

SITE RATIOS - PROPOSED:	
SITE AREA	809.40m <sup>2</sup>
BUILDING FOOTPRINT	218.50m <sup>2</sup>
CARPORT	20.22m <sup>2</sup>
PAVED AREAS AND DRIVEWAY	91.56m <sup>2</sup>
POOL SURROUNDS	27.94m <sup>2</sup>
PORCH/PORTICO/DECKS	64.61m <sup>2</sup>
AREAS UNDER 2m WIDE	48.95m <sup>2</sup>
SUM TOTAL	471.78m <sup>2</sup>
EXISTING LANDSCAPED AREA	337.62m <sup>2</sup>
	41.7%

# 1 SITE PLAN 1:200 & SITE ANALYSIS / ENVIRONMENTAL SITE MANAGEMENT

## NOTES

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## BUSHFIRE REQUIREMENTS

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BAL-29 construction of buildings in bush fire prone areas

## BASIX INFORMATION REQUIREMENTS:

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### WATER COMMITMENTS:

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### INSULATION REQUIREMENTS:

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Internal walls: Internal walls shared with garage shall be plasterboard lined (R0.36)

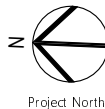
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## Client

MR. & MRS. DAKING

Project Name

PROPOSED ALTERATIONS + ADDITIONS

17 CALOOL CRESCENT

LOT 2, DP 246218

BELROSE NSW 2085



ABN 22 630 690 834  
BUILDING 6, 49 FRENCH'S FOREST ROAD EAST, FRENCH'S FOREST  
P.H. 0410 410 064 EMAIL: juke@jahdesigns.com.au

