

- 1) CAUTION: SHOULD ANY DEVELOPMENT OR CONSTRUCTION BE PLANNED ON OR NEAR THE BOUNDARIES, THE BOUNDARIES SHOULD BE CLEARLY MARKED ON SITE.
- 2) ALL AREAS AND DIMENSIONS HAVE BEEN COMPILED FROM PLANS MADE AVAILABLE AT THE LAND TITLES OFFICE
- 3) ORIGIN OF LEVELS ON A.H.D. IS TAKEN FROM P.M. 7777 RL 124.25 A.H.D.
- 4) TREE SPREADS ARE DIAGRAMMATIC ONLY AND ARE NOT SYMMETRICAL.
- 5) UNDERGROUND (NON VISIBLE) SERVICE LINES HAVE BEEN SHOWN FROM 'DIAL BEFORE YOU DIG' SERVICE AUTHORITY RECORDS & ARE DIAGRAMMATIC ONLY IN REGARD TO THEIR POSITION & WIDTH UNLESS STATED OTHERWISE.
- 6) SPOT LEVELS ARE ACCURATE.
- 7) BEARINGS SHOWN ARE ON M.G.A. - (MAP GRID OF AUSTRALIA)

INVESTIGATION OF TWA BEFORE YOU DIG UNDERGROUND SERVICES HAS BEEN MADE DETECTION OF UNDERGROUND SERVICES IS NOT AN INTEGRAL PART OF THE SURVEY. ALL RELEVANT AUTHORITIES SHOULD BE NOTIFIED PRIOR TO ANY EXCAVATION ON OR NEAR THE SITE.

DEVELOPERS & EXCAVATORS MAY BE HELD FINANCIALLY RESPONSIBLE BY THE ASSET OWNER SHOULD THEY DAMAGE UNDERGROUND NETWORKS.

CARELESS DIGGING CAN

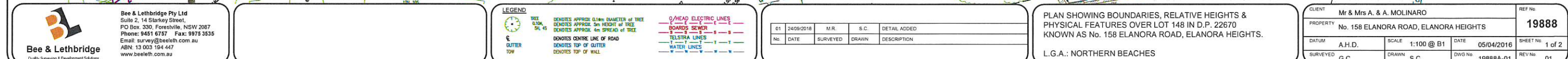
- CAUSE DEATH OR SERIOUS INJURY TO WORKERS AND THE GENERAL PUBLIC
- INTERRUPT SERVICES OF ELECTRICITY GAS WATER AND COMMUNICATION
- LEAD TO CRIMINAL PROSECUTION AND DAMAGES CLAIMS
- CAUSE EXPENSIVE FINANCIAL LOSSES TO BUSINESS
- CUT OFF EMERGENCY SERVICES
- DELAY PROJECT COMPLETION TIMES WHILE THE DAMAGE IS REPAIRED

MINIMISE YOUR RISK AND DIAL BEFORE YOU DIG.

TEL 1100

www.dialbeforeyoudig.com.au

 **DIAL 1100**  
BEFORE YOU DIG



PLAN SHOWING BOUNDARIES, RELATIVE HEIGHTS &  
PHYSICAL FEATURES OVER LOT 148 IN D.P. 22670  
KNOWN AS No. 158 ELANORA ROAD, ELANORA HEIGHTS.  
L.G.A.: NORTHERN BEACHES

|          |  |            |  |                                       |  |            |  |
|----------|--|------------|--|---------------------------------------|--|------------|--|
| CLIENT   |  |            |  | Mr & Mrs A. & A. MOLINARO             |  | REF No.    |  |
| PROPERTY |  |            |  | No. 158 ELANORA ROAD, ELANORA HEIGHTS |  | 19888      |  |
| DATUM    |  | A.H.D.     |  | SCALE                                 |  | 1:100 @ B1 |  |
| DATE     |  | 05/04/2016 |  | SHEET No.                             |  | 1 of 2     |  |
| SURVEYED |  | G.C.       |  | DRAWN                                 |  | S.C.       |  |
| DWG No.  |  | 10888A-01  |  | REV No.                               |  | 01         |  |



M.G.A.  
(MAP GRID of AUSTRALIA.)

D.P. 22281

149  
D.P. 22670

ROAD

LOT 1  
1969m<sup>2</sup>

LOT 3  
550.5m<sup>2</sup>

LOT 2  
550.6m<sup>2</sup>

LOT 4  
1444m<sup>2</sup>

D.P. 22670

ELANORA



**Bee & Lethbridge**  
Quality Surveying & Development Solutions

**Bee & Lethbridge Pty Ltd**  
Suite 2, 14 Starkey Street,  
PO Box. 330, Forestville, NSW 2087  
Phone: 9451 6757 Fax: 9975 3535  
Email: survey@beeeth.com.au  
ABN: 13 003 194 447  
www.beeeth.com.au

PLAN OF PROPOSED SUBDIVISION OF LOTS 147 & 148 IN D.P. 22670 KNOWN  
AS ELANORA GOLF CLUB & No. 158 ELANORA ROAD, ELANORA HEIGHTS.

