

RESIDENTIAL DEVELOPMENT

8 Forest Road | Warriewood NSW 2102

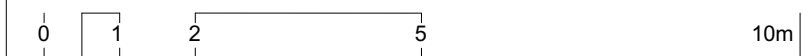
SECTION 4.56(2) APPLICATION



UNIT SCHEDULE													
Apartment No:	No of Bedrooms	Area (m2)	Adaptable	Cross Ventilation	09.00	10.00	11.00	12.00	13.00	14.00	15.00	Total Solar Access	
TH 01	4 BED	241.5	NO	YES	1	1	1	1	1	1	1	6 HRS	
TH 02	4 BED	182.8	NO	YES	1	1	0	0	0	1	1	2 HRS	
TH 03	4 BED	184.0	NO	YES	1	1	0.5	0	0	1	1	2.5 HRS	
TH 04	4 BED	183.8	NO	YES	1	1	0	0	0	1	1	2 HRS	
TH 05	4 BED	183.3	NO	YES	1	1	0	0	0	1	1	2 HRS	
TH 06	4 BED	182.6	NO	YES	1	1	0.5	0	0.5	1	1	3 HRS	
TH 07	4 BED	183.7	NO	YES	1	1	0.5	0	0.5	1	1	3 HRS	
TH 08	4 BED	183.3	NO	YES	1	1	0	0	0.5	1	1	2.5 HRS	
TH 09	4 BED	183.6	NO	YES	1	1	0	0	0.5	1	1	2.5 HRS	
TH 10	4 BED	182.2	NO	YES	1	1	0.5	0	0.5	1	1	3 HRS	
TH 11	4 BED	183.5	NO	YES	1	1	0.5	0	0.5	1	1	3 HRS	
TH 12	4 BED	183.7	NO	YES	1	1	0	0	0.5	1	1	2.5 HRS	
TH 13	4 BED	183.9	NO	YES	1	1	0	0	0.5	1	1	2.5 HRS	
TH 14	4 BED	212.4	NO	YES	1	1	0	0	0.5	1	1	2.5 HRS	
UNIT 01	3 BED	121.2	NO	YES	0	0	0	0	0	0.5	1	0.5 HRS	
UNIT 02	3 BED	121.2	NO	YES	0	1	1	1	1	1	1	5 HRS	
UNIT 03	3 BED	127.8	NO	YES	1	1	1	1	1	1	1	6 HRS	
UNIT 04	1 BED	76.8	NO	YES	1	1	1	1	1	1	1	6 HRS	
UNIT 05 ADAPT	2 BED	103.0	YES	YES	1	1	1	0	0	0	0	2 HRS	
UNIT 06	3 BED	128.7	NO	YES	0	0	0	0	0	0	0	0 HRS	
UNIT 07	3 BED	121.2	NO	YES	0	0	0	0	0	0.5	1	0.5 HRS	
UNIT 08	3 BED	121.2	NO	YES	1	1	1	1	1	1	1	6 HRS	
UNIT 09	3 BED	127.8	NO	YES	1	1	1	1	1	1	1	6 HRS	
UNIT 10	3 BED	132.4	NO	YES	1	1	1	1	1	1	1	6 HRS	
UNIT 11 ADAPT	2 BED	103.0	YES	YES	1	1	1	0	0	0	0	2 HRS	
UNIT 12 ADAPT	3 BED	128.7	YES	YES	0	0	0	0	0	0	0	0 HRS	
UNIT 13	4 BED	137.0	NO	YES	0	0	0	0.5	1	1	1	2.5 HRS	
UNIT 14	3 BED	121.2	NO	YES	1	1	1	1	1	1	1	6 HRS	
UNIT 15	3 BED	127.8	NO	YES	1	1	1	1	1	1	1	6 HRS	
UNIT 16	3 BED	132.1	NO	YES	1	1	1	1	1	1	1	6 HRS	
UNIT 17 ADAPT	2 BED	103.0	YES	YES	1	1	1	0	0	0	0	2 HRS	
UNIT 18 ADAPT	3 BED	128.7	YES	YES	1	1	1	1	1	1	1	6 HRS	
UNIT 19	3 BED	121.4	NO	YES	1	1	1	1	1	1	1	6 HRS	
UNIT 20 ADAPT	3 BED	128.8	YES	YES	1	1	1	1	0	0	0	3 HRS	
UNIT 21 ADAPT	2 BED	91.4	YES	YES	1	1	1	1	1	1	0	5 HRS	
UNIT 22	3 BED	122.1	NO	YES	0.5	0	0	0	0	0	0	0.5 HRS	
UNIT 23	3 BED	256.6	NO	YES	0	0	0	0	0	0	0	0 HRS	
UNIT 24	3 BED	131.0	NO	YES	0	0	0	0	0.5	1	0	0.5 HRS	
UNIT 25	3 BED	120.9	NO	YES	1	1	1	1	1	1	1	6 HRS	
UNIT 26 ADAPT	3 BED	128.8	YES	YES	1	1	1	1	0	0	0	3 HRS	
UNIT 27 ADAPT	2 BED	91.2	YES	YES	1	1	1	1	1	1	0	5 HRS	
UNIT 27 ADAPT	3 BED	122.1	YES	YES	1	1	1	1	1	1	0	5 HRS	
UNIT 29	3 BED	128.2	NO	YES	0	0	0	0	0	0	0	0 HRS	
UNIT 30	3 BED	130.8	NO	YES	0	0	0	0.5	1	1	0.5	2 HRS	
UNIT 31	3 BED	120.9	NO	YES	1	1	1	1	1	1	1	6 HRS	
UNIT 32	3 BED	128.7	NO	YES	1	1	1	1	1	1	1	6 HRS	
UNIT 33 ADAPT	2 BED	91.4	YES	YES	1	1	1	1	1	0.5	0	5.5 HRS	
UNIT 34	3 BED	122.1	NO	YES	0.5	0	1	1	1	0	0	2.5 HRS	
UNIT 35	3 BED	128.2	NO	YES	1	1	1	1	1	1	1	6 HRS	
UNIT 36	3 BED	130.9	NO	YES	1	1	1	1	1	1	1	6 HRS	
UNIT 37 ADAPT	3 BED	132.7	YES	YES	1	1	1	1	1	1	1	6 HRS	
UNIT 38	3 BED	134.9	NO	YES	1	1	1	1	1	0.5	0	5.5 HRS	
UNIT 39	3 BED	133.6	NO	YES	0	0	0	0	0	0	0	0 HRS	
UNIT 40	3 BED	132.6	NO	YES	0	0	0	0	0	1	1	2 HRS	
UNIT 41 ADAPT	3 BED	132.7	YES	YES	1	1	1	1	1	1	1	6 HRS	
UNIT 42	3 BED	134.9	NO	YES	1	1	1	1	1	0.5	0	5.5 HRS	
UNIT 43	3 BED	143.5	NO	YES	0	0	0	0	0	0	0	0 HRS	
UNIT 44	3 BED	132.6	NO	YES	0	0	0	0	0	1	1	2 HRS	
UNIT 45 ADAPT	3 BED	132.7	YES	YES	1	1	1	1	1	1	1	6 HRS	
UNIT 46	3 BED	134.9	NO	YES	1	1	1	1	1	0.5	0	5.5 HRS	
UNIT 47	3 BED	143.1	NO	YES	0	0.5	1	1	0.5	0	0	2 HRS	
UNIT 48	3 BED	131.2	NO	YES	0	0.5	1	1	0	1	1	2.5 HRS	
UNIT 49	3 BED	121.7	NO	YES	0.5	0	0	0	0	0	0	0.5 HRS	
UNIT 50	2 BED	87.3	NO	YES	0	0	0	0	0	0	0	0 HRS	
UNIT 51	3 BED	120.9	NO	YES	0	0	0	0	0	0	0	0 HRS	
UNIT 52	3 BED	121.8	NO	YES	1	1	1	1	1	1	1	6 HRS	

UNIT SCHEDULE													
Apartment No:	No of Bedrooms	Area (m2)	Adaptable	Cross Ventilation	09.00	10.00	11.00	12.00	13.00	14.00	15.00	Total Solar Access	
UNIT 53 ADAPT	3 BED	128.6	YES	YES	1	1	1	1	1	1	1	6 HRS	
UNIT 54	3 BED	121.4	NO	YES	1	1	1	1	1	0.5	0	5.5 HRS	
UNIT 55	3 BED	121.7	NO	YES	0.5	0	0	0	0	0	0	0.5 HRS	
UNIT 56	2BED	87.4	NO	YES	0	0	0	0	0	0	0	0 HRS	
UNIT 57	3 BED	120.8	NO	YES	0	0	0	0	0	0	0	0 HRS	
UNIT 58	3 BED	121.8	NO	YES	1	1	1	1	1	1	1	6 HRS	
UNIT 59 ADAPT	3 BED	128.6	YES	YES	1	1	1	1	1	1	1	6 HRS	
UNIT 60	3 BED	121.4	NO	YES	1	1	1	1	1	0.5	0	5.5 HRS	
UNIT 61	3 BED	121.6	NO	YES	1	1	1	0.5	0	0	0	2.5 HRS	
UNIT 62	2BED	87.4	NO	YES	1	1	1	1	1	1	1	6 HRS	
UNIT 63	3 BED	120.8	NO	YES	0	0	1	1	0.5	1	1	2.5 HRS	
UNIT 64	3 BED	121.8	NO	YES	1	1	1	1	1	1	1	6 HRS	
UNIT 65 ADAPT	3 BED	128.6	YES	YES	1	1	1	1	1	1	1	6 HRS	
UNIT 66	3 BED	121.4	NO	YES	1	1	1	1	1	0.5	0	5.5 HRS	

SCHEDULE OF AREAS	
ADDRESS	8 Forest Road Warriewood NSW 2102 Australia
LOT AND DP	LOT 1 DP 5055
SITE AREA RU2 SITE AREA R3 SITE AREA	5.678 Ha 2.823 Ha 2.855 Ha
LANDSCAPE AREA (R3 AREA) (53.7% OF R3 SITE AREA)	15,331.0 m²
PROPOSED -- RESIDENTIAL :	66 x UNITS 14 x Town Houses 1 x 1 BEDROOM 9 x 2 BEDROOM 55 x 3 BEDROOM 1 x 4 BEDROOM
CAR PARKING :	RESIDENTIAL: 167 VISITORS: 27 TOTAL SPACES: 194



Rev	Date	Amendment	By	Rev	Date	Amendment	By
01	21/01/2022	ISSUE FOR S4.56	JB				

- GENERAL NOTES:
- ALL DIMENSIONS AND SIZES ARE IN MILLIMETRES. DO NOT SCALE DRAWINGS. PREFERENCES OF DIMENSIONED MEASUREMENT TO BE TAKEN OVER SCALED MEASUREMENTS.
 - ALL WALL THICKNESSES DIMENSIONED OR NOTED ARE NOMINAL SIZES ONLY.
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 - INFORM THE ARCHITECT OF ANY DISCREPANCIES.
 - THE WORK IS TO BE COMPLETED IN ACCORDANCE WITH THE NATIONAL CONSTRUCTION CODE OF AUSTRALIA, AUSTRALIAN STANDARDS, SAA CODES AND ALL RELEVANT CONDITIONS BY LAW.
 - THE BUILDING MANUFACTURER SHALL CHECK AND VERIFY ALL DIMENSIONS, RL, GROUNDLINES AND CONSTRUCTION METHODS PRIOR TO COMMENCEMENT OF WORK.
 - A COPY OF THIS PLAN IS TO BE SUBMITTED BY THE PROPRIETOR TO THE WATERBOARD FOR APPROVAL AS REQUIRED BY THE LOCAL COUNCIL.
 - THIS DRAWING IS PROTECTED BY COPYRIGHT. IT MAY ONLY BE USED FOR THE PURPOSE FOR WHICH IT IS ISSUED.

Structural Engineer:
#Structural Engineer

Mechanical Services:
#Mechanical Engineer

Electrical Services:
#Electrical Engineer

Hydraulic Services:
#Hydraulic Engineer

Fire Services:
#Fire Engineer

BCA and Access Consultant:
BCA Logic

Principal Certifying Authority:
#Principal Certifying Authority

Landscape Architect:
Site Design Studios

Acoustic Engineer:
#Acoustic Engineer

ISSUE FOR S4.56

Project: RESIDENTIAL DEVELOPMENT

Client: EQ CONSTRUCTIONS

Address:
8 Forest Road Warriewood NSW 2102 Australia

Drawing Title:
Preliminary
Title Page

Revision:

03

Drawing No:

A000

Project No: Pn_0800

Checked: PD
Drawn: JB
Scale@A1: 1:100, 1:1, 1:2
Date: 11/02/2022



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ABN: 90 616 216 196
NSW Nominated Architect Pavlo Doroch 9170



GENERAL NOTES:

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7. THE BUILDING MANUFACTURER SHALL CHECK AND VERIFY ALL DIMENSIONS, RL GROUNDLINE CONSTRUCTION METHODS PRIOR TO COMMENCEMENT OF WORK.
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S4.56 Changes

Structural Engineer: #Structural Engineer Hydraulic Services: #Hydraulic Engineer Principal Certifying Authority: #Principal Certifying Authority

Mechanical Services: #Mechanical Engineer Fire Services: #Fire Engineer Landscape Architect: Site Design Studios

Electrical Services: #Electrical Engineer BCA and Access Consultant: Acoustic Engineer: #Acoustic Engineer

Rev	Date	Amendment	By
01	1/12/2021	ISSUE FOR S4 56(2) FOR COORDINATION	GL
02	22/12/2021	ISSUE FOR S4 56 - FOR COORDINATION	GL
03	17/01/2022	ISSUE FOR S4 56 - FOR COORDINATION	GL
04	21/01/2022	ISSUE FOR S4 56	GL

Project:
RESIDENTIAL DEVELOPMENT

Address:

8 Forest Road Warriewood NSW 2102 Australia

Client:
EQ CONSTRUCTIONS

Status:
ISSUE FOR S4.56

Drawing Title: Preliminary Site Plan

Project No: Drawing No: Revision:
Pn_0800 A001 06

Date: Checked: Drawn: Scale@A1:
11/02/2022 PD GL 1:500



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FUNCTIONING OF THE PROJECT. DO NOT ALTER ANY ASPECT WITHOUT REFERENCE TO THE
ARCHITECT.
4. READ THIS DRAWING IN CONJUNCTION WITH RELEVANT CONSULTANT DRAWINGS AND
SPECIFICATIONS.
5. INFORM THE ARCHITECT OF ANY DISCREPANCIES.
6. THE WORK IS TO BE COMPLETED IN ACCORDANCE WITH THE NATIONAL CONSTRUCTION
CODE OF AUSTRALIA, AUSTRALIAN STANDARDS, SAA CODES AND ALL RELEVANT
CONDITIONS BY-LAW.
7. THE BUILDING / MANUFACTURER SHALL CHECK AND VERIFY ALL DIMENSIONS, RL,
GROUNDLINES AND CONSTRUCTION METHODS PRIOR TO COMMENCEMENT OF WORK.
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FOR WHICH IT IS ISSUED.

S4.56 Changes
DA Approved Building Line
DA Approved Balcony Line

Rev	Date	Amendment	By
01	22/12/2021	ISSUE FOR S4.56 - FOR COORDINATION	JB, GL
02	21/01/2022	ISSUE FOR S4.56	JB, GL

Project:
RESIDENTIAL DEVELOPMENT

Address:
8 Forest Road Warriewood NSW 2102 Australia

Client:
EQ CONSTRUCTIONS

0 2 5 10 20m

Status:
ISSUE FOR S4.56

Drawing Title:
Floor Plans
Basement 1 - East

Project No:
Drawing No:
Revision:
Pn_0800 A099.1 05

Date:
11/02/2022
Checked:
PD
Drawn:
JB, GL
Scale@A1:
1:200



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FOR CONTINUATION SEE SHEET A099.2

01 Basement 1
Scale @ A1 = 1:200

FOR CONTINUATION SEE SHEET A099.1

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3. READ THIS DRAWING IN CONJUNCTION WITH RELEVANT CONSULTANT DRAWINGS AND SPECIFICATIONS.


4. INFORM THE ARCHITECT OF ANY DISCREPANCIES.

5. THE WORK IS TO BE COMPLETED IN ACCORDANCE WITH THE NATIONAL CONSTRUCTION SCHEDULE OF ACTS AND REGULATIONS, BUILDING CODES AND ALL RELEVANT CONDITIONS BY-LAW.

6. THE BUILDING / MANUFACTURER SHALL CHECK AND VERIFY ALL DIMENSIONS. RL (GROUNDING) SHALL BE ESTABLISHED 14 DAYS PRIOR TO COMMENCEMENT OF WORK.

7. A COPY OF THIS PLAN IS TO BE SUBMITTED BY THE PROPRIETOR TO THE WATERBOARDS FOR APPROVAL AS REQUIRED BY THE LOCAL COUNCIL.