## Drawing Title:

## SITE PLAN

### Scale:

1:200 @ A3

### Date:

DECEMBER 2020

### Status:

DA submission

### Checked By:

JAH

### Project No:

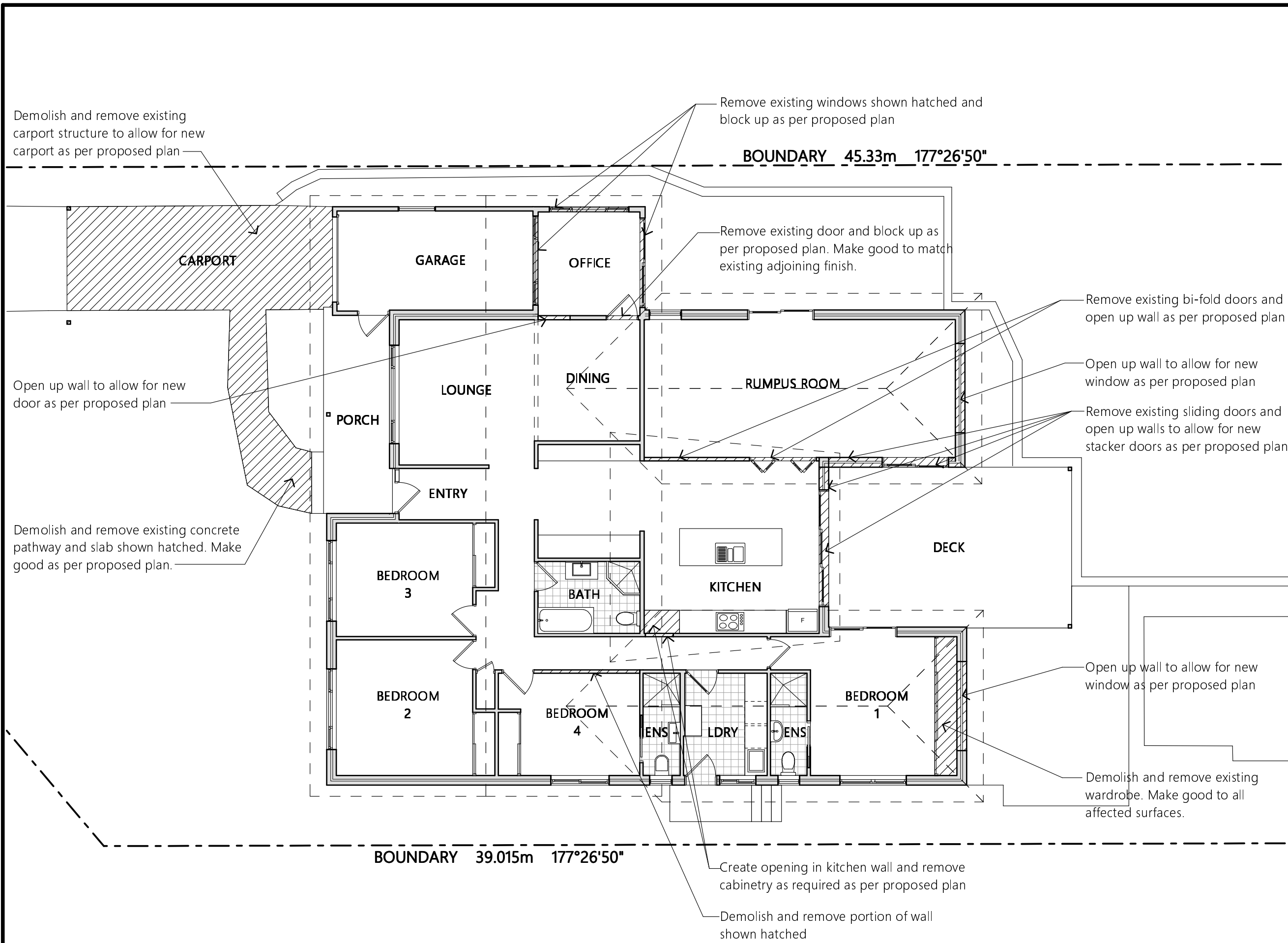
2025

### Drawing No.:

DA01

### Plot Date:

21/12/2020



1 EXISTING FLOOR PLAN 1:100

