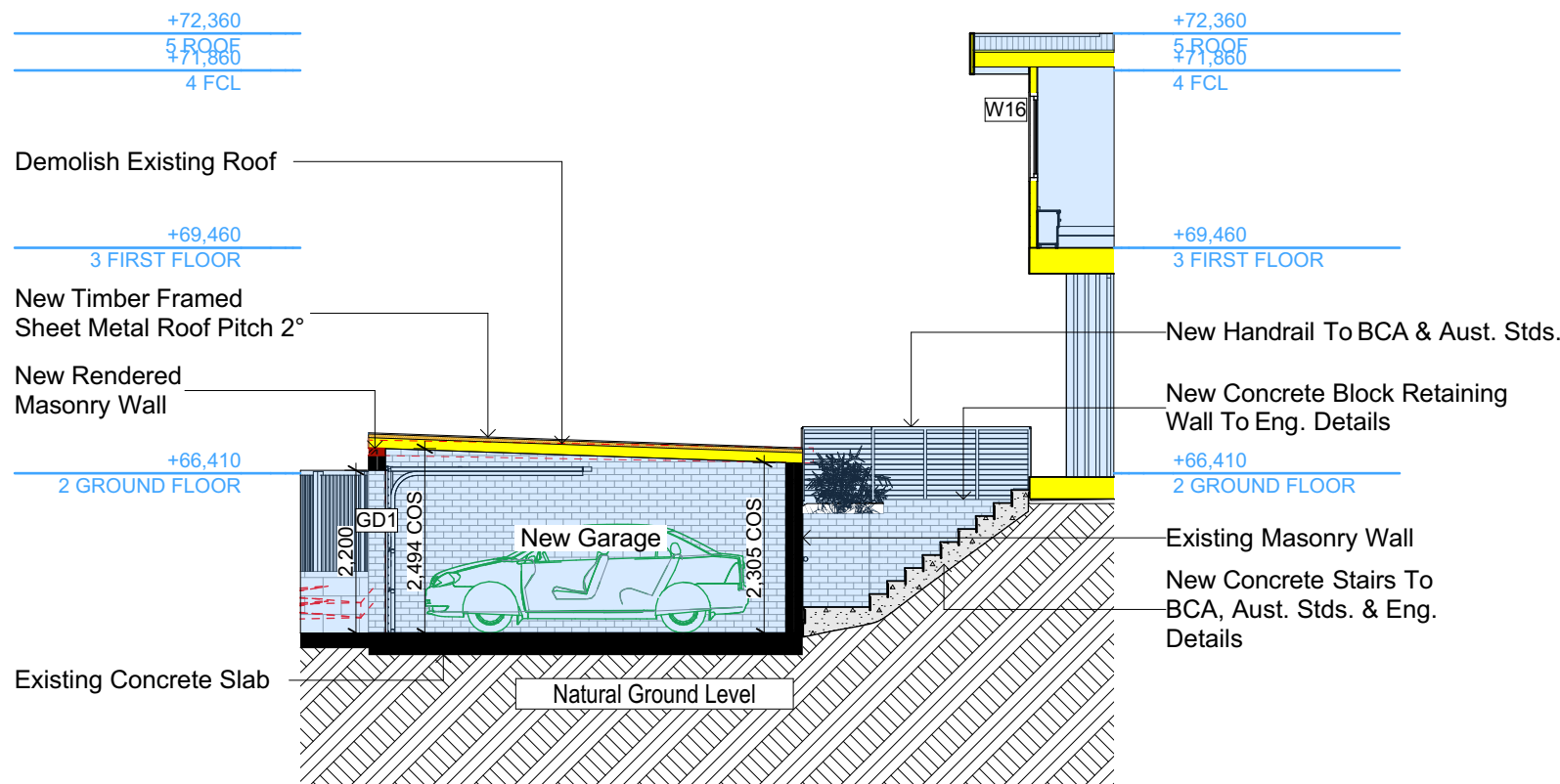
DRAWING TITLE: SECTIONS
SECTION 2

PROJECT NAME: Alterations & Additions

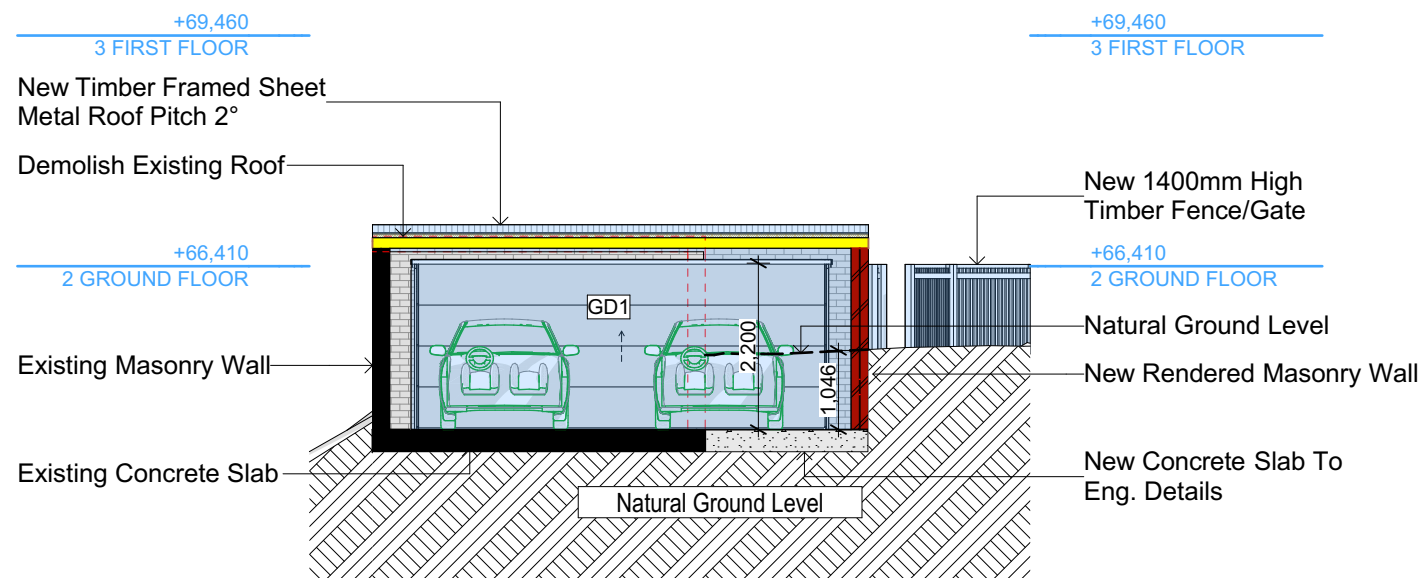
REVISION NO. DATE
1 20-11-2020

DRAWING NO. DA3001

Plot Date: 23/11/2020
Sheet Size: A3



S-03
-
Section Garage
1:100



S-04
-
Section Garage
1:100

- Denotes New Works
- Wall Legend**
- Denotes New Timber Framed Wall
 - Denotes New Masonry Wall
 - Denotes New Concrete
 - Denotes Existing Wall
 - Denotes Demolished Item

Rapid Plans
Building Design and Architectural Drafting

© Copyright Rapid Plans 2020

bdca
BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA

bdca
ACCREDITED
BUILDING DESIGNER

Rapid Plans reserves all rights to this drawing. This drawing remains the property of Rapid Plans and may not be copied without written consent. All content including intellectual, remain the property of Rapid Plans. All copies of this drawing will be returned to Rapid Plans upon request.

The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

NOTES
38 Mildred Avenue Manly Vale is zoned R2 Low Density Res.
All Plans to be read in conjunction with Basic Certificate
New Works to be constructed shown in Shaded/Blue

Construction
Framed, Framed Walls
Roof Framed to have R1.82 Insulation
Insulation to External Framed Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS10798-2017
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Certifying
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Basic
Basic Certificate Number A389601
All Plans to be read in conjunction with Basic Certificate
The applicant must construct the new or altered construction (floor, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each space, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

| Site Information | Prop. | Comp. |
|--|---------------------|----------|
| Site Area | 751.5m ² | Yes |
| Housing Density (dwelling/m ²) | 1 | Yes |
| Max Ceiling Ht Above Nat. GL | 7.2m | Variable |
| Max Bldg Ht Above Nat. GL | 8.5m | Variable |
| Front Setback (Min.) | 6.5m/3.5m | Variable |
| Rear Setback (Min.) | 6.0m | Yes |
| Min. side bdy setback (Min.) | 0.9m | Variable |
| Building envelope | 4m@ 45Deg | Variable |
| % of landscape open space (40% min) | 46% | Yes |
| Impervious area (m ²) | 54% | Yes |
| Maximum cut into gnd (m) | 1046mm | Yes |
| Maximum depth of fill (m) | 2210mm | Yes |
| No. of car spaces provided | 2 | Yes |

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North
N

Drawn | Checked GBJ
Plot Date: 23/11/2020
Project NO.: RP0820CAN
Project Status DA Rev1