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 S4.56 Changes
 DA Approved Building Line
 DA Approved Balcony Line

Rev	Date	Amendment	By
01	22/12/2021	ISSUE FOR S4.56 - FOR COORDINATION	JB, GL
02	21/01/2022	ISSUE FOR S4.56	JB, GL

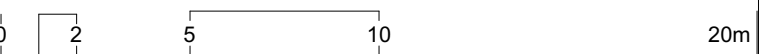
Project:

RESIDENTIAL DEVELOPMENT

Address:


8 Forest Road Warriewood NSW 2102 Australia

Client:
EQ CONSTRUCTIONS



Status:

ISSUE FOR \$4.56



Drawing Title: Floor Plans
Basement 1 - West

Project No:	Drawing No:	Revision:
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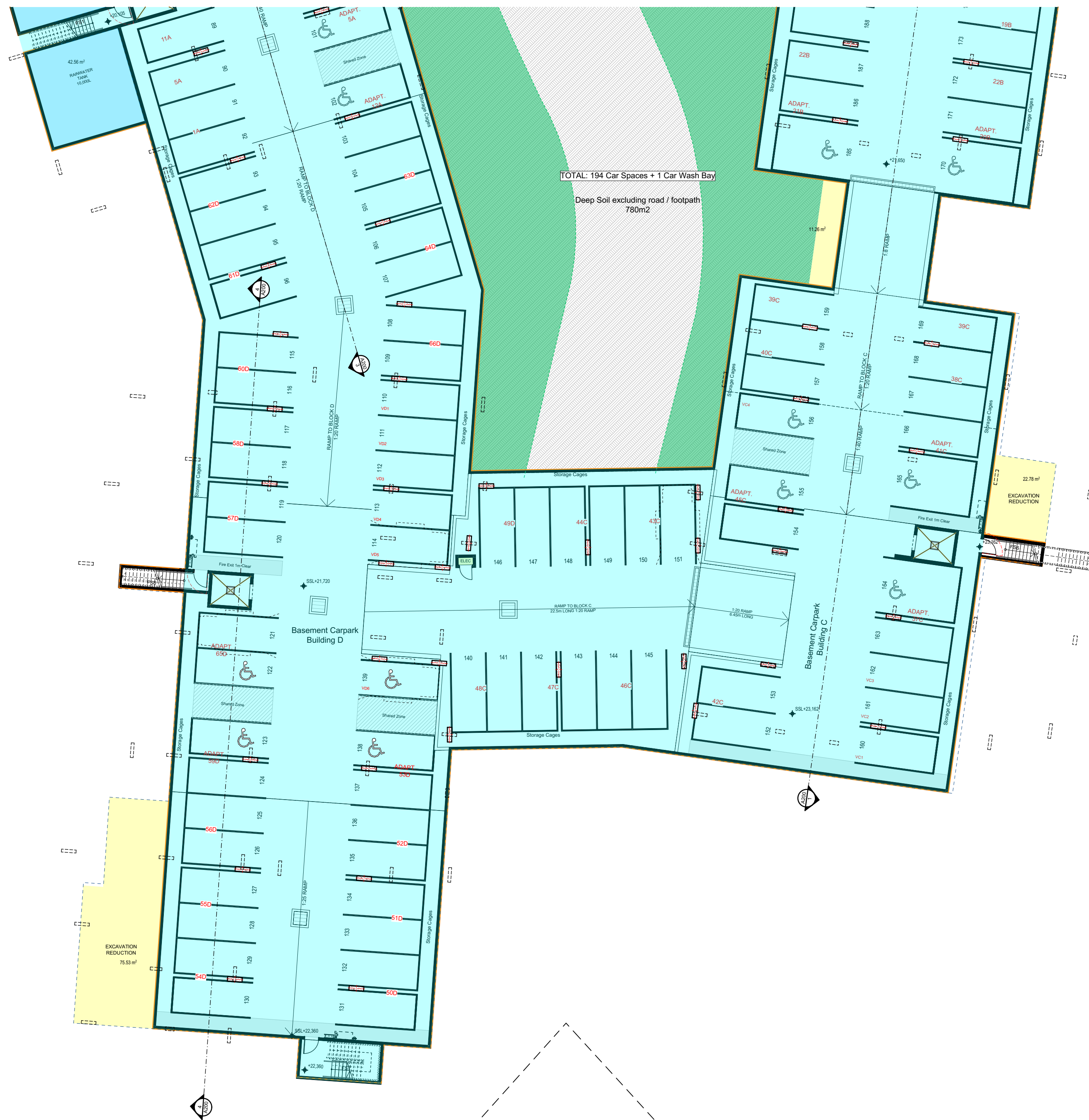
Pn_0800 A099.2 05

Date: 11/02/2022 Checked: PD Drawn: JB, GL Scale: 1:200



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01

Basement 1
Scale @ A1 = 1:200



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- Legend:
- S4.56 Changes
 - DA Approved Building Line
 - DA Approved Balcony Line

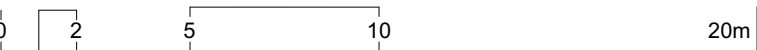
Rev	Date	Amendment	By
01	1/12/2021	ISSUE FOR S4.56(2) FOR COORDINATION	GL
02	22/12/2021	ISSUE FOR S4.56 - FOR COORDINATION	GL
03	21/01/2022	ISSUE FOR S4.56	GL

Project:
RESIDENTIAL DEVELOPMENT

Address:

8 Forest Road Warriewood NSW 2102 Australia

Client:
EQ CONSTRUCTIONS



Status:
ISSUE FOR S4.56

Drawing Title:
Floor Plans
Ground Floor Plan - East

Project No: Drawing No: Revision:
Pn_0800 A100.1 05

Date: Checked: Drawn: Scale@A1:
11/02/2022 PD GL 1:200



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FOR CONTINUATION SEE SHEET A100.2

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- S4.56 Changes
- DA Approved Building Line
- DA Approved Balcony Line

Rev	Date	Amendment	By
01	1/12/2021	ISSUE FOR S4.56(2) FOR COORDINATION	GL
02	22/12/2021	ISSUE FOR S4.56 - FOR COORDINATION	GL
03	21/01/2022	ISSUE FOR S4.56	GL

Project:
RESIDENTIAL DEVELOPMENT

Address:

8 Forest Road Warriewood NSW 2102 Australia

Client:
EQ CONSTRUCTIONS

0 2 5 10 20m

Status:
ISSUE FOR S4.56

Drawing Title:
Floor Plans
Ground Floor Plan - West

Project No: Drawing No: Revision:
Pn_0800 A100.2 05

Date: Checked: Drawn: Scale@A1:
11/02/2022 PD GL 1:200

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S4.56 Changes
DA Approved Building Line
DA Approved Balcony Line

Rev	Date	Amendment	By
01	22/12/2021	ISSUE FOR S4.56 - FOR COORDINATION	JB, GL
02	21/01/2022	ISSUE FOR S4.56	JB, GL

Project:
RESIDENTIAL DEVELOPMENT

Address:
8 Forest Road Warriewood NSW 2102 Australia

Client:
EQ CONSTRUCTIONS

0 2 5 10 20m

Status:
ISSUE FOR S4.56

Drawing Title: Floor Plans
Level 1 - East

Project No: Drawing No: Revision:
Pn_0800 A101.1 04

Date: Checked: Drawn: Scale@A1:
11/02/2022 PD JB, GL 1:200



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ABN: 90 616 216 196
NSW Nominated Architect Pavlo Doroch 9170

FOR CONTINUATION SEE SHEET A101.2

01 Level 1
Scale @ A1 = 1:200

FOR CONTINUATION SEE SHEET A101.1



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- S4.56 Changes
- DA Approved Building Line
- DA Approved Balcony Line

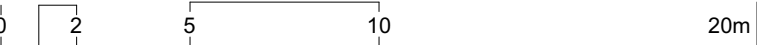
Rev	Date	Amendment	By
01	22/12/2021	ISSUE FOR S4.56 - FOR COORDINATION	JB, GL
02	21/01/2022	ISSUE FOR S4.56	JB, GL

Project:
RESIDENTIAL DEVELOPMENT

Address:

8 Forest Road Warriewood NSW 2102 Australia

Client:
EQ CONSTRUCTIONS



Status:
ISSUE FOR S4.56

Drawing Title:
Floor Plans
Level 1 - West

Project No:
Pn_0800

Drawing No:
A101.2

Revision:
04

Date:
11/02/2022

Checked:
PD

Drawn:
JB, GL

Scale@A1:
1:200

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S4.56 Changes
DA Approved Building Line
DA Approved Balcony Line

Rev	Date	Amendment	By
01	22/12/2021	ISSUE FOR S4.56 - FOR COORDINATION	JB, GL
02	21/01/2022	ISSUE FOR S4.56	JB, GL

Project:
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Address:
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Client:
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0 2 5 10 20m

Status:
ISSUE FOR S4.56

Drawing Title: Floor Plans
Level 2 - East

Project No: Drawing No: Revision:
Pn_0800 A102.1 04

Date: Checked: Drawn: Scale@A1:
11/02/2022 PD JB, GL 1:200

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01 Level 2
Scale @ A1 = 1:200

FOR CONTINUATION SEE SHEET A102.2

FOR CONTINUATION SEE SHEET A102.1



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- S4.56 Changes
- DA Approved Building Line
- DA Approved Balcony Line

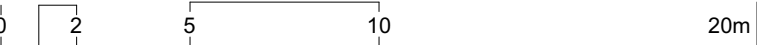
Rev	Date	Amendment	By
01	22/12/2021	ISSUE FOR S4.56 - FOR COORDINATION	JB, GL
02	21/01/2022	ISSUE FOR S4.56	JB, GL

Project:
RESIDENTIAL DEVELOPMENT

Address:

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Client:
EQ CONSTRUCTIONS




Status:
ISSUE FOR S4.56

Drawing Title:
Floor Plans
Level 2 - West

Project No: Drawing No: Revision:
Pn_0800 A102.2 04

Date: Checked: Drawn: Scale@A1:
11/02/2022 PD JB, GL 1:200

-  S4.56 Changes
-  DA Approved Building Line
- DA Approved Balcony Line

Rev	Date	Amendment	By
01	22/12/2021	ISSUE FOR S4.56 - FOR COORDINATION	JB, GL
02	21/01/2022	ISSUE FOR S4.56	JB, GL

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FOR CONTINUATION SEE SHEET A103.2

FOR CONTINUATION SEE SHEET A103.1

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- S4.56 Changes
- DA Approved Building Line
- DA Approved Balcony Line

Rev	Date	Amendment	By
01	22/12/2021	ISSUE FOR S4.56 - FOR COORDINATION	JB, GL
02	21/01/2022	ISSUE FOR S4.56	JB, GL

Project:
RESIDENTIAL DEVELOPMENT

Address:

8 Forest Road Warriewood NSW 2102 Australia

Client:
EQ CONSTRUCTIONS

0 2 5 10 20m

Status:
ISSUE FOR S4.56

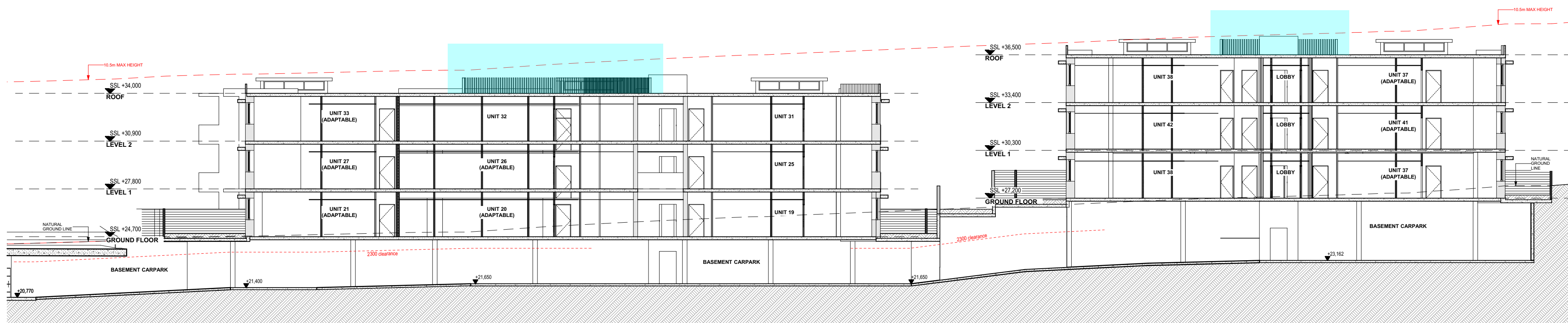
Drawing Title:
Floor Plans
Roof Level - West

Project No: Drawing No: Revision:

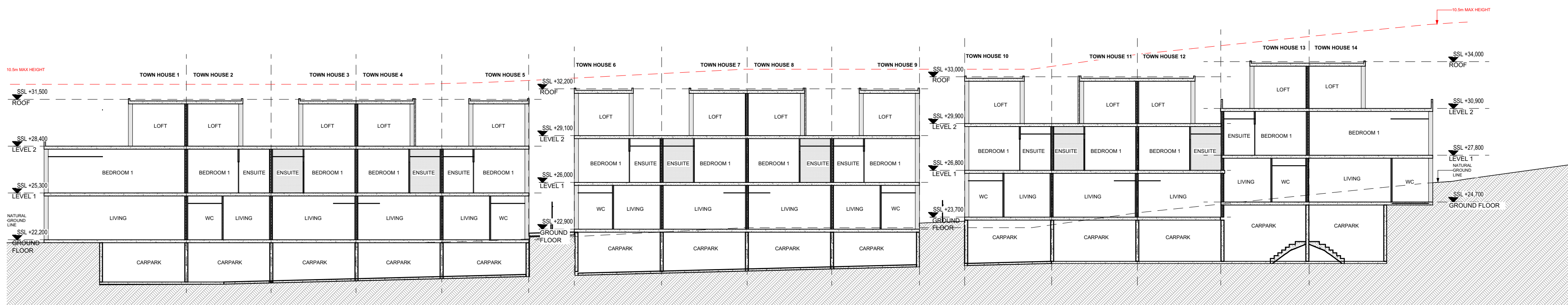
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Date: 11/02/2022 Checked: PD Drawn: JB, GL Scale@A1: 1:200

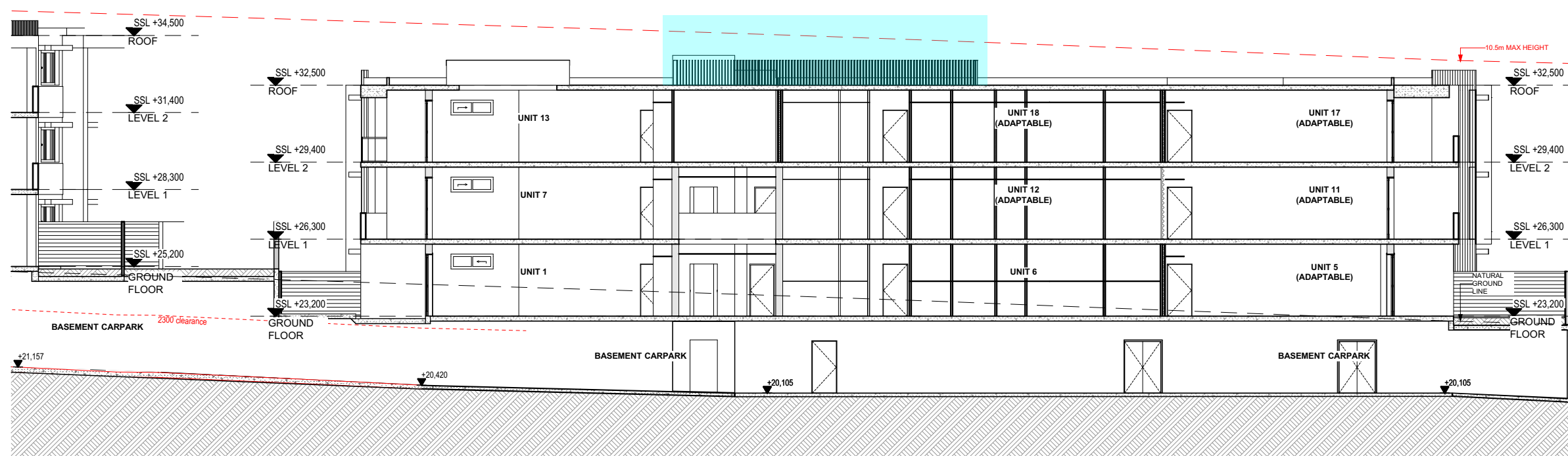
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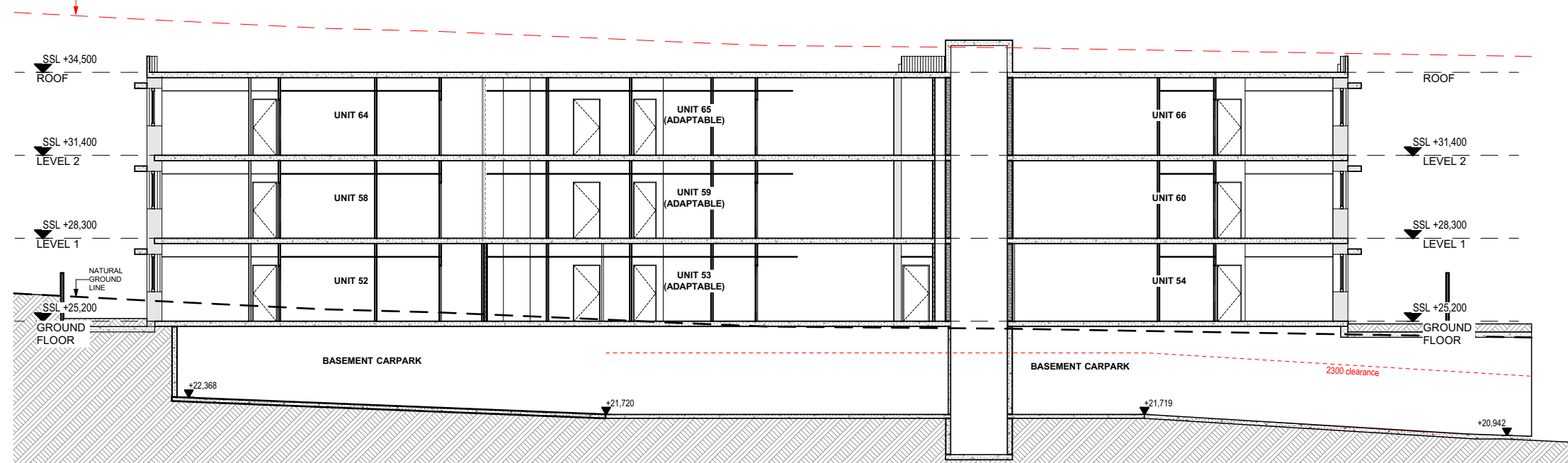
1
-
Building B & C ramp
Scale @ A1 = 1:200



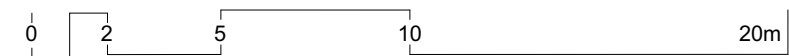
2
-
Townhouse Section
Scale @ A1 = 1:200



3
-
Building A Ramp Section
Scale @ A1 = 1:200



4
-
Building D Ramp Section
Scale @ A1 = 1:200



Rev	Date	Amendment	By	Rev	Date	Amendment	By
01	22/12/2021	ISSUE FOR S4.56 - FOR COORDINATION	RK				
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BCA and Access Consultant:
BCA Logic