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Project North

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**BELROSE NSW 2085**

**JAH**  
DESIGN SERVICES

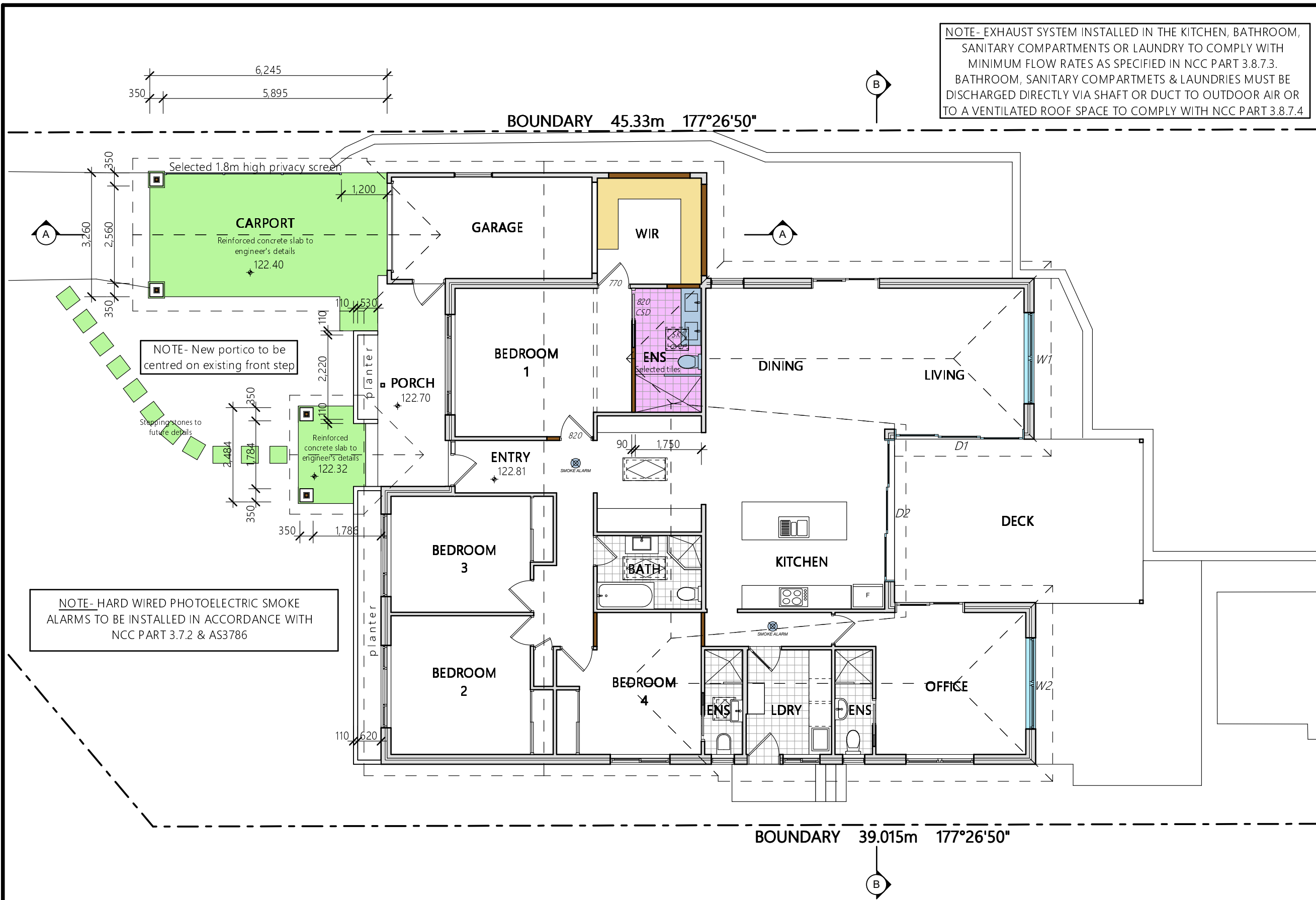
ABN 22 630 690 834  
BUILDING 6, 49 FRENCHS FOREST ROAD EAST, FRENCHS FOREST  
P.H. 0410 410 064 EMAIL: julie@jahdesigns.com.au