Client: Sohum Gandhi

Site: 38 Mildred Avenue Manly Vale

DRAWING TITLE: SECTIONS SECTION GARAGE

PROJECT NAME: Alterations & Additions

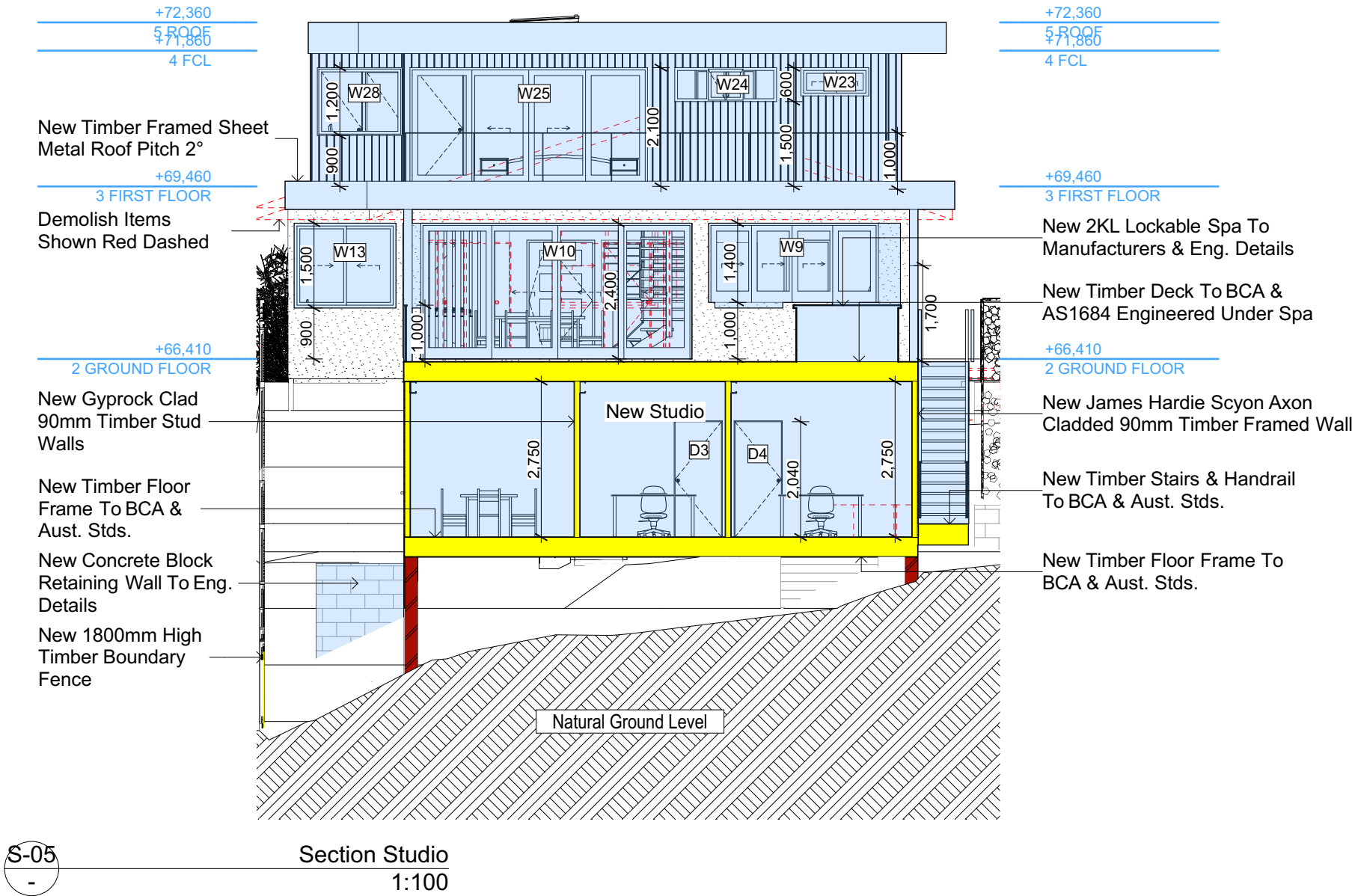
| REVISION NO. | DATE |
|--------------|------------|
| 1 | 20-11-2020 |

DRAWING NO.: DA3002

Plot Date: 23/11/2020
Sheet Size: A3

**DA APPLICATION
ONLY
NOT FOR CONSTRUCTION**

| Construction | | |
|--|--|-----------------------------------|
| Insulation requirements | | |
| The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists. | | |
| Construction | Additional insulation required (R-value) | Other specifications |
| floor above existing dwelling or building. | nil | |
| external wall: framed (weatherboard, fibro, metal clad) | R1.30 (or R1.70 including construction) | |
| flat ceiling, flat roof: framed | ceiling: R1.82 (up), roof: foil/sarking | light (solar absorptance < 0.475) |



Denotes New Works

Wall Legend

Denotes New Timber Framed Wall

Denotes Demolished Item



Rapid Plans
Building Design and Architectural Drafting

Website: www.rapidplans.com.au
PO Box 6239 Fitzroy Vic 3065
Ph: (03) 9350-8845 Mob: 0414-945-024
Email: info@rapidplans.com.au

© Copyright Rapid Plans 2020



BDA
BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA



BDA
ACCREDITED
BUILDING DESIGNER

Rapid Plans reserves all rights to this drawing. This drawing remains the property of Rapid Plans and may not be copied without written consent. All content including intellectual, remain the property of Rapid Plans. All copies of this drawing will be returned to Rapid Plans upon request.

The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

NOTES

38 Mildred Avenue Manly Vale is zoned R2 Low Density Res.

38 Mildred Avenue Manly Vale is not considered a heritage item.

All Plans to be read in conjunction with Basic Certificate New Works to be constructed shown in Shaded/Blue.

Construction

Framed, Framed Walls

Roof Framed to have R1.82 Insulation

Insulation to External Framed Walls R1.70

Refer to Engineers drawings for structural details

All work to Engineers Specification and BCA

Timber framing to BCA and AS 1684

Termite Management to BCA and AS 3660.1

Glazing to BCA and AS1078-2007

Waterproofing to BCA and AS 3740

New Lighting to have minimum of 40% compact fluorescent lamps

All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Certifying

The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans.

Basic

Basic Certificate Number A389601

All Plans to be read in conjunction with Basic Certificate

The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.

Relevant overshadowing specifications must be satisfied for each window and glazed door.

For projections described in millimetres, the leading edge of each eave, gopole, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

| Site Information | Prop. | Comp. |
|-------------------------------------|-----------|----------|
| Site Area | 751.5m2 | Yes |
| Housing Density (dwelling/m2) | 1 | Yes |
| Max Ceiling Ht Above Nat. GL | 7.2m | Variable |
| Max Bldg Ht Above Nat. GL | 8.5m | Variable |
| Front Setback (Min.) | 6.5m/3.5m | Variable |
| Rear Setback (Min.) | 6.0m | Yes |
| Min. side bdy setback (Min.) | 0.9m | Variable |
| Building envelope | 4m@ 45Deg | Variable |
| % of landscape open space (40% min) | 46% | Yes |
| Impervious area (m2) | 54% | Yes |
| Maximum cut into gnd (m) | 1046mm | Yes |
| Maximum depth of fill (m) | 2210mm | Yes |
| No. of car spaces provided | 2 | Yes |

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

N

Drawn | Checked GBJ
Plot Date: 23/11/2020
Project NO.: RP0820CAN
Project Status DA Rev1

Client: Sohum Gandhi

Site: 38 Mildred Avenue Manly Vale

DRAWING TITLE: SECTIONS
SECTION Studio

PROJECT NAME: Alterations & Additions

| REVISION NO. | DATE |
|--------------|------------|
| 1 | 20-11-2020 |

DRAWING NO.: DA3003

Plot Date: 23/11/2020
Sheet Size: A3

DA APPLICATION
ONLY
NOT FOR CONSTRUCTION

| Glazing requirements | | | | | | |
|----------------------|-------------|--|---------------|--------------|---|---|
| Window / door no. | Orientation | Area of glass inc. frame (m ²) | Overshadowing | | Shading device | Frame and glass type |
| | | | Height (m) | Distance (m) | | |
| W29 | S | 3.24 | 0 | 0 | none | standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75) |
| W30 | S | 1.44 | 0 | 0 | none | standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75) |
| W31 | E | 3.15 | 0 | 0 | projection/height above sill ratio >=0.23 | standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47) |
| W32 | E | 3.15 | 0 | 0 | projection/height above sill ratio >=0.23 | standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47) |
| W33 | E | 3.15 | 0 | 0 | projection/height above sill ratio >=0.23 | standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47) |
| D34 | W | 0.66 | 0 | 0 | eave/verandah/ pergola/balcony >=900 mm | standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75) |
| D35 | W | 0.825 | 0 | 0 | eave/verandah/ pergola/balcony >=600 mm | improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46) |

| | |
|-----------|--|
| Skylights | |
|-----------|--|

The applicant must install the skylights in accordance with the specifications listed in the table below.

The following requirements must also be satisfied in relation to each skylight:

Each skylight may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below.

External awnings and louvres must fully shade the skylight above which they are situated when fully drawn or closed.

Skylights glazing requirements


Rapid Plans reserves all rights to this drawing, this drawing remains the property of Rapid Plans and may not be copied without written consent, all content including intellectual, remain the property of Rapid Plans, all copies of this drawing will be returned to Rapid Plans upon request.

The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

Construction
Framed, Framed Walls
Roof Framed to have R1.82 Insulation
Insulation to External Framed Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1984
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS1288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamp
All workmanship and materials shall be in accordance with the
requirements of Building Codes of Australia.

| Site Information | Prop. | Comments |
|--|--------------|-----------|
| Site Area | 751.5m2 | Yes |
| Housing Density (dwelling/m2) | 1 | Yes |
| Max Ceiling Ht Above Nat. GL | 7.2m | Variation |
| Max Bldg Ht Above Nat. GL | 8.5m | Variation |
| Front Setback (Min.) | 6.5m/3.5m | Variation |
| Rear Setback (Min.) | 6.0m | Yes |
| Min. side bdy setback (Min.) | 0.9m | Variation |
| Building envelope | 4m@ 45Deg | Variation |
| % of landscape open space (40% min) | 46% | Yes |
| Impervious area (m2) | 54% | Yes |
| Maximum cut into gnd (m) | 1046mm | Yes |
| Maximum depth of fill (m) | 2210mm | Yes |
| No. of car spaces provided | 2 | Yes |

Project North

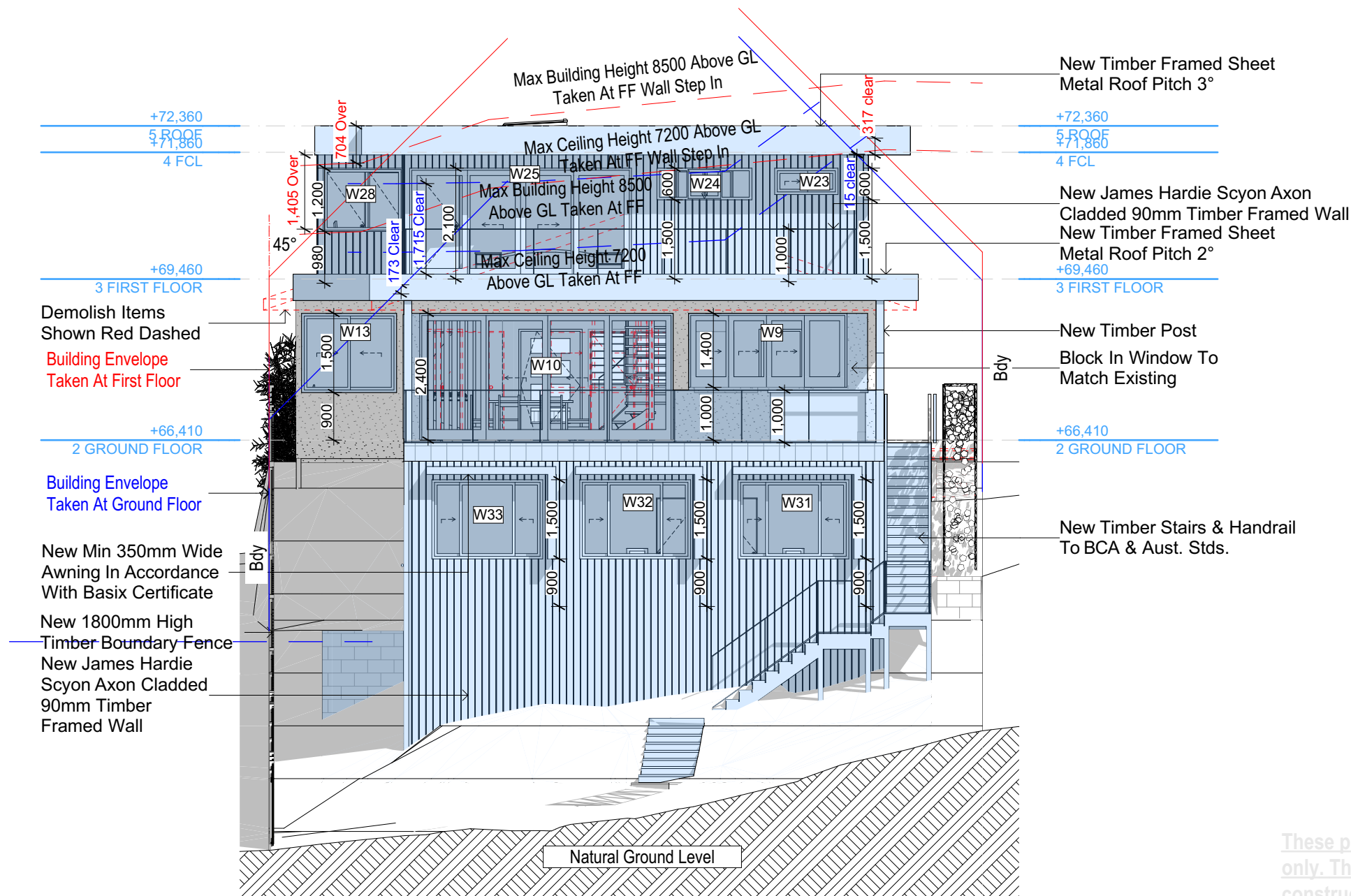


A compass rose with a circle divided into four quadrants by a vertical and a horizontal line. The top quadrant is labeled 'N' for North. The top-left quadrant (North-Northwest) is shaded black.