Principal Certifying Authority:
#Principal Certifying Authority

Landscape Architect:
Site Design Studios

Acoustic Engineer:
#Acoustic Engineer

Project: RESIDENTIAL DEVELOPMENT
Client: EQ CONSTRUCTIONS

Address:
8 Forest Road Warriewood NSW 2102 Australia

Project No: Pn_0800
Checked: PD
Scale@A1: 1:200
Date: 11/02/2022

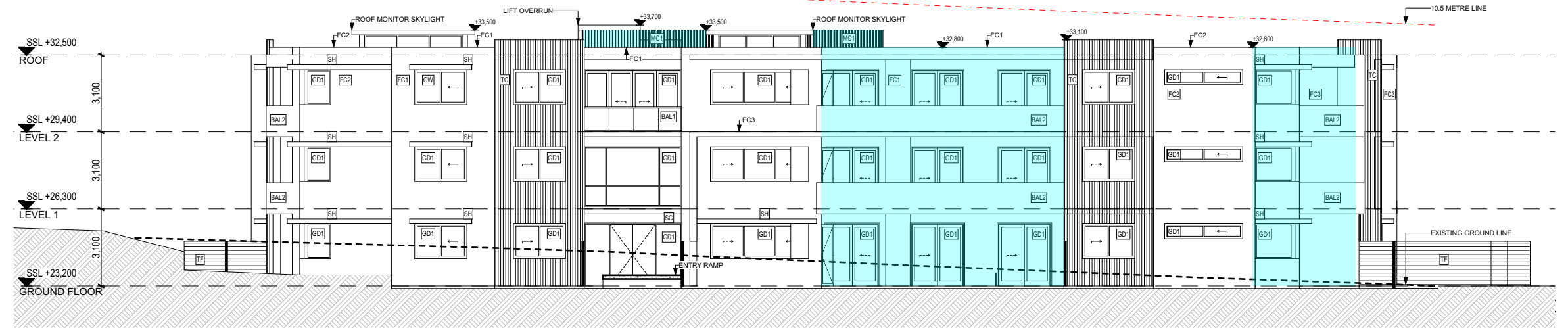


Revision: 04
Drawing No: A200

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NSW Nominated Architect Pavlo Doroch 9170



1 North Elevation - Building A
Scale @ A1 = 1:200



2 South Elevation - Building A
Scale @ A1 = 1:200



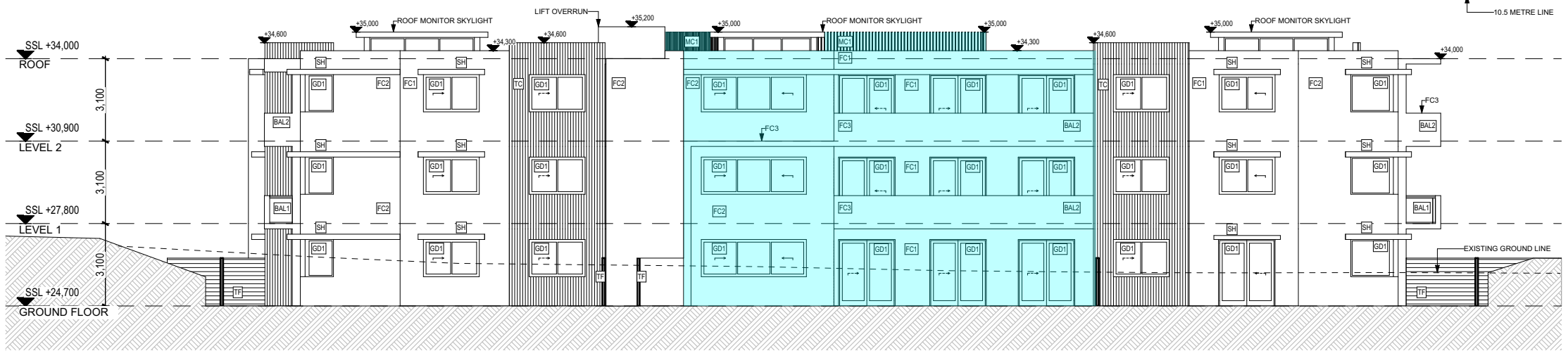
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Scale @ A1 = 1:200



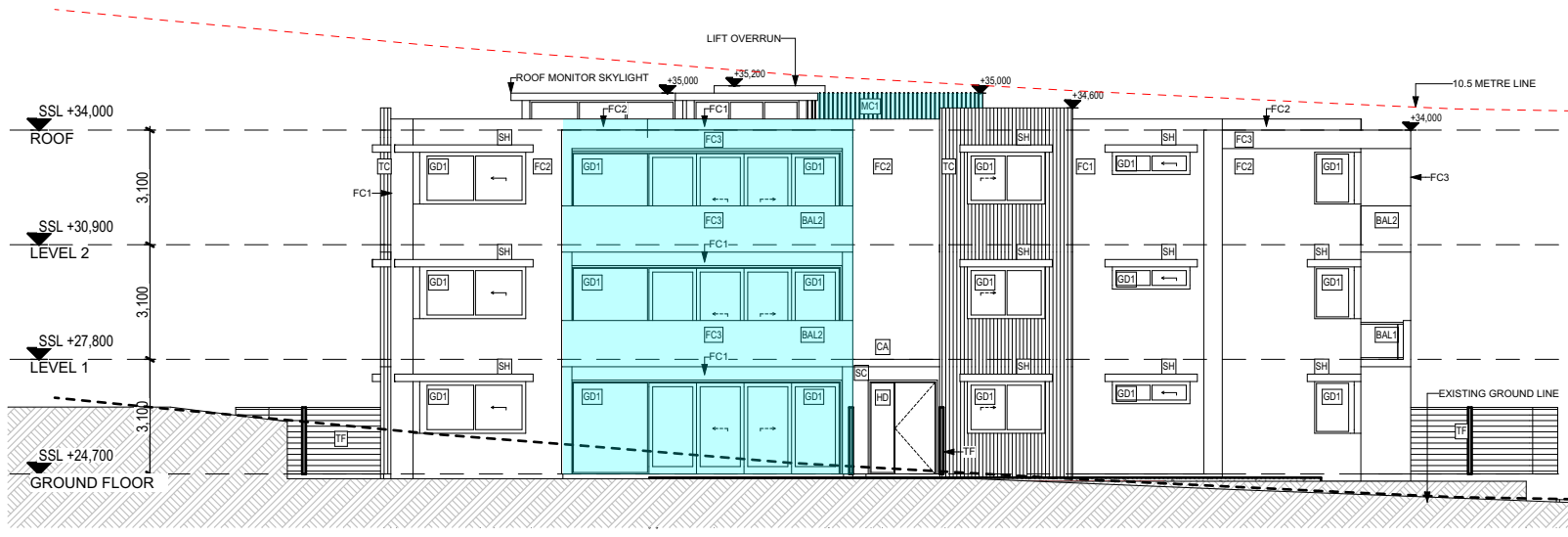
4 West Elevation - Building A
Scale @ A1 = 1:200



5 North Elevation - Building B
Scale @ A1 = 1:200



6 South Elevation - Building B
Scale @ A1 = 1:200



7 East Elevation - Building B
Scale @ A1 = 1:200



8 West Elevation - Building B
Scale @ A1 = 1:200

LEGEND

- AL1 ALUMINIUM AWING - DULUX MONUMENT POWER COAT
- BAL1 BALUSTRADE GLASS - FOR APARTMENTS
- BAL2 BALUSTRADE SOLID - FOR APARTMENTS
- BAL3 BALUSTRADE GLASS - FOR TOWNHOUSES
- C01 CONCRETE FINISH
- CA CANOPY
- FC1 FIBRECEMENT CLADDING - DULUX OOLONG
- FC2 FIBRECEMENT CLADDING - DULUX TINKER
- FC3 FIBRECEMENT CLADDING - DULUX WHITE
- GD1 GLAZING DOOR / WINDOW
- HD HINGED DOOR
- L01 HORIZONTAL LOUVRES-TIMBER LOOK
- M01 ALUMINIUM LOUVER WHITE
- MC2 METAL CLADDING (ALUMINIUM SLATS / BATTENS - TIMBER LOOK)
- P01 RENDER AND PAINT (DULUX WHITE CHINA)
- SC SANDSTONE CLADDING
- SH SUNSHADING
- SH2 SUNSHADING - TIMBER LOOK
- TC ALUMINIUM CLADDING - TIMBER LOOK
- TF FENCE (ALUMINIUM SLATS - TIMBER LOOK)

S4.56 Changes

0 2 5 10 20m

Rev	Date	Amendment	By	Rev	Date	Amendment	By
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BCA and Access Consultant:
BCA Logic

Principal Certifying Authority:
#Principal Certifying Authority

Landscape Architect:
Site Design Studios

Acoustic Engineer:
#Acoustic Engineer

Project: RESIDENTIAL DEVELOPMENT
Client: EQ CONSTRUCTIONS

Address:
8 Forest Road Warriewood NSW 2102 Australia

Project No: Pn_0800
Checked: PD
Scale@A1: 1:200
Date: 11/02/2022

Drawing Title:
Elevations
Building A and B

Revision:
04

Drawing No:
A300

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NSW Nominated Architect Pavlo Doroch 9170



1 North Elevation - Building C
Scale @ A1 = 1:200



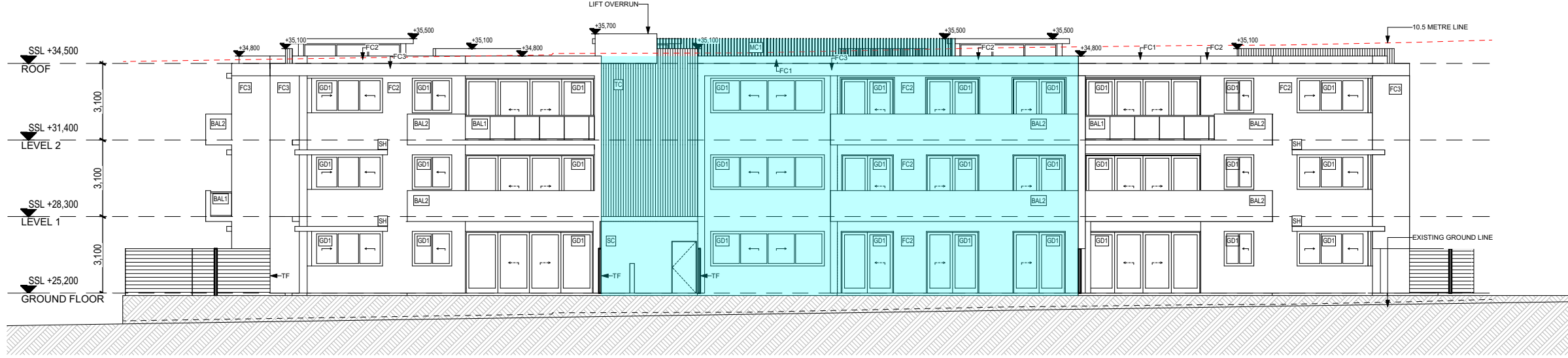
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Scale @ A1 = 1:200



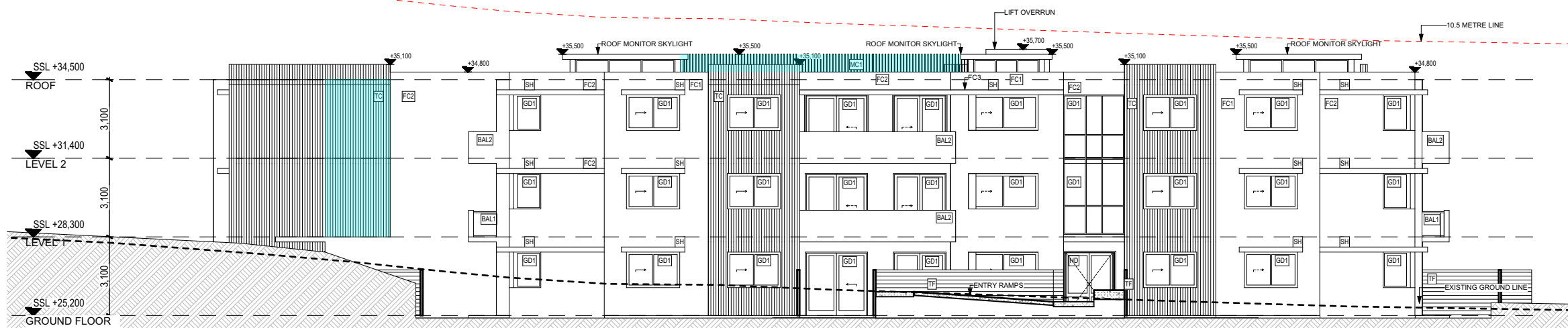
3 East Elevation - Building C
Scale @ A1 = 1:200



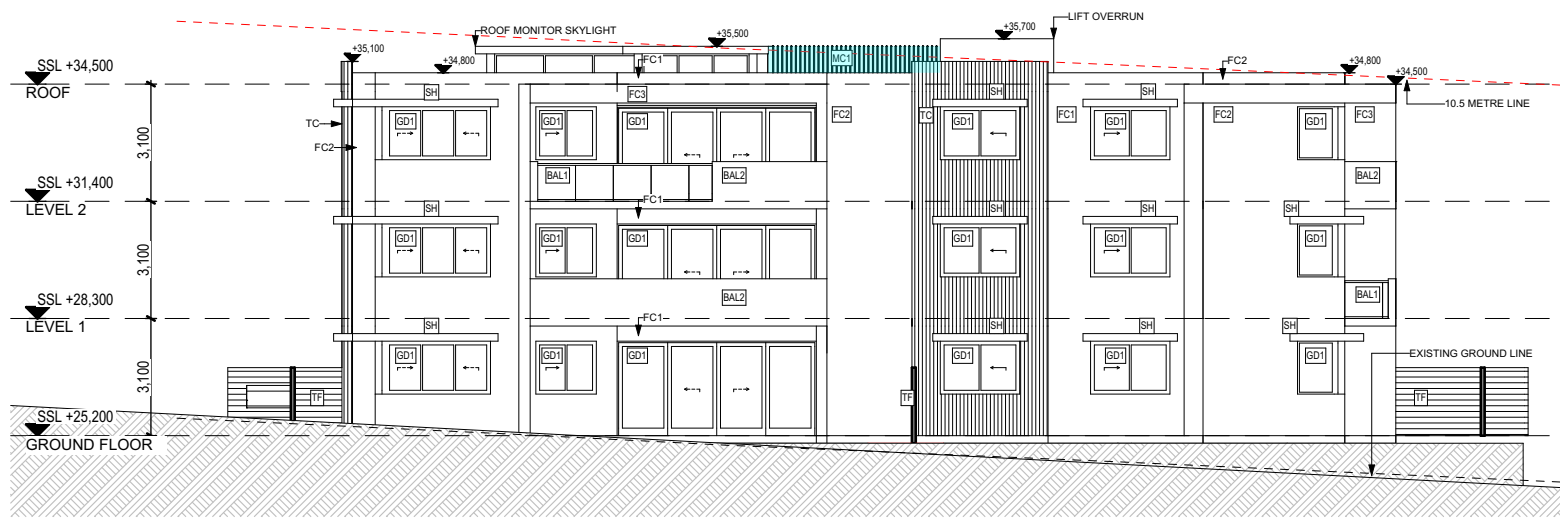
4 West Elevation - Building C
Scale @ A1 = 1:200



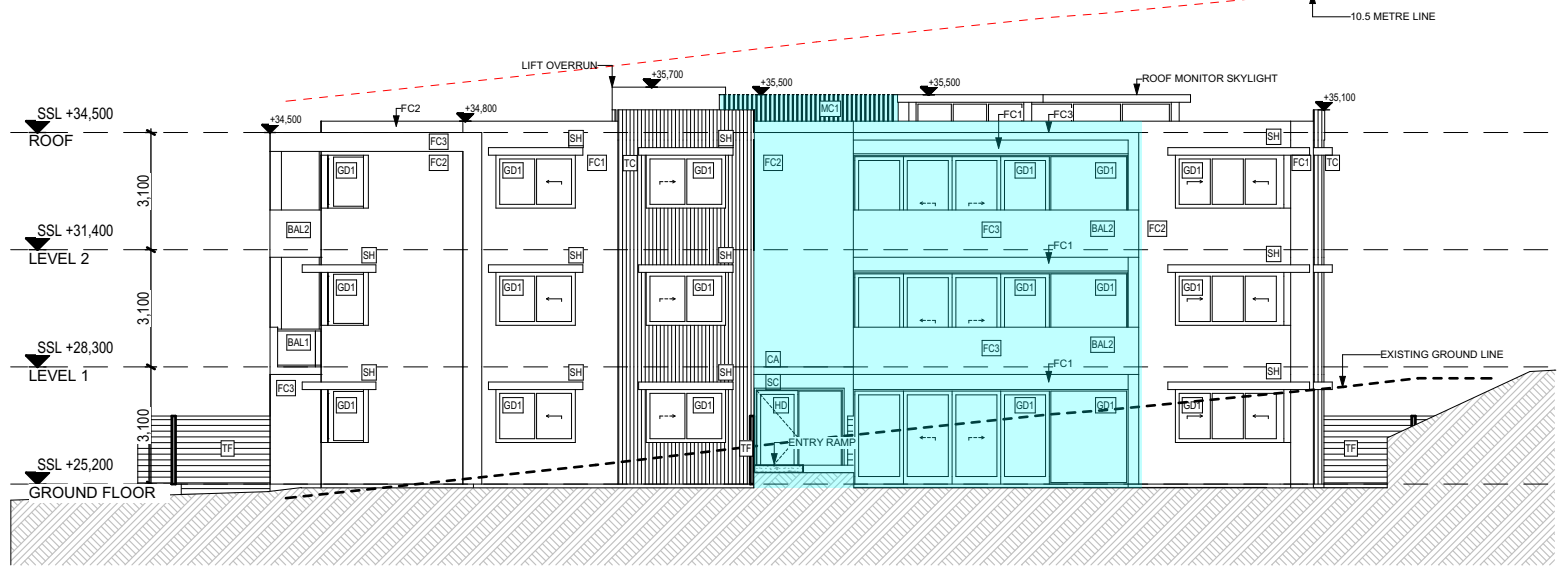
5 North Elevation - Building D
Scale @ A1 = 1:200