Drawing Title:

**EXISTING FLOOR PLAN**

Scale: 1:100 @ A3	Date: DECEMBER 2020
Status: DA submission	Checked By: JAH
Project No: 2025	Drawing No.: DA02

Plot Date: 21/12/2020



1 PROPOSED FLOOR PLAN 1:100

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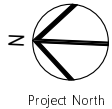
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P.H. 0410 410 064 EMAIL: juke@jahdesigns.com.au

Drawing Title:

PROPOSED FLOOR PLAN

Scale:

1:100 @ A3

Date:

DECEMBER 2020

Status:

DA submission

Checked By:

JAH

Project No.:

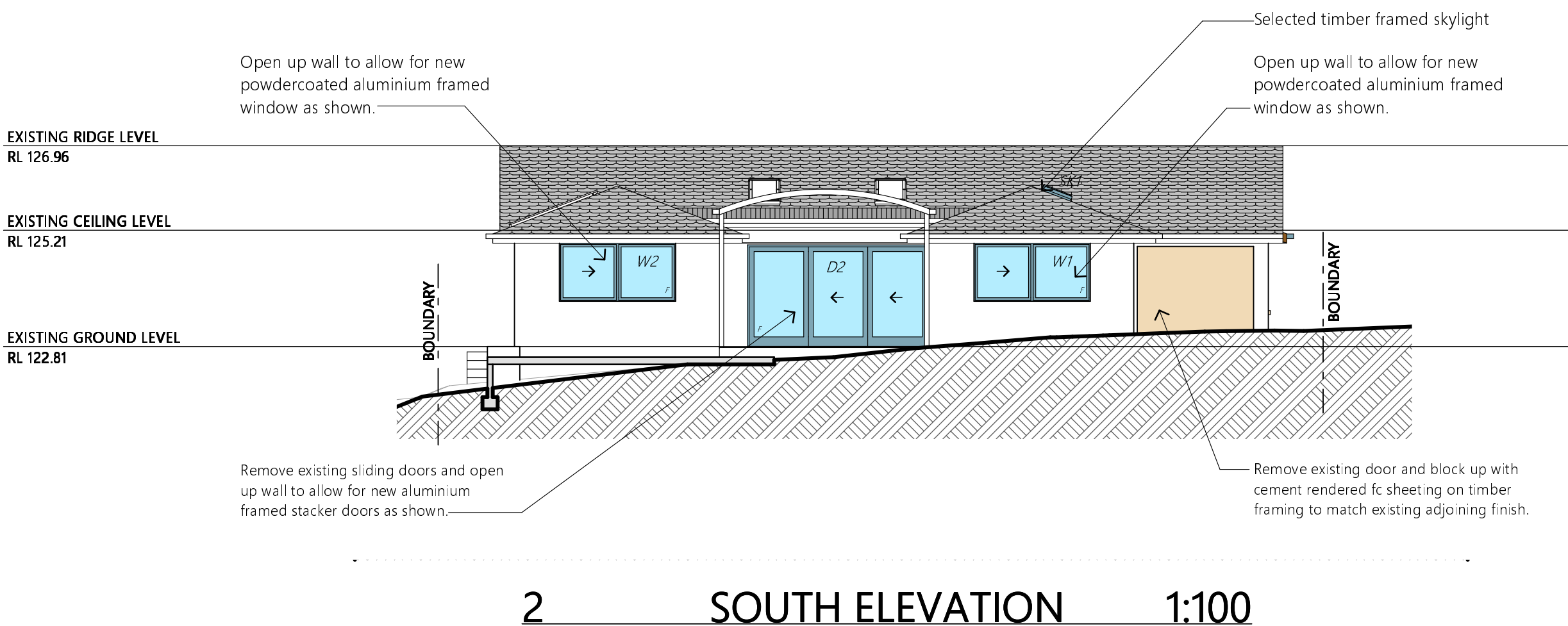
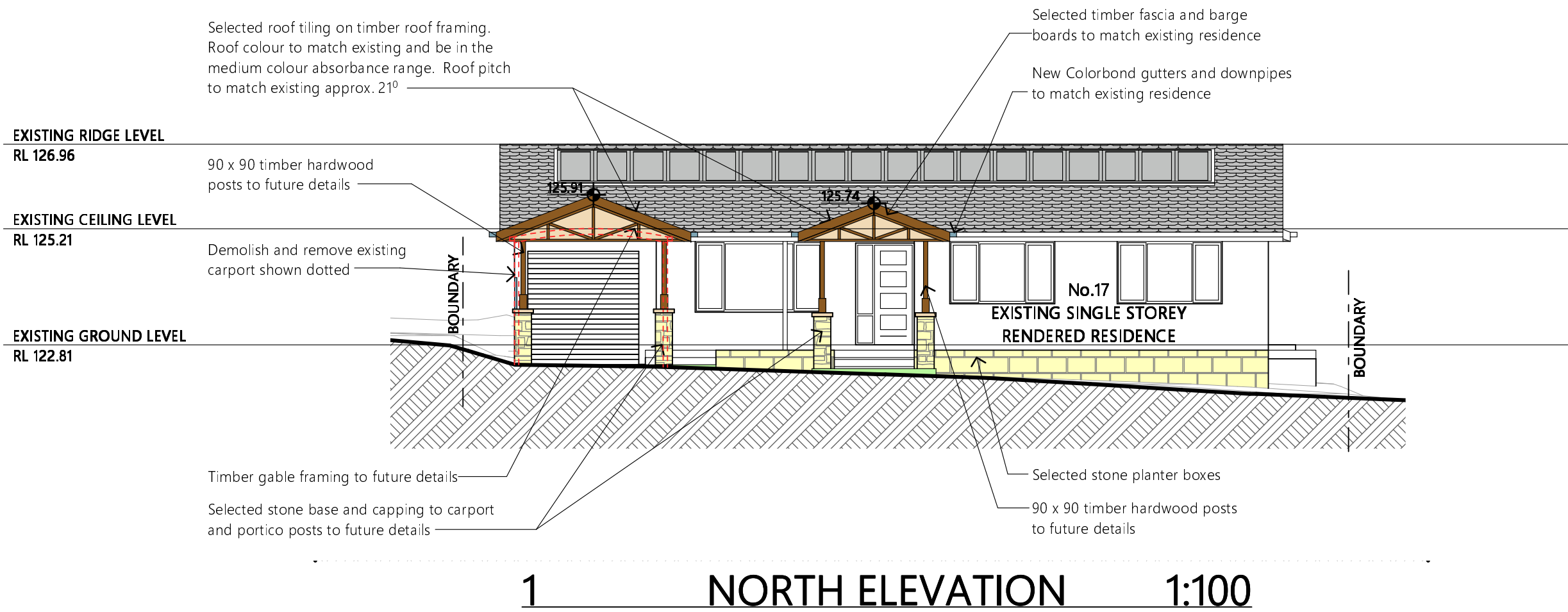
2025