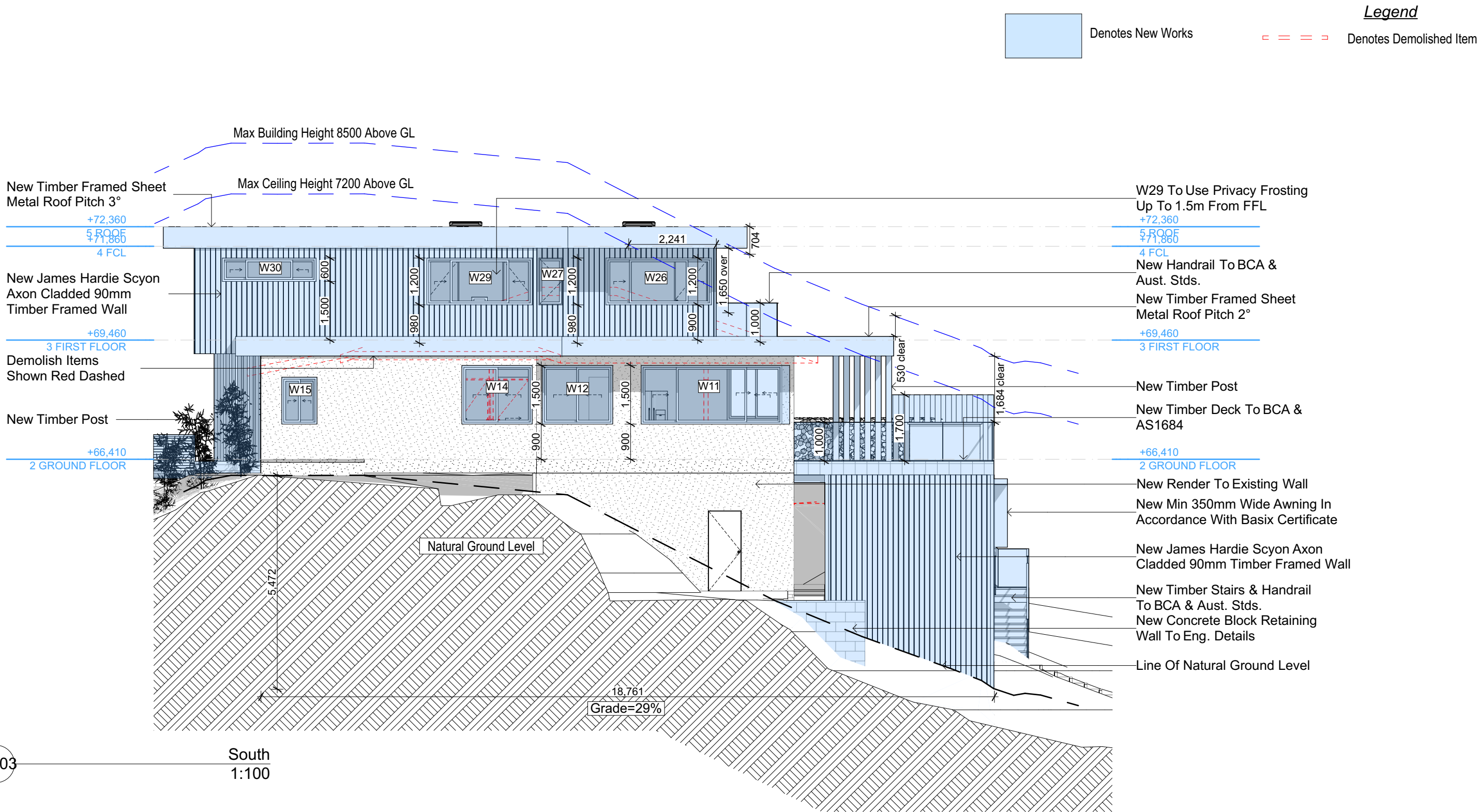
| | |
|--------|------------------------------|
| Client | Sohum Gandhi |
| Site: | 38 Mildred Avenue Manly Vale |

DRAWING TITLE :
ELEVATIONS
ELEVATIONS 2

| | |
|----------------|--|
| REVISION NO. | DATE |
| 1 | 20-11-2020 |
| DRAWING NO. | |
| DA4001 | |
| Plot Date: | 23/11/2020 |
| Sheet Size: A3 | D:\Arch\jokes on the go\Gandhi 23-DA Rev1.plt |



East
1:100



E-03

South

1:100

DA APPLICATION
ONLY
NOT FOR CONSTRUCTION

NOTES
38 Mildred Avenue Manly Vale is zoned R2 Low Density Res.
All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
38 Mildred Avenue Manly Vale is not considered a heritage item

Certifying
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Construction
Framed, Framed Walls
Roof Framed to have R1.82 Insulation
Insulation to External Framed Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix
Basix Certificate Number A389601
All Plans to be read in conjunction with Basix Certificate
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:
a) additional insulation is not required where the area of new construction is less than 2m².
b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

| Site Information | Prop. | Comp. | Site Information | Prop. | Comp. |
|--|---------------------|----------|-------------------------------------|----------|----------|
| Site Area | 751.5m ² | Yes | Building envelope | 4m@45Deg | Variable |
| Housing Density (dwelling/m ²) | 1 | Yes | % of landscape open space (40% min) | 46% | Yes |
| Max Ceiling Ht Above Nat. GL | 7.2m | Variable | Impervious area (m ²) | 54% | Yes |
| Max Bldg Ht Above Nat. GL | 8.5m | Variable | Maximum cut into grd (m) | 1046mm | Yes |
| Front Setback (Min.) | 6.5m/3.5m | Variable | Maximum depth of fill (m) | 2210mm | Yes |
| Rear Setback (Min.) | 6.0m | Yes | No. of car spaces provided | 2 | Yes |
| Min. side bdy setback (Min.) | 0.9m | Variable | | | |

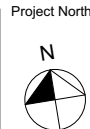


© Copyright
Rapid Plans 2020

Rapid Plans reserves all rights to this drawing, this drawing remains the property of Rapid Plans and may not be copied without written consent, all content including intellectual, remain the property of Rapid Plans, all copies of this drawing will be returned to Rapid Plans upon request.
The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.



Builder to Check and Confirm
all Measurements Prior to
Commencement of any works.
Immediately Report any
Discrepancies to Rapid Plans



Checked
Plot Date:
Project NO.
Project Status

GBJ
23/11/2020
RP0620GAN
DA Rev1

Client
Site:

Sohum Gandhi
38 Mildred Avenue Manly Vale

Sheet Size: A3

DRAWING TITLE :
ELEVATIONS
ELEVATIONS 3

PROJECT NAME :
Alterations & Additions

REVISION NO.
1
DATE
20-11-2020
DRAWING NO.
DA4002

Glazing requirements

Windows and glazed doors

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.

The following requirements must also be satisfied in relation to each window and glazed door:

Each window or glazed door with standard aluminium or timber frames and single clear or tinted glass may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions.

Each window or glazed door with improved frames, or pyrolytic low-e glass, or clear/air gap/clear glazing, or tinted/air gap/clear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted.

For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

For projections described as a ratio, the ratio of the projection from the wall to the height above the window or glazed door sill must be at least that shown in the table below.

Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.

Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.

Windows and glazed doors glazing requirements

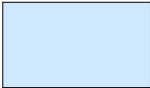
| Window / door no. | Orientation | Area of glass inc. frame (m ²) | Overshadowing Height (m) | Distance (m) | Shading device | Frame and glass type |
|-------------------|-------------|--|--------------------------|--------------|---|--|
| W1 | W | 1.08 | 0 | 0 | eave/verandah/pergola/balcony >=900 mm | standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75) |
| W2 | W | 0.825 | 0 | 0 | projection/height above sill ratio >=0.36 | standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75) |

Glazing requirements

| Window / door no. | Orientation | Area of glass inc. frame (m ²) | Overshadowing Height (m) | Distance (m) | Shading device | Frame and glass type |
|-------------------|-------------|--|--------------------------|--------------|---|--|
| W3 | W | 0.825 | 0 | 0 | projection/height above sill ratio >=0.36 | standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75) |
| W4 | N | 0.825 | 0 | 0 | eave/verandah/pergola/balcony >=900 mm | standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75) |
| W5 | W | 3.24 | 0 | 0 | eave/verandah/pergola/balcony >=900 mm | standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75) |
| W6 | N | 1.08 | 0 | 0 | eave/verandah/pergola/balcony >=900 mm | standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47) |
| W7 | N | 1.44 | 0 | 0 | eave/verandah/pergola/balcony >=900 mm | standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47) |
| W8 | N | 2.1 | 0 | 0 | eave/verandah/pergola/balcony >=900 mm | standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47) |
| W9 | E | 4.2 | 0 | 0 | eave/verandah/pergola/balcony >=900 mm | standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75) |
| W10 | E | 11.52 | 0 | 0 | eave/verandah/pergola/balcony >=900 mm | standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75) |
| W11 | S | 5.4 | 0 | 0 | eave/verandah/pergola/balcony >=900 mm | standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75) |
| W12 | S | 2.7 | 0 | 0 | eave/verandah/pergola/balcony >=900 mm | standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75) |
| W13 | E | 2.7 | 0 | 0 | eave/verandah/pergola/balcony >=900 mm | standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47) |
| W14 | S | 2.7 | 0 | 0 | none | standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75) |
| W15 | S | 1.08 | 0 | 0 | none | standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75) |