L.G.A.: NORTHERN BEACHES

|          |           |                                                              |            |                             |            |           |        |
|----------|-----------|--------------------------------------------------------------|------------|-----------------------------|------------|-----------|--------|
| CLIENT   |           | Mr & Mrs A. & A. MOLINARO                                    |            | REF No.<br><br><b>19888</b> |            |           |        |
| PROPERTY |           | ELANORA GOLF CLUB & No. 158 ELANORA ROAD,<br>ELANORA HEIGHTS |            |                             |            |           |        |
| DATUM    | A.H.D.    | SCALE                                                        | 1:300 @ A3 | DATE                        | 20/05/2019 | SHEET No. | 1 of 1 |
| SURVEYED | W.B./M.R. | DRAWN                                                        | R.M./S.C.  | DWG No.                     | 19888E     | REV No.   | 00     |

NOTES:

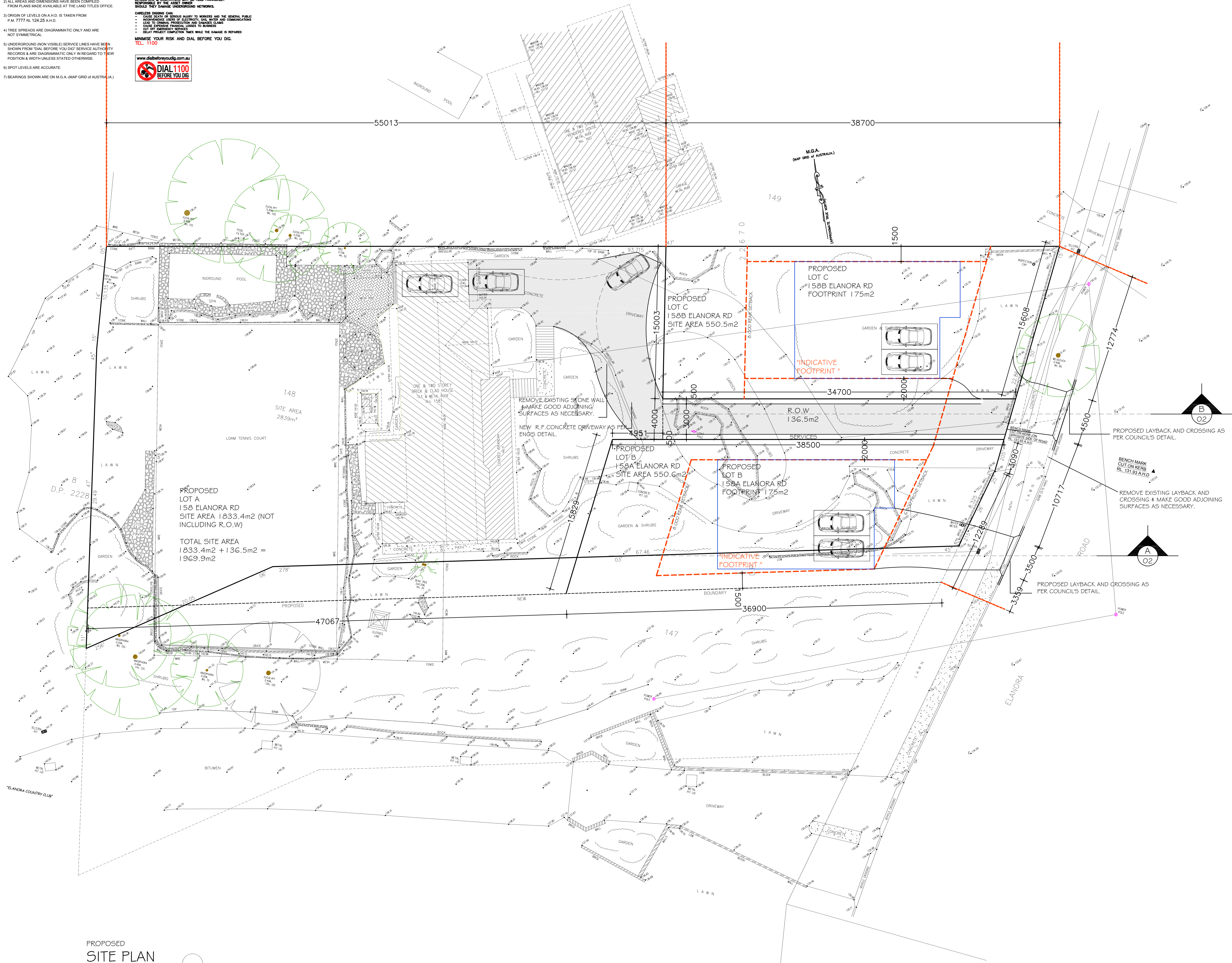
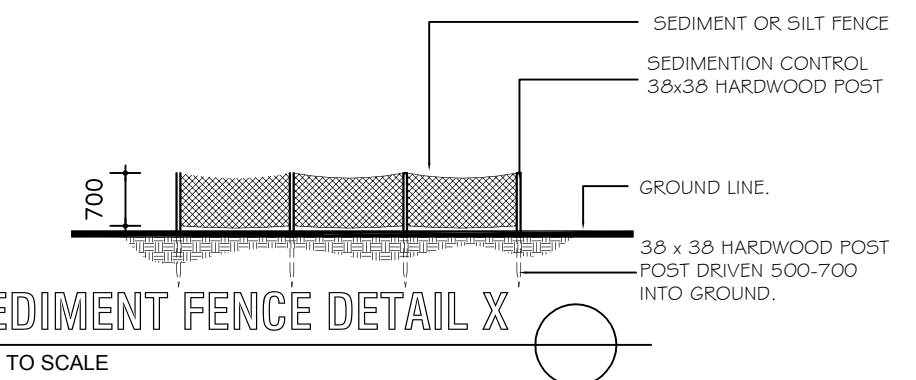
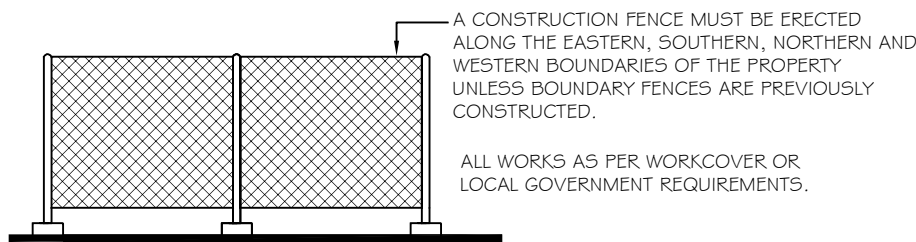
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NOTES

