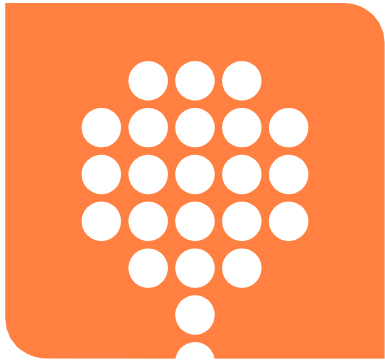


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RAWSON  
HOMES  
- EST 1978 -



NOTES:  
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TELEPHONE 02 8765 5500  
FAX 02 8765 8099  
Builder's licence No. 33493C

CLIENT:  
MS. OLIVIA BOYLE & MR. ANDREW IEMMA

SITE ADDRESS:  
LOT 7 (DP 238331)  
10 COURTLEY RD  
BEACON HILL NSW 2100

CLIENT INITIALS: 1.\_\_\_\_\_ 2.\_\_\_\_\_

HOUSE TYPE  
MODEL: WINDERMERE ACT 31  
FACADE: CLASSIC  
TYPE: DOUBLE GARAGE  
SPECIFICATION: CORE SPEC. V2

DRAWING TITLE:  
**COVER SHEET**

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**NOTES:**

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\* IT IS THE RESPONSIBILITY OF THE OWNER TO ENSURE THAT THE LAYOUT AND ALL SPECIAL INCLUSIONS ARE CORRECT

\* RAWSON HOMES PTY. LIMITED WILL TAKE NO RESPONSIBILITY FOR ANY VERBAL DISCUSSIONS OR INSTRUCTIONS. ALL CHANGES AND SPECIAL INCLUSIONS MUST BE DOCUMENTED IN WRITING.

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**SCHEDULE OF DRAWINGS:**

<u>SHEET</u>	<u>CONTENTS</u>
01	COVER SHEET
02	SITE PLAN
03	GROUND FLOOR
04	FIRST FLOOR
05	ELEVATIONS 1-2
06	ELEVATIONS 3-4
07	SECTIONS
08	SLAB SETOUT PLAN
09	WET AREA PLANS
10	SEDIMENT/ANALYSIS PLANS
11	BASIX COMMITMENTS
D1	SLAB DETAILS
D2	SLAB DETAILS GARAGE
D3	OPENINGS/FACADE DETAILS
D4	EAVES/FACADE DETAILS
D5	WET AREA DETAILS





**AMENDMENTS**

ISS	DESCRIPTION	BY	DATE
A	SUBMISSION PLANS (TENDER 34-1)	GD	12.08.22
B	AMENDED SUBMISSION PLANS (PCV: 1,2&4)	SM	04.10.22
C	LODGMET PLANS (PCV 3,5,6,7,8,10 &12)	GD	08.02.23
D	CONSTRUCTION PLANS (PCV: 13)	ST	21.03.23
E	AMENDED CONSTRUCTION PLANS(RETAINING WALL)	SM	29.05.23

**AMENDED CONSTRUCTION PLANS - DA**

SIGNATURE: .....

DRAWN BY: GD	DATE DRAWN: 12.08.22	CHECKED BY: MS	APPROVED FOR CONSTRUCTION:
COUNCIL AREA: NORTHERN BEACHES		SCALE:	
JOB No: <b>A000350</b>	DRWG No: <b>01</b>	ISSUE: <b>E</b>	

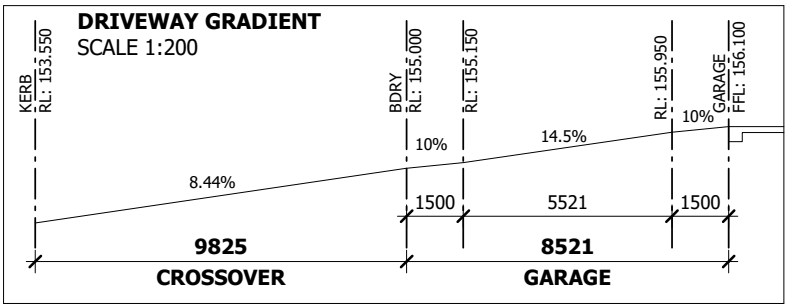
LEGEND			
DT	- DENOTES DEAD TREE	PP	- POWER POLE
EB	- ELECTRICAL BOX	SMH	- SEWER MAN HOLE
EM	- ELECTRICAL METER	SIO	- SEWER INSPECTION OPENING
G	- GAS METER	SV	- SEWER VENT PIPE STOP VALVE
H	- HYDRANT	S	- DENOTES TREE STUMP
R	- HYDRANT RECYCLED	SWO	- DENOTED STORM WATER PIT
KO	- DENOTES KERB OUTLET	T	- DENOTES TREE
LP	- LIGHT POLE	TP	- TELESTRA PIT
LH	- LAMP POLE	WT	- WATER TAG
MH	- MAN HOLE	WM	- WATER METER
	- BENCH MANR		- GULLY PIT
	- PHOTO POINT		- VEHICULAR CROSSING

- GENERAL SITING NOTES
- ALL PROPOSED FINISH FLOOR LEVELS AND CUT/FILL REQUIREMENTS SUBJECT TO CONFORMATION UPON COMPLETION OF ARCHITECTURAL PLANS.
  - ALL PROPOSED FINISH FLOOR LEVELS ARE SUBJECT TO CONFORMATION WITH STEP-DOWNS NOMINATED PRIOR TO EXCAVATION BY BUILDER, EXCAVATOR AND/OR CONCRETOR.
  - ALL AREA CALCULATIONS ARE TO BE CONFIRMED UPON THE COMPLETION OF FINAL ARCHITECTURAL PLANS.
  - ALL ALLOWANCES FOR STEPS/STAIRS THAT MAY BE REQUIRED ARE SUBJECT TO FINAL ARCHITECTURAL PLANS.
  - NO ALLOWANCE HAS BEEN MADE FOR RETAINING WALLS, BY OWNER AFTER HANDOVER IF REQUIRED

EXISTING TREES GREATER THAN 8m IN HEIGHT WITHIN 3m OF THE PROPOSED BUILDING OR ANY TREES WITHIN PROPOSED DRIVEWAY TO BE REMOVED BY OWNER PRIOR TO CONSTRUCTION

- GENERAL SURVEY NOTES
- CONTOURS SHOWN HAVE BEEN INTERPOLATED FROM SPOT LEVELS TAKEN ON-SITE AND ARE A REPRESENTATION OF THE TOPOGRAPHY ONLY.
  - DIMENSIONS SHOWN (BEARINGS & DISTANCES) HAVE BEEN DETERMINED BY NSW LAND REGISTRY SERVICES PLANS ONLY. BOUNDARIES HAVE NOT BEEN ACCURATELY DETERMINED. BUILDINGS AND FENCES ARE SHOWN IN APPROXIMATE POSITIONS ONLY AND COULD VARY + OR - 100MM.
  - SERVICES SHOWN HAVE BEEN LOCATED WHERE POSSIBLE BY FIELD SURVEY. PRIOR TO ANY SITE WORKS, THE RELEVANT AUTHORITY SHOULD BE CONTACTED TO DETERMINE EXACT POSITION OF ANY UNDERGROUND PIPES, CABLES ETC.
  - DIMENSIONS OF ANY TREES SHOWN ON THE PLAN ARE APPROXIMATE.

SITE CALCULATIONS DA		
GROUND FLOOR	143.40	m <sup>2</sup>
FIRST FLOOR	106.72	m <sup>2</sup>
GARAGE AREA	45.17	m <sup>2</sup>
TOTAL LIVING AREA	250.12	m <sup>2</sup>
SITE AREA	557.30	m <sup>2</sup>
BUILDING FOOTPRINT (INCLUDING UNENCLOSED AREA)	213.46	m <sup>2</sup>
DRIVEWAY & PATH	53.69	m <sup>2</sup>
CROSSOVER	51.31	m <sup>2</sup>
TOTAL FRONT AREA	103.88	m <sup>2</sup>
FRONT LANDSCAPE AREA	48.32	%
TOTAL LANDSCAPE AREA	290.15	m <sup>2</sup>
LANDSCAPE AREA (%)	52.06	%
TOTAL BUILT UPON AREA	43.47	%
FLOOR SPACE RATIO	0.45	:1
SITE COVERAGE	38.30	%
SITE COVERAGE FF	19.15	%



RETAINING WALLS BY OWNER IF REQUIRED

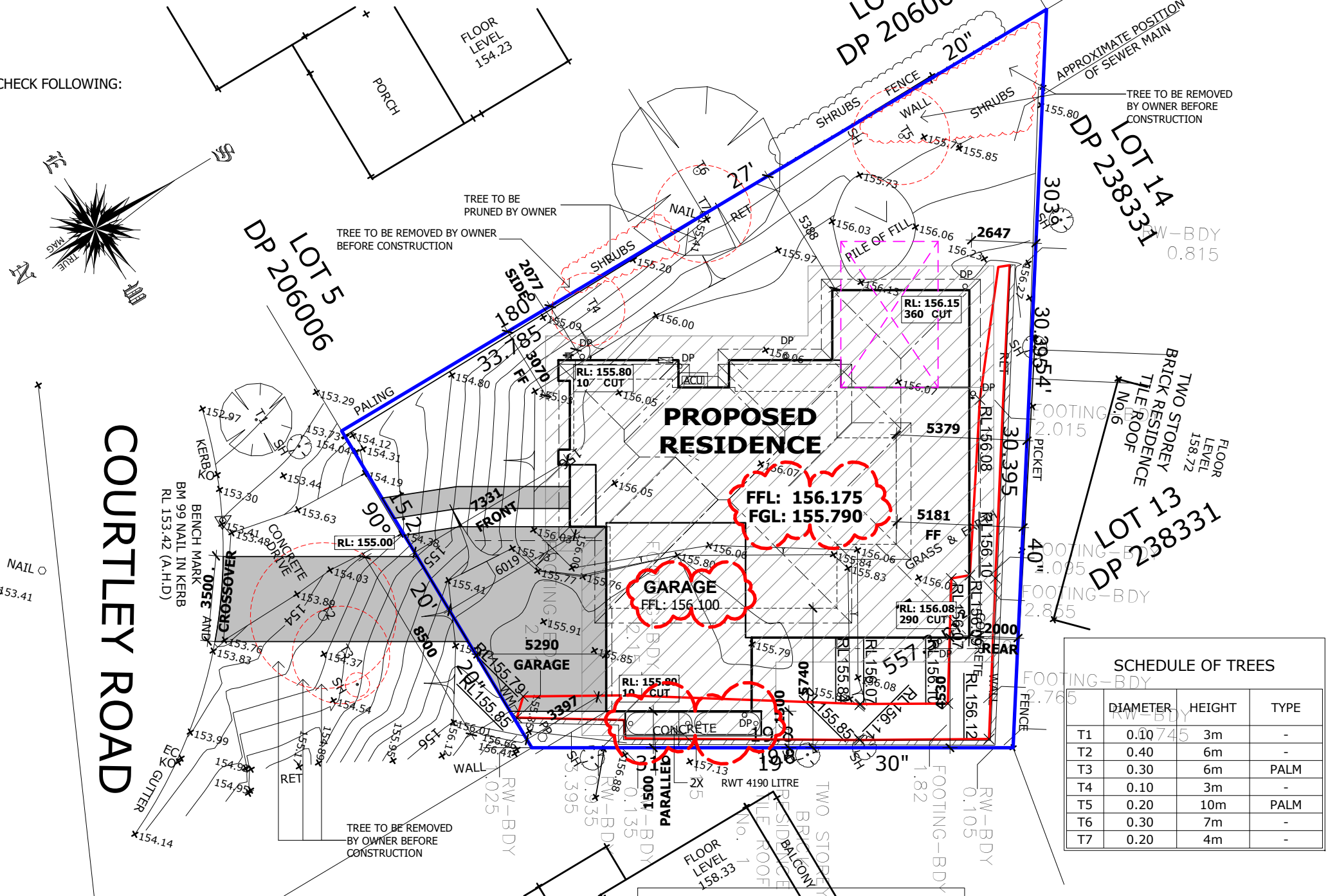
## SITE NOTES:

BEFORE STARTING WORK ON SITE CHECK FOLLOWING:

- SERVICE LOCATIONS
  - SEWER CONNECTION POSITION
  - DRIVEWAY ALIGNMENT & LEVELS
- N2 WIND CATEGORY**

DPo INDICATES DOWNPIPE LOCATION

REFER TO HYDRAULIC PLANS PREPARED BY NASSERI ASSOCIATES DATED 24.10.22



SCHEDULE OF TREES			
	DIAMETER	HEIGHT	TYPE
T1	0.10	3m	-
T2	0.40	6m	-
T3	0.30	6m	PALM
T4	0.10	3m	-
T5	0.20	10m	PALM
T6	0.30	7m	-
T7	0.20	4m	-