Glazing requirements

| Window / door no. | Orientation | Area of glass inc. frame (m ²) | Overshadowing Height (m) | Distance (m) | Shading device | Frame and glass type |
|-------------------|-------------|--|--------------------------|--------------|--|--|
| W16 | W | 3.24 | 0 | 0 | eave/verandah/pergola/balcony >=750 mm | standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75) |
| W17 | W | 5.22 | 0 | 0 | eave/verandah/pergola/balcony >=750 mm | standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75) |
| W18 | N | 1.35 | 0 | 0 | eave/verandah/pergola/balcony >=750 mm | standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75) |
| W19 | W | 3.24 | 0 | 0 | eave/verandah/pergola/balcony >=750 mm | standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75) |
| W20 | N | 1.44 | 0 | 0 | eave/verandah/pergola/balcony >=750 mm | standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75) |
| W21 | N | 1.08 | 0 | 0 | eave/verandah/pergola/balcony >=750 mm | standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75) |
| W22 | N | 0.3 | 0 | 0 | eave/verandah/pergola/balcony >=750 mm | standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75) |
| W23 | E | 0.6 | 0 | 0 | eave/verandah/pergola/balcony >=750 mm | standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47) |
| W24 | E | 1.08 | 0 | 0 | eave/verandah/pergola/balcony >=750 mm | standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47) |
| W25 | E | 8.82 | 0 | 0 | eave/verandah/pergola/balcony >=750 mm | standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47) |
| W26 | S | 3.24 | 0 | 0 | eave/verandah/pergola/balcony >=750 mm | standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75) |
| W27 | S | 0.72 | 0 | 0 | eave/verandah/pergola/balcony >=750 mm | standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75) |
| W28 | E | 1.8 | 0 | 0 | eave/verandah/pergola/balcony >=750 mm | standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47) |



Denotes New Works



Denotes New Concrete Block Wall



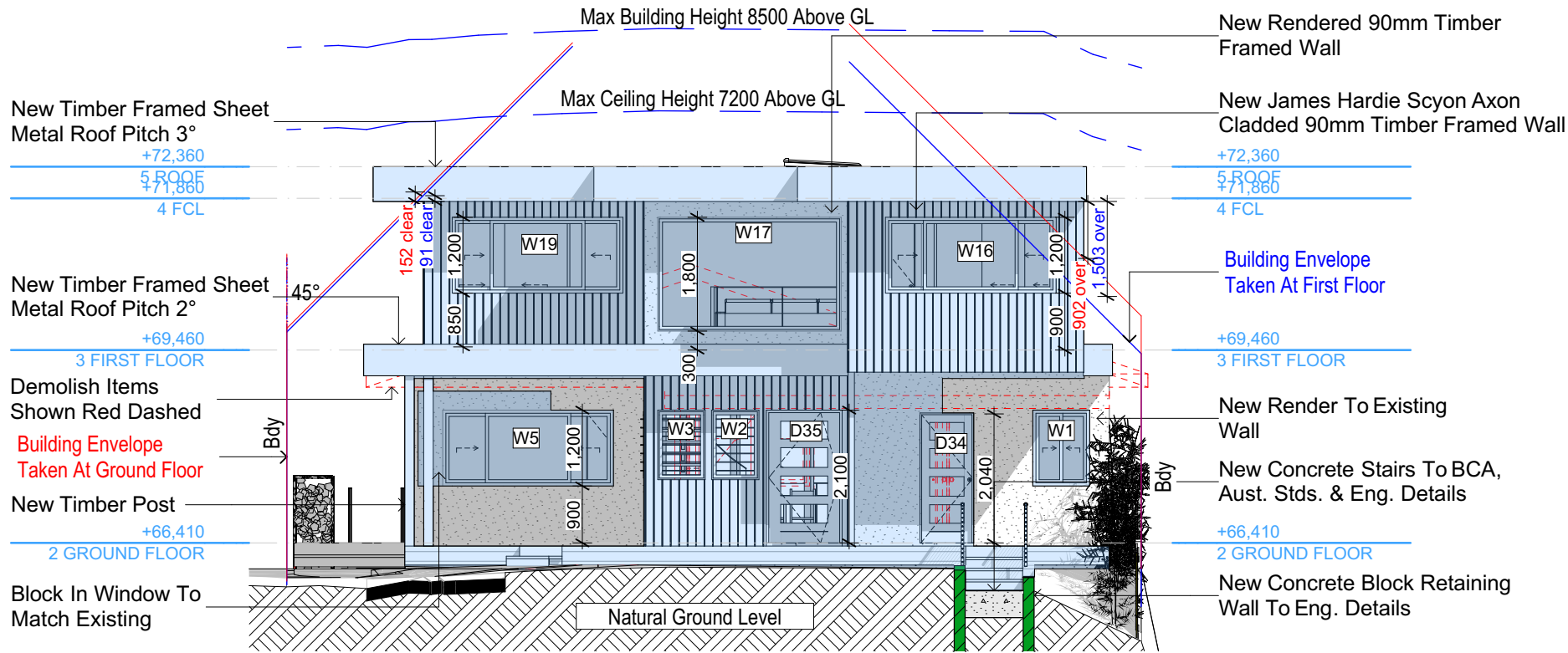
Denotes New Concrete



Denotes Existing Concrete



Denotes Demolished Item



Glazing requirements

| Window / door no. | Orientation | Area of glass inc. frame (m ²) | Overshadowing Height (m) | Distance (m) | Shading device | Frame and glass type |
|-------------------|-------------|--|--------------------------|--------------|---|---|
| W29 | S | 3.24 | 0 | 0 | none | standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75) |
| W30 | S | 1.44 | 0 | 0 | none | standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75) |
| W31 | E | 3.15 | 0 | 0 | projection/height above sill ratio >=0.23 | standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47) |
| W32 | E | 3.15 | 0 | 0 | projection/height above sill ratio >=0.23 | standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47) |
| W33 | E | 3.15 | 0 | 0 | projection/height above sill ratio >=0.23 | standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47) |
| D34 | W | 0.66 | 0 | 0 | eave/verandah/pergola/balcony >=900 mm | standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75) |
| D35 | W | 0.825 | 0 | 0 | eave/verandah/pergola/balcony >=900 mm | improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46) |

Skylights

The applicant must install the skylights in accordance with the specifications listed in the table below.

The following requirements must also be satisfied in relation to each skylight:

Each skylight may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below.

External awnings and louvers must fully shade the skylight above which they are situated when fully drawn or closed.

Skylights glazing requirements

Glazing requirements

| Skylight number | Area of glazing inc. frame (m ²) | Shading device | Frame and glass type |
|-----------------|--|--------------------------------|--|
| S1 | 0.96 | no shading | aluminium, moulded plastic single clear, (or U-value: 6.21, SHGC: 0.808) |
| S2 | 0.96 | external fixed awning or blind | aluminium, moulded plastic single clear, (or U-value: 6.21, SHGC: 0.808) |

DA APPLICATION ONLY
NOT FOR CONSTRUCTION

NOTES

38 Mildred Avenue Manly Vale is zoned R2 Low Density Res.

All Plans to be read in conjunction with Basix Certificate

New Works to be constructed shown in Shaded/Blue

38 Mildred Avenue Manly Vale is not considered a heritage item

Certifying

The DA Application Only plans are for DA Application purposes only. These plans are

not to be used for the construction certificate application by any Certifying Authority

without the written permission of Rapid Plans or the supply of authorised Construction

Certificate drawings by Rapid Plans

Construction

Framed, Framed Walls

Roof Framed to have R1.82 Insulation

Insulation to External Framed Walls R1.70

All work to Engineers Specification and BCA

Timber framing to BCA and AS 1684

Termite Management to BCA and AS 3660.1

Glazing to BCA and AS01288-2047

Waterproofing to BCA and AS 3740

New Lighting to have minimum of 40% compact fluorescent lamps

Basix

Basix Certificate Number A389601

All Plans to be read in conjunction with Basix Certificate

The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:

a) additional insulation is not required where the area of new construction is less than 2m²

b) insulation specified is not required for parts of altered construction where insulation already exists.

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing

specifications must be satisfied for each window and glazed door.

For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window

or glazed door and no more than 2400 mm above the sill.

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.



Rapid Plans
www.rapidplans.com.au
PO Box 6193 Frenchs Forest
NSW 1585
Fax: (02) 9905-8865
Mobile: 0414-945-024
Email: greg@rapidplans.com.au

© Copyright
Rapid Plans 2020

Rapid Plans reserves all rights to this drawing, this drawing remains the property of Rapid Plans and may not be copied without written consent, all content including intellectual, remain the property of Rapid Plans upon request. The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes unless issued by the Designer for construction.



Builder to Check and Confirm
all Measurements Prior to
Commencement of any works.
Immediately Report any
Discrepancies to Rapid Plans

Project North



Checked
Plot Date:
Project NO.
Project Status

GBJ
23/11/2020
RP0620GAN
DA Rev1

Client
Site:

Sohum Gandhi
38 Mildred Avenue Manly Vale

Sheet Size: A3

DRAWING TITLE :

ELEVATIONS
ELEVATIONS 4

PROJECT NAME :

Alterations & Additions

REVISION NO.

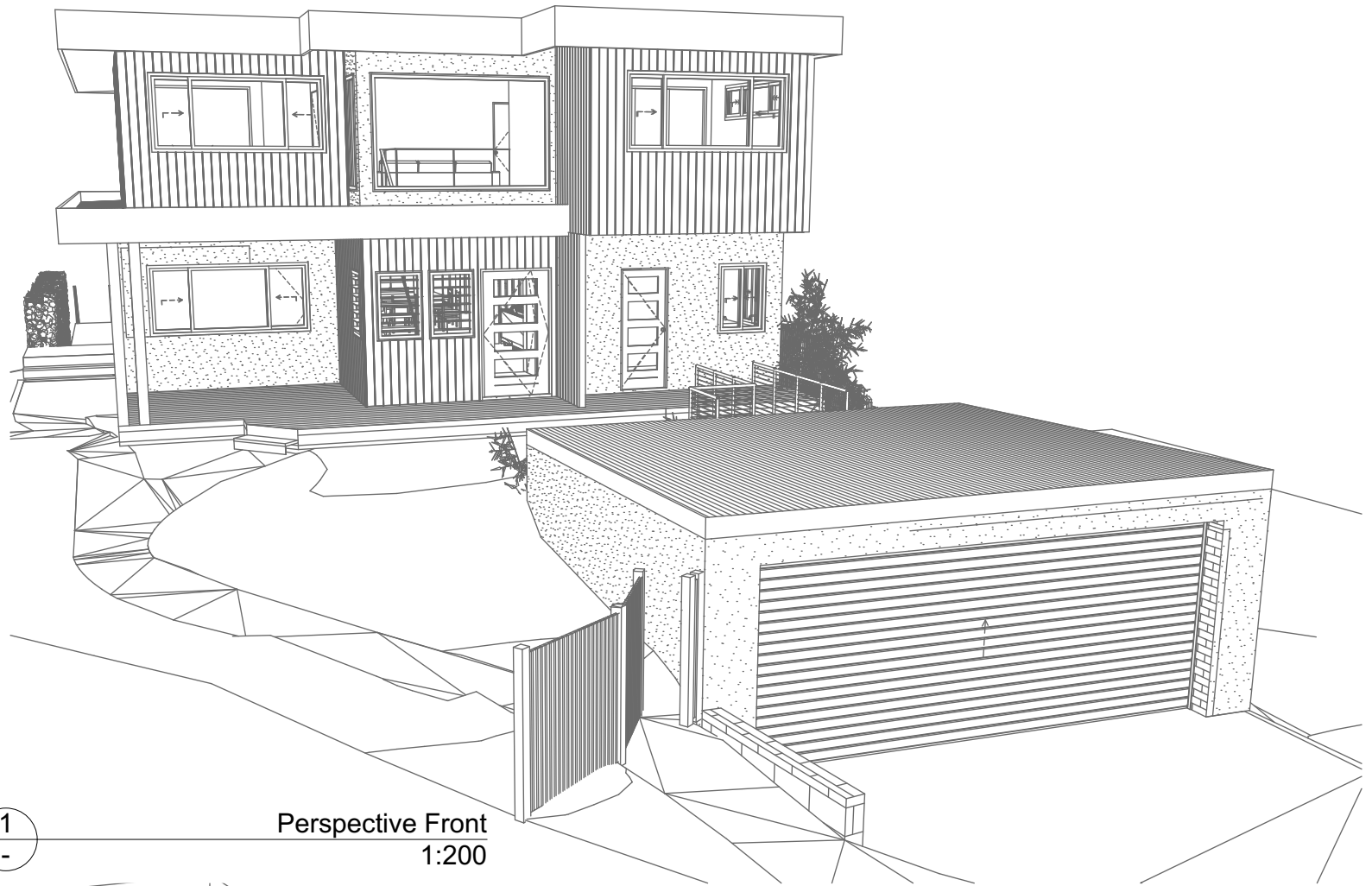
1

DATE:

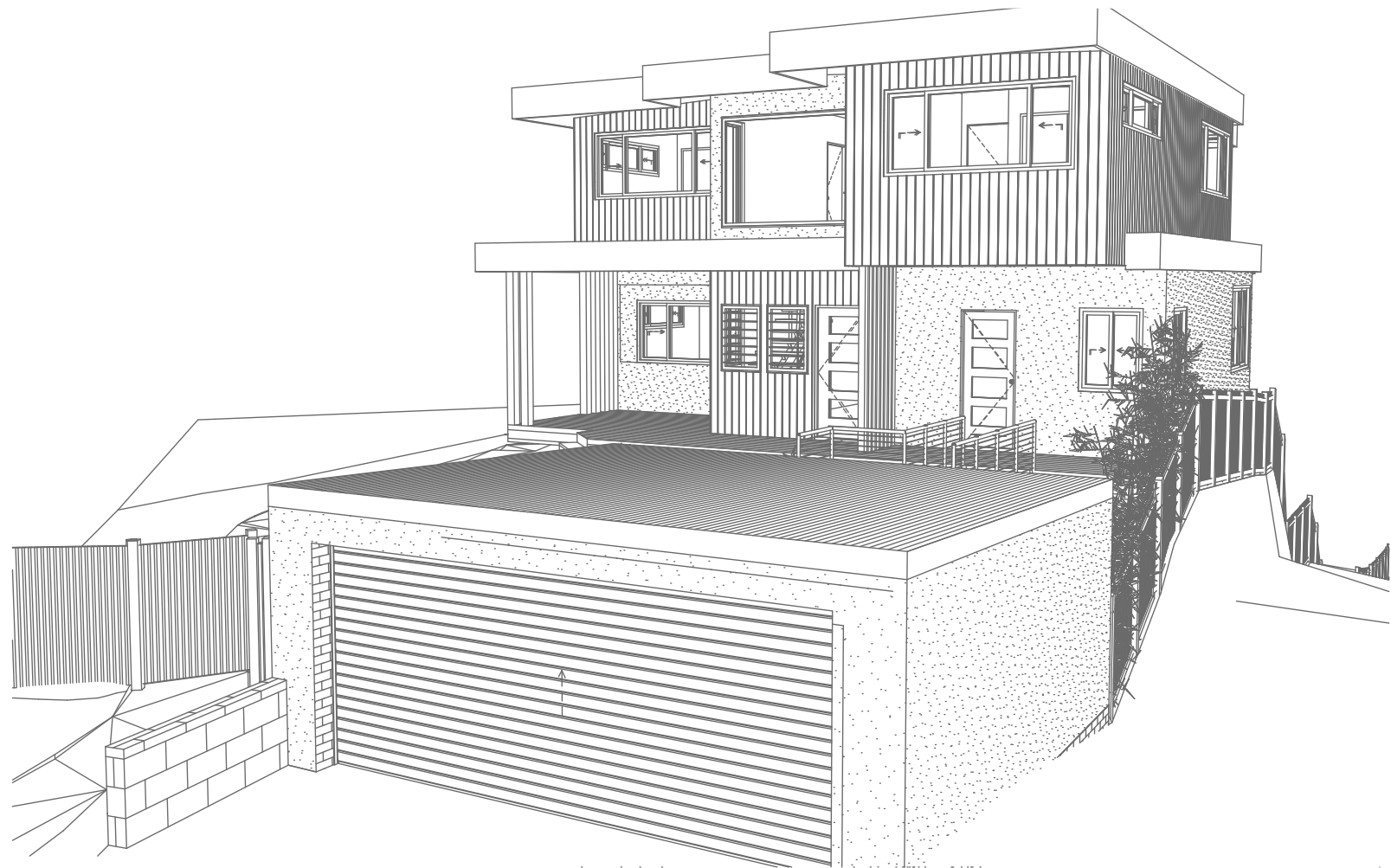
20-11-2020

DRAWING NO.

DA4003



1
-
Perspective Front
1:200



2
-
Perspective Front 2
1:200

These plans are for DA Application purposes only. These plans are not to be used for construction certificate application without the written permission of Rapid Plans

DA APPLICATION ONLY
NOT FOR CONSTRUCTION



© Copyright Rapid Plans 2020



Rapid Plans reserves all rights to this drawing. This drawing remains the property of Rapid Plans and may not be copied without written consent. All content including intellectual, remain the property of Rapid Plans. All copies of this drawing will be returned to Rapid Plans upon request.

The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

NOTES
38 Mildred Avenue Manly Vale is zoned R2 Low Density Res.

38 Mildred Avenue Manly Vale is not considered a heritage item. All Plans to be read in conjunction with Basic Certificate New Works to be constructed shown in Shaded/Blue.

Construction
Framed: Framed Walls
Roof Framed to have R1.82 Insulation
Insulation to External Framed Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS10195-2007
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Certifying
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans.

Basic
Basic Certificate Number A389601
All Plans to be read in conjunction with Basic Certificate

The applicant must construct the new or altered construction (floor (s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.

For projections described in millimetres, the leading edge of each space, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

| Site Information | Prop. | Comp. |
|--|---------------------|----------|
| Site Area | 751.5m ² | Yes |
| Housing Density (dwelling/m ²) | 1 | Yes |
| Max Ceiling Ht Above Nat. GL | 7.2m | Variable |
| Max Bldg Ht Above Nat. GL | 8.5m | Variable |
| Front Setback (Min.) | 6.5m/3.5m | Variable |
| Rear Setback (Min.) | 6.0m | Yes |
| Min. side bdy setback (Min.) | 0.9m | Variable |
| Building envelope | 4m@ 45Deg | Variable |
| % of landscape open space (40% min) | 46% | Yes |
| Impervious area (m ²) | 54% | Yes |
| Maximum cut into gnd (m) | 1046mm | Yes |
| Maximum depth of fill (m) | 2210mm | Yes |
| No. of car spaces provided | 2 | Yes |

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans



Drawn | Checked GBJ
Plot Date: 23/11/2020
Project NO.: RPOB20CAN
Project Status DA Rev1

Client: Sohum Gandhi

Site: 38 Mildred Avenue Manly Vale

DRAWING TITLE: SHADOW PLANS

PERSPECTIVE FRONT

PROJECT NAME:

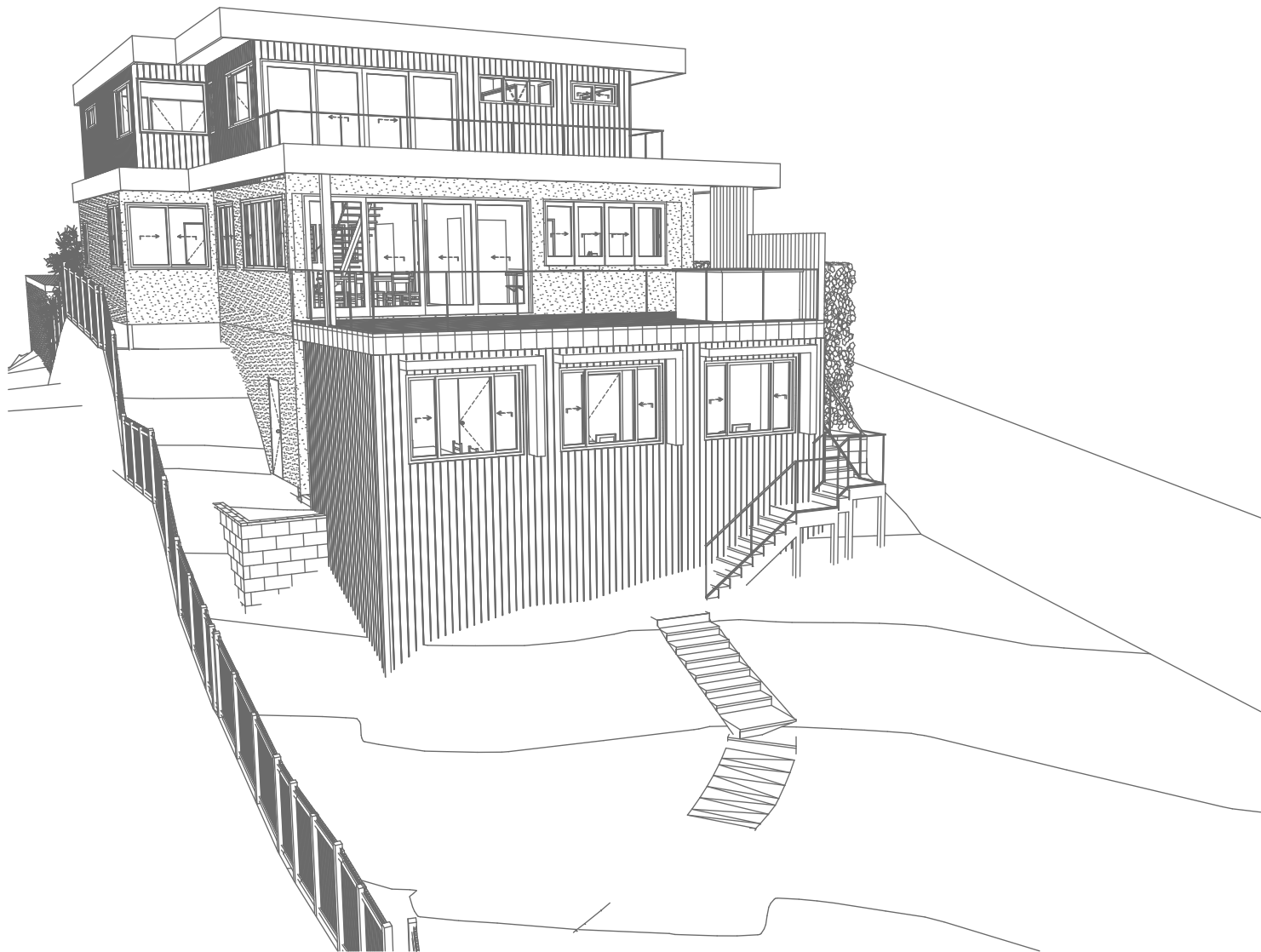
Alterations & Additions

REVISION NO. DATE

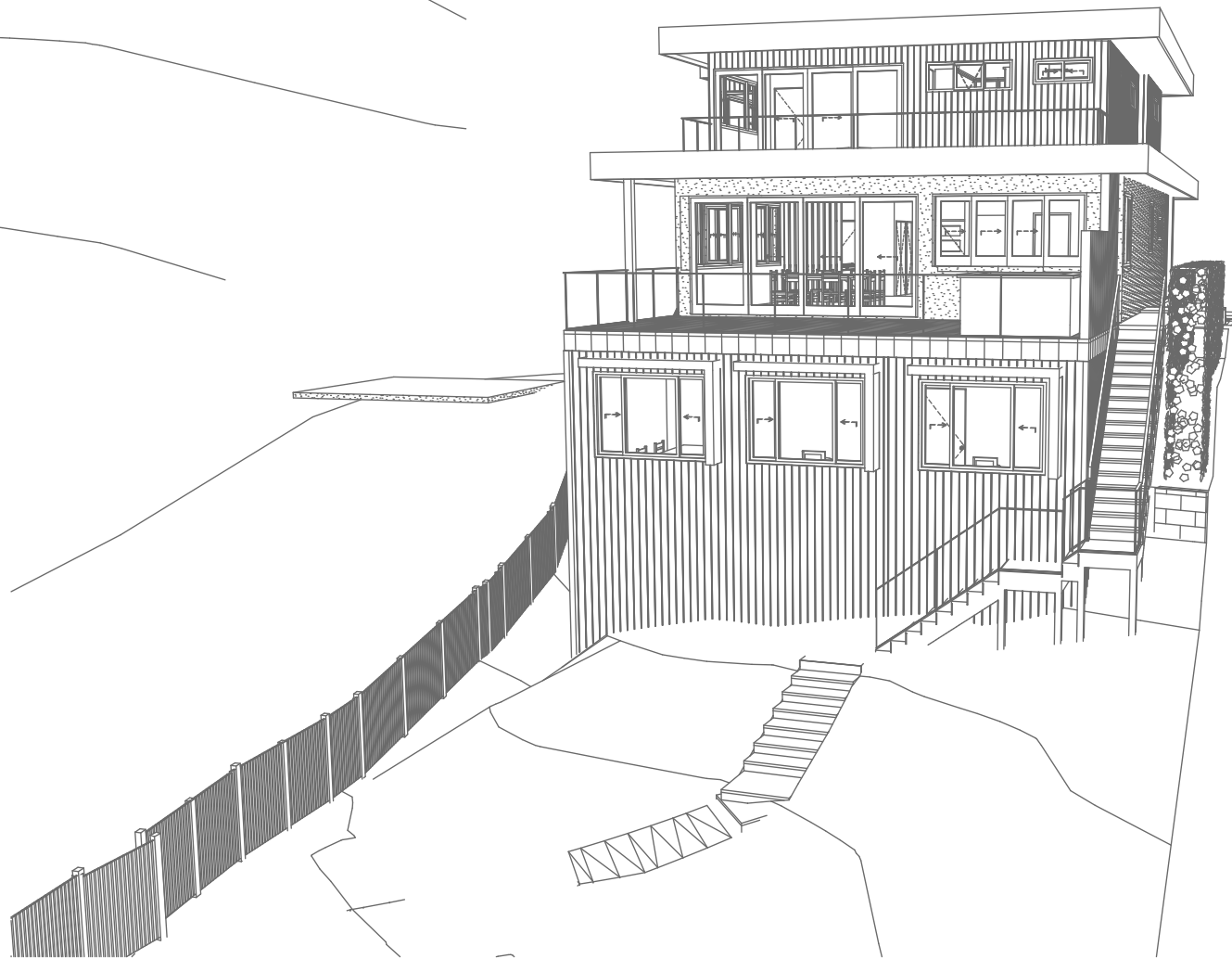
1 20-11-2020

DRAWING NO. DA5000

Plot Date: 23/11/2020
Sheet Size: A3



3
-
Perspective Rear
1:200



4
-
Perspective Rear 2
1:200

These plans are for DA Application purposes only. These plans are not to be used for construction certificate application without the written permission of Rapid Plans

**DA APPLICATION
ONLY
NOT FOR CONSTRUCTION**



Rapid Plans
Building Design and Architectural Drafting

Website: www.rapidplans.com.au
PO Box 6239 Fitzroy Creek QLD 4072
Ph: (07) 5500-8845 Mob: 0414-546-024
Email: info@rapidplans.com.au

© Copyright Rapid Plans 2020


BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA


ACCREDITED
BUILDING DESIGNER

Rapid Plans reserves all rights to this drawing. This drawing remains the property of Rapid Plans and may not be copied without written consent. All content including intellectual, remain the property of Rapid Plans. All copies of this drawing will be returned to Rapid Plans upon request.

The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

NOTES
38 Mildred Avenue Manly Vale is zoned R2 Low Density Res.
38 Mildred Avenue Manly Vale is not considered a heritage item
All Plans to be read in conjunction with Basic Certificate
New Works to be constructed shown in Shaded/Blue

Construction
Framed: Framed Walls
Roof Framed to have R1.82 Insulation
Insulation to External Framed Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS1288-2017
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Certifying
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Basic
Basic Certificate Number A389601
All Plans to be read in conjunction with Basic Certificate
The applicant must construct the new or altered construction (floor (s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each space, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

| Site Information | Prop. | Comp. |
|--|---------------------|----------|
| Site Area | 751.5m ² | Yes |
| Housing Density (dwelling/m ²) | 1 | Yes |
| Max Ceiling Ht Above Nat. GL | 7.2m | Variable |
| Max Bldg Ht Above Nat. GL | 8.5m | Variable |
| Front Setback (Min.) | 6.5m/3.5m | Variable |
| Rear Setback (Min.) | 6.0m | Yes |
| Min. side bdy setback (Min.) | 0.9m | Variable |
| Building envelope | 4m@ 45Deg | Variable |
| % of landscape open space (40% min) | 46% | Yes |
| Impervious area (m ²) | 54% | Yes |
| Maximum cut into gnd (m) | 1046mm | Yes |
| Maximum depth of fill (m) | 2210mm | Yes |
| No. of car spaces provided | 2 | Yes |

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North


Drawn | Checked GBJ
Plot Date: 23/11/2020
Project NO.: RP0820CAN
Project Status DA Rev1

Client: Sohum Gandhi

Site: 38 Mildred Avenue Manly Vale

DRAWING TITLE: SHADOW PLANS
PERSPECTIVE REAR

PROJECT NAME: Alterations & Additions

| REVISION NO. | DATE |
|--------------|------------|
| 1 | 20-11-2020 |

DRAWING NO.: DA5001

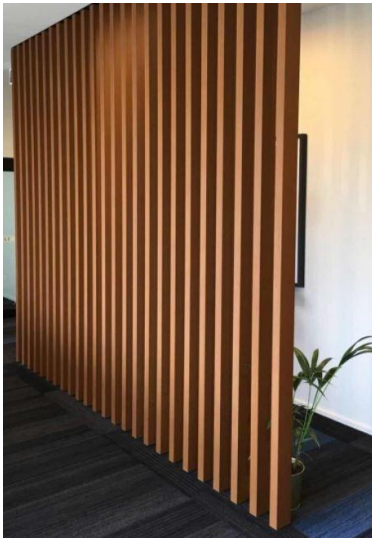
Plot Date: 23/11/2020
Sheet Size: A3



Denotes Timber Deck (Typical).
Builder To Confirm Type & Colour



Denotes Tiled Deck (Typical).
Builder To Confirm Type & Colour



Denotes Decorative Timber Post (Typical).
Builder To Confirm Type & Colour



Denotes Sheet Metal Roof (Typical).
Builder To Confirm Type & Colour



Denotes Skylight (Typical). Builder
To Confirm Type & Colour



Denotes Rendered Wall (Typical).
Builder To Confirm Type & Colour



Denotes James Hardie Scyon Axon
Cladding (Typical). Builder To
Confirm Type & Colour

These plans are for DA Application purposes only. These plans are not to be used for construction certificate application without the written permission of Rapid Plans

**DA APPLICATION
ONLY
NOT FOR CONSTRUCTION**



© Copyright Rapid Plans 2020



bd
BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA



bd
ACCREDITED
BUILDING DESIGNER

Rapid Plans reserves all rights to this drawing. This drawing remains the property of Rapid Plans and may not be copied without written consent. All content including intellectual, remain the property of Rapid Plans. All copies of this drawing will be returned to Rapid Plans upon request.

The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

NOTES
38 Mildred Avenue Manly Vale is zoned R2 Low Density Res.
All Plans to be read in conjunction with Basic Certificate
New Works to be constructed shown in Shaded/Blue

Construction
Framed, Framed Walls
Roof Framed to have R1.82 Insulation
Insulation to External Framed Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1554
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS10798-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Certifying
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Basic
Basic Certificate Number A389601
All Plans to be read in conjunction with Basic Certificate
The applicant must construct the new or altered construction (floor (s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, gopola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

| Site Information | Prop. | Comp. |
|--|---------------------|----------|
| Site Area | 751.5m ² | Yes |
| Housing Density (dwelling/m ²) | 1 | Yes |
| Max Ceiling Ht Above Nat. GL | 7.2m | Variable |
| Max Bldg Ht Above Nat. GL | 8.5m | Variable |
| Front Setback (Min.) | 6.5m/3.5m | Variable |
| Rear Setback (Min.) | 6.0m | Yes |
| Min. side bdy setback (Min.) | 0.9m | Variable |
| Building envelope | 4m@ 45Deg | Variable |
| % of landscape open space (40% min) | 46% | Yes |
| Impervious area (m ²) | 54% | Yes |
| Maximum cut into gnd (m) | 1046mm | Yes |
| Maximum depth of fill (m) | 2210mm | Yes |
| No. of car spaces provided | 2 | Yes |

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North



Drawn | Checked GBJ
Plot Date: 23/11/2020
Project NO.: RPO2020CAN
Project Status DA Rev1