6 South Elevation - Building D
Scale @ A1 = 1:200



7 East Elevation - Building D
Scale @ A1 = 1:200



8 West Elevation - Building D
Scale @ A1 = 1:200

LEGEND

- AL1 ALUMINIUM AWING - DULUX MONUMENT POWER COAT
- BAL1 BALUSTRADE GLASS - FOR APARTMENTS
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- BAL3 BALUSTRADE GLASS - FOR TOWNHOUSES
- C01 CONCRETE FINISH
- CA CANOPY
- FC1 FIBRECEMENT CLADDING - DULUX OOLONG
- FC2 FIBRECEMENT CLADDING - DULUX TINKER
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- SH2 SUNSHADING - TIMBER LOOK
- TC ALUMINIUM CLADDING - TIMBER LOOK
- TF FENCE (ALUMINIUM SLATS - TIMBER LOOK)

S4.56 Changes

0 2 5 10 20m

Rev	Date	Amendment	By	Rev	Date	Amendment	By
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ISSUE FOR S4.56

Project: RESIDENTIAL DEVELOPMENT

Client: EQ CONSTRUCTIONS

Address:
8 Forest Road Warriewood NSW 2102 Australia

Project No: Pn_0800

Checked: Drawn:

PD RK

Scale@A1: 1:200

Date: 11/02/2022

Drawing Title:
Elevations
Building C and D

Revision:

04

Drawing No:

A301

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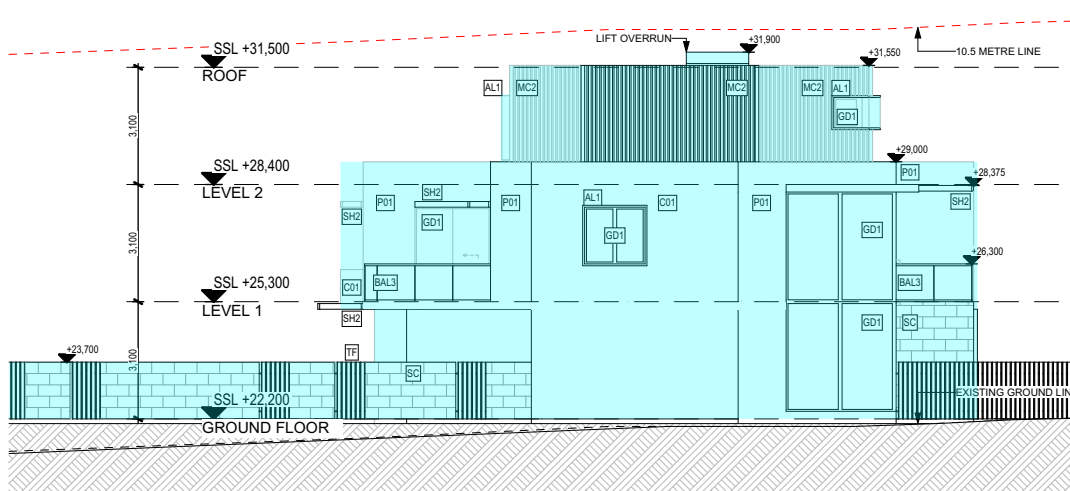
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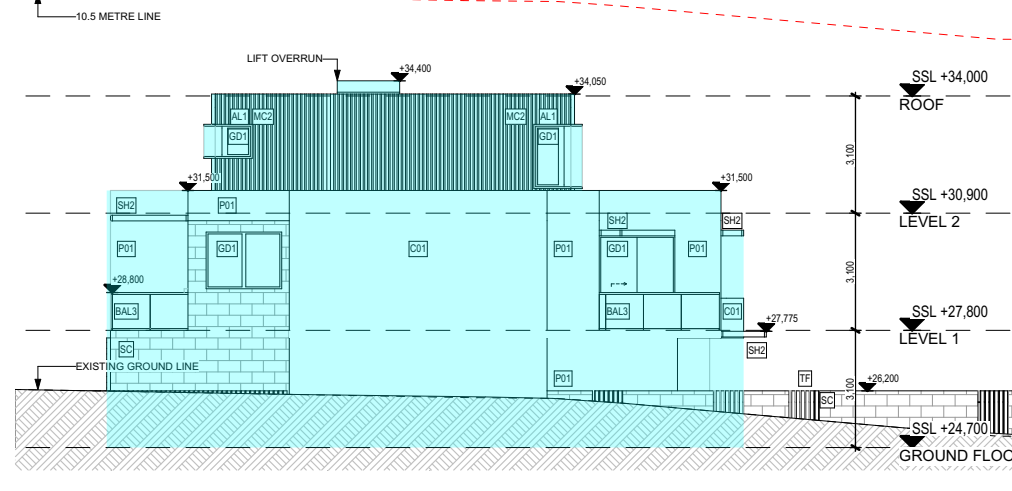
1
-
West Elevation - Townhouses
Scale @ A1 = 1:200



2
-
East Elevation - Townhouses
Scale @ A1 = 1:200



3
-
North Elevation - Townhouses
Scale @ A1 = 1:200

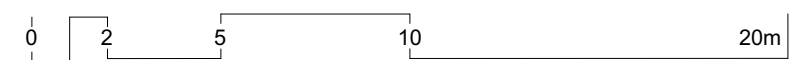


4
-
South Elevation - Townhouses
Scale @ A1 = 1:200

LEGEND

- AL1 ALUMINIUM AWING - DULUX MONUMENT POWER COAT
- BAL1 BALUSTRADE GLASS - FOR APARTMENTS
- BAL2 BALUSTRADE SOLID - FOR APARTMENTS
- BAL3 BALUSTRADE GLASS - FOR TOWNHOUSES
- C01 CONCRETE FINISH
- CA CANOPY
- FC1 FIBRECEMENT CLADDING - DULUX OOLONG
- FC2 FIBRECEMENT CLADDING - DULUX TINKER
- FC3 FIBRECEMENT CLADDING - DULUX WHITE
- GD1 GLAZING DOOR / WINDOW
- HD HINGED DOOR
- L01 HORIZONTAL LOUVRES-TIMBER LOOK
- MC1 ALUMINIUM LOUVER WHITE
- MC2 METAL CLADDING (ALUMINIUM SLATS/ BATTENS - TIMBER LOOK)
- P01 RENDER AND PAINT (DULUX WHITE CHINA)
- SC SANDSTONE CLADDING
- SH SUNSHADING
- SH2 SUNSHADING - TIMBER LOOK
- TC ALUMINIUM CLADDING - TIMBER LOOK
- TF FENCE (ALUMINIUM SLATS - TIMBER LOOK)

S4.56 Changes



Rev	Date	Amendment	By	Rev	Date	Amendment	By
01	22/12/2021	ISSUE FOR S4.56 - FOR COORDINATION	RK				
02	21/01/2022	ISSUE FOR S4.56	RK				

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#Structural Engineer

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#Mechanical Engineer

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#Electrical Engineer

Hydraulic Services:
#Hydraulic Engineer

Fire Services:
#Fire Engineer

BCA and Access Consultant:
BCA Logic

Principal Certifying Authority:
#Principal Certifying Authority

Landscape Architect:
Site Design Studios

Acoustic Engineer:
#Acoustic Engineer

ISSUE FOR S4.56

Project: RESIDENTIAL DEVELOPMENT

Client: EQ CONSTRUCTIONS

Address:
8 Forest Road Warriewood NSW 2102 Australia

Drawing Title:
Elevations
Townhouses

Revision:

04

Drawing No:

A302

Project No: Pn_0800

Checked: Drawn:

PD RK

Scale@A1: 1:200

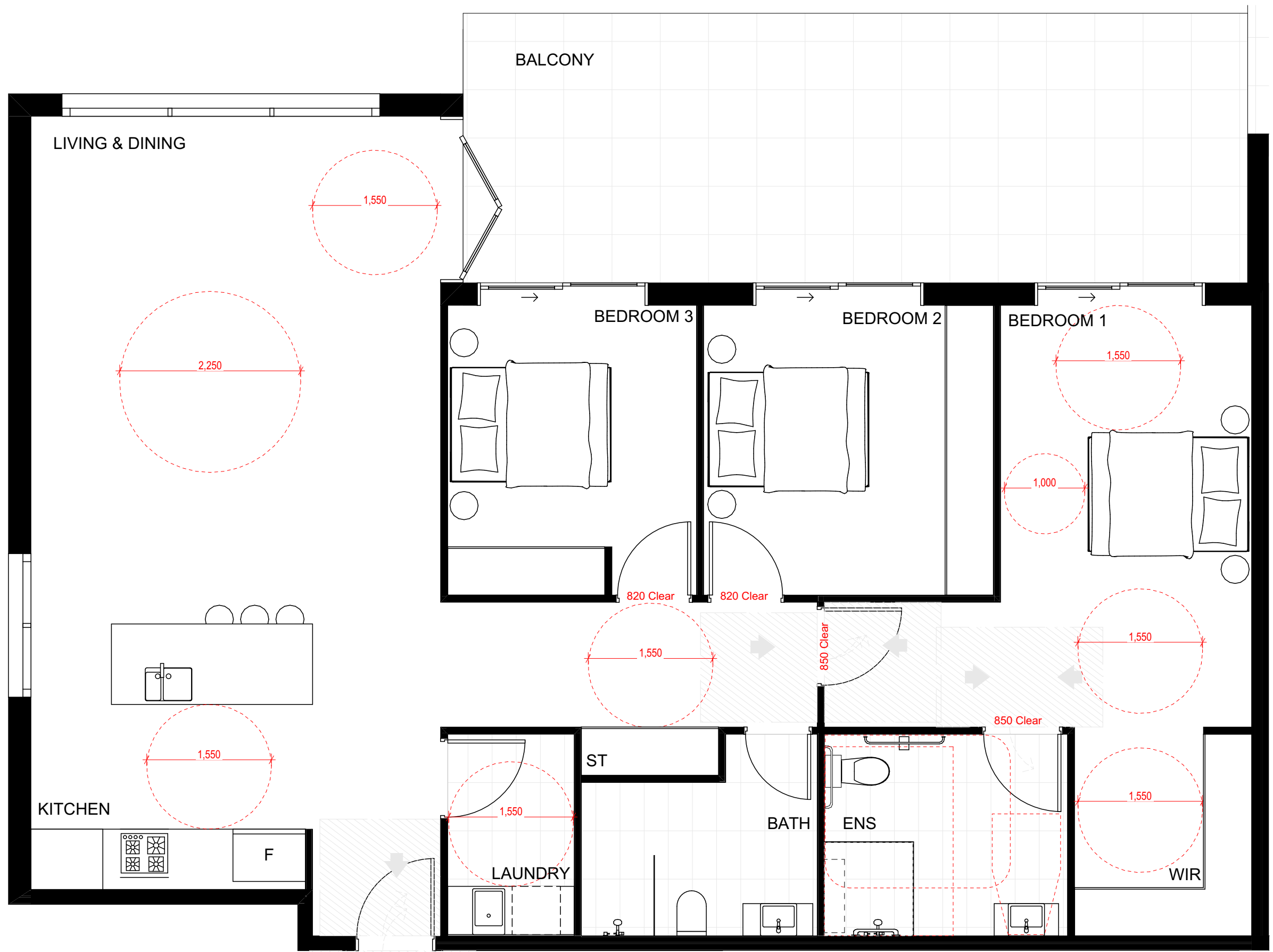
Date: 11/02/2022



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ABN: 90 616 216 196
NSW Nominated Architect Pavlo Doroch 9170



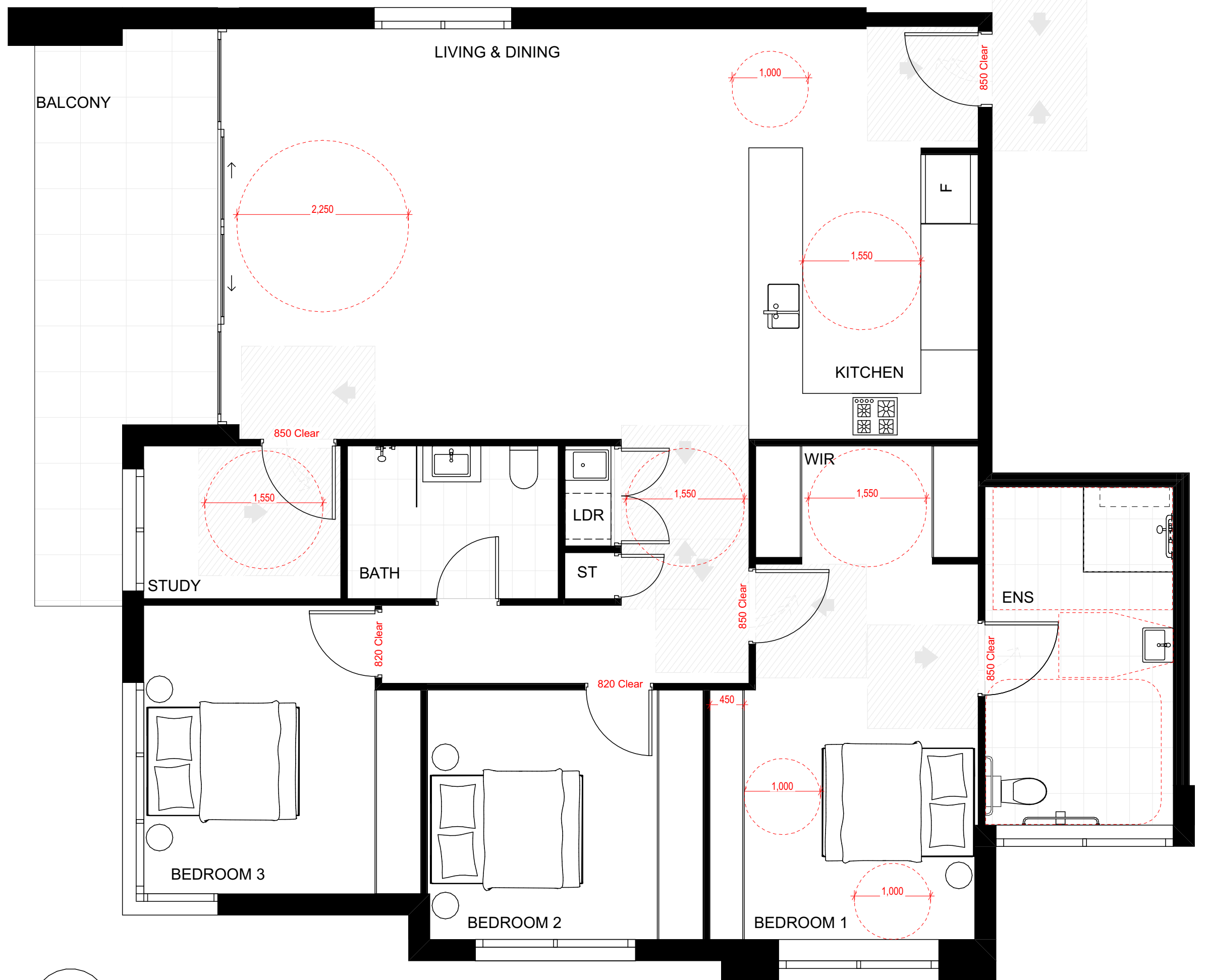
1
-
PRE ADAPTATION - TYPE 1
Scale @ A1 = 1:50



2
-
POST ADAPTATION - TYPE 1
Scale @ A1 = 1:50



3
-
PRE ADAPTATION - TYPE 2
Scale @ A1 = 1:50



4
-
POST ADAPTATION - TYPE 2
Scale @ A1 = 1:50

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ADAPTABLE UNIT LEGEND				
BUILDING	TYPE	FLOOR	UNIT NUMBER	NOTES
A	4	GROUND	05	As Per Drawing A503
A	4	FIRST	11	As Per Drawing A503
A	1	FIRST	12	As Per Drawing A501
A	4	SECOND	17	As Per Drawing A503
A	1	SECOND	18	As Per Drawing A501
B	1	GROUND	20	As Per Drawing A501
B	3	GROUND	21	As Per Drawing A502
B	1	FIRST	26	As Per Drawing A501
B	3	FIRST	27	As Per Drawing A502
B	3	SECOND	33	As Per Drawing A502
C	2	GROUND	37	As Per Drawing A501
C	2	FIRST	41	As Per Drawing A501
C	2	SECOND	45	As Per Drawing A501
D	1	GROUND	53	Similar to Drawing A501
D	1	FIRST	59	Mirror & Similar to Drawing A501
D	1	SECOND	65	

Rev	Date	Amendment	By
01	20/01/2022	ISSUE FOR S4.56 - FOR COORDINATION	JB, GL
02	21/01/2022	ISSUE FOR S4.56	JB, GL

Project:
RESIDENTIAL DEVELOPMENT

Address:

8 Forest Road Warriewood NSW 2102 Australia

Client:
EQ CONSTRUCTIONS



ISSUE FOR S4.56

Drawing Title: Adaptable Units
Adaptable Units - Type 1&2

Project No: Drawing No: Revision:

Pn_0800 A501 04

Date: 30/06/2020
Checked: PD
Drawn: JB, GL
Scale@A1: 1:50



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ADAPTABLE UNIT LEGEND				
BUILDING	TYPE	FLOOR	UNIT NUMBER	NOTES
A	4	GROUND	05	As Per Drawing A503
A	4	FIRST	11	As Per Drawing A503
A	1	FIRST	12	As Per Drawing A501
A	4	SECOND	17	As Per Drawing A503
A	1	SECOND	18	As Per Drawing A501
B	1	GROUND	20	As Per Drawing A501
B	3	GROUND	21	As Per Drawing A502
B	1	FIRST	26	As Per Drawing A501
B	3	FIRST	27	As Per Drawing A502
B	3	SECOND	33	As Per Drawing A502
C	2	GROUND	37	As Per Drawing A501
C	2	FIRST	41	As Per Drawing A501
C	2	SECOND	45	As Per Drawing A501
D	1	GROUND	53	Similar to Drawing A501
D	1	FIRST	59	Mirror & Similar to Drawing A501
D	1	SECOND	65	