1. Do not scale off drawings. (If in doubt, ask)
2. All measurements to be checked on site prior to commencement of construction.
3. Check all levels, roof pitch, location of services and boundary lines, site and building conditions before commencing work or ordering materials.
4. Supply & install selected smoke alarm system to comply with AS3786.
5. All storm water to be connected to street gutters as per council requirements.
6. Provide street location number on selected letter box area facing the street.
7. The work shown on this and associated drawings shall be carried in a tradesmanlike manner and shall be in accordance with the standards, codes, ordinances, regulations, of the Standards Association of Australia, the Building Code of Australia and any statutory authority having jurisdiction over the works.
8. Setting out dimensions shown on the drawings shall be verified by the builder.
9. During construction the structure shall be maintained in a stable condition, and no part shall be over-stressed.
10. Flashings and damp-proof course to be placed in accordance with good building principles whether shown on the details or not.
11. Supply and install lift off hinges to all wet area doors.



PROPOSED  
SITE PLAN  
SCALE 1:200

PROPOSED  
LOT A  
158 ELANORA RD  
SITE AREA 1833.4m2 (NOT  
INCLUDING R.O.W.)  
TOTAL SITE AREA  
1833.4m2 + 136.5m2 =  
1969.9m2

PROPOSED  
LOT A  
158 ELANORA RD  
SITE AREA 1833.4m2 (NOT  
INCLUDING R.O.W.)  
TOTAL SITE AREA  
1833.4m2 + 136.5m2 =  
1969.9m2  
LANDSCAPE = 1127m2 = 61.4%