NOTES:

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**RAWSON HOMES**  
5 RIDER BOULEVARD  
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RHODES NSW 2138  
TELEPHONE 02 8765 5500  
FAX 02 8765 8099  
Builder's licence No. 33493C



CLIENT:  
MS. OLIVIA BOYLE & MR. ANDREW IEMMA

SITE ADDRESS:  
LOT 7 (DP 238331)  
10 COURTLEY RD  
BEACON HILL NSW 2100

HOUSE TYPE  
MODEL: WINDERMERE ACT 31  
FACADE: CLASSIC  
TYPE: DOUBLE GARAGE  
SPECIFICATION: CORE SPEC. V2

DRAWING TITLE:  
**SITE PLAN**

DRAWN BY: GD  
DATE DRAWN: 12.08.22  
CHECKED BY: MS  
APPROVED FOR CONSTRUCTION

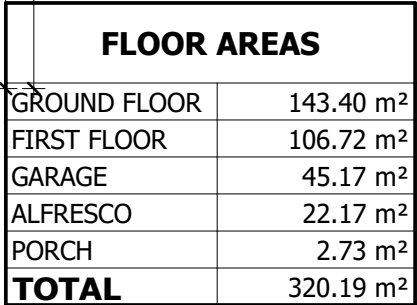
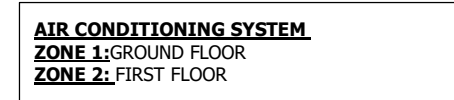
COUNCIL AREA: NORTHERN BEACHES  
SCALE: 1 : 200

JOB No: A000350  
DRWG No: 02  
ISSUE: E

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- ALL EXTERNAL DOORS TO BE FITTED WITH DRAFT EXCLUSION DEVICE
- WC DOORS TO BE FITTED WITH LIFT-OFF HINGES
- WINDOW OPENING SIZES TO BE CHECKED BEFORE FRAMES ARE CONSTRUCTED
- FRAMES & TRUSSES TO SATISFY AS 1684 SAA TIMBER FRAMING CODE
- ROOF SPACE TO BE VENTILATED BY EAVE VENTS
- SQUARE SET WALL/CEILING JOINTS THROUGHOUT GROUND FLOOR & FIRST FLOOR
- 2750mm H CEILING TO GROUND FLOOR ONLY
- 2340mmH INTERNAL DOORS , INCLUDING 2400H SQUARE SET OPENING TO GROUND FLOOR ONLY (EXCLUDES BEDROOM ROBES).



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POSITIONS OF OUTLETS, RETURN AIR AND NUMBER OF  
DROPPERS IS DETERMINED BY AIR CONDITIONING  
CONTRACTOR

FLOOR AREAS	
GROUND FLOOR	143.40 m <sup>2</sup>
FIRST FLOOR	106.72 m <sup>2</sup>
GARAGE	45.17 m <sup>2</sup>
ALFRESCO	22.17 m <sup>2</sup>
PORCH	2.73 m <sup>2</sup>
<b>TOTAL</b>	<b>320.19 m<sup>2</sup></b>

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FAX 02 8765 8099  
Builder's licence No. 33493C



CLIENT: 14940  
MS. OLIVIA BOYLE & MR. ANDREW IEMMA

---

SITE ADDRESS:  
LOT 7 (DP 238331)  
10 COURTLEY RD  
BEACON HILL NSW 2100

HOUSE TYPE: ~~WINDERMERE ACT 31~~  
MODEL: WINDERMERE ACT 31  
FACADE: CLASSIC  
TYPE: DOUBLE GARAGE  
SPECIFICATION: CORE SPEC. V2

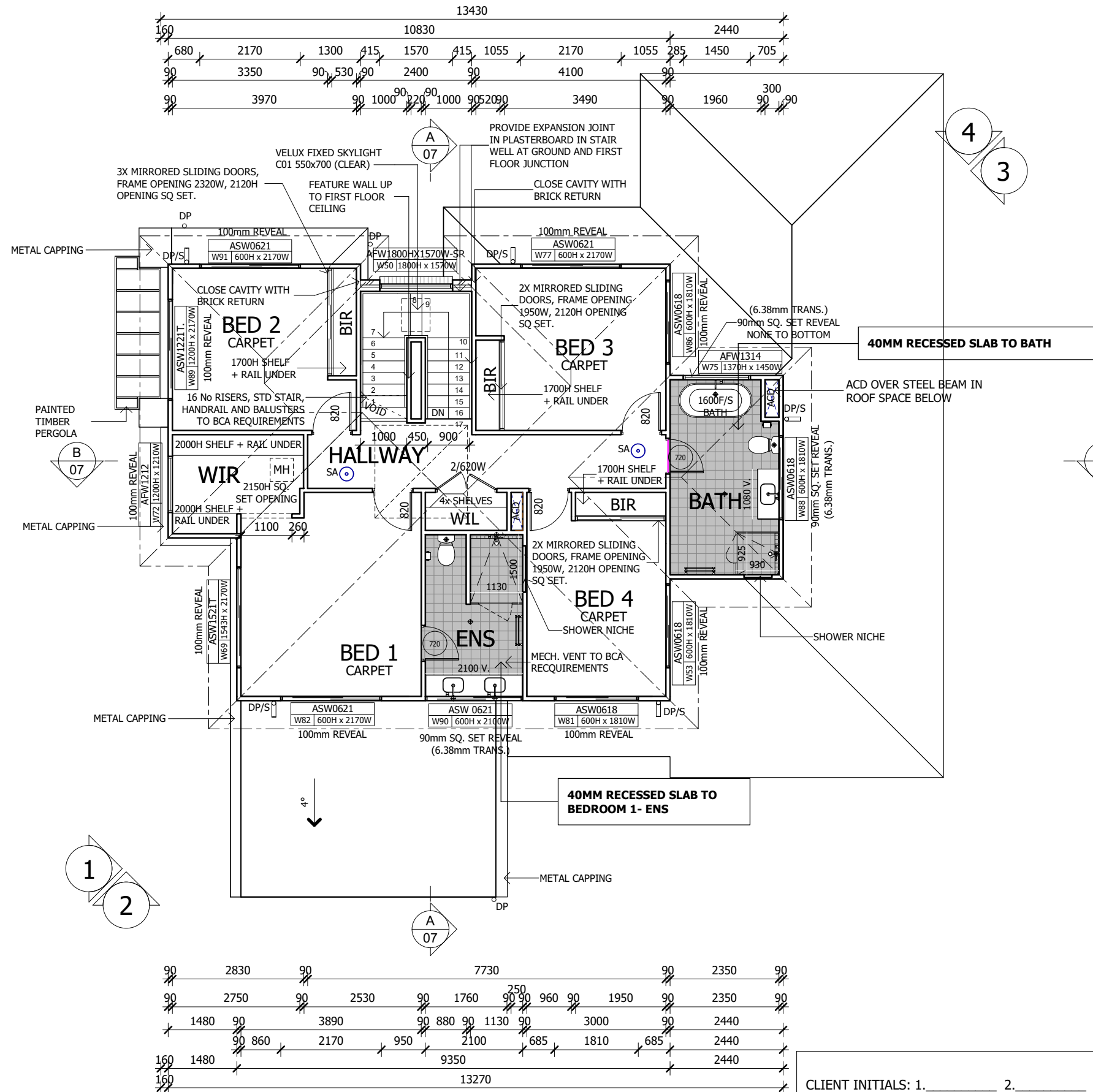
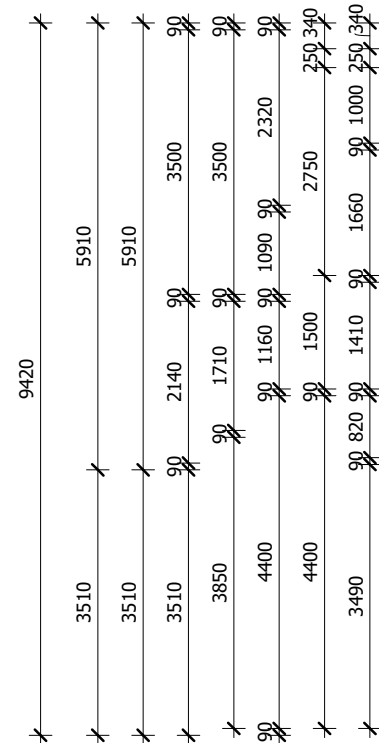
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DRAWING TITLE:  
**GROUND FLOOR**

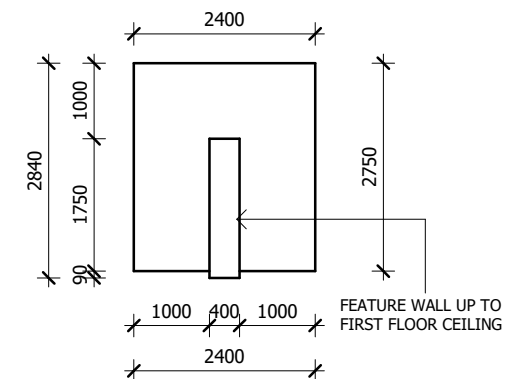
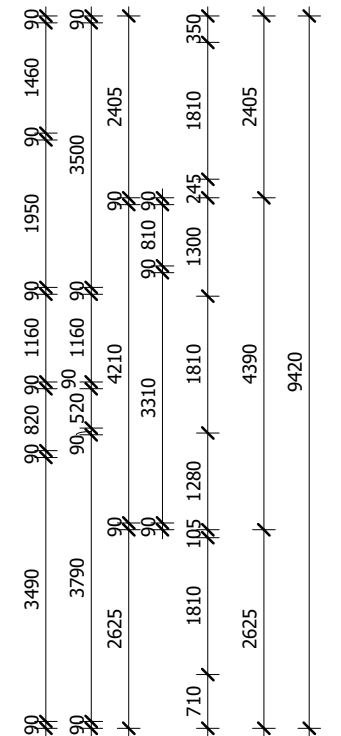
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COUNCIL AREA: NORTHERN BEACHES		SCALE: 1 : 100	
JOB No: <b>A000350</b>		DRWG No: <b>03</b>	ISSUE: <b>E</b>



ALL EXTERNAL DOORS TO BE FITTED WITH DRAFT  
EXCLUSION DEVICE  
WC DOORS TO BE FITTED WITH LIFT-OFF HINGES  
WINDOW OPENING SIZES TO BE CHECKED  
BEFORE FRAMES ARE CONSTRUCTED  
FRAMES & TRUSSES TO SATISFY AS 1684 SAA  
TIMBER FRAMING CODE  
ROOF SPACE TO BE VENTILATED BY EAVE VENTS  
SQUARE SET WALL/CEILING JUNCTIONS  
THROUGHOUT GROUND FLOOR & FIRST FLOOR



NOTE: RESTRICTORS TO BE FITTED TO ALL 1ST FLOOR OPENABLE WINDOWS WITH A SILL HEIGHT LESS THAN 1.7m ABOVE FFL. IN ACCORDANCE WITH BCA CLAUSE 3.9.2.5



CLIENT INITIALS: 1. \_\_\_\_\_ 2. \_\_\_\_\_

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CLIENT:  
MS. OLIVIA BOYLE & MR. ANDREW IEMMA

---

SITE ADDRESS:  
LOT 7 (DP 238331)  
10 COURTLEY RD  
BEACON HILL NSW 2100

HOUSE TYPE	
MODEL:	WINDERMERE ACT 31
FACADE:	CLASSIC
TYPE:	DOUBLE GARAGE
SPECIFICATION:	CORE SPEC. V2
DRAWING TITLE:	
FIRST FLOOR	

DRAWN BY: GD	DATE DRAWN: 12.08.22	CHECKED BY: MS	APPROVED FOR CONSTRUCTION
COUNCIL AREA: NORTHERN BEACHES		SCALE: 1 : 100	
JOB No: A000350		DRWG No: 04	ISSUE: E