Rev	Date	Amendment	By
01	20/01/2022	ISSUE FOR S4.56 - FOR COORDINATION	JB, GL
02	21/01/2022	ISSUE FOR S4.56	JB, GL

Project:
RESIDENTIAL DEVELOPMENT

Address:

8 Forest Road Warriewood NSW 2102 Australia

Client:
EQ CONSTRUCTIONS



ISSUE FOR S4.56

Drawing Title: Adaptable Units
Adaptable Units - Type 3

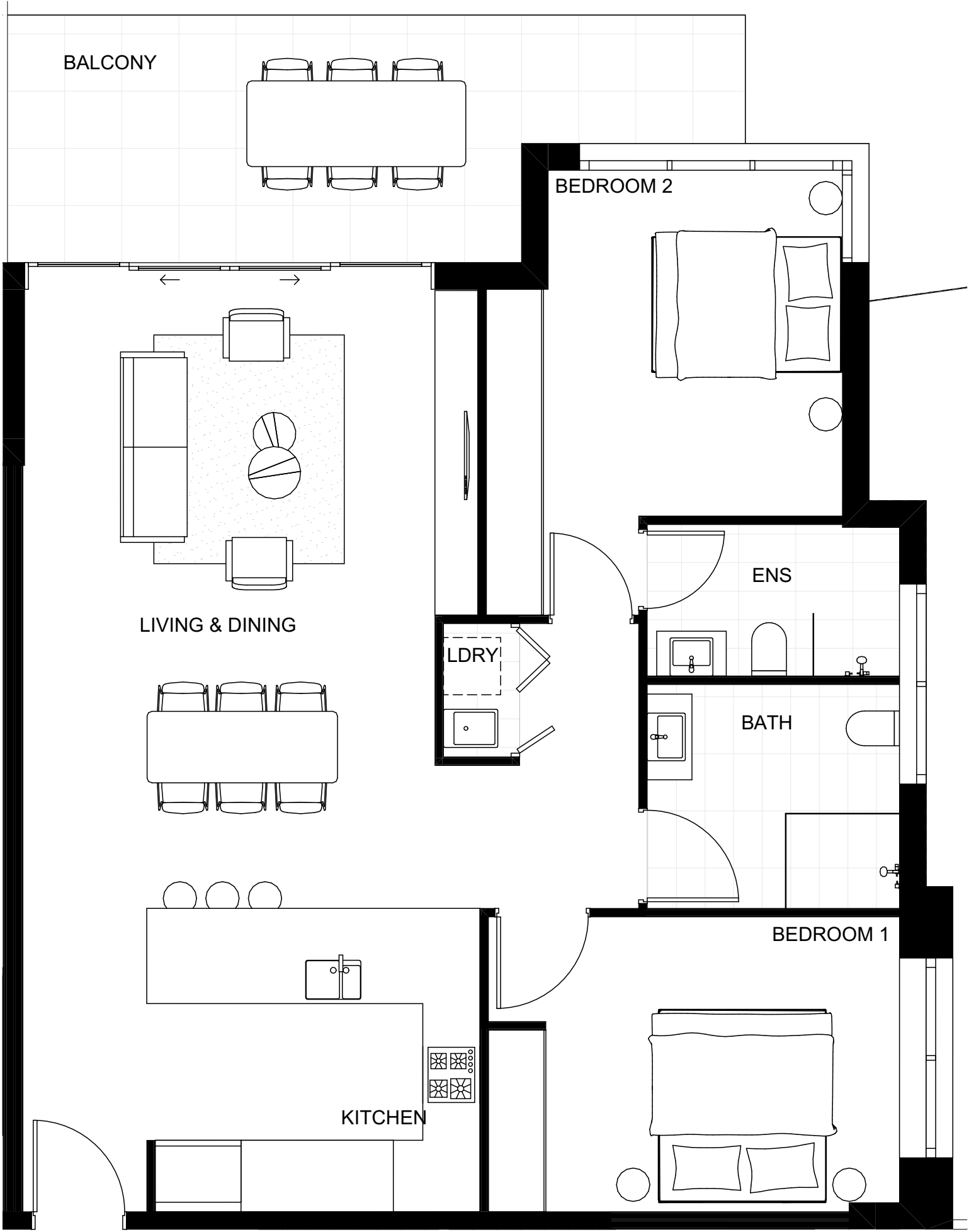
Project No: Drawing No: Revision:

Pn_0800 A502 04

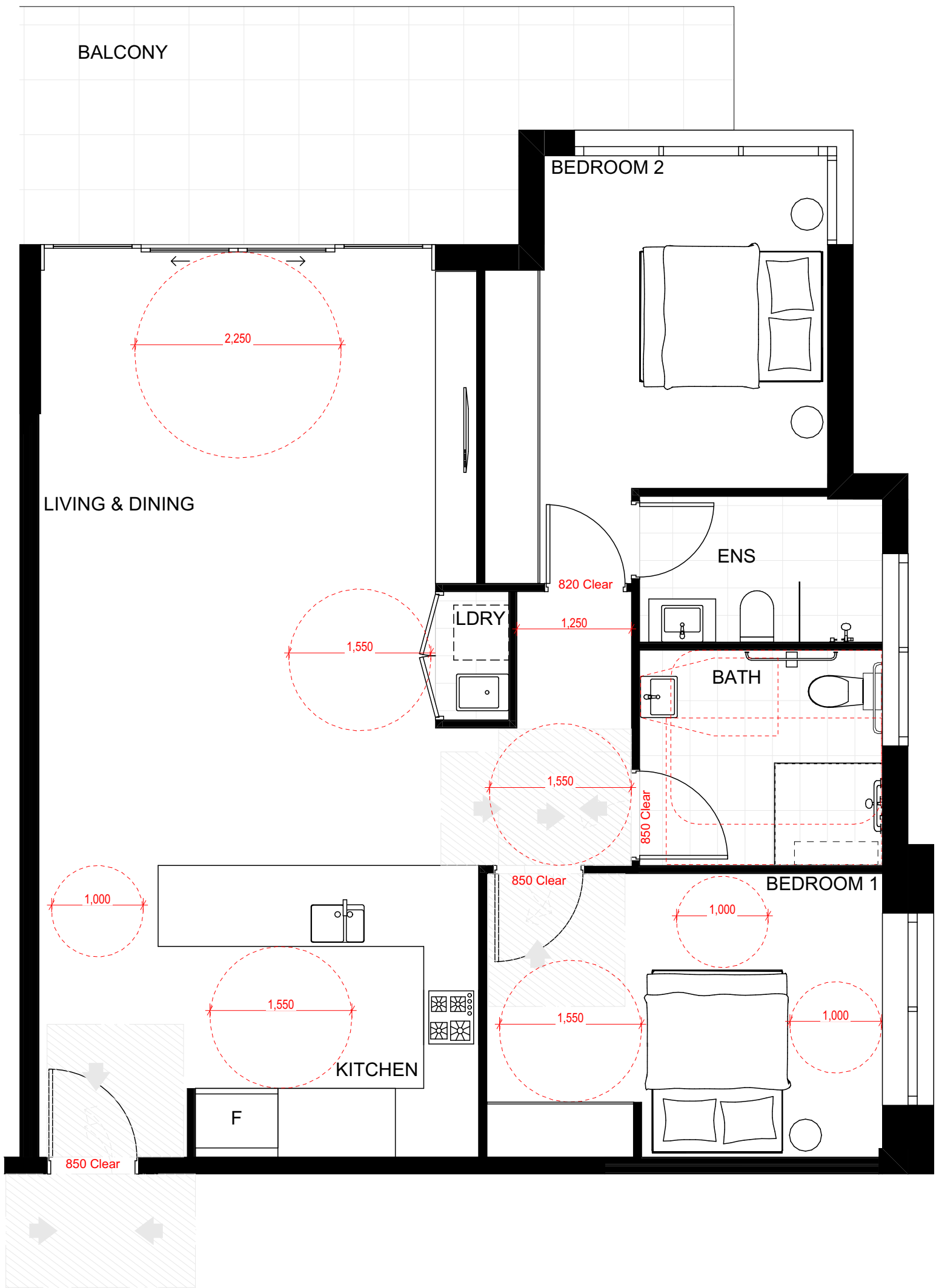
Date: 30/06/2020 Checked: Drawn: Scale@A1: PD JB, GL 1:50



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NSW Nominated Architect Pavlo Doroch 9170



1
-
PRE ADAPTATION - TYPE 3
Scale @ A1 = 1:50



2
-
POST ADAPTATION - TYPE 3
Scale @ A1 = 1:50

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A	1	SECOND	18	As Per Drawing A501
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Rev	Date	Amendment	By
01	20/01/2022	ISSUE FOR S4.56 - FOR COORDINATION	JB, GL
02	21/01/2022	ISSUE FOR S4.56	JB, GL

Project:
RESIDENTIAL DEVELOPMENT

Address:

8 Forest Road Warriewood NSW 2102 Australia

Client:
EQ CONSTRUCTIONS



ISSUE FOR S4.56

Drawing Title: Adaptable Units
Adaptable Units - Type 4

Project No: Drawing No: Revision:

Pn_0800 A503 04

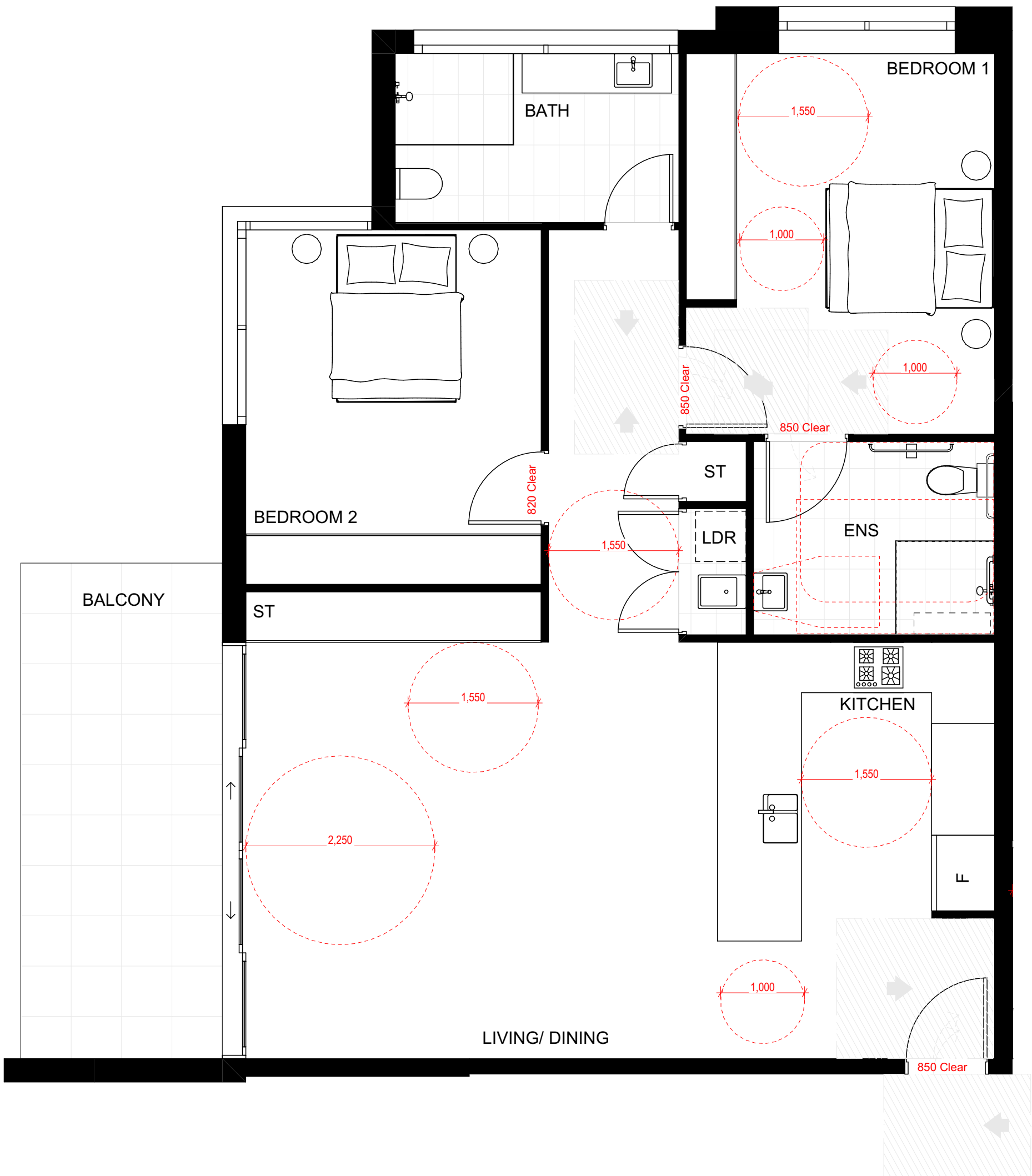
Date: 30/06/2020 Checked: Drawn: Scale@A1: PD JB, GL 1:50



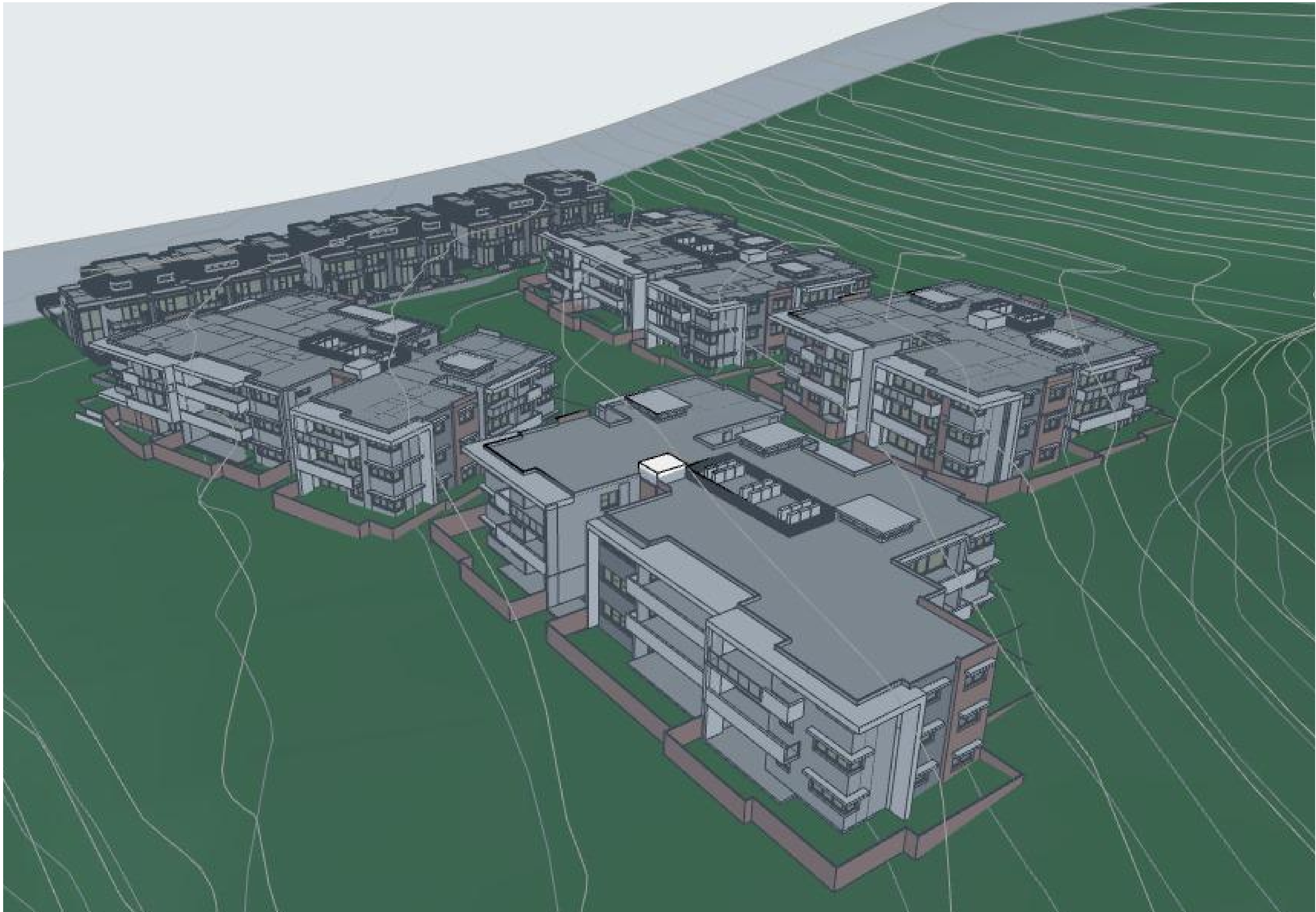
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1
-
PRE ADAPTATION - TYPE 4
Scale @ A1 = 1:50



2
-
POST ADAPTATION - TYPE 4
Scale @ A1 = 1:50



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Rev	Date	Amendment	By
01	21/01/2022	ISSUE FOR S4.56	YA

Project:
RESIDENTIAL DEVELOPMENT

Address:

8 Forest Road Warriewood NSW 2102 Australia

Client:
EQ CONSTRUCTIONS

Status:
ISSUE FOR S4.56

Drawing Title: Height Plane Model
 Height Plane Diagram

Project No: Drawing No: Revision:
Pn_0800 A600 02

Date: Checked: Drawn: Scale@A1:
11/02/2022 JB YA 1:50

- | Area Schedule - LANDSCAPE | |
|---------------------------|-------------|
| Zone Type | Area |
| LANDSCAPE AREA R3 ZONE | 15,331.0 |
| LANDSCAPE AREA RU2 ZONE | 27,779.2 |
| | 43,110.2 m² |

