

BASIX COMMITMENTS

- 1.All construction to comply with Basix certificate A480553
- 2.40% of all new or altered lighting fixtures to be fluorescent, compact fluorescent or LED
- 3. Minimum 3 star water rating shower heads to be installed
- 4. Minimum 3 star water rating toilets to be installed
- 5. Minimum 3 star water taps to be installed
- 6. Minimum R1.16 insulation to be installed to all external brick veneer walls (minimum combined Rvalue with construction R1.7)
- 7. Minimum R1.3 insulation to be installed to all external timber framed walls (minimum combined Rvalue with construction R1.7)
- 8. Foil sarking to be installed below all new tiled roofs with minimum R2.5 insulation to all ceilings

GENERAL NOTES

- 1. The Works shall be constructed in accordance with Building Code of Australia and all relevant Australian Standards together with any amendment or replacement of those Standards
- 2.Smoke alarms shall be installed in accordance with Part 3.7.5 of the NCC2019/BCA, AS 3786 and Manufacturers Specification recommendations and connected to consumer mains power and interconnected where there is more than one alarm.
- 3. Balustrade construction shall comply with the provisions of Part 3.9.2 of the NCC2019/BCA . Balustrades shall have a minimum height of 1m and no openings greater than 125mm
- 4. All external wall Claddings must be compliant with the requirements of NCC 2019/BCA Part 3.5.4. deemed to satisfy provisions and As/NZS 1859.4
- 5. All windows to be restricted in accordance with NCC2019/BCA Part 3.9.2.6 & Part 3.9.2.7. Protection of openable windows where floor below is greater than 2 meters