Client Sohum Gandhi

Site: 38 Mildred Avenue Manly Vale

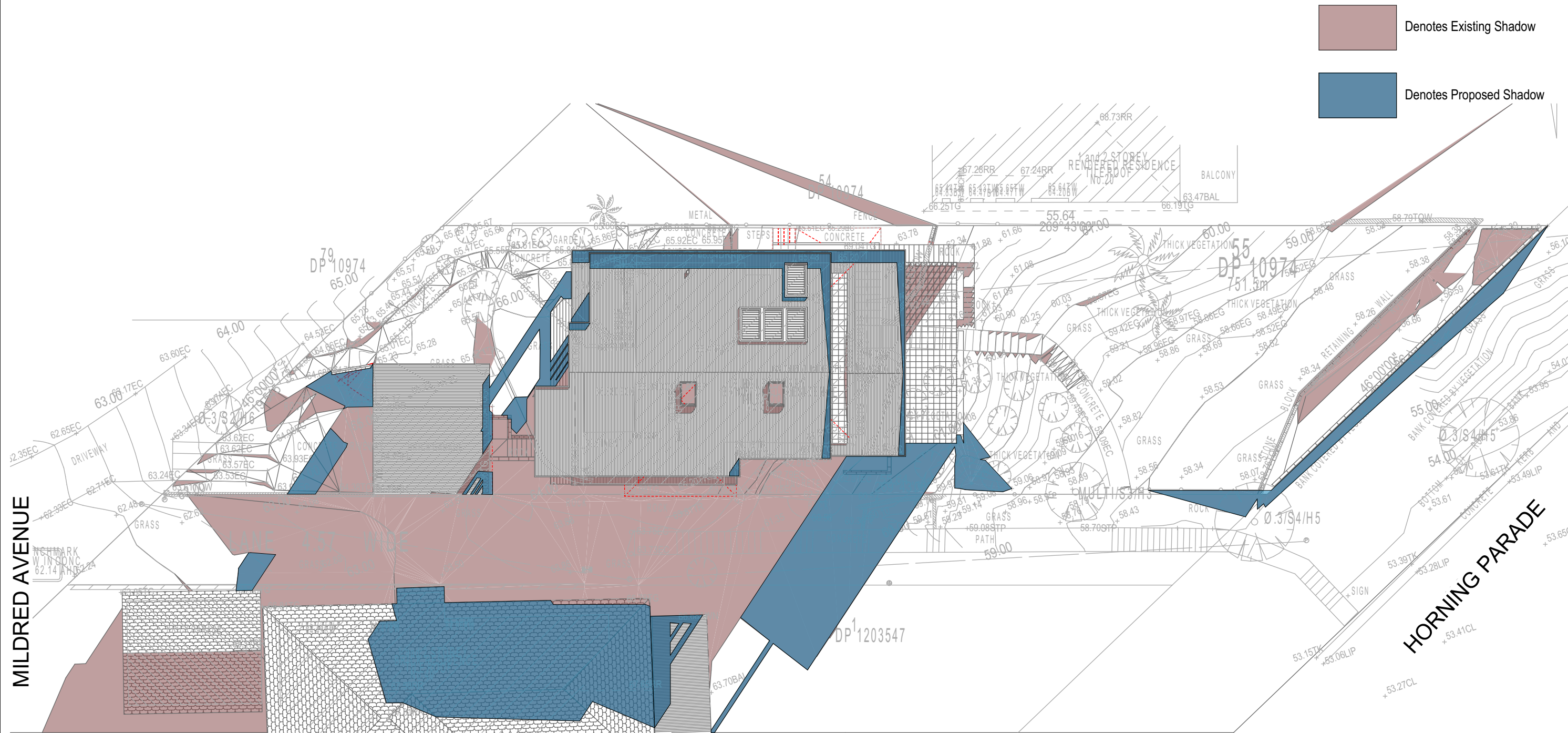
DRAWING TITLE **SHADOW PLANS**
MATERIAL & COLOUR
SAMPLE BOARD

PROJECT NAME:
Alterations & Additions

| REVISION NO. | DATE |
|--------------|------------|
| 1 | 20-11-2020 |

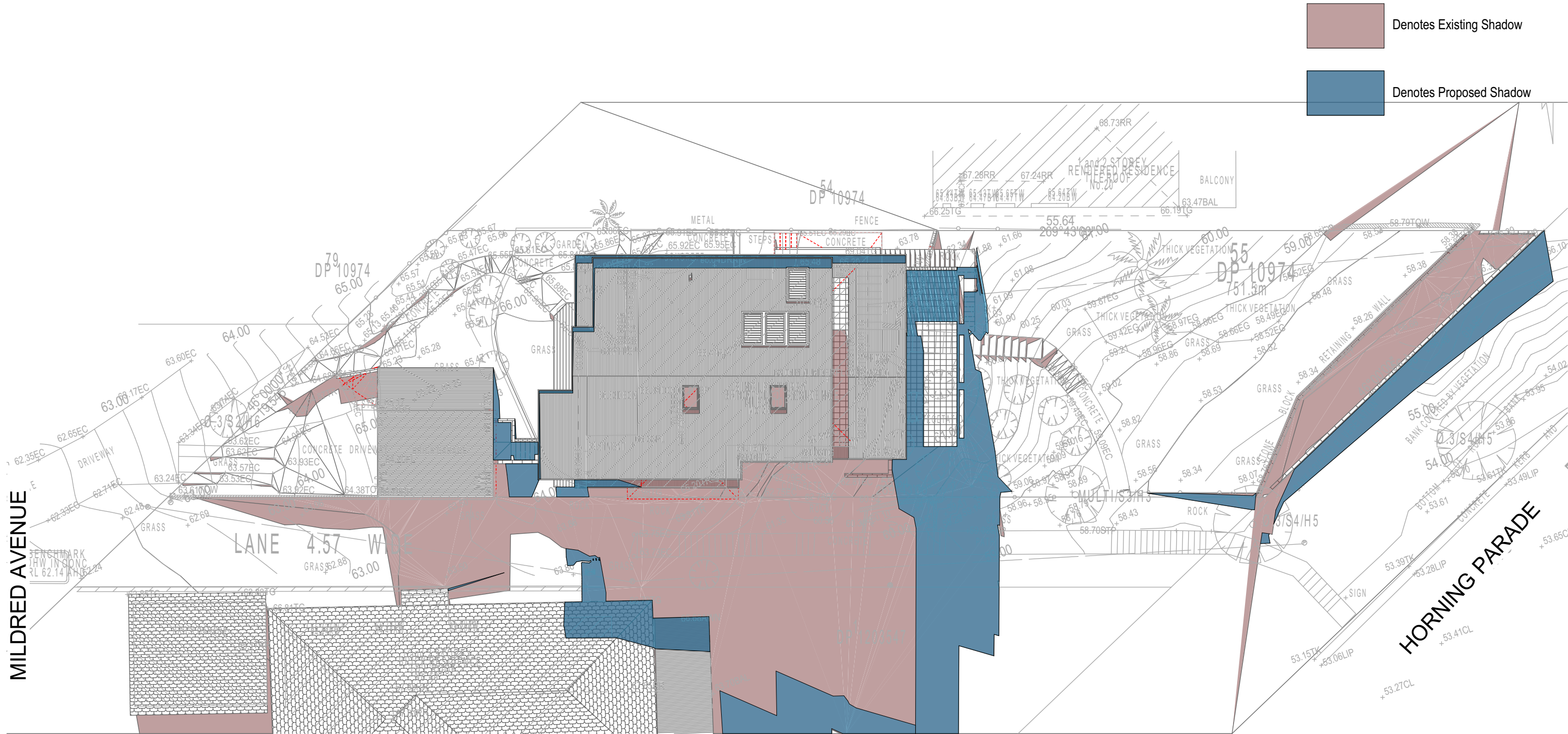
DRAWING NO.
DA5002

Plot Date: 23/11/2020
Sheet Size: A3



**DA APPLICATION
ONLY
NOT FOR CONSTRUCTION**

01 SHADOW PLAN 21 JUN at 0900h
1:200



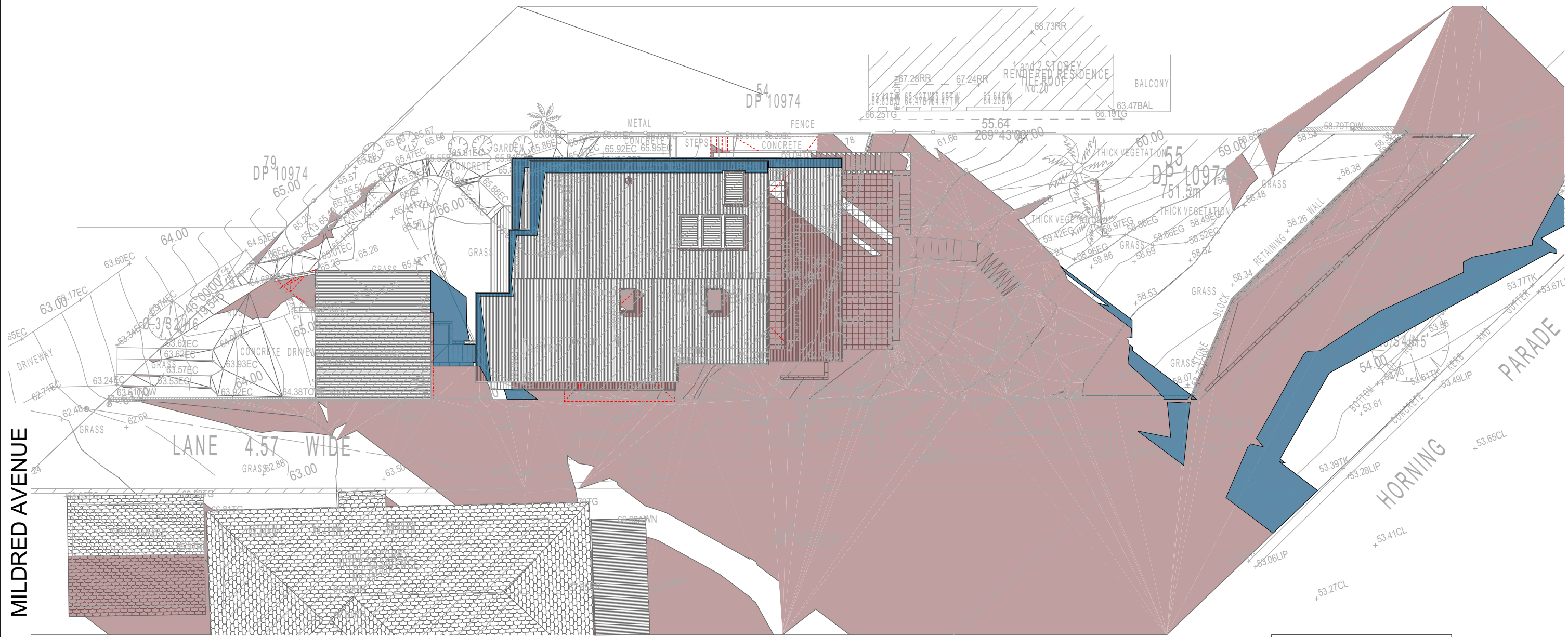
02

SHADOW PLAN 21 JUN at 1200h
1:200

**DA APPLICATION
ONLY**
NOT FOR CONSTRUCTION

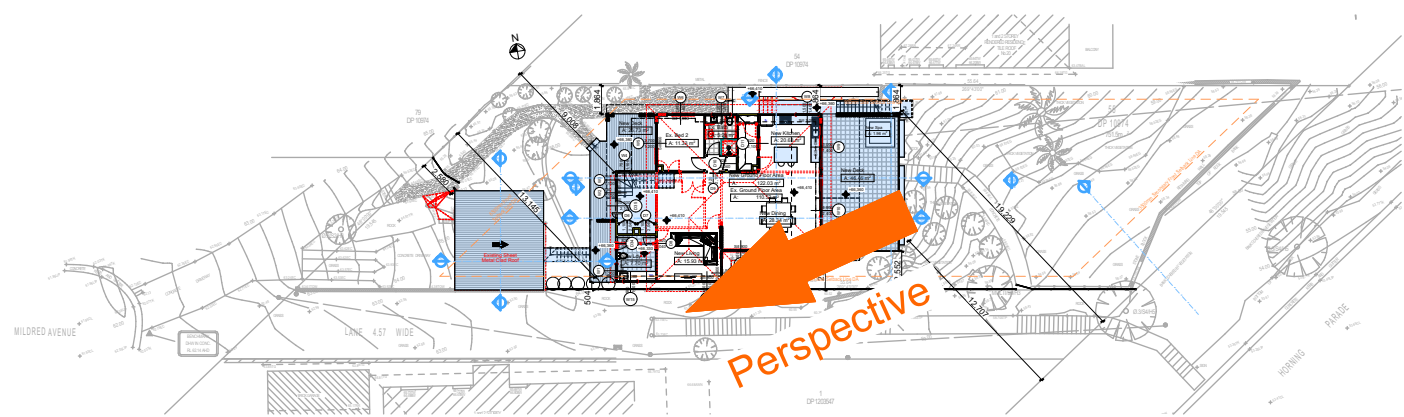
Denotes Existing Shadow

Denotes Proposed Shadow



**DA APPLICATION
ONLY
NOT FOR CONSTRUCTION**

03 SHADOW PLAN 21 JUN at 1500h
1:200



2

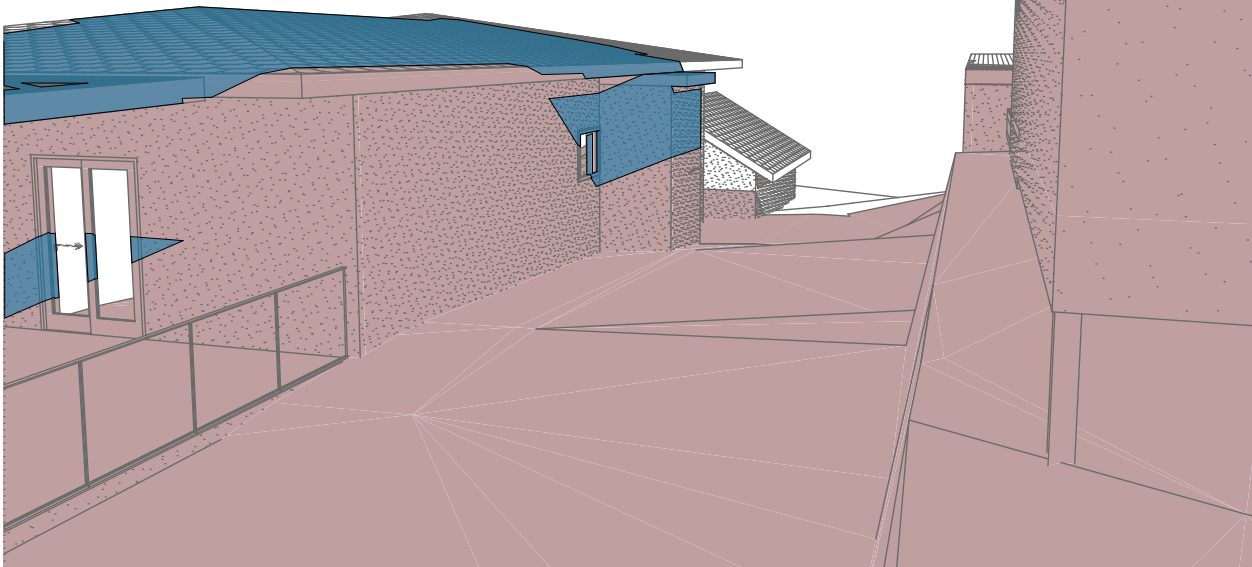
SITE PLAN
1:500



Denotes Existing Shadow

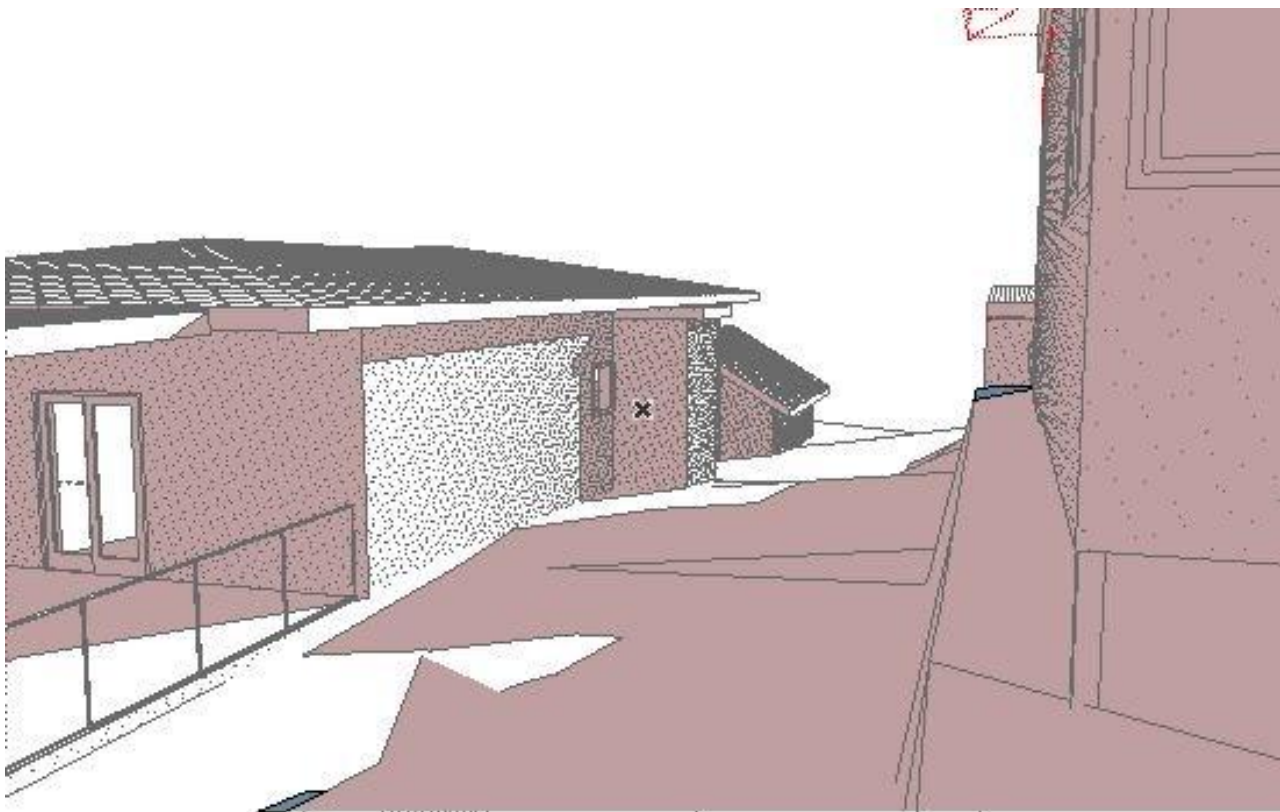


Denotes Proposed Shadow



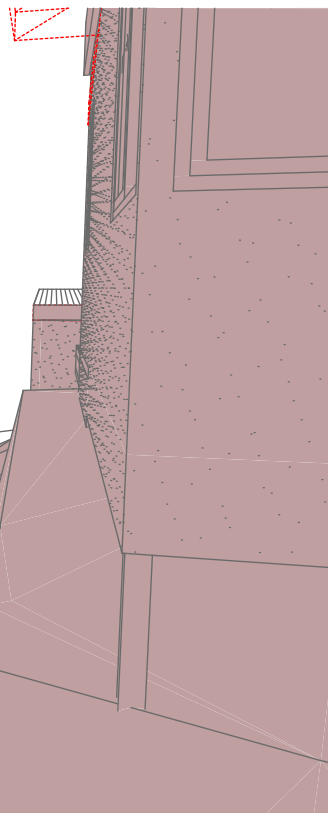
1
-

WALL ELEVATION 21 JUN at 0900h
1:298.26



2
-

WALL ELEVATION 21 JUN at 1200h
1:291.21



**DA APPLICATION
ONLY
NOT FOR CONSTRUCTION**

World of Plans
PO Box 6239 Fitzroy Street, DO NSW 2086
Ph: (02) 9555-8845, M:021-0414-545-024
Email: info@rapidplans.com.au

© Copyright Rapid Plans 2020

**BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA**

**ACCREDITED
BUILDING DESIGNER**

Rapid Plans reserves all rights to this drawing. This drawing remains the property of Rapid Plans and may not be copied without written consent. All content including intellectual, remain the property of Rapid Plans. All copies of this drawing will be returned to Rapid Plans upon request.

The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

NOTES
38 Mildred Avenue Manly Vale is zoned R2 Low Density Res.