Project:
RESIDENTIAL DEVELOPMENT

Address:
8 Forest Road Warriewood NSW 2102 Australia

Client:
EQ CONSTRUCTIONS

Drawing Title:	Calculations Landscape Area Calculations
----------------	---

Project No:	Drawing No:	Revision:
Pn_0800	A700	02

Date: 11/02/2022 Checked: JB Drawn: YA Scale@A1: 1:500, 1:1

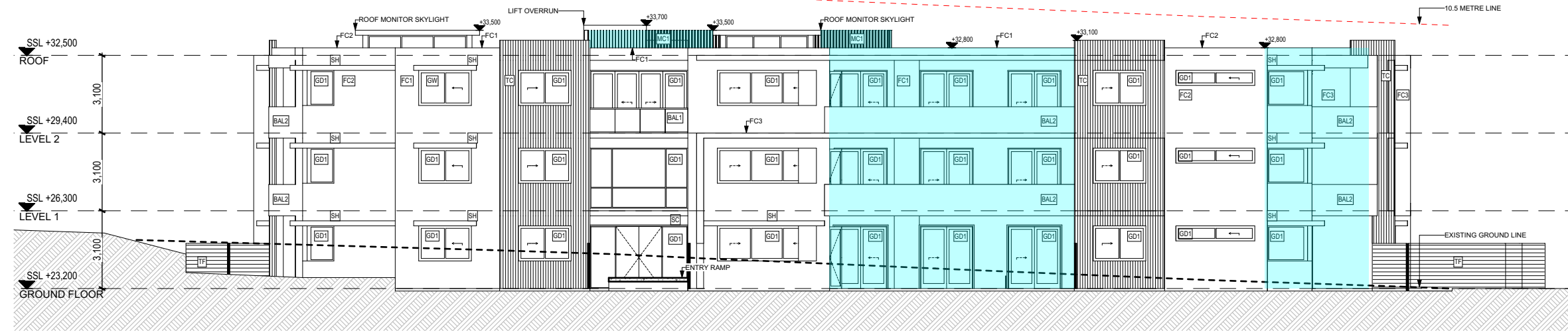


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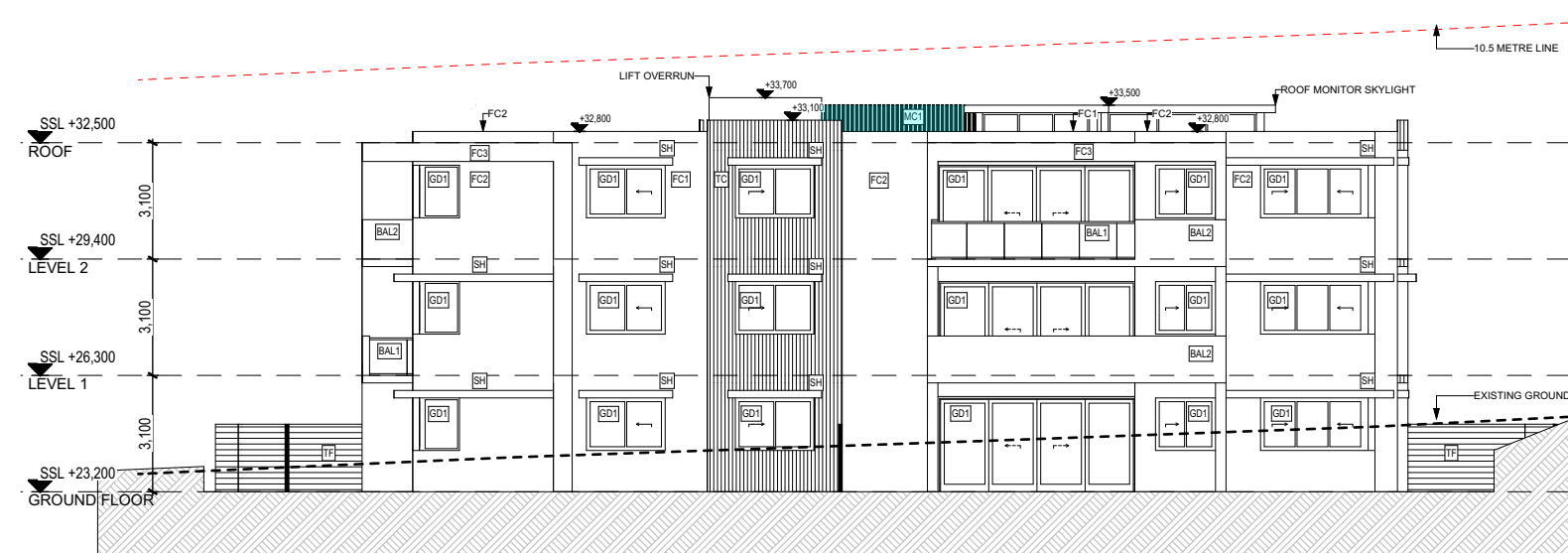
1 North Elevation - Building A
Scale @ A1 = 1:200



2 South Elevation - Building A
Scale @ A1 = 1:200



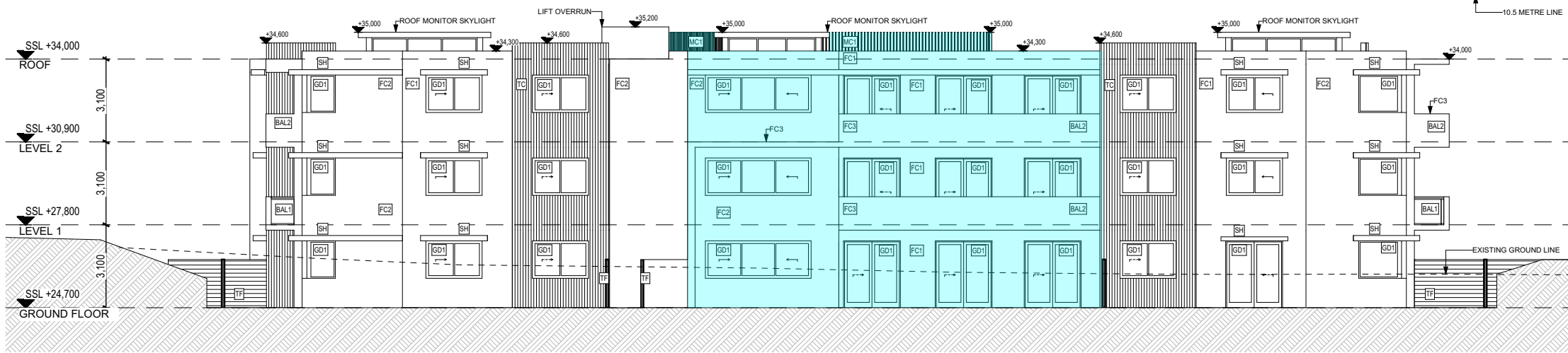
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Scale @ A1 = 1:200



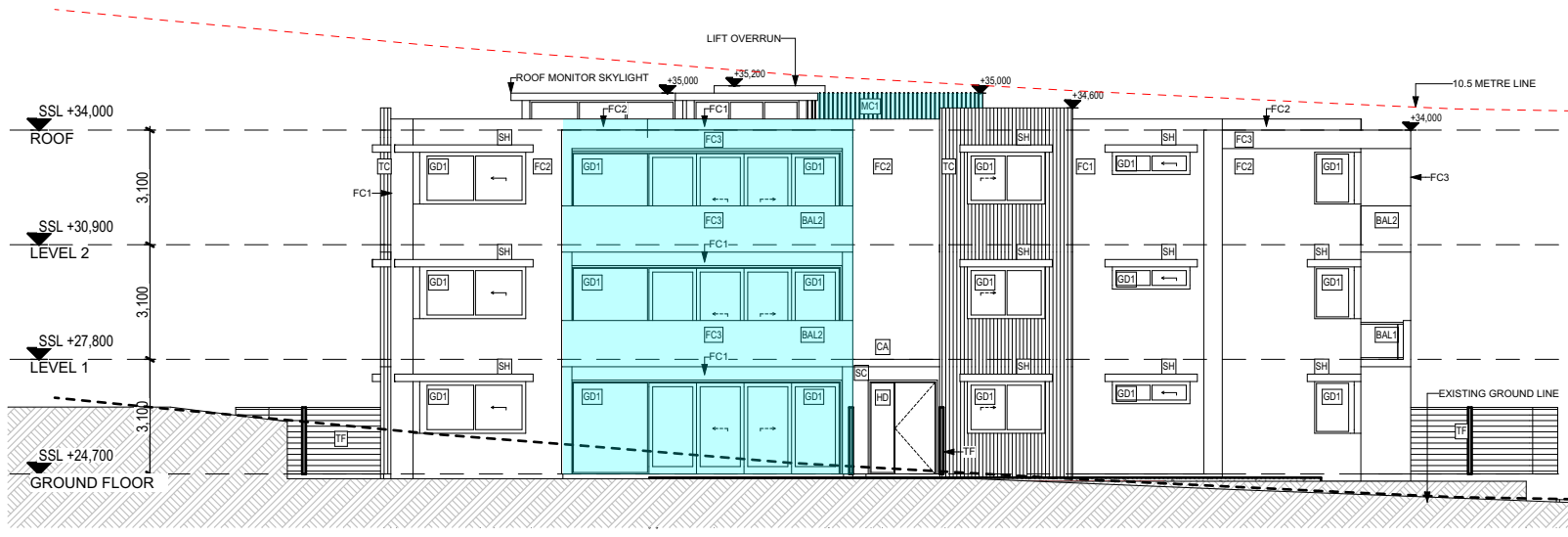
4 West Elevation - Building A
Scale @ A1 = 1:200



5 North Elevation - Building B
Scale @ A1 = 1:200



6 South Elevation - Building B
Scale @ A1 = 1:200



7 East Elevation - Building B
Scale @ A1 = 1:200

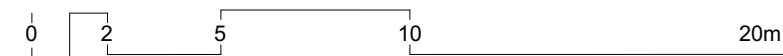


8 West Elevation - Building B
Scale @ A1 = 1:200

LEGEND

- AL1 ALUMINIUM AWING - DULUX MONUMENT POWER COAT
- BAL1 BALUSTRADE GLASS - FOR APARTMENTS
- BAL2 BALUSTRADE SOLID - FOR APARTMENTS
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- SC SANDSTONE CLADDING
- SH SUNSHADING
- SH2 SUNSHADING - TIMBER LOOK
- TC ALUMINIUM CLADDING - TIMBER LOOK
- TF FENCE (ALUMINIUM SLATS - TIMBER LOOK)

S4.56 Changes



Rev	Date	Amendment	By	Rev	Date	Amendment	By
01	11/02/2022	ISSUE FOR S4.56	GL				

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Hydraulic Services:
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Fire Services:
#Fire Engineer

BCA and Access Consultant:
BCA Logic

Principal Certifying Authority:
#Principal Certifying Authority

Landscape Architect:
Site Design Studios

Acoustic Engineer:
#Acoustic Engineer

ISSUE FOR S4.56

Project: RESIDENTIAL DEVELOPMENT
Client: EQ CONSTRUCTIONS

Address:
8 Forest Road Warriewood NSW 2102 Australia

Project No: Pn_0800
Checked: Drawn:
PD GL
Scale@A1: 1:200
Scale@A4: 1:565.6
Date: 11/02/2022

Drawing Title:
Notification Plans
Notification Plan - Building A
and B Elevations



Revision: 01
Drawing No: A801

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1 North Elevation - Building C
Scale @ A1 = 1:200



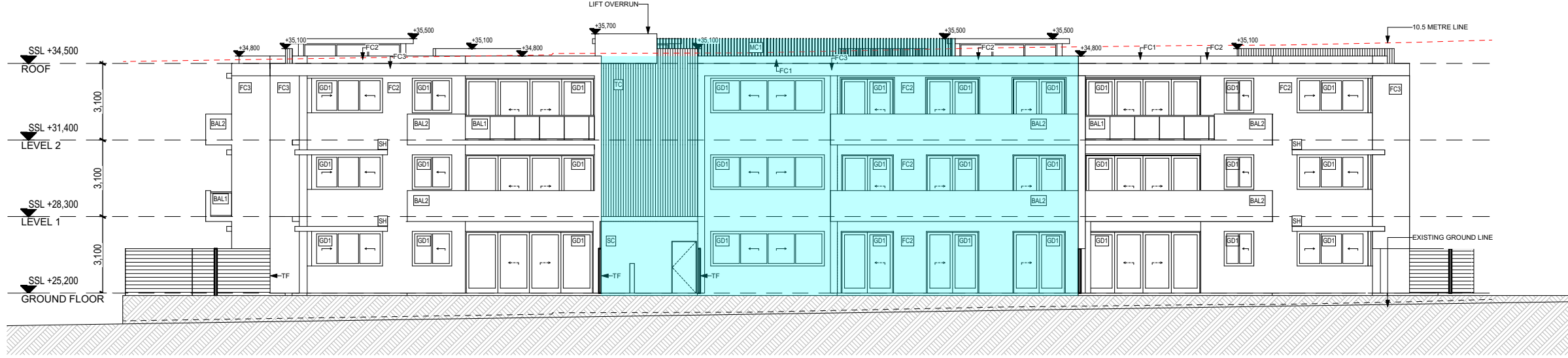
2 South Elevation - Building C
Scale @ A1 = 1:200



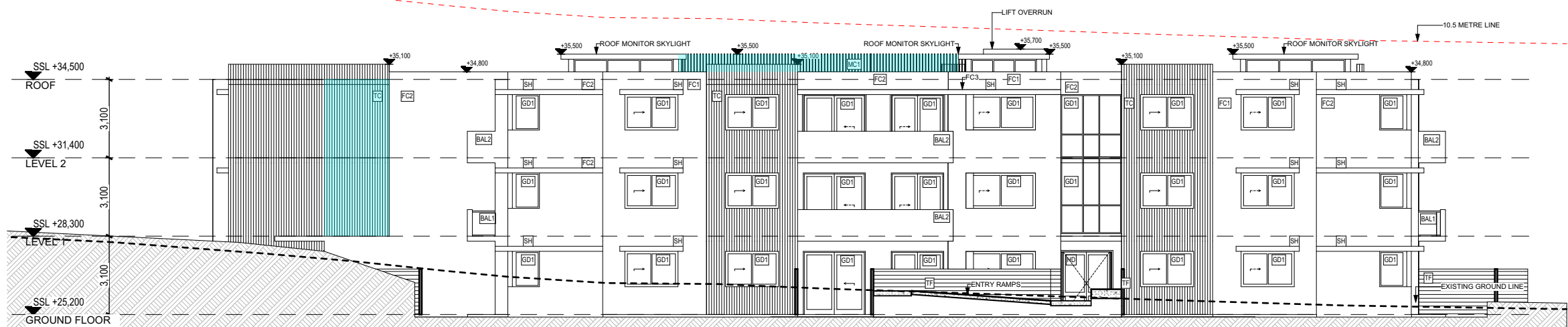
3 East Elevation - Building C
Scale @ A1 = 1:200



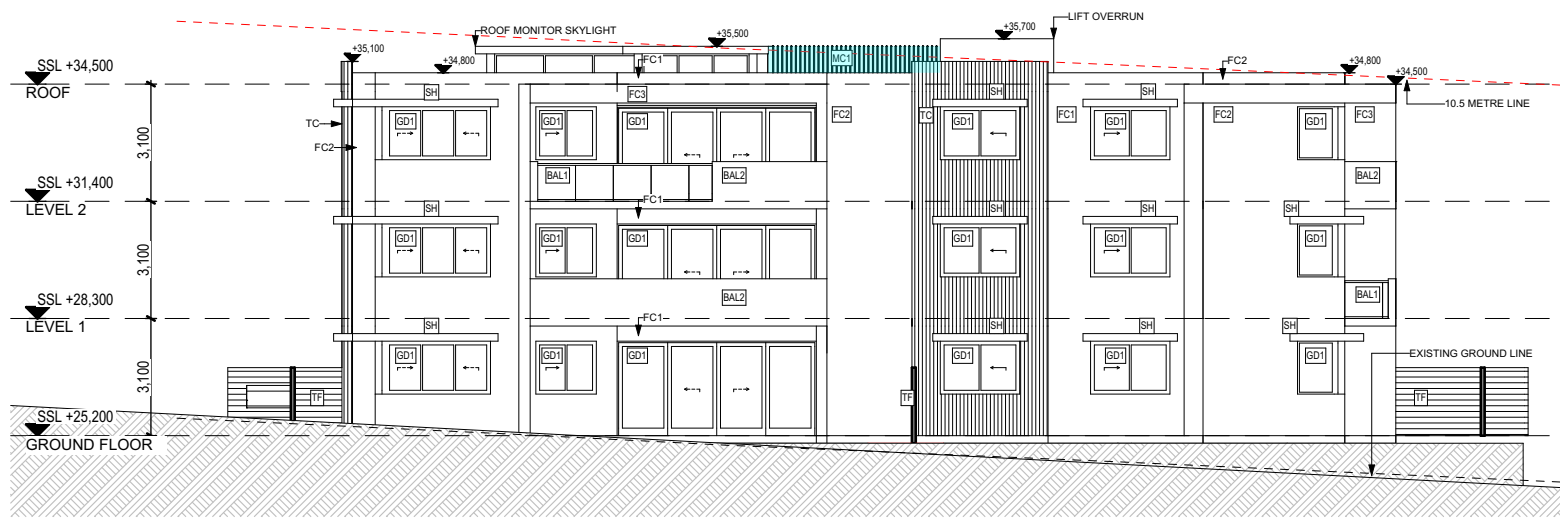
4 West Elevation - Building C
Scale @ A1 = 1:200