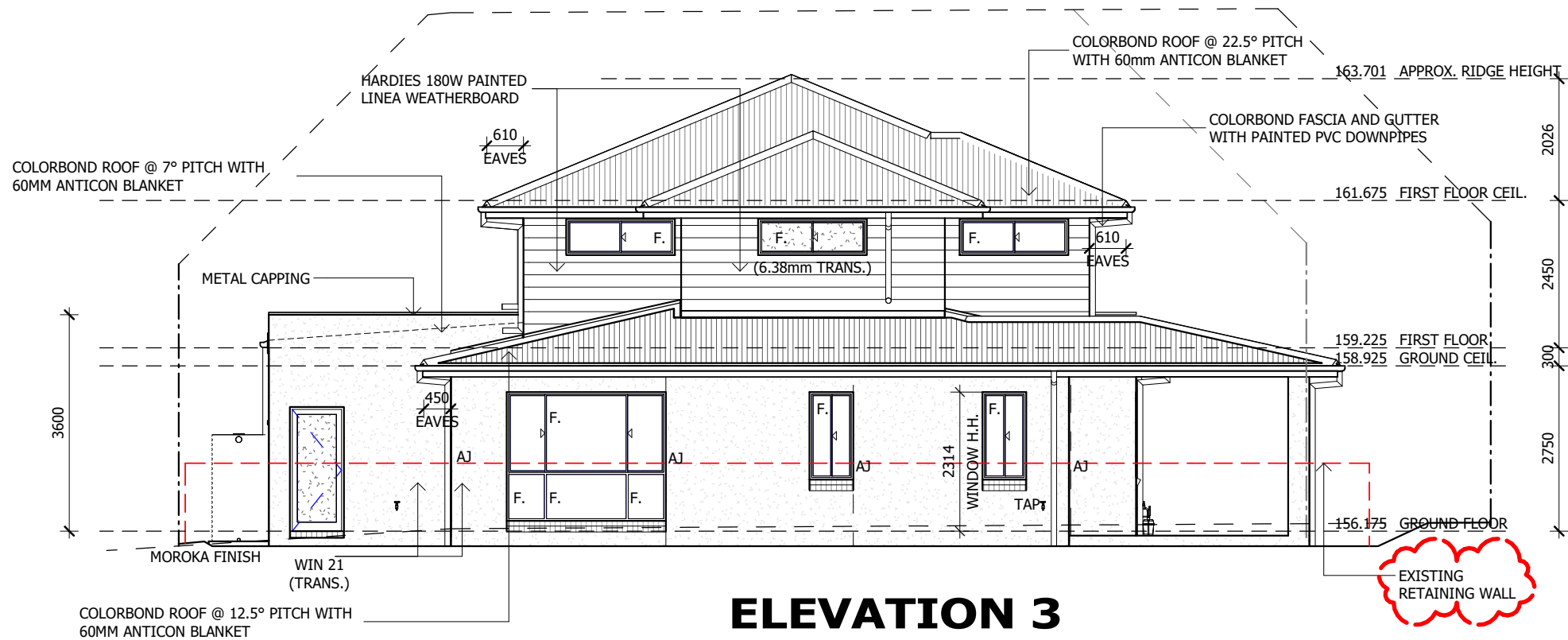
CSR WALL WRAP TO EXTERNAL WALLS THROUGHOUT



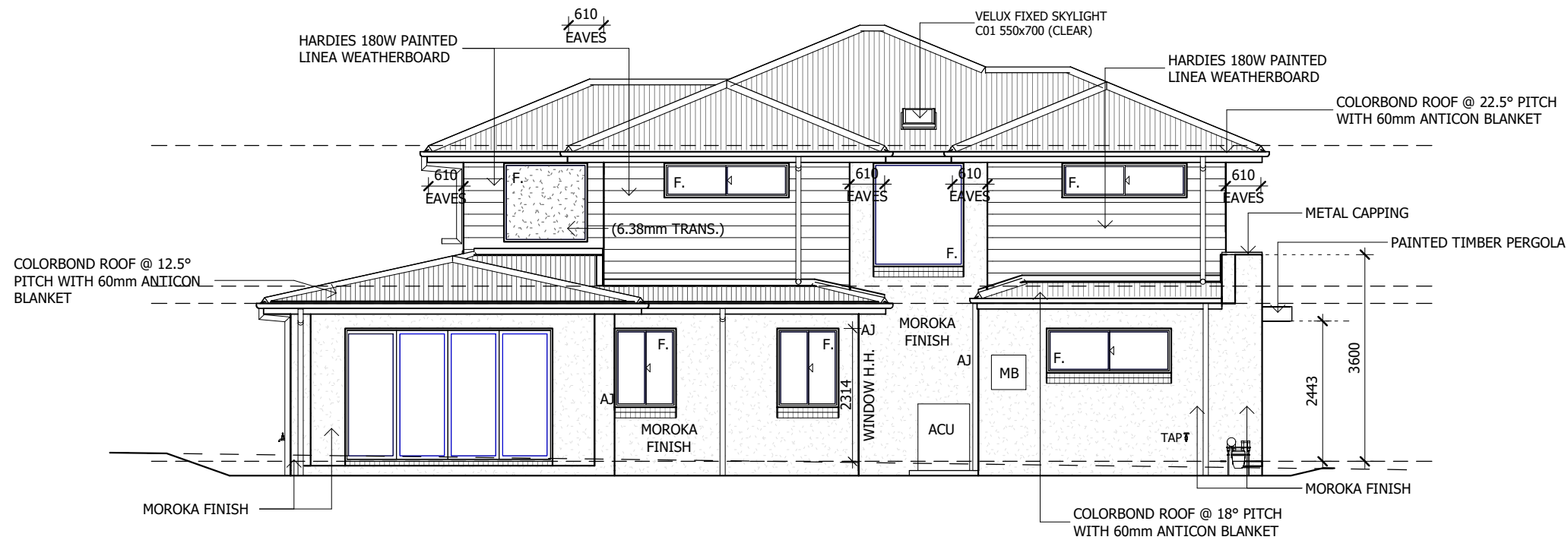
JOB No:	DRWG No:	ISSUE:
A000350	05	E

SITE ADDRESS:  
LOT 7 (DP 238331)  
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BEACON HILL NSW 2100

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ELEVATION 3



ELEVATION 4

NOTES:

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Builder's licence No. 33493C



CLIENT:  
MS. OLIVIA BOYLE & MR. ANDREW IEMMA  
SITE ADDRESS:  
LOT 7 (DP 238331)  
10 COURTLEY RD  
BEACON HILL NSW 2100

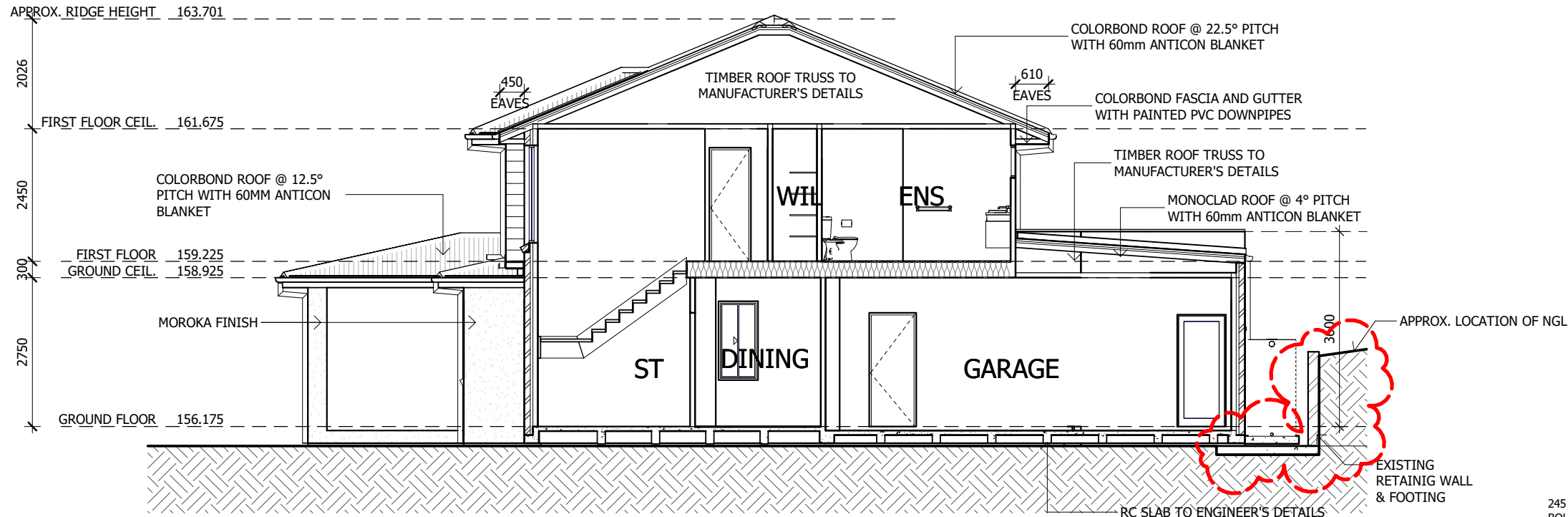
CLIENT INITIALS: 1. \_\_\_\_\_ 2. \_\_\_\_\_

HOUSE TYPE  
MODEL: WINDERMERE ACT 31  
FACADE: CLASSIC  
TYPE: DOUBLE GARAGE  
SPECIFICATION: CORE SPEC. V2  
DRAWING TITLE:  
ELEVATIONS 3-4

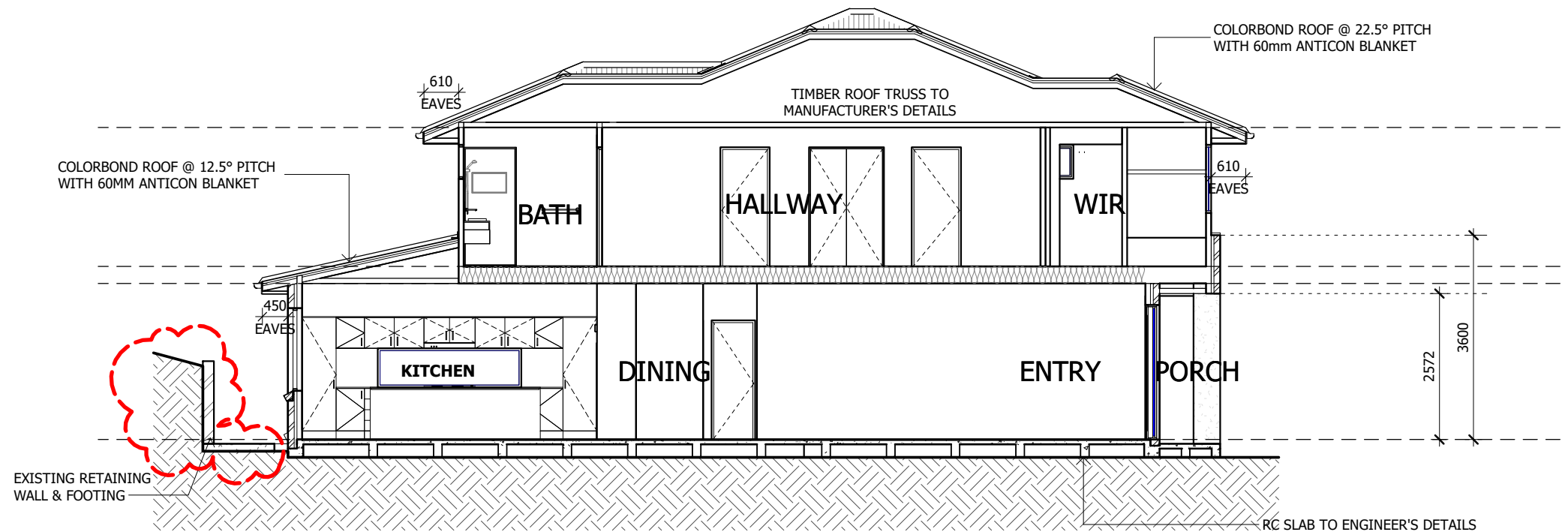
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JOB No: A000350		DRWG No: 06	ISSUE: E

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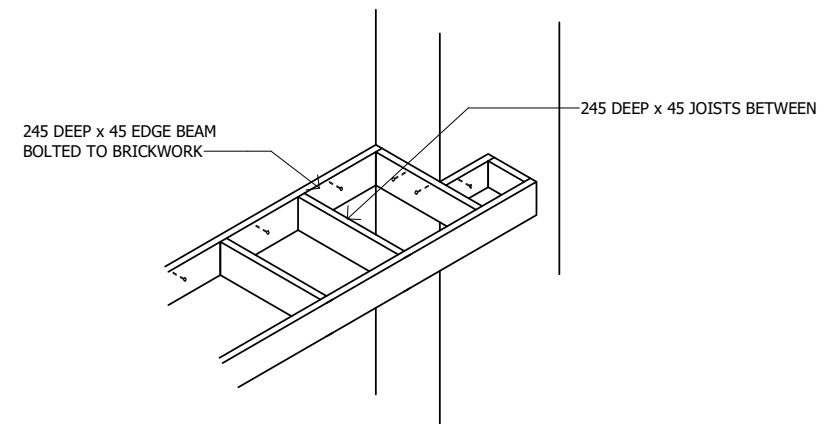
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## SECTION A-A