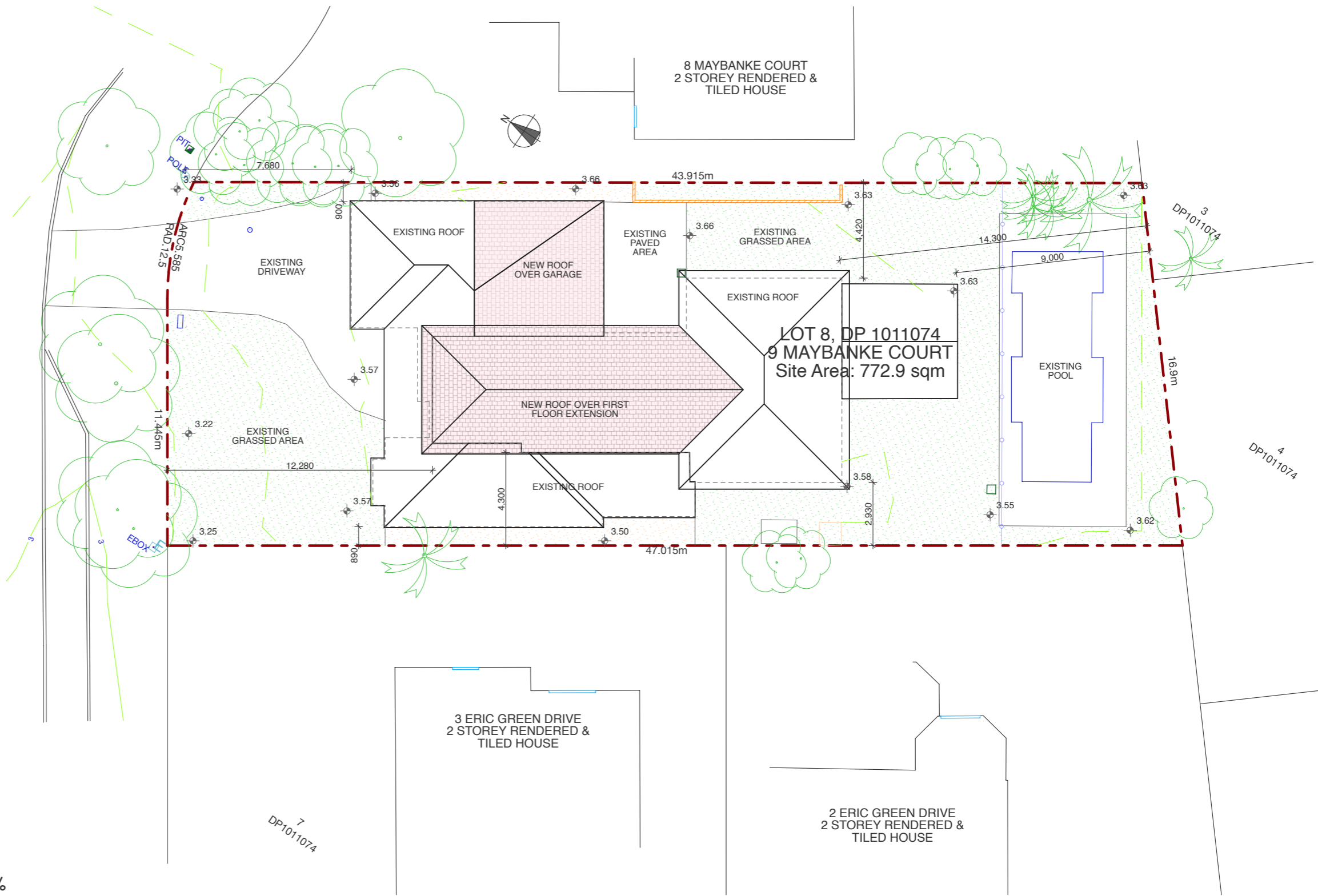
SITE CALCULATIONS

Site Area : 772.9 sqm

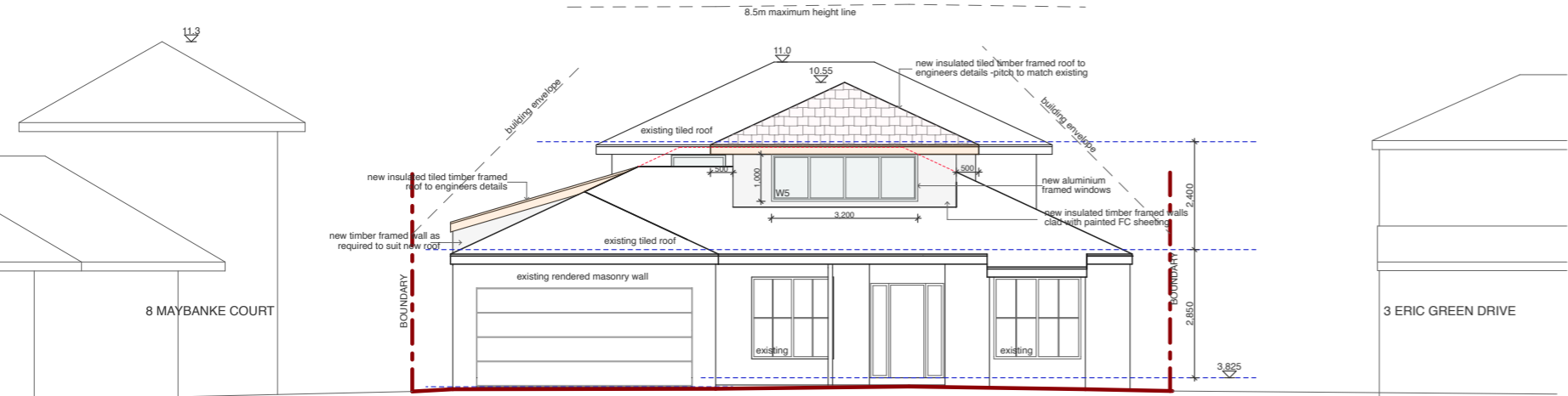
Existing Soft Landscaped area - 327sqm = 42.31%