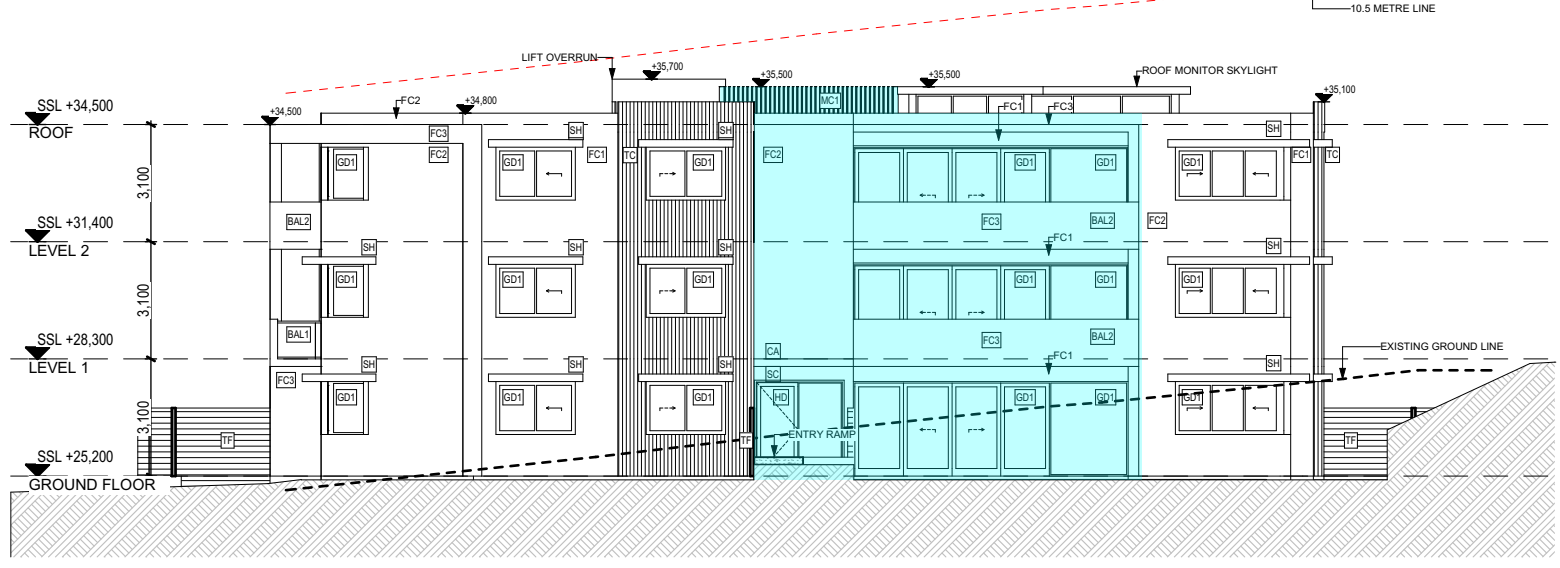
5 North Elevation - Building D
Scale @ A1 = 1:200



6 South Elevation - Building D
Scale @ A1 = 1:200



7 East Elevation - Building D
Scale @ A1 = 1:200



8 West Elevation - Building D
Scale @ A1 = 1:200

LEGEND

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S4.56 Changes

0 2 5 10 20m

Rev	Date	Amendment	By	Rev	Date	Amendment	By
01	11/02/2022	ISSUE FOR S4.56	GL				

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#Structural Engineer

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#Mechanical Engineer

Electrical Services:
#Electrical Engineer

Hydraulic Services:
#Hydraulic Engineer

Fire Services:
#Fire Engineer

BCA and Access Consultant:
BCA Logic

Principal Certifying Authority:
#Principal Certifying Authority

Landscape Architect:
Site Design Studios

Acoustic Engineer:
#Acoustic Engineer

ISSUE FOR S4.56

Project: RESIDENTIAL DEVELOPMENT

Client: EQ CONSTRUCTIONS

Address:
8 Forest Road Warriewood NSW 2102 Australia

Project No: Pn_0800

Checked: Drawn:

PD GL

Scale@A1: 1:200

Scale@A4: 1:565.6

Date: 11/02/2022

Drawing Title:
Notification Plans
Notification Plan - Building C
and D Elevations

Revision:

01

Drawing No:

A802

ADS
ARCHITECTS

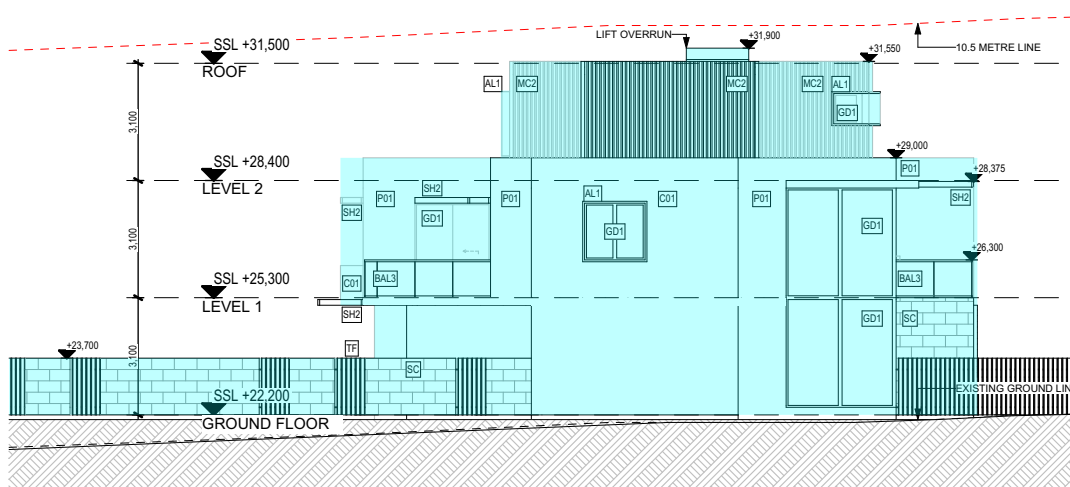
ARCHITECTURE DESIGN STUDIO (NSW) PTY LTD
11 Egerton Street, Silverwater, NSW 2128
P: 02 9648 6663 | F: 02 9648 6664
info@adsarchitects.com | www.adsarchitects.com
ABN: 90 616 216 196
NSW Nominated Architect Pavlo Doroch 9170



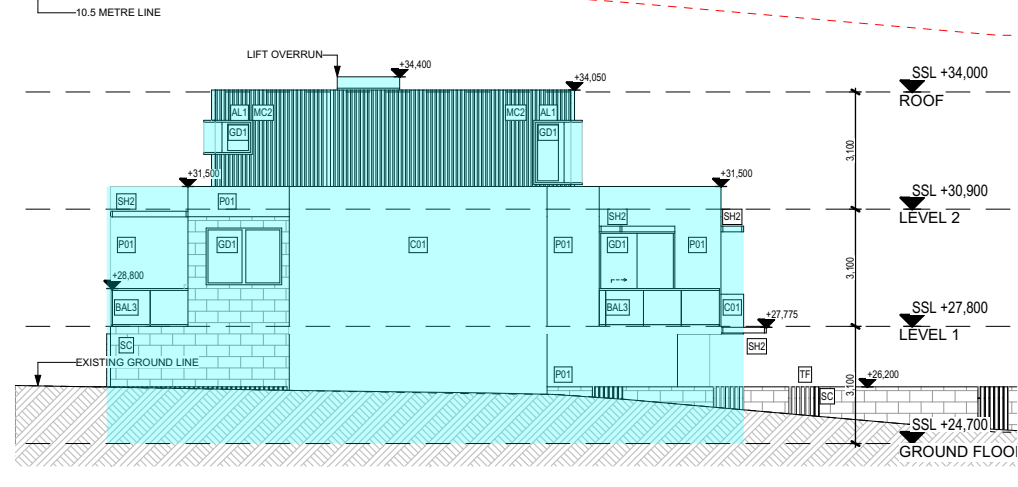
1
-
West Elevation - Townhouses
Scale @ A1 = 1:200



2
-
East Elevation - Townhouses
Scale @ A1 = 1:200



3
-
North Elevation - Townhouses
Scale @ A1 = 1:200

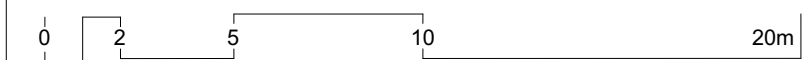


4
-
South Elevation - Townhouses
Scale @ A1 = 1:200

LEGEND

- AL1 ALUMINIUM AWING - DULUX MONUMENT POWER COAT
- BAL1 BALUSTRADE GLASS - FOR APARTMENTS
- BAL2 BALUSTRADE SOLID - FOR APARTMENTS
- BAL3 BALUSTRADE GLASS - FOR TOWNHOUSES
- C01 CONCRETE FINISH
- CA CANOPY
- FC1 FIBRECEMENT CLADDING - DULUX OOLONG
- FC2 FIBRECEMENT CLADDING - DULUX TINKER
- FC3 FIBRECEMENT CLADDING - DULUX WHITE
- GD1 GLAZING DOOR / WINDOW
- HD HINGED DOOR
- L01 HORIZONTAL LOUVRES-TIMBER LOOK
- MC1 ALUMINIUM LOUVER WHITE
- MC2 METAL CLADDING (ALUMINIUM SLATS/ BATTENS - TIMBER LOOK)
- P01 RENDER AND PAINT (DULUX WHITE CHINA)
- SC SANDSTONE CLADDING
- SH SUNSHADING
- SH2 SUNSHADING - TIMBER LOOK
- TC ALUMINIUM CLADDING - TIMBER LOOK
- TF FENCE (ALUMINIUM SLATS - TIMBER LOOK)

S4.56 Changes



Rev	Date	Amendment	By	Rev	Date	Amendment	By
01	11/02/2022	ISSUE FOR S4.56	GL				

GENERAL NOTES:

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Client: EQ CONSTRUCTIONS

Address:
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Project No: Pn_0800
Checked: Drawn:
PD GL
Scale@A1: 1:200
Scale@A4: 1:565.6
Date: 11/02/2022

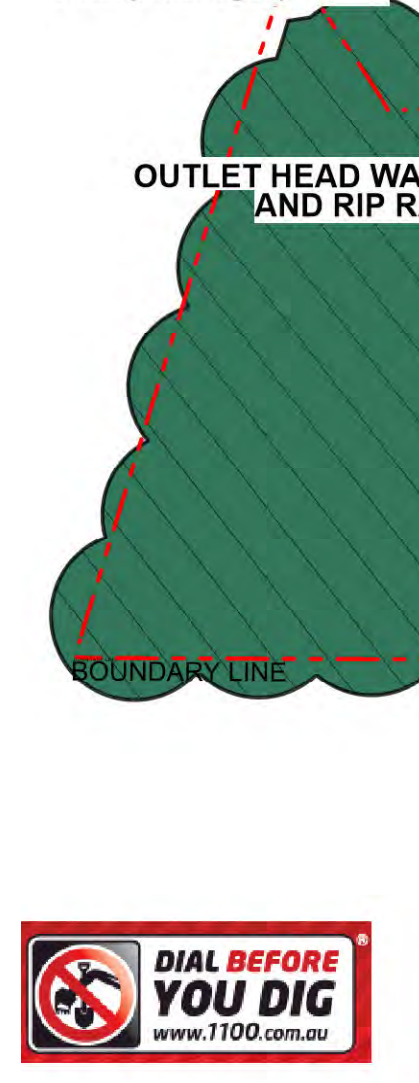
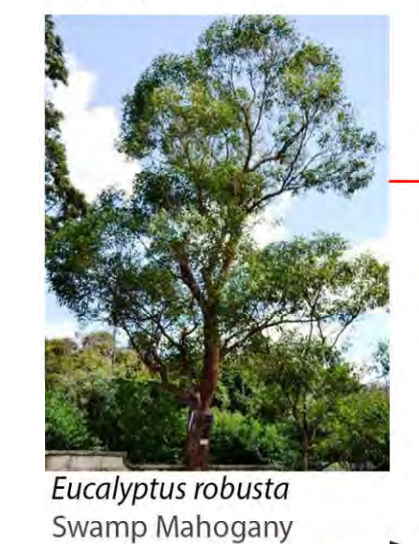
Drawing Title:
Notification Plans
Notification Plan -
Townhouses Elevations

Revision: 01
Drawing No: A803



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ABN: 90 616 216 196
NSW Nominated Architect Pavlo Doroch 9170

- LEGEND**
- Ficus rubiginosa
 - Eucalyptus robusta
 - Banksia integrifolia
 - Hymenosporum flavum
 - Angophora floribunda
 - Eucalyptus racemosa
 - Angophora costata
 - Tristanopsis laurina 'luscious'
 - Livistona australis
 - Lagerstroemia 'Natchez'
 - Melaleuca quinquenervia
 - Plumeria rubra
 - Ceratopetalum apetalum
 - Casuarina glauca
 - Syzygium 'Resilience'
 - Banksia ericifolia
 - Munroa paniculata
 - Viburnum odoratissimum
 - Acmena smithii
 - Leptospermum polygalifolium
 - Westringia Wynyabie Gem
 - Leptospermum 'Pink Cascade'
 - Doryanthes excelsa
 - Westringia fruticosa
 - Lavandula angustifolia 'Munstead'
 - Banksia 'Birthday Candles'
 - Correa alba
 - Juncus usitatus
 - Gahnia sieberiana
 - Dianella caerulea
 - Microlaena stipoides



NARRABEEN CREEK

OUTLET HEAD WALL
AND RIP RAP

BIO-RETENTION
BASIN 1 (EAST)

RIPIARIAN AREA

25 m RIPIARIAN SETBACK

50 m RIPIARIAN SETBACK

BIO-RETENTION
BASIN 2 (WEST)

OUTLET HEAD WALL
AND RIP RAP

Ficus rubiginosa
Port Jackson Fig

Angophora costata
Sydney Red Gum

GRANITE COBBLESTONE FOR PRIVACY ACCESS WAY

Hymenosporum flavum
Native Frangipani

Eucalyptus robusta
Swamp Mahogany

Angophora costata
Sydney Red Gum

REFER TO L-03

REFER TO L-04



Plant Schedule						
ID	Qty	Common Name	Botanical Name	Scheduled Size	Mature Height	Mature Spread
Trees						
AS	112	Lillypilly	Acmena smithii	45L	5 - 10m	6 - 10m
ACost	22	Sydney Red Gum, Smooth-barked Apple	Angophora costata	150L	15 - 20m	6 - 10m
AF	1	Rough-barked Apple	Angophora floribunda	150L	6 - 15m	6 - 10m
Ban-int	8	Coastal Banksia	Banksia integrifolia	45L	5 - 10m	3.5 - 6m
Euc-ra	1	Snappy gum	Eucalyptus racemosa	45L	8-15m	6 - 10m
Euc-ro	23	Swamp Mahogany	Eucalyptus robusta	75L	5m	3m
Fic-ru	1	Port Jackson Fig	Ficus rubiginosa	1000L	12-20m	10-20m
Hym-fl	5	Native frangipani	Hymenosporum flavum	400L	6-9m	6-8m
Lag-na	11	Natchez Crepe Myrtle	Lagerstroemia 'Natchez'	400L	6-8m	4-6m
LAust	7	Cabbage-tree Palm	Livistona australis	2m CT	15 - 20m	6 - 10m
mel-qui	13	Broad-leafed Paperbark	Melaleuca quinquenervia	45L	10 - 15m	3.5 - 6m
Plum-rub	36	Frangipani	Plumeria rubra	45L	3 - 5m	3.5 - 6m
syz-au're	39	Lilly Pilly	Syzygium australe 'Resilience'	75L	4 - 6m	1.5m
TLaur-lus	33	Kanooka, Water Gum	Tristanopsis laurina 'luscious'	400L	5 - 10m	3.5 - 6m
Shrubs						
Ban-eri	17	Heath-leaved Banksia	Banksia ericifolia	75L	3 - 5m	3.5 - 6m
Cor-alb	6	White Correa	Correa alba	200mm	0.9 - 1.5m	0.9 - 1.2m
Lav-ang-m	524	Munstead Lavender	Lavandula angustifolia 'Munstead'	200mm	0.45 - 0.6m	0.6 - 0.9m
lep-pc	66	Tea Tree	Leptospermum 'Pink Cascade'	200mm	1 - 3m	2m
Lep-pol	44	Jelly bush	Leptospermum polygalifolium	200mm	1.5 - 3m	2.0 - 3.5m
Mur-pan	226	Orange Jessamine	Murraya paniculata	200mm	1.5 - 3m	3.5 - 6m
Vib-odo	388	Viburnum	Viburnum odoratissimum	200mm	1500mm hedged	1000mm hedged
Wes-fru	690	Coastal Rosemary	Westringia fruticosa	200mm	0.6m	0.9m
Wes-ry	468	Wynyabie Coast Rosemary	Westringia Wynyabie Gem	300mm	1.6m	1.2m
Grasses						
Dia-cae	389	Paroo Lily, Blue Flax-lily	Dianella caerulea	150mm	0.6 - 0.75m	0.6 - 0.9m
Dor-exc	251	Gymea Lily	Doryanthes excelsa	300mm	1-2m	2-4m
gah-sie	182	Water Vine	Gahnia hypoglauca	150mm	2m	0.8m
junc-us	677	Rush	Juncus usitatus	150mm	1m	0.8m
Lom-lon	14	Spiny-headed Mat-Rush	Lomandra longifolia	150mm	0.75 - 0.9m	0.9 - 1.2m
mic-sti	174	Weeping Grass	Microlaena stipoides	150mm	0.6 - 0.75m	0.6 - 0.9m
Total	4428					

I	19/01/22	ISSUE SECT 4.56 FOR APPROVAL
H	17/01/22	ISSUE SECT 4.56 FOR APPROVAL
G	12/01/22	ISSUE SECT 4.56 FOR APPROVAL
F	22/12/21	ISSUE SECT 4.56 FOR APPROVAL
E	21/12/21	ISSUE SECT 4.55 FOR APPROVAL

AMENDMENTS -

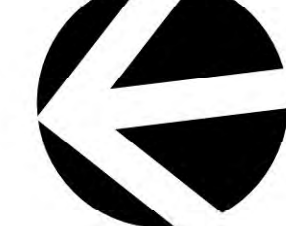
NOTES

GENERAL NOTES
All work to be carried out in accordance with the Building Code of Australia, all Local and State Government Ordinances, relevant Australian Standards, Local Authorities Regulations and all other relevant Authorities concerned. All structural work and site drainage to be subject to Engineer's details or certification where required by Council. This shall include r.c. slabs and footings, r.c. and steel beams & columns, wind bracing to AS 1170 and AS4055, anchor rods or bolts, tie downs, fixings etc., driveway slabs and drainage to Council's satisfaction. All timbers to be in accordance with SAA Timber Structure Code AS1720 and SAA Timber Framing Code AS 1684. All work to be carried out in a professional and workman- shiplike manner according to the plans and specification.