## SECTION B-B



PERGOLA DETAIL  
NOT TO SCALE

### 1 TYPICAL PERGOLA PERSPECTIVE SCALE: 1 : 50

#### NOTES:

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SITE ADDRESS:  
LOT 7 (DP 238331)  
10 COURTLEY RD  
BEACON HILL NSW 2100

CLIENT INITIALS: 1. \_\_\_\_\_ 2. \_\_\_\_\_

HOUSE TYPE  
MODEL: WINDERMERE ACT 31  
FACADE: CLASSIC  
TYPE: DOUBLE GARAGE  
SPECIFICATION: CORE SPEC. V2

DRAWING TITLE:  
**SECTIONS**

DRAWN BY: GD	DATE DRAWN: 12.08.22	CHECKED BY: MS	APPROVED FOR CONSTRUCTION
COUNCIL AREA: NORTHERN BEACHES		SCALE: As indicated	
JOB No: <b>A000350</b>	DRWG No: <b>07</b>	ISSUE: <b>E</b>	



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SLAB SETOUT PLAN

NOTES:

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CLIENT:  
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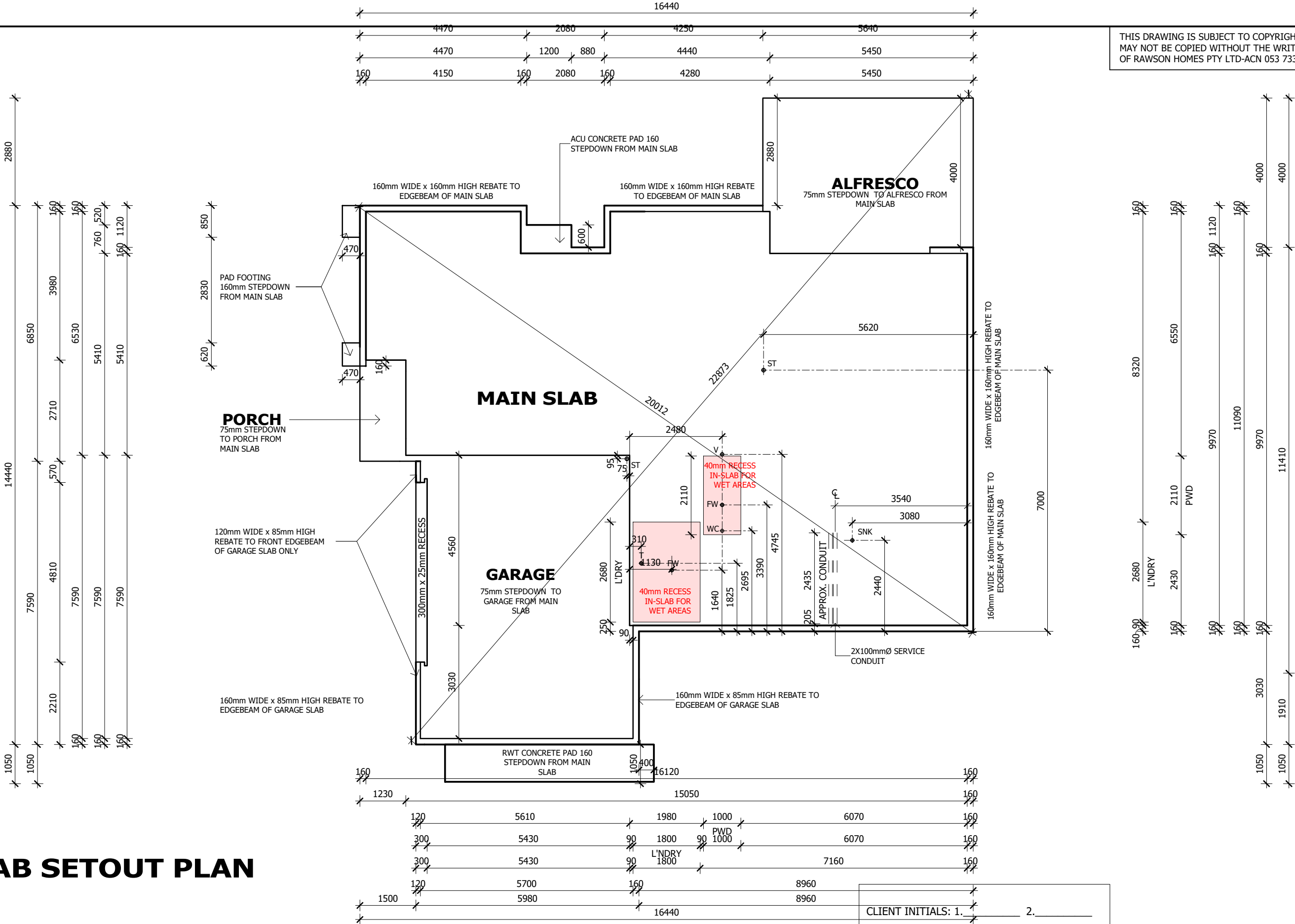
SITE ADDRESS:  
**LOT 7 (DP 238331)  
10 COURTLEY RD  
BEACON HILL NSW 2100**

HOUSE TYPE  
MODEL: **WINDERMERE ACT 31**  
FACADE: **CLASSIC**  
TYPE: **DOUBLE GARAGE**  
SPECIFICATION: **CORE SPEC. V2**

DRAWING TITLE:  
**SLAB SETOUT PLAN**

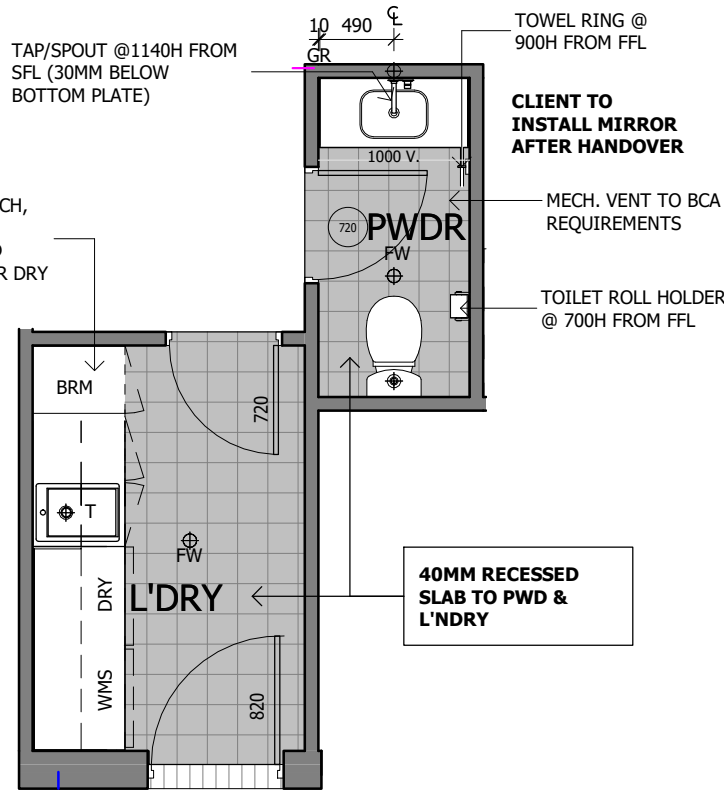
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COUNCIL AREA: NORTHERN BEACHES	SCALE: 1 : 100		
JOB No: <b>A000350</b>	DRWG No: <b>08</b>	ISSUE: <b>E</b>	

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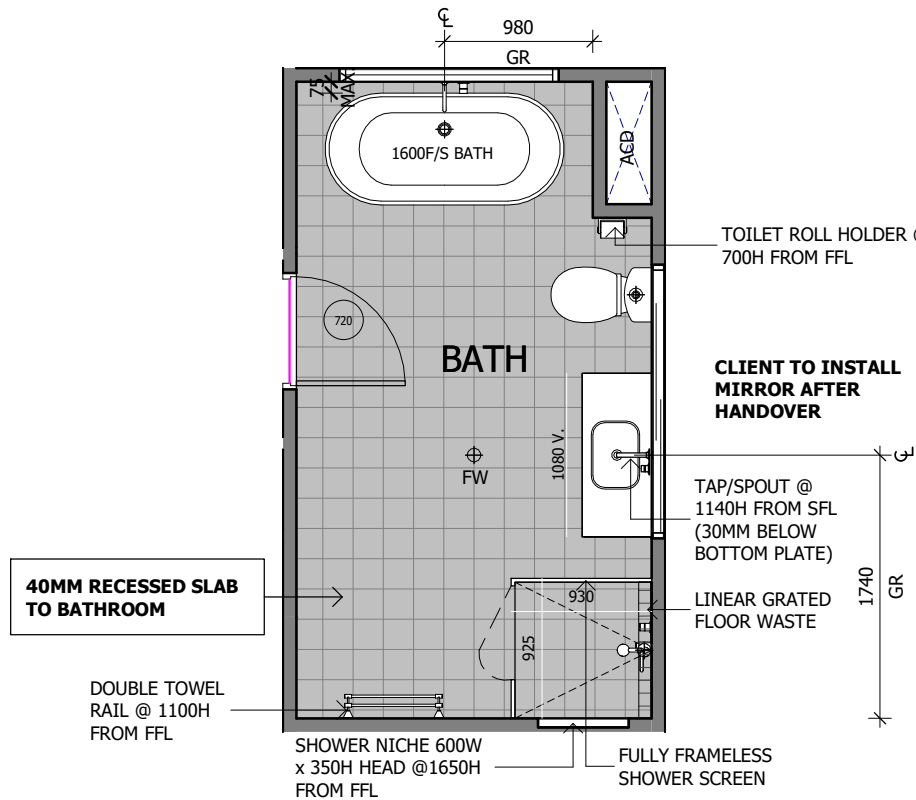




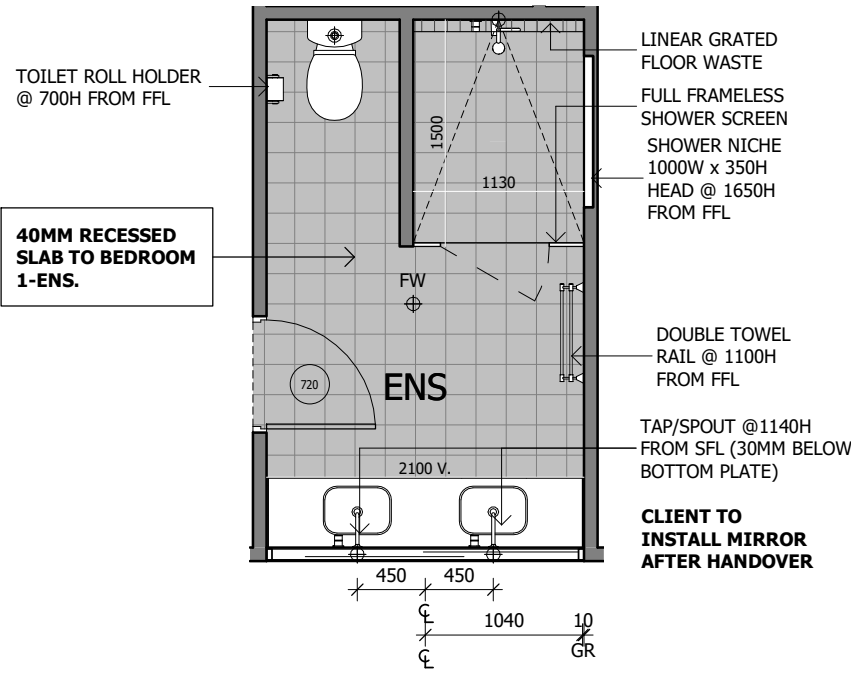
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## L'DRY & PWDR



## BATH



## ENS

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### LAUNDRY / WC

- PROVIDE SKIRTING TILE TO PERIMETER WALLS OF LAUNDRY
- TILED SPLASHBACK OVER LAUNDRY TUB & BENCH @ 300mm HIGH

### BATHROOM

- FULL HEIGHT TILING TO BEDROOM 1-ENS, & MAIN BATHROOM
- 1900H SHOWER HEAD FROM FFL TO UNDERSIDE OF SHOWER HEAD
- FLOATING VANITIES
- 340H TILED SPLASHBACKS ABOVE VANITIES WITH FLOATING MIRROR OVER ON 32mm BOARD, 130mm FROM SIDE OF VANITY, MAX. HEIGHT 880mm
- PROVIDE KICKER TO BATH HOB 140H x 70W
- WALL MOUNTED TAPS & SPOUT TO VANITIES & BATH
- SQUARE SET WALL/CEILING JUNCTION TO MAIN BATHROOM, ENSUITE AND POWDER ROOM (INCLUDING SEPARATE WC ONLY WHEN WITHIN BATHROOM OR ENSUITE)
- SQ. SET WINDOW TO MAIN BATHROOM ENSUITE, POWDER ROOM AND WC
- 900mm H RAISED VANITY HEIGHT THROUGHOUT DWELLING
- 20mm CAESARSTONE "DELUXE" BENCHTOP TO MAIN BATHROOM, BEDROOM 1-ENS & PWD.