All Plans to be read in conjunction with Basic Certificate
New Works to be constructed shown in Shaded/Blue
Construction
Framed: Framed Walls
Roof Framed to have R1.82 Insulation
Insulation to External Framed Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS10798-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Shading
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Basic
Basic Certificate Number A389601
All Plans to be read in conjunction with Basic Certificate
The applicant must construct the new or altered construction (floor slabs, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each space, gopple, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

| Site Information | Prop. | Comp. |
|--|---------------------|----------|
| Site Area | 751.5m ² | Yes |
| Housing Density (dwelling/m ²) | 1 | Yes |
| Max Ceiling Ht Above Nat. GL | 7.2m | Variable |
| Max Bldg Ht Above Nat. GL | 8.5m | Variable |
| Front Setback (Min.) | 6.5m/3.5m | Variable |
| Rear Setback (Min.) | 6.0m | Yes |
| Min. side bdy setback (Min.) | 0.9m | Variable |
| Building envelope | 4m@45Deg | Variable |
| % of landscape open space (40% min) | 46% | Yes |
| Impervious area (m ²) | 54% | Yes |
| Maximum cut into gnd (m) | 1046mm | Yes |
| Maximum depth of fill (m) | 2210mm | Yes |
| No. of car spaces provided | 2 | Yes |

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

Drawn | Checked GBJ
Plot Date: 23/11/2020
Project NO.: RPOB2020CAN
Project Status DA Rev1

Client: Sohum Gandhi

Site: 38 Mildred Avenue Manly Vale

DRAWING TITLE: SHADOW PLANS
WALL ELEVATION SHADOWS

PROJECT NAME: **Alterations & Additions**

| | |
|--------------|------------|
| REVISION NO. | DATE |
| 1 | 20-11-2020 |

DRAWING NO.: **DA5006**

Plot Date: 23/11/2020
Sheet Size: A3