PROPOSED  
LOT B  
158A ELANORA RD  
SITE AREA 550.6m2

PROPOSED  
LOT B  
158A ELANORA RD  
SITE AREA 550.6m2  
LANDSCAPE 333m2 = 60.4%

PROPOSED  
LOT C  
158B ELANORA RD  
SITE AREA 550.5m2

PROPOSED  
LOT C  
158B ELANORA RD  
SITE AREA 550.5m2  
LANDSCAPE = 331m2 = 60%

peterZavagliaDesignstudio

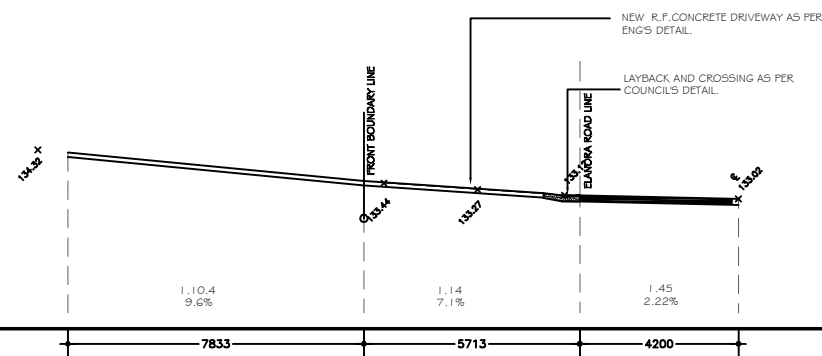
abn 24 292 958 837  
po box 6572 frenchs forest nsw 1640  
e peter@zavagliadesign.com.au  
m 0413 095 560

|         |                                                  |                             |                |                 |
|---------|--------------------------------------------------|-----------------------------|----------------|-----------------|
| Project | PROPOSED SUBDIVISION<br>ONE LOT INTO THREE LOTS  | Date MARCH 2019             | Scale 1:200@A1 | PROJECT No 1906 |
| Address | 158 ELANORA ROAD,<br>ELANORA HEIGHTS<br>NSW 2101 | Drawing No.<br><br>DA01 -02 |                | Issue           |
| Client  | Mr & Mrs A. & A. MOLINARO                        |                             |                |                 |

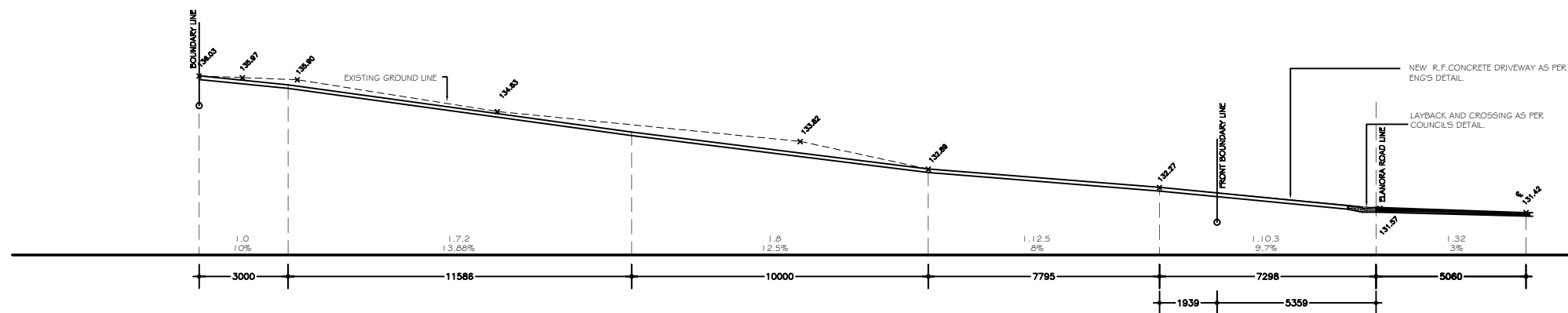
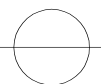
| Date       | Issue | Revision |
|------------|-------|----------|
| Amendments |       |          |

NOT FOR CONSTRUCTION

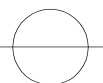




PROPOSED  
SECTION A  
SCALE 1:200



PROPOSED  
SECTION B  
SCALE 1:200



|            |       |          |                                                                                                                                                                         |         |                                                  |                           |                             |                 |       |
|------------|-------|----------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------|--------------------------------------------------|---------------------------|-----------------------------|-----------------|-------|
|            |       |          | <p><b>peterZavagliaDesignstudio</b></p> <p>abn 24 292 958 837</p> <p>po box 6572 frenchs forest nsw 1640</p> <p>e peter@zavagliadesign.com.au</p> <p>m 0413 095 560</p> | Project | PROPOSED SUBDIVISION<br>ONE LOT INTO THREE LOTS  | Date MARCH 2019           | Scale 1:200@A3              | PROJECT No 1906 |       |
|            |       |          |                                                                                                                                                                         | Address | 158 ELANORA ROAD,<br>ELANORA HEIGHTS<br>NSW 2101 | LOT 148<br>D.P. 22670     | Drawing No.<br><br>DA02 -02 |                 | Issue |
| Date       | Issue | Revision |                                                                                                                                                                         |         |                                                  |                           |                             |                 |       |
| Amendments |       |          |                                                                                                                                                                         |         |                                                  |                           |                             |                 |       |
|            |       |          |                                                                                                                                                                         |         | Client                                           | Mr & Mrs A. & A. MOLINARO |                             |                 |       |