REFER TO TILING QUOTE DATED 21/09/22 FOR TILLING DETAILS

REFER TO WET AREA DESIGN DATED 12/01/23 PRPARED BY ELBA KITCHENS

#### NOTES:

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- \* DO NOT SCALE - USE WRITTEN DIMENSIONS
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**RAWSON HOMES**  
5 RIDER BOULEVARD  
LEVEL 7  
RHODES NSW 2138  
TELEPHONE 02 8765 5500  
FAX 02 8765 8099  
Builder's licence No. 33493C



CLIENT:  
MS. OLIVIA BOYLE & MR. ANDREW IEMMA

SITE ADDRESS:  
LOT 7 (DP 238331)  
10 COURTLEY RD  
BEACON HILL NSW 2100

CLIENT INITIALS: 1. \_\_\_\_\_ 2. \_\_\_\_\_

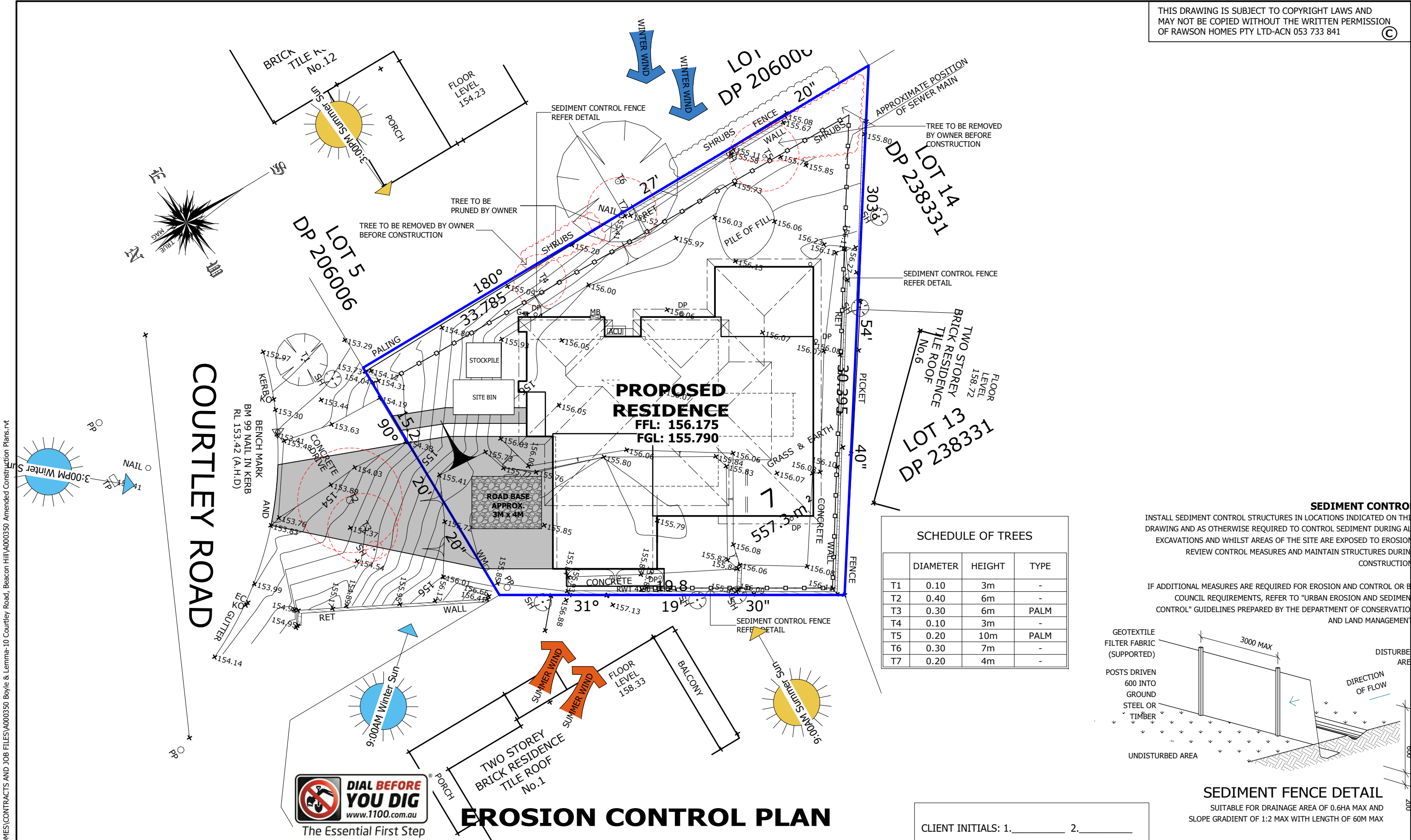
HOUSE TYPE  
MODEL: WINDERMERE ACT 31  
FACADE: CLASSIC  
TYPE: DOUBLE GARAGE  
SPECIFICATION: CORE SPEC. V2

DRAWING TITLE:  
**WET AREA PLANS**

DRAWN BY: GD	DATE DRAWN: 12.08.22	CHECKED BY: MS	APPROVED FOR CONSTRUCTION
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COUNCIL AREA: NORTHERN BEACHES	SCALE: 1 : 50
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JOB No: <b>A000350</b>	DRWG No: <b>09</b>	ISSUE: <b>E</b>
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NOTES:

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BEACON HILL NSW 2100

HOUSE TYPE  
MODEL: WINDERMERE ACT 31  
FACADE: CLASSIC  
TYPE: DOUBLE GARAGE  
SPECIFICATION: CORE SPEC. V2

DRAWING TITLE:  
**SEDIMENT/ANALYSIS**

DRAWN BY: GD  
DATE DRAWN: 12.08.22  
CHECKED BY: MS  
APPROVED FOR CONSTRUCTION

COUNCIL AREA: NORTHERN BEACHES  
SCALE: 1 : 200

JOB No: A000350  
DRWG No: 10  
ISSUE: E

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BASIX COMMITMENTS					
PROJECT DETAILS			STORMWATER	ENERGY	LIGHTING
Site area	557	m <sup>2</sup>	Rainwater tank to collect at least 60m <sup>2</sup> of rain run off from roof area	<b>ACTIVE COOLING/HEATING 1-phase</b>	Applicant must provide a window or skylight for natural lighting to 2
Roof area	240.0	m <sup>2</sup>	Rainwater tank to be connected to all toilets with in the development	Cooling system with day/night zoning for bedrooms & living areas with an EER 3.0	bathrooms/toilets and kitchen
number of bedrooms	4		Rainwater tank to be connected to cold water tap to supply water to the washing machine	Heating system with day/night zoning for bedrooms & living areas with an EER 3.5	Applicant must provide artificial lighting to at least 4 of bedroom/study,
Total area of vegetation (garden & lawn)	290	m <sup>2</sup>	Rainwater to be connected to at least one outdoor tap for garden watering	<b>VENTILATION</b>	kitchen, laundry, all bathroom/toilets and all hallways.
ABSA Certificate Number (if applicable)	0008143794		Rainwater to have a capacity of at least 3000L	At least 1 Bathroom: individual fan, ducted to façade or roof: manual switch on/off	<b>COOKING (KITCHEN APPLIANCES)</b>
Net conditioned floor area	206	m <sup>2</sup>	<b>WATER</b>	Kitchen: individual fan, ducted to façade or roof: manual switch on/off	Install a gas cooktop and electric oven
Net Unconditioned floor area	15	m <sup>2</sup>	All showers with in the development are to have a minimum rating of 4 star showerheads	Laundry: Natural ventilation only or no laundry	<b>DESIGN ENHANCEMENT</b>
Concession claimed (if applicable)	N/A		Each toilet is to have a flushing system of no less than a 4 star rating	<b>HOT WATER</b>	Install a fixed outdoor clothes drying line
Cooling load (if applicable)	25	MJ/m <sup>2</sup> /pa	All basin taps to have a minimum rating of 4 star rating	Gas instantaneous hot water system with a performance of 6 stars	<b>INSULATION</b>
Heating load (if applicable)	38	MJ/m <sup>2</sup> /pa	All taps in the kitchen are to have a minimum rating of 4 star		External wall [excluding garage]: R2.5
					Ceiling [excluding garage & alfresco]: R4.1

CLIENT INITIALS: 1. \_\_\_\_\_ 2. \_\_\_\_\_

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MODEL: WINDERMERE ACT 31  
FACADE: CLASSIC  
TYPE: DOUBLE GARAGE  
SPECIFICATION: CORE SPEC. V2

DRAWING TITLE:  
BASIX COMMITMENTS

DRAWN BY:	DATE DRAWN:	CHECKED BY:	APPROVED FOR
Author	11/03/22	Checker	CONSTRUCTION

COUNCIL AREA:	SCALE:
NORTHERN BEACHES	

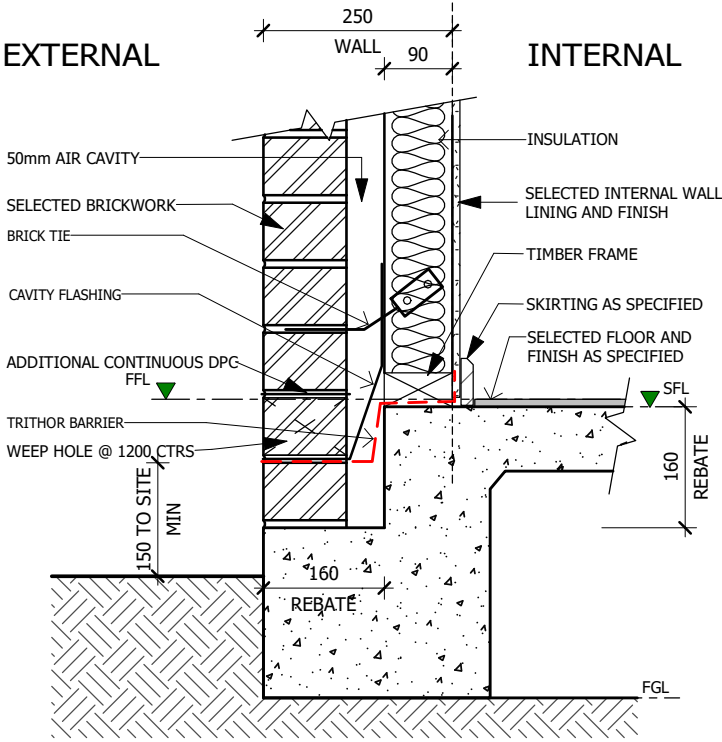
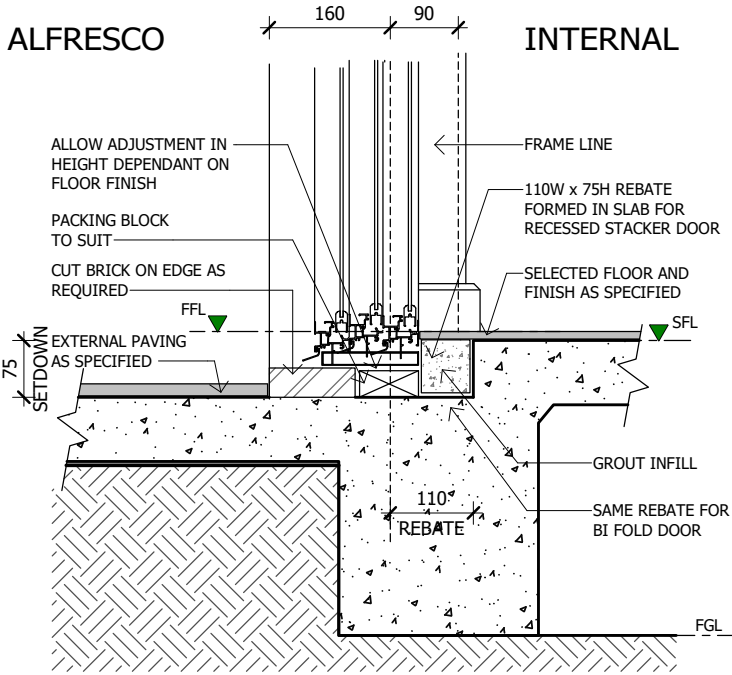
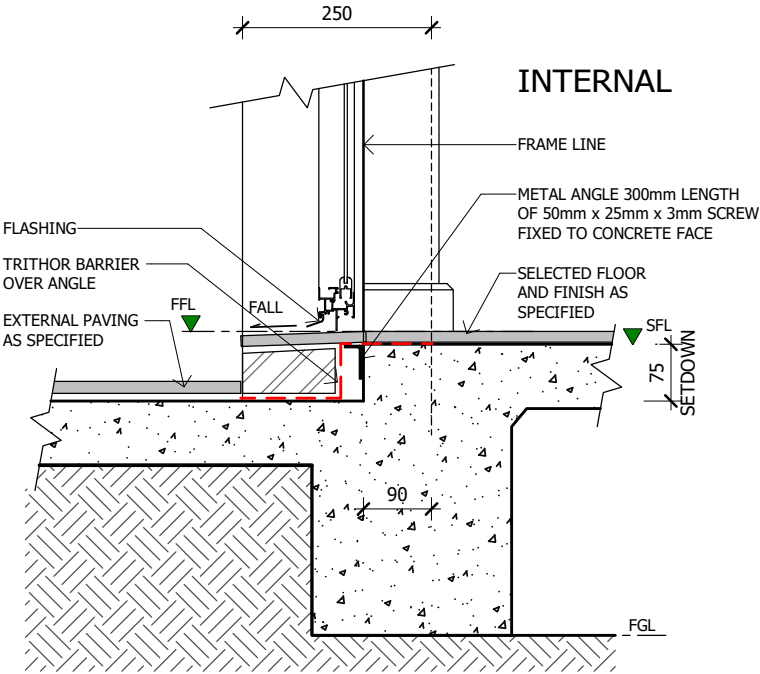
JOB No:	DRWG No:	ISSUE:
A000350	11	E