Drawing No.:

DA03

Plot Date:

21/12/2020



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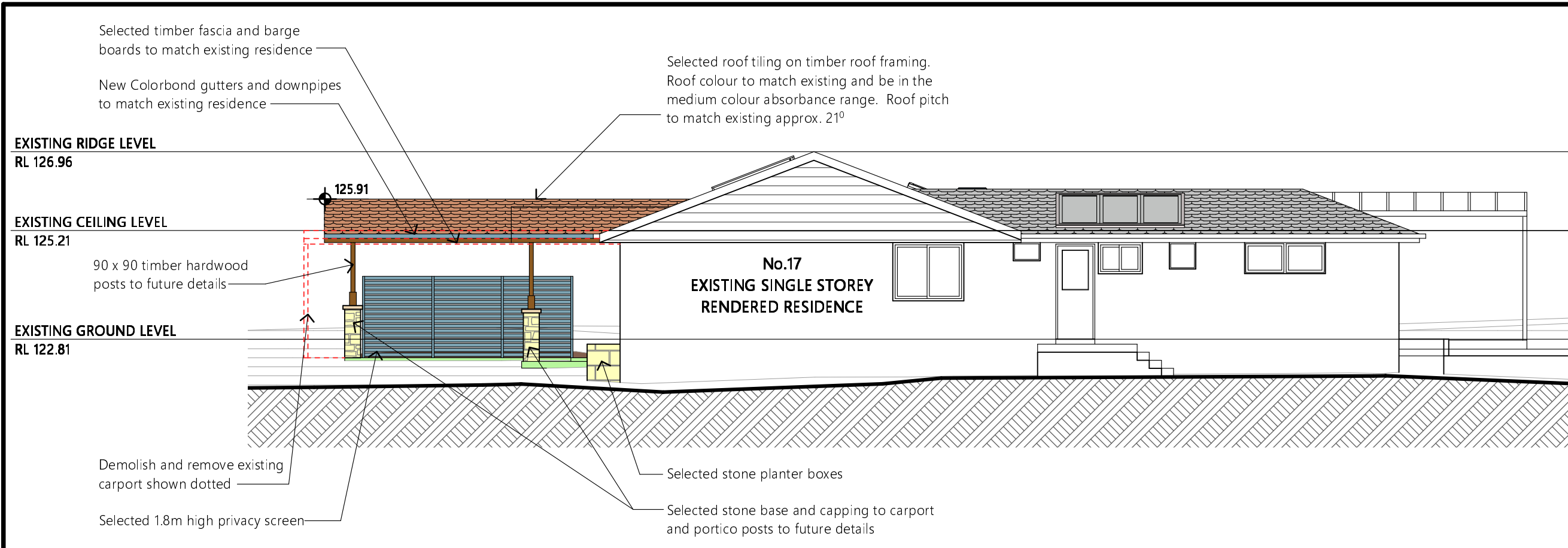
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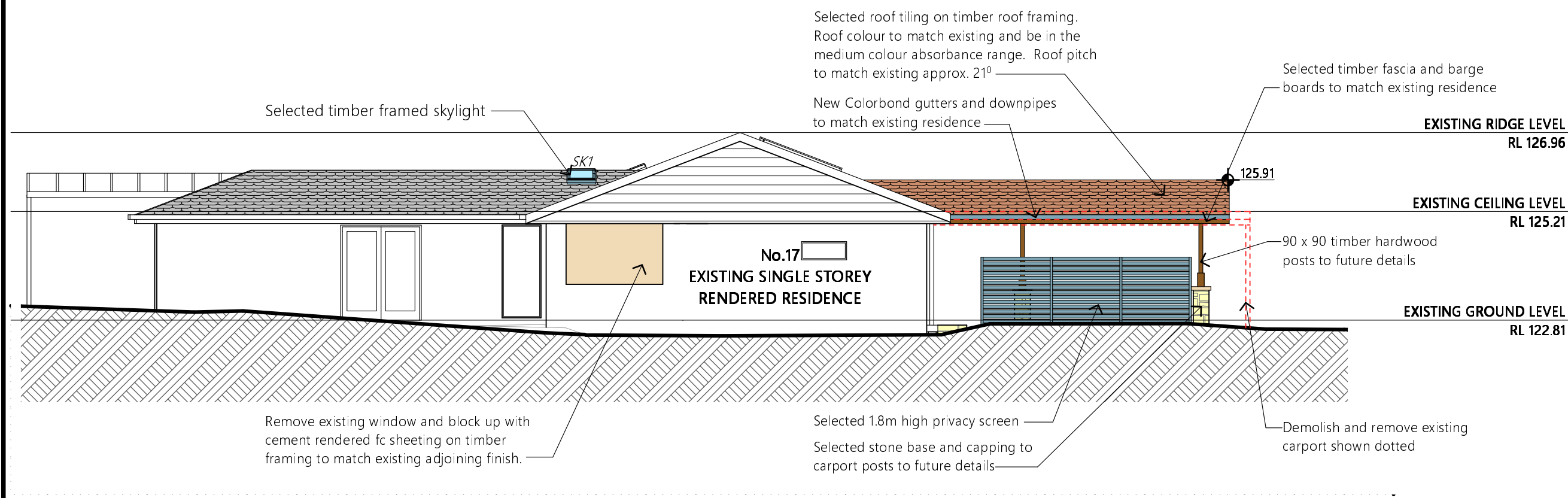
Drawing Title:

**NORTH & SOUTH ELEVATIONS**

Scale: 1:100 @ A3	Date: DECEMBER 2020
Status: DA submission	Checked By: JAH
Project No: 2025	Drawing No.: DA04
Plot Date:	21/12/2020



1 WEST ELEVATION 1:100



2 EAST ELEVATION 1:100

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**BELROSE NSW 2085**

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P.H. 0410 410 064 EMAIL: julie@jahdesigns.com.au

Drawing Title:  
**EAST & WEST ELEVATIONS**

Scale: 1:100 @ A3	Date: DECEMBER 2020
Status: DA submission	Checked By: JAH
Project No: <b>2025</b>	Drawing No.: <b>DA05</b>

Plot Date: 21/12/2020



EXISTING RIDGE LEVEL

RL 126.96

Selected timber fascia and barge boards to match existing residence

EXISTING CEILING LEVEL

RL 125.21

90 x 90 timber hardwood posts to future details

EXISTING GROUND LEVEL

RL 122.81

Demolish and remove existing carport shown dotted

Selected stone base and capping to carport and portico posts to future details

Selected roof tiling on timber roof framing. Roof colour to match existing and be in the medium colour absorbance range. Roof pitch to match existing approx. 21°

CARPORT

GARAGE

WIR

Remove existing window and block up with cement rendered fc sheeting on timber framing to match existing adjoining finish.

Remove existing door and block up with cement rendered fc sheeting on timber framing to match existing adjoining finish.

Selected 1.8m high privacy screen

Reinforced concrete slab and footings to engineer's details

1

SECTION A-A

1:100

Open up wall to allow for new powdercoated aluminium framed window as shown.

Remove existing sliding doors and open up wall to allow for new aluminium framed stacker doors as shown.

EXISTING RIDGE LEVEL

RL 126.25

EXISTING CEILING LEVEL

RL 125.21

EXISTING GROUND LEVEL

RL 122.81

BOUNDARY

LIVING

OFFICE

BOUNDARY

Remove existing bi-fold doors and wall dotted.

Open up wall to allow for new powdercoated aluminium framed window as shown.

2

SECTION B-B

1:100

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Drawing Title:

## SECTIONS

Scale:

1:100 @ A3

Date:

DECEMBER 2020

Status:

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Checked By:

JAH

Project No.:

**2025**

Drawing No.:

**DA06**

Plot Date:

21/12/2020