Proposed Soft Landscaped area - 327sqm = 42.31%

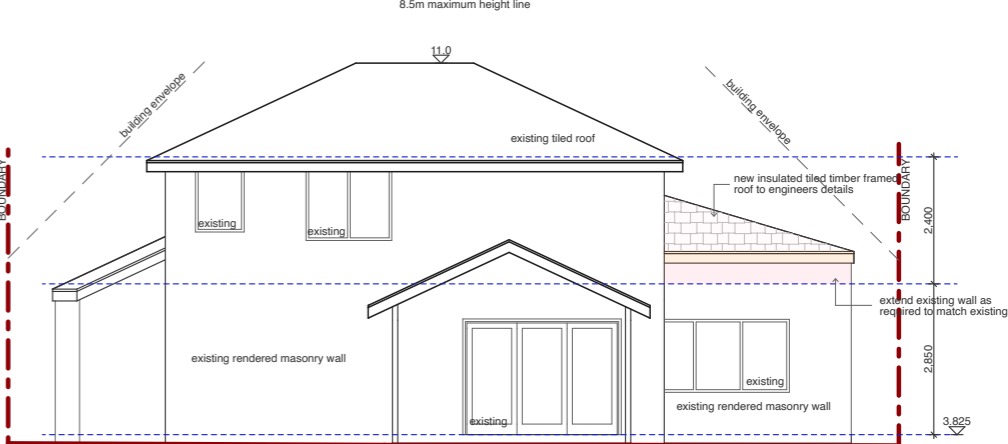
MAYBANKE COURT



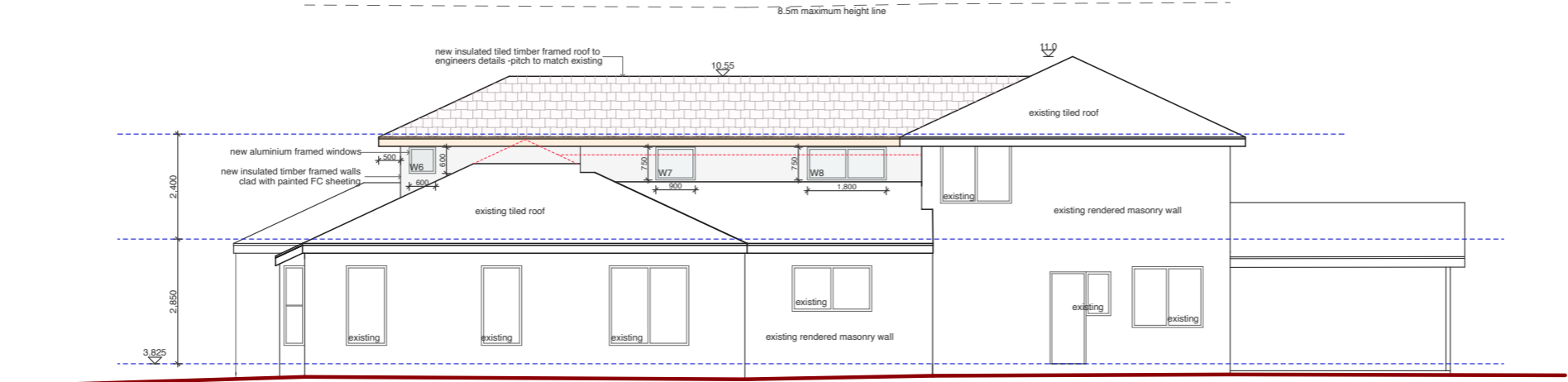
AMENDMENTS	JO WILLMORE DESIGNS 11 Hudson Parade Clareville NSW 2107 (02) 9918 2479 ABN 27 370 370 173	ALTERATIONS AND ADDITIONS  for: A. Warne & A. Hughes at: LOT 8, DP 1011074, 9 Maybanke Court MONA VALE, 2103	drawing title <b>SITE PLAN</b>	date: DECEMBER 2022  scale: 1:200 (A3)
			NOTE: Use figured dimension only. Do not scale off drawings . All levels and dimensions to be verified prior to construction of work	drawing number <b>DA-01</b>



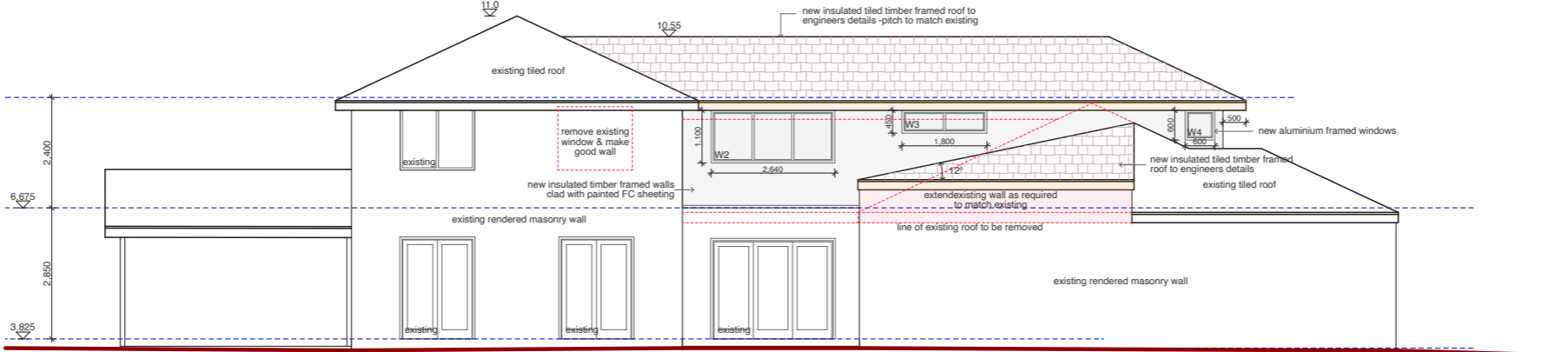
NORTH WEST ELEVATION



SOUTH EAST ELEVATION



SOUTH WEST ELEVATION



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