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**NOTE: TYPICAL DETAILS ARE APPLICABLE TO ALL  
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DETAILED OR REFERENCED ON ARCHITECTURAL  
DRAWINGS.**



**1a** TYPICAL PORCH ENTRY DOOR  
SCALE: 1 : 10

**2a** TYPICAL EXTERNAL DOOR THRESHOLD  
SCALE: 1 : 10

**3a** TYPICAL REBATE DETAIL  
SCALE: 1 : 10

NOTES:

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CLIENT INITIALS: 1. \_\_\_\_\_ 2. \_\_\_\_\_

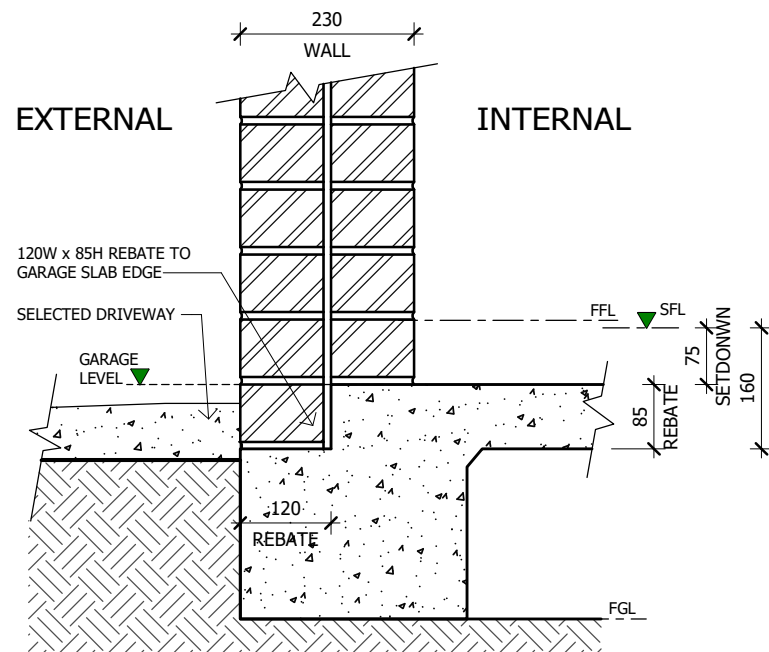
HOUSE TYPE  
MODEL: WINDERMERE ACT 31  
FACADE: CLASSIC  
TYPE: DOUBLE GARAGE  
SPECIFICATION: CORE SPEC. V2

DRAWING TITLE:  
**SLAB DETAILS**

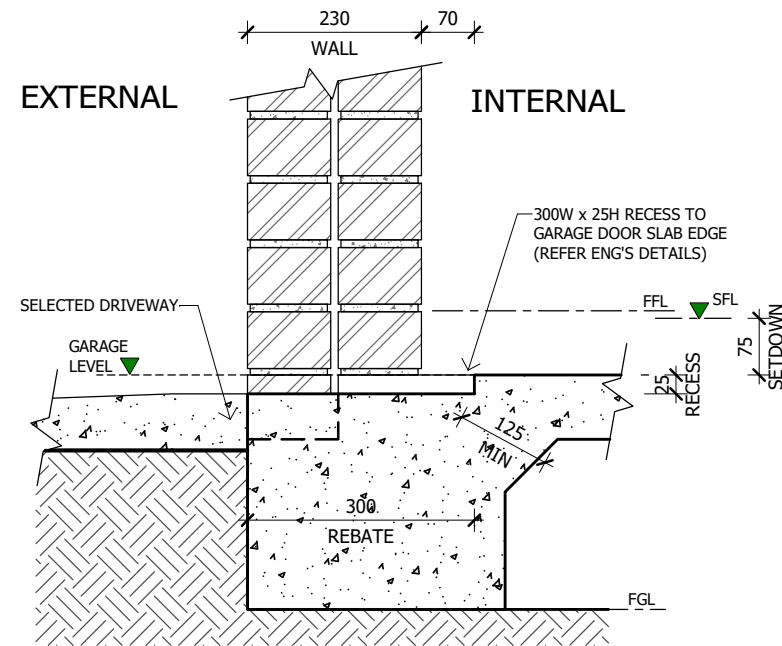
DRAWN BY: DATE DRAWN: CHECKED BY: APPROVED FOR  
CONSTRUCTION

COUNCIL AREA: NORTHERN BEACHES  
SCALE: 1 : 10

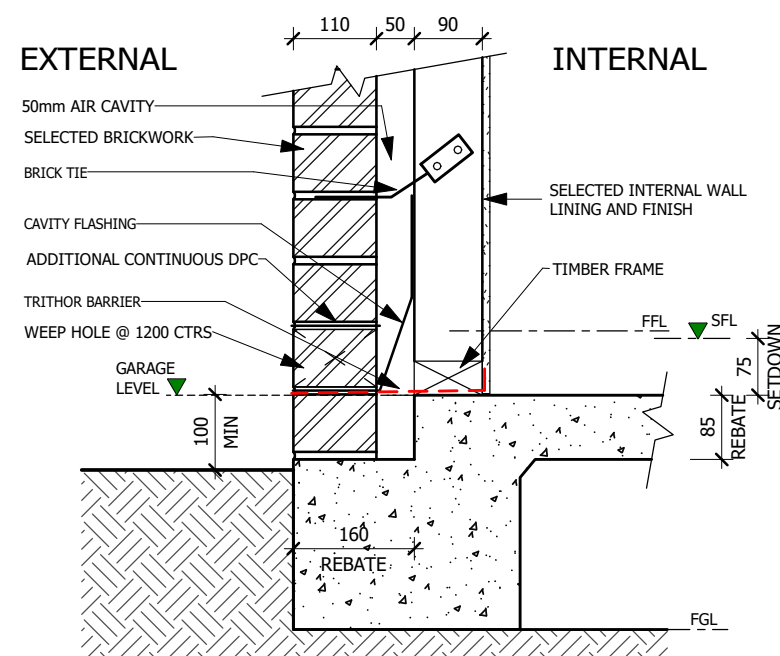
JOB No: A000350  
DRWG No: D1  
ISSUE: E



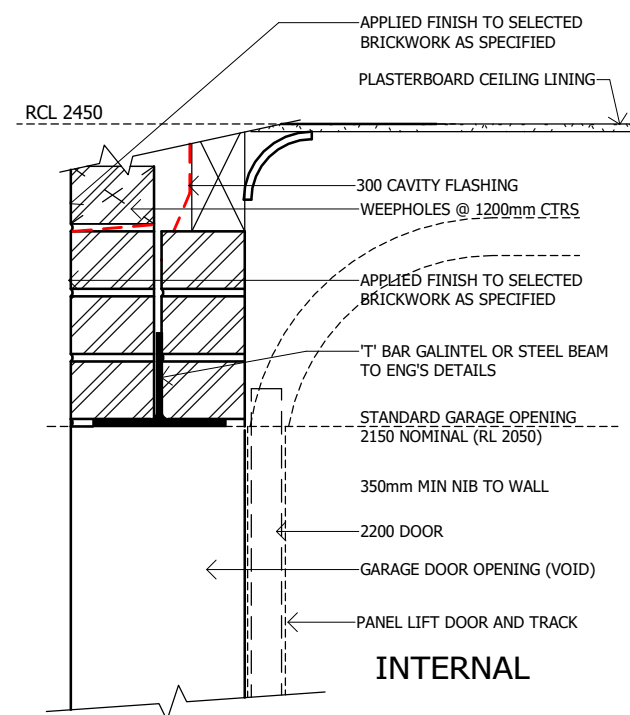
**1** TYPICAL GARAGE REBATE (FRONT/S)  
SCALE: 1 : 10



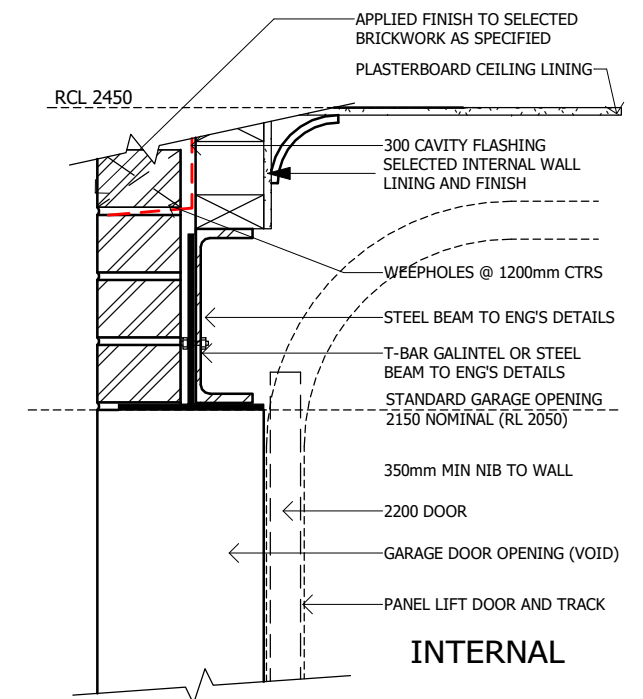
**2** TYPICAL GARAGE RECESS (FRONT/O)  
SCALE: 1 : 10



**3** TYPICAL GARAGE REBATE (SIDE)  
SCALE: 1 : 10



**4** GARAGE - 230 TYPICAL  
SCALE: 1 : 10



**5** GARAGE - 230 STRUCTURAL  
SCALE: 1 : 10

NOTES:

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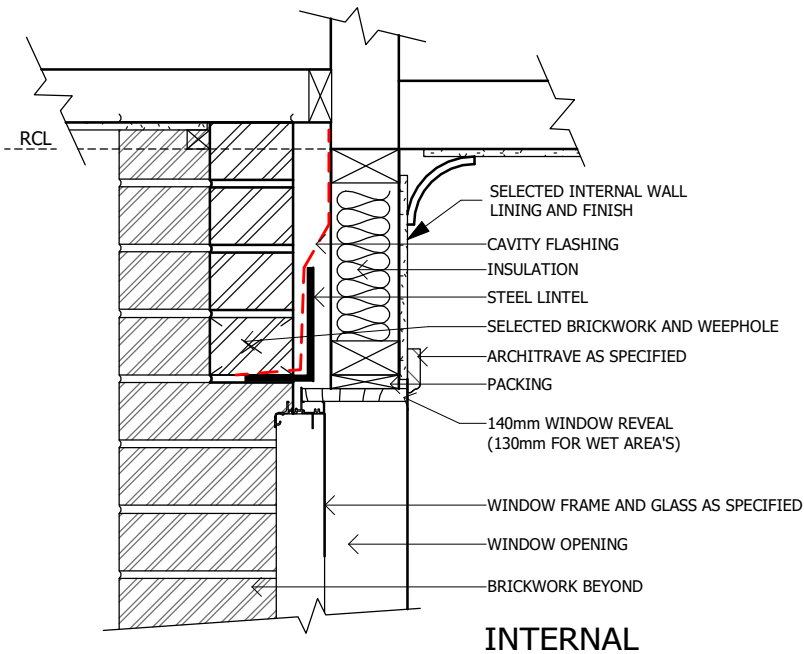
CLIENT:  
MS. OLIVIA BOYLE & MR. ANDREW IEMMA  
SITE ADDRESS:  
LOT 7 (DP 238331)  
10 COURTLEY RD  
BEACON HILL NSW 2100

CLIENT INITIALS: 1. \_\_\_\_\_ 2. \_\_\_\_\_

HOUSE TYPE  
MODEL: WINDERMERE ACT 31  
FACADE: CLASSIC  
TYPE: DOUBLE GARAGE  
SPECIFICATION: CORE SPEC. V2  
DRAWING TITLE:  
**SLAB DETAILS GARAGE**

DRAWN BY:	DATE DRAWN:	CHECKED BY:	APPROVED FOR CONSTRUCTION
COUNCIL AREA: NORTHERN BEACHES		SCALE: 1 : 10	
JOB No: <b>A000350</b>	DRWG No: <b>D2</b>	ISSUE: <b>E</b>	

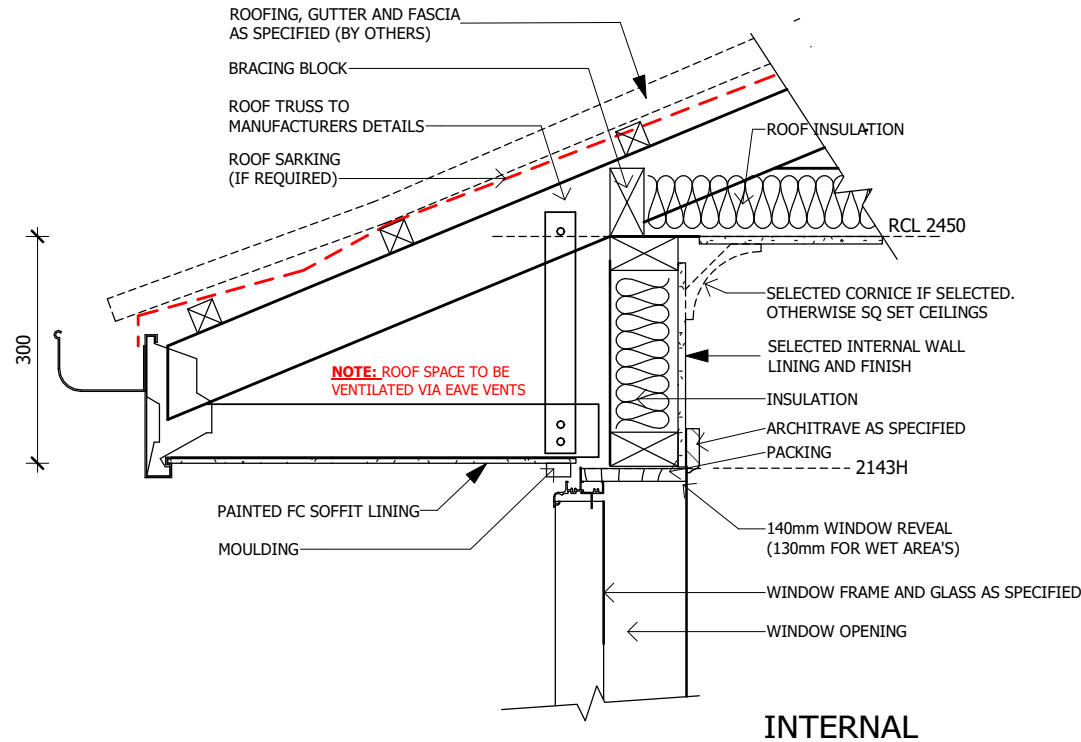
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INTERNAL

### 1 WINDOW HEAD - VENEER

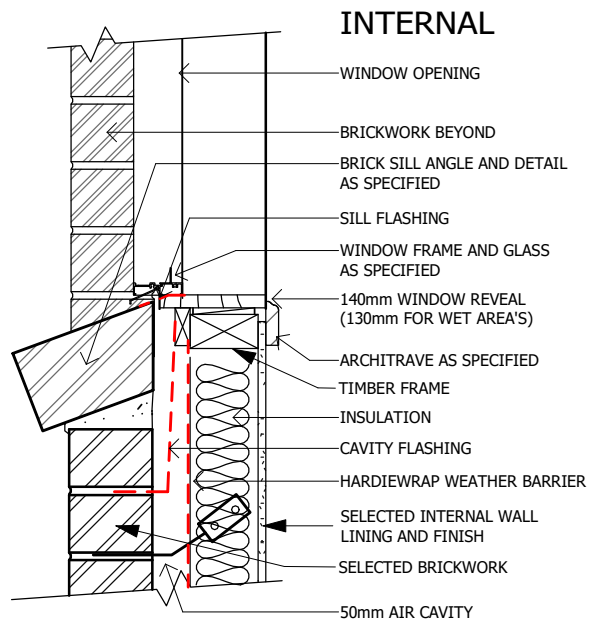
SCALE: 1 : 10



INTERNAL

### 2 WINDOW HEAD - AT EAVES

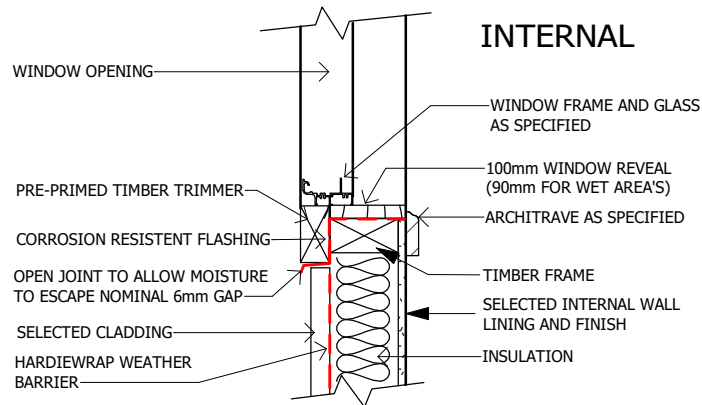
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INTERNAL

### 3 WINDOW TYPICAL SILL - ANGLE

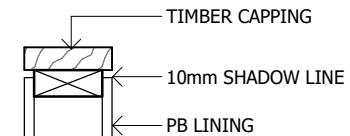
SCALE: 1 : 10



INTERNAL

### 4 WINDOW SILL - CLADDING

SCALE: 1 : 10



### 5 TIMBER CAPPING DET

SCALE: 1 : 10

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BEACON HILL NSW 2100

CLIENT INITIALS: 1. \_\_\_\_\_ 2. \_\_\_\_\_

HOUSE TYPE  
MODEL: WINDERMERE ACT 31  
FACADE: CLASSIC  
TYPE: DOUBLE GARAGE  
SPECIFICATION: CORE SPEC. V2

DRAWING TITLE:  
**OPENINGS/FACADE**

DRAWN BY: DATE DRAWN: CHECKED BY: APPROVED FOR CONSTRUCTION

COUNCIL AREA: NORTHERN BEACHES  
SCALE: 1 : 10

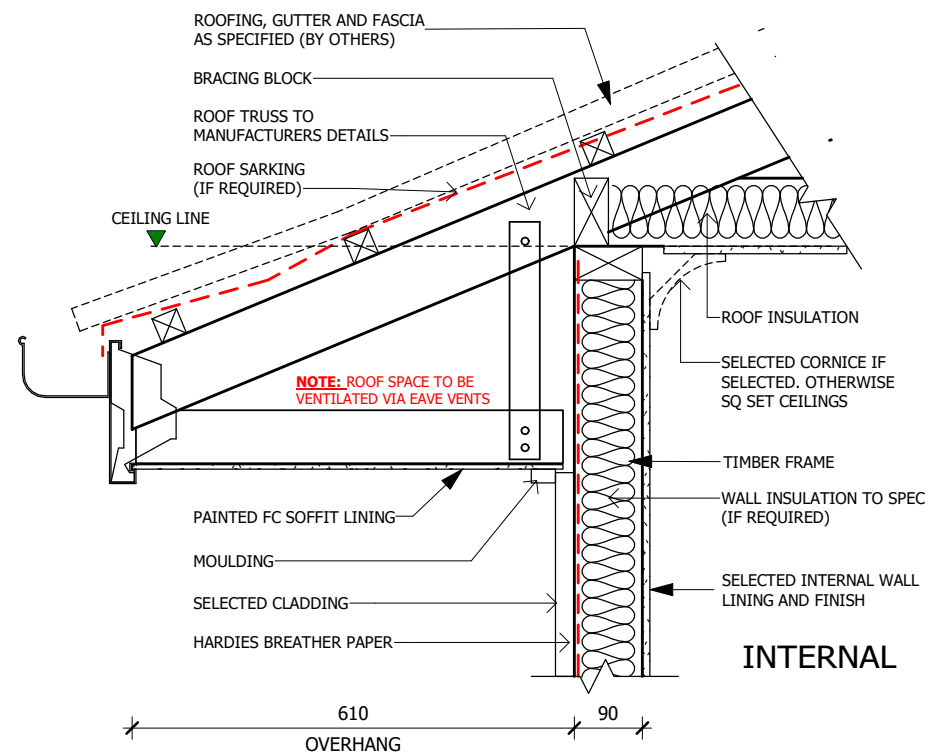
JOB No: A000350  
DRWG No: D3  
ISSUE: E

DETAILS

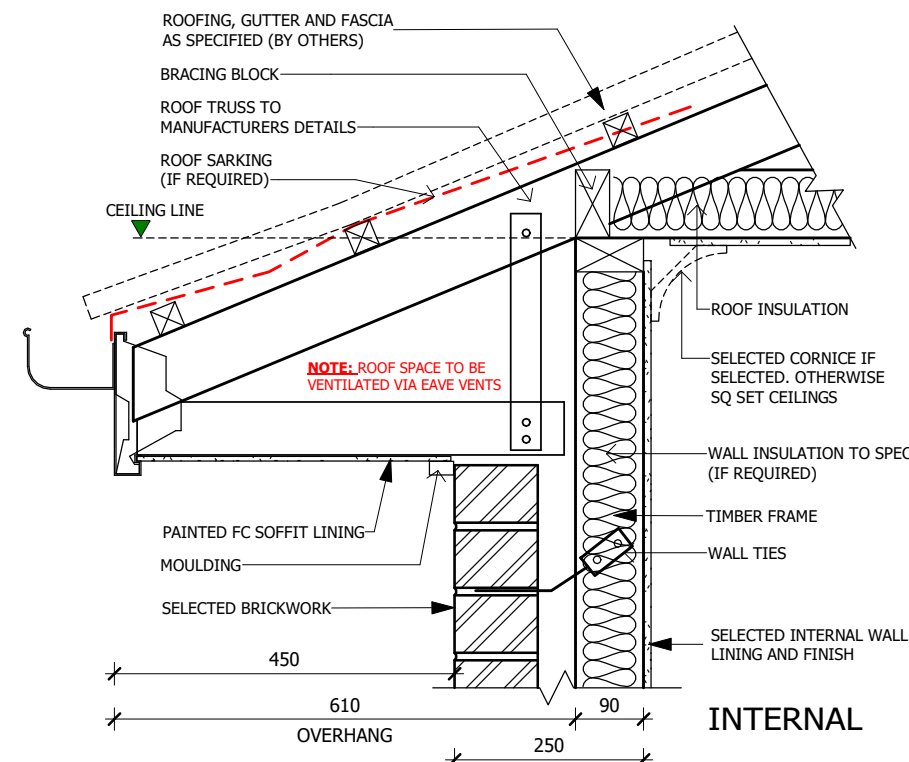


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ARCHITECTURAL CONDITIONS  
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OR REFERENCED ON  
ARCHITECTURAL DRAWINGS.**

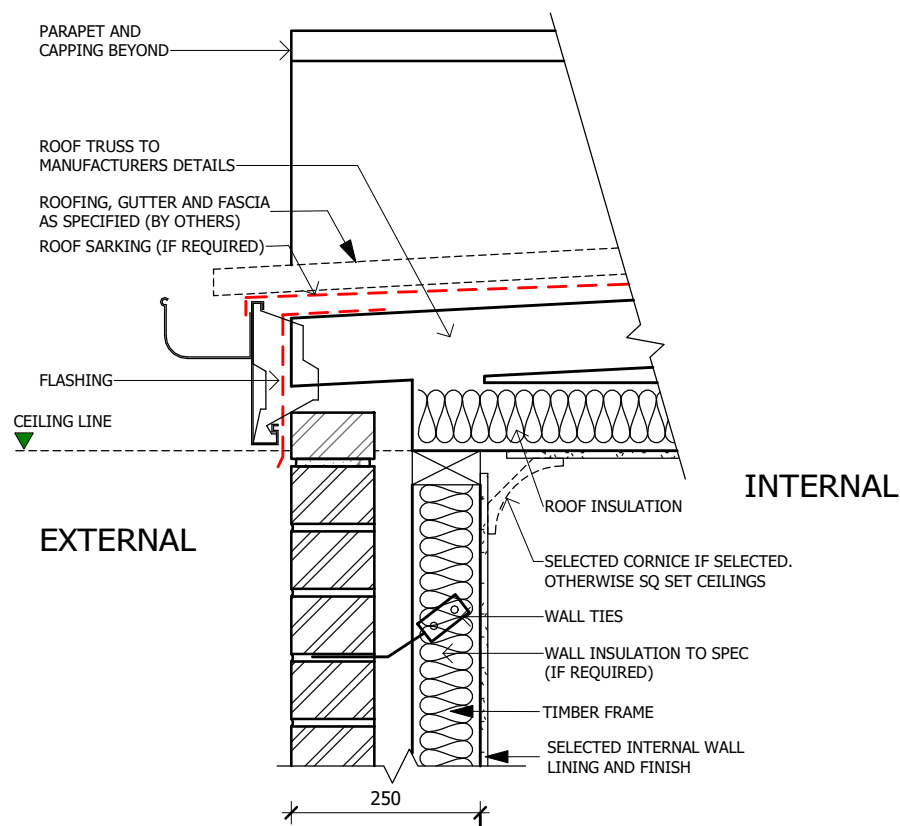
**NOTE: DETAILS SHOWN ARE FOR  
STANDARD 22.5° PITCH ROOF, FOR  
OTHER PITCHES PROVIDE  
ADJUSTMENT IN EAVE DROP OFF TO  
SUIT.**



**1a EAVES DETAIL WITH CLADDING**  
SCALE: 1 : 10



**2a TYPICAL VENEER EAVES DETAIL**  
SCALE: 1 : 10



**3a GUTTER DETAIL - NO EAVES**  
SCALE: 1 : 10

NOTES:

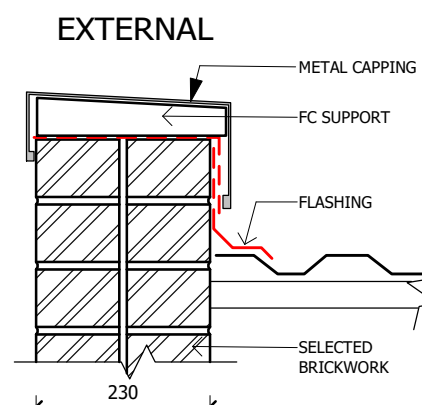
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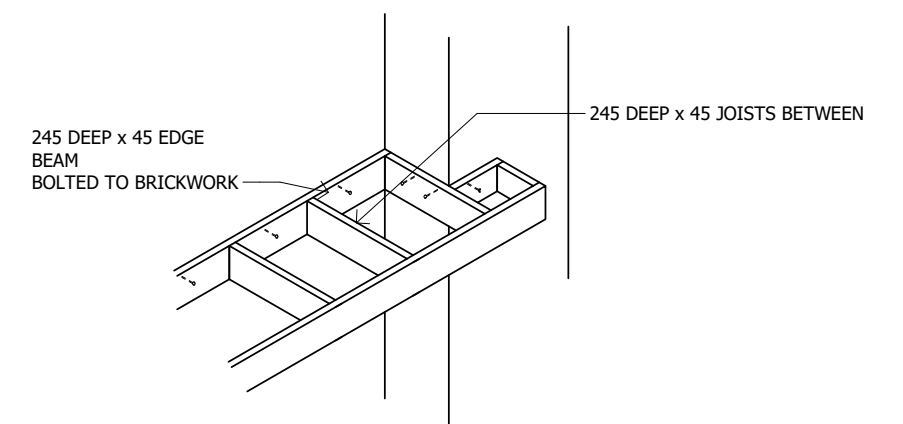


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**4a DOUBLE BRICK PARAPET**  
SCALE: 1 : 10



**5a PERGOLA DETAIL**  
SCALE: 1 : 50

CLIENT INITIALS: 1. \_\_\_\_\_ 2. \_\_\_\_\_

HOUSE TYPE  
MODEL: **WINDERMERE ACT 31**  
FACADE: **CLASSIC**  
TYPE: **DOUBLE GARAGE**  
SPECIFICATION: **CORE SPEC. V2**

DRAWING TITLE:  
**EAVES/FACADE DETAILS**

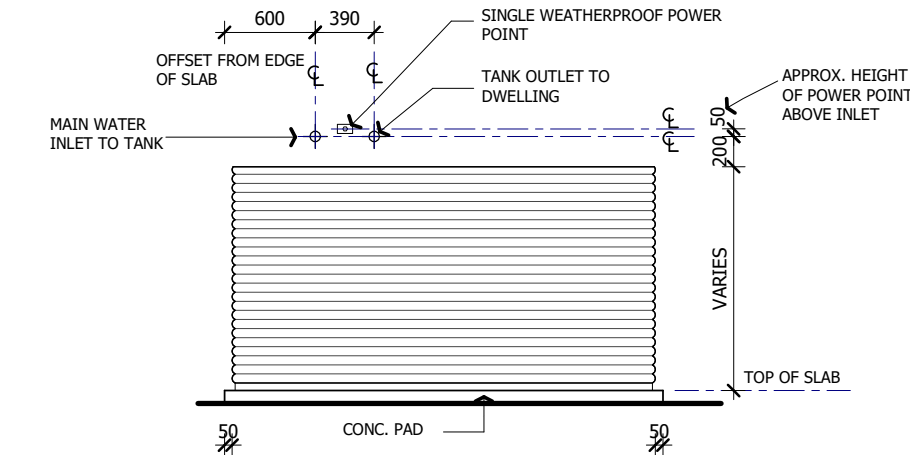
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COUNCIL AREA: <b>NORTHERN BEACHES</b>		SCALE: As indicated	
JOB No: <b>A000350</b>	DRWG No: <b>D4</b>	ISSUE: <b>E</b>	

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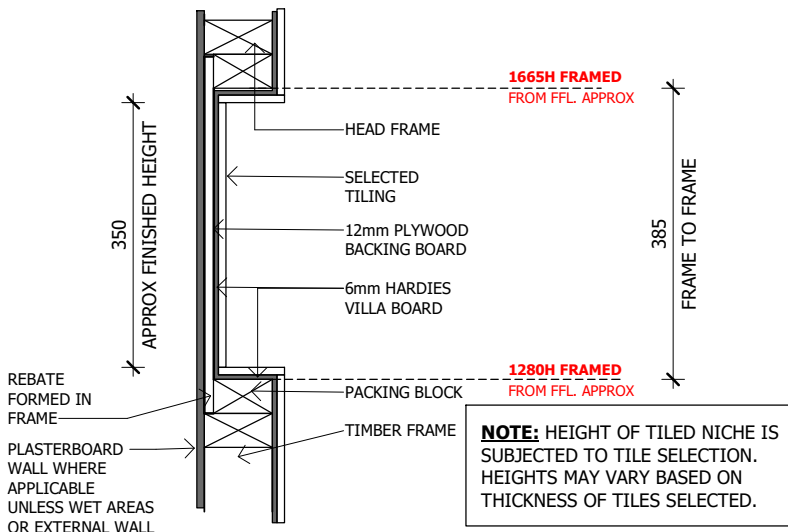
**IMPORTANT NOTE:** FINISHED TILED HEIGHTS SHOWN ARE SUBJECT TO CHANGE DEPENDING ON TILE SELECTION. ALLOW ADJUSTMENTS IF LARGER/THICKER TILES ARE SELECTED.

**NOTE:** **ALL** DIMENSIONS SHOULD BE MARKED FROM THE SLAB/FLOOR LEVEL

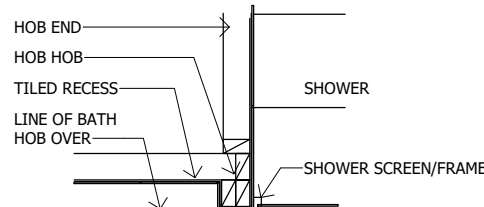
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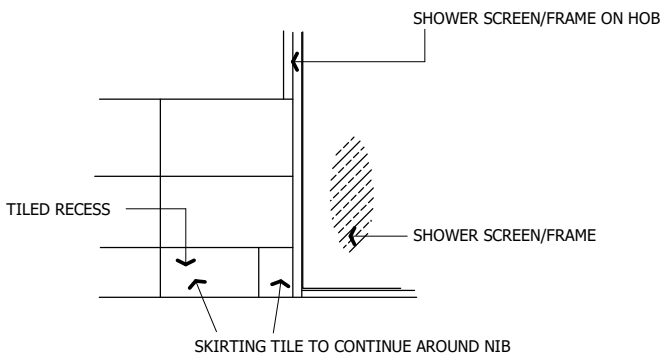
**1a** RAINWATER TANK  
SCALE: 1 : 50



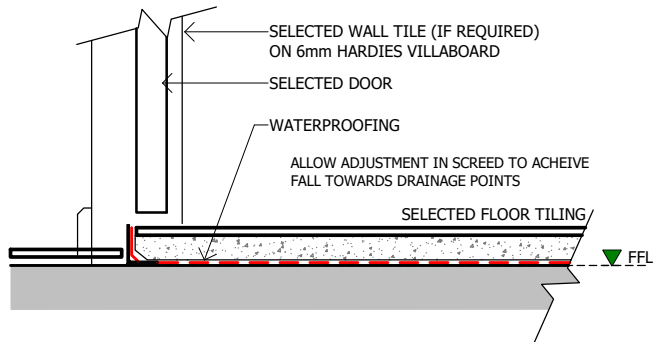
**3a** TILED NICHE DETAIL  
SCALE: 1 : 10



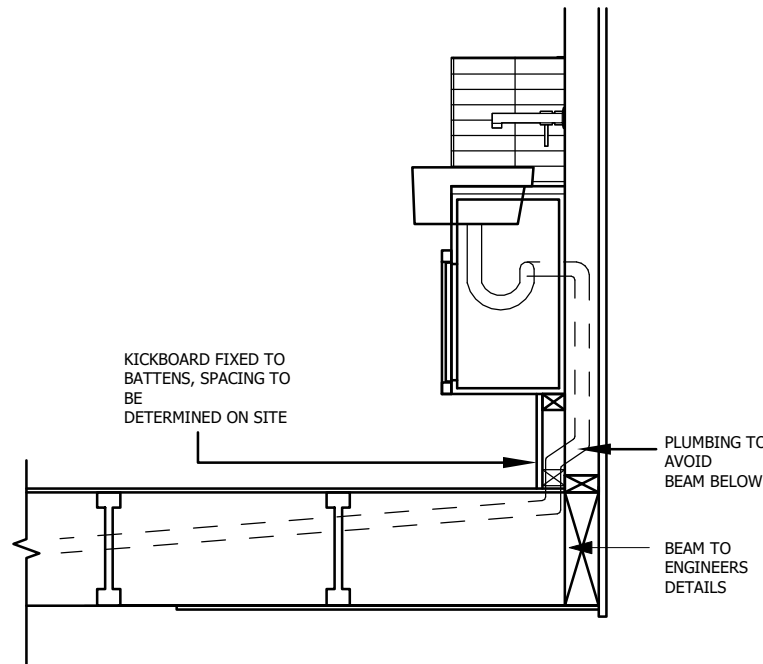
**5a** SHOWER SCREEN HOB  
SCALE: 1 : 20



**6a** SHOWER SCREEN ADJ TO HOB  
SCALE: 1 : 20



**2a** WET AREA DOOR THRESHOLD  
SCALE: 1 : 10



**8a** VANITY DETAIL - OVER BEAM  
SCALE: 1 : 20

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CLIENT INITIALS: 1. \_\_\_\_\_ 2. \_\_\_\_\_

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FACADE: **CLASSIC**  
TYPE: **DOUBLE GARAGE**  
SPECIFICATION: **CORE SPEC. V2**

DRAWING TITLE:  
**WET AREA DETAILS**

DRAWN BY: DATE DRAWN: CHECKED BY: APPROVED FOR CONSTRUCTION

COUNCIL AREA: **NORTHERN BEACHES**  
SCALE: **As indicated**

JOB No: **A000350**  
DRWG No: **D5**  
ISSUE: **E**