NOTE
Do not scale off the drawings unless otherwise stated and use figured dimensions in preference.
All dimensions are to be checked and verified on site before the commencement of any work, all dimensions and levels are subject to final survey and set-out.
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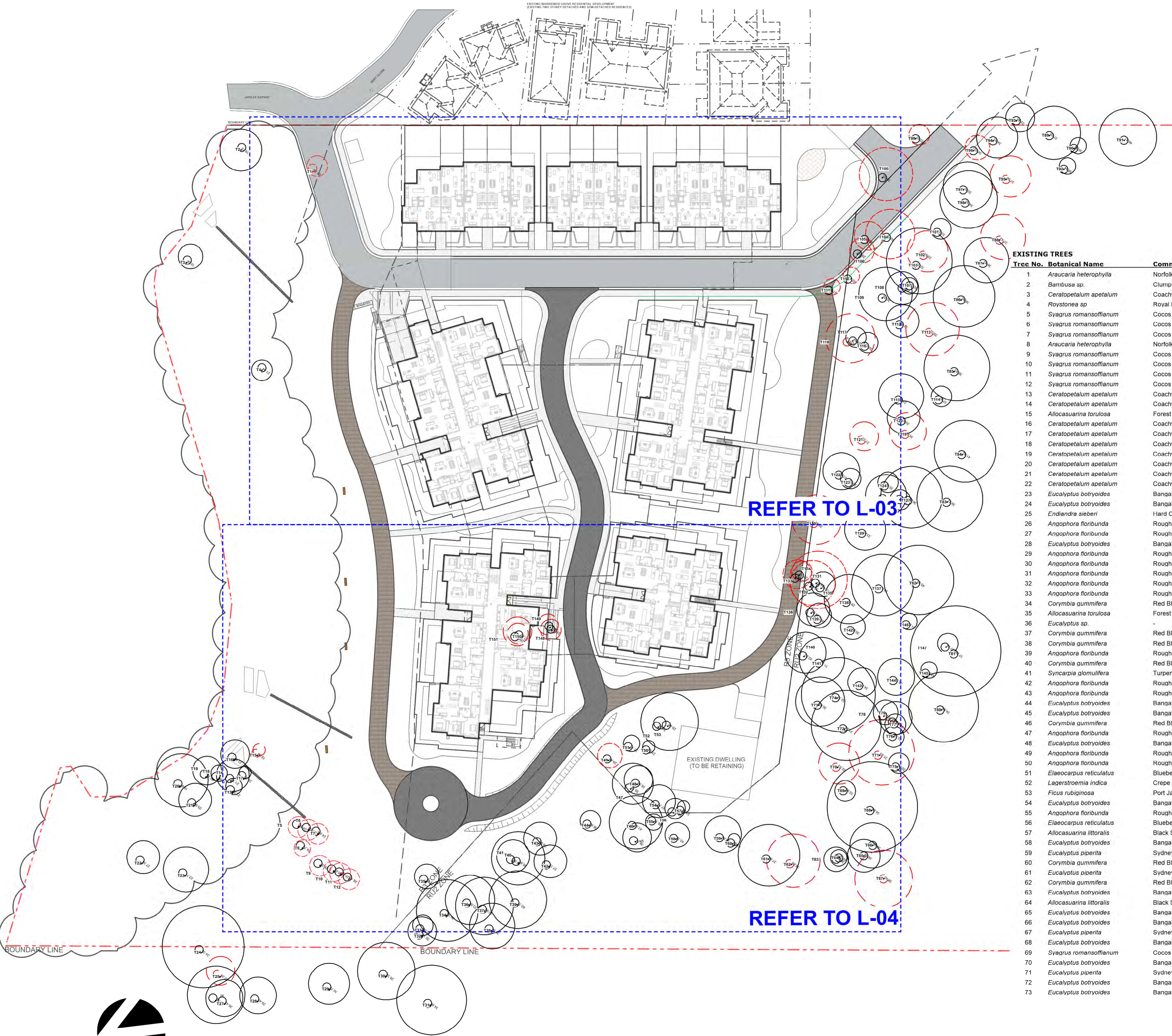
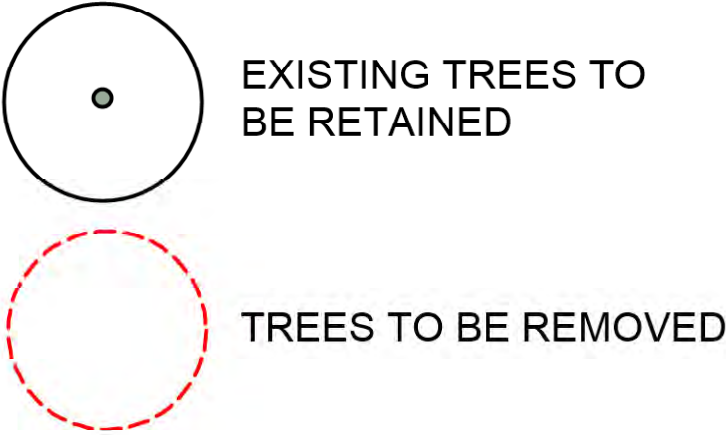
Project **WARRIEWOOD VALE DEVELOPMENT**
Address **8 FOREST ROAD, WARRIEWOOD**
Drawing Title **LANDSCAPE MASTER PLAN**
Client **WARRIEWOOD VALE P/L** Scale **1:500 @A1**

Drawing No. **15-826**

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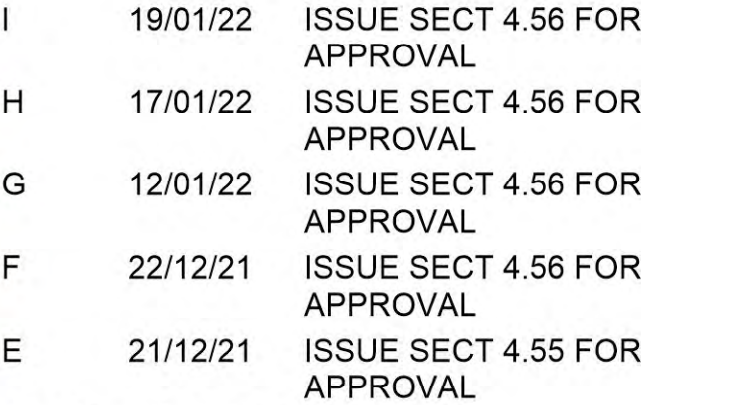
L-01

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G	12/01/22	ISSUE SECT 4.56 FOR APPROVAL
F	22/12/21	ISSUE SECT 4.56 FOR APPROVAL
E	21/12/21	ISSUE SECT 4.55 FOR APPROVAL
ISSUE	DATE	COMMENT



EXISTING TREES									
Tree No.	Botanical Name	Common Name	Retain	Remove	Tree No.	Botanical Name	Common Name	Retain	Remove
1	<i>Araucaria heterophylla</i>	Norfolk Pine		v	74	<i>Eucalyptus piperita</i>	Sydney Peppermint	v	
2	<i>Bambusa</i> sp.	Clumping Bamboo	v		75	<i>Angophora floribunda</i>	Rough Barked Apple	v	
3	<i>Ceratopetalum apetalum</i>	Coachwood Tree	v		76	<i>Livistona australis</i>	Cabbage Palm	v	
4	<i>Roystonea</i> sp	Royal Palm	v		77	<i>Livistona australis</i>	Cabbage Palm	v	
5	<i>Syagrus romansoffianum</i>	Cocos Palm		v	78	<i>Eucalyptus botryoides</i>	Bangalay/Southern Mahogany	v	
6	<i>Syagrus romansoffianum</i>	Cocos Palm		v	79	<i>Eucalyptus botryoides</i>	Bangalay/Southern Mahogany	v	
7	<i>Syagrus romansoffianum</i>	Cocos Palm		v	80	<i>Eucalyptus botryoides</i>	Bangalay/Southern Mahogany	v	
8	<i>Araucaria heterophylla</i>	Norfolk Pine		v	81	<i>Eucalyptus piperita</i>	Sydney Peppermint	v	
9	<i>Syagrus romansoffianum</i>	Cocos Palm		v	82	<i>Eucalyptus piperita</i>	Sydney Peppermint	v	
10	<i>Syagrus romansoffianum</i>	Cocos Palm		v	83	<i>Eucalyptus piperita</i>	Sydney Peppermint	v	
11	<i>Syagrus romansoffianum</i>	Cocos Palm		v	84	<i>Angophora costata</i>	Sydney Red Gum	v	
12	<i>Syagrus romansoffianum</i>	Cocos Palm		v	85	<i>Angophora costata</i>	Sydney Red Gum	v	
13	<i>Ceratopetalum apetalum</i>	Coachwood Tree	v		86	<i>Angophora costata</i>	Sydney Red Gum	v	
14	<i>Ceratopetalum apetalum</i>	Coachwood Tree	v		87	<i>Angophora costata</i>	Sydney Red Gum	v	
15	<i>Allocasuarina torulosa</i>	Forest Oak		v	88	<i>Eucalyptus piperita</i>	Sydney Peppermint		v
16	<i>Ceratopetalum apetalum</i>	Coachwood Tree	v		89	<i>Angophora costata</i>	Sydney Red Gum		v
17	<i>Ceratopetalum apetalum</i>	Coachwood Tree	v		90	<i>Eucalyptus</i> sp.	-	v	
18	<i>Ceratopetalum apetalum</i>	Coachwood Tree	v		91	<i>Angophora costata</i>	Sydney Red Gum	v	
19	<i>Ceratopetalum apetalum</i>	Coachwood Tree	v		92	<i>Eucalyptus botryoides</i>	Bangalay/Southern Mahogany	v	
20	<i>Ceratopetalum apetalum</i>	Coachwood Tree	v		93	<i>Glochidion ferdinandi</i>	Cheese Tree	v	
21	<i>Ceratopetalum apetalum</i>	Coachwood Tree	v		94	<i>Angophora costata</i>	Sydney Red Gum	v	
22	<i>Ceratopetalum apetalum</i>	Coachwood Tree	v		95	<i>Eucalyptus piperita</i>	Sydney Peppermint		v
23	<i>Eucalyptus botryoides</i>	Bangalay/Southern Mahogany	v		96	<i>Allocasuarina littoralis</i>	Black She-oak		v
24	<i>Eucalyptus botryoides</i>	Bangalay/Southern Mahogany	v		97	<i>Angophora costata</i>	Sydney Red Gum	v	
25	<i>Endiandra sieberi</i>	Hard Corkwood	v		98	<i>Eucalyptus botryoides</i>	Bangalay/Southern Mahogany	v	
26	<i>Angophora floribunda</i>	Rough Barked Apple	v		99	<i>Allocasuarina littoralis</i>	Black She-oak		v
27	<i>Angophora floribunda</i>	Rough Barked Apple	v		100	<i>Eucalyptus botryoides</i>	Bangalay/Southern Mahogany		v
28	<i>Eucalyptus botryoides</i>	Bangalay/Southern Mahogany	v		101	<i>Angophora costata</i>	Sydney Red Gum	v	
29	<i>Angophora floribunda</i>	Rough Barked Apple	v		102	<i>Eucalyptus botryoides</i>	Bangalay/Southern Mahogany		v
30	<i>Angophora floribunda</i>	Rough Barked Apple	v		103	<i>Eucalyptus piperita</i>	Sydney Peppermint	v	
31	<i>Angophora floribunda</i>	Rough Barked Apple	v		104	<i>Eucalyptus</i> sp.	-		v
32	<i>Angophora floribunda</i>	Rough Barked Apple	v		105	<i>Angophora costata</i>	Sydney Red Gum		v
33	<i>Angophora floribunda</i>	Rough Barked Apple	v		106	<i>Allocasuarina torulosa</i>	Forest Oak		v
34	<i>Corymbia gummifera</i>	Red Bloodwood	v		107	<i>Eucalyptus botryoides</i>	Bangalay/Southern Mahogany	v	
35	<i>Allocasuarina torulosa</i>	Forest Oak	v		108	<i>Eucalyptus botryoides</i>	Bangalay/Southern Mahogany	v	
36	<i>Eucalyptus</i> sp.	-		v	109	<i>Eucalyptus botryoides</i>	Bangalay/Southern Mahogany		v
37	<i>Corymbia gummifera</i>	Red Bloodwood	v		110	<i>Allocasuarina torulosa</i>	Forest Oak		v
38	<i>Corymbia gummifera</i>	Red Bloodwood	v		111	<i>Allocasuarina torulosa</i>	Forest Oak		v
39	<i>Angophora floribunda</i>	Rough Barked Apple	v		112	<i>Eucalyptus botryoides</i>	Bangalay/Southern Mahogany	v	
40	<i>Corymbia gummifera</i>	Red Bloodwood	v		113	<i>Eucalyptus piperita</i>	Sydney Peppermint		v
41	<i>Syncarpia glomulifera</i>	Turpentine	v		114	<i>Allocasuarina torulosa</i>	Forest Oak	v	
42	<i>Angophora floribunda</i>	Rough Barked Apple	v		115	<i>Angophora floribunda</i>	Rough Barked Apple	v	
43	<i>Angophora floribunda</i>	Rough Barked Apple	v		116	<i>Allocasuarina torulosa</i>	Forest Oak	v	
44	<i>Eucalyptus botryoides</i>	Bangalay/Southern Mahogany	v		117	<i>Angophora costata</i>	Sydney Red Gum	v	
45	<i>Eucalyptus botryoides</i>	Bangalay/Southern Mahogany	v		118	<i>Angophora costata</i>	Sydney Red Gum		v
46	<i>Corymbia gummifera</i>	Red Bloodwood	v		119	<i>Eucalyptus piperita</i>	Sydney Peppermint		v
47	<i>Angophora floribunda</i>	Rough Barked Apple	v		120	<i>Angophora floribunda</i>	Rough Barked Apple	v	
48	<i>Eucalyptus botryoides</i>	Bangalay/Southern Mahogany	v		121	<i>Syncarpia glomulifera</i>	Turpentine	v	
49	<i>Angophora floribunda</i>	Rough Barked Apple	v		122	<i>Angophora costata</i>	Sydney Red Gum	v	
50	<i>Angophora floribunda</i>	Rough Barked Apple	v		123	<i>Allocasuarina torulosa</i>	Forest Oak	v	
51	<i>Elaeocarpus reticulatus</i>	Blueberry Ash	v		124	<i>Syncarpia glomulifera</i>	Turpentine	v	
52	<i>Lagerstroemia indica</i>	Crepe Myrtle	v		125	<i>Eucalyptus botryoides</i>	Bangalay/Southern Mahogany	v	
53	<i>Ficus rubiginosa</i>	Port Jackson Fig/Rusty Fig	v		126	<i>Allocasuarina torulosa</i>	Forest Oak	v	
54	<i>Eucalyptus botryoides</i>	Bangalay/Southern Mahogany	v		127	<i>Angophora costata</i>	Sydney Red Gum	v	
55	<i>Angophora floribunda</i>	Rough Barked Apple	v		128	<i>Allocasuarina torulosa</i>	Forest Oak	v	
56	<i>Elaeocarpus reticulatus</i>	Blueberry Ash	v		129	<i>Angophora costata</i>	Sydney Red Gum	v	
57	<i>Allocasuarina littoralis</i>	Black She-oak	v		130	<i>Angophora costata</i>	Sydney Red Gum		v
58	<i>Eucalyptus botryoides</i>	Bangalay/Southern Mahogany	v		131	<i>Eucalyptus botryoides</i>	Bangalay/Southern Mahogany		v
59	<i>Eucalyptus piperita</i>	Sydney Peppermint	v		132	<i>Syncarpia glomulifera</i>	Turpentine	v	
60	<i>Corymbia gummifera</i>	Red Bloodwood	v		133	<i>Eucalyptus botryoides</i>	Bangalay/Southern Mahogany		v
61	<i>Eucalyptus piperita</i>	Sydney Peppermint	v		134	<i>Allocasuarina torulosa</i>	Forest Oak		v
62	<i>Corymbia gummifera</i>	Red Bloodwood		v	135	<i>Eucalyptus botryoides</i>	Bangalay/Southern Mahogany		v
63	<i>Eucalyptus botryoides</i>	Bangalay/Southern Mahogany	v		136	<i>Eucalyptus botryoides</i>	Bangalay/Southern Mahogany	v	
64	<i>Allocasuarina littoralis</i>	Black She-oak	v		137	<i>Eucalyptus piperita</i>	Sydney Peppermint	v	
65	<i>Eucalyptus botryoides</i>	Bangalay/Southern Mahogany	v		138	<i>Eucalyptus botryoides</i>	Bangalay/Southern Mahogany	v	
66	<i>Eucalyptus botryoides</i>	Bangalay/Southern Mahogany	v		139	<i>Eucalyptus botryoides</i>	Bangalay/Southern Mahogany	v	
67	<i>Eucalyptus piperita</i>	Sydney Peppermint		v	140	<i>Eucalyptus piperita</i>	Sydney Peppermint	v	
68	<i>Eucalyptus botryoides</i>	Bangalay/Southern Mahogany	v		141	<i>Eucalyptus piperita</i>	Sydney Peppermint	v	
69	<i>Syagrus romansoffianum</i>	Cocos Palm	v		142	<i>Eucalyptus botryoides</i>	Bangalay/Southern Mahogany	v	
70	<i>Eucalyptus botryoides</i>	Bangalay/Southern Mahogany		v	143	<i>Eucalyptus botryoides</i>	Bangalay/Southern Mahogany	v	
71	<i>Eucalyptus piperita</i>	Sydney Peppermint		v	144	<i>Eucalyptus botryoides</i>	Bangalay/Southern Mahogany	v	
72	<i>Eucalyptus botryoides</i>	Bangalay/Southern Mahogany	v		145	<i>Syncarpia glomulifera</i>	Turpentine	v	
73	<i>Eucalyptus botryoides</i>	Bangalay/Southern Mahogany	v		146	<i>Allocasuarina torulosa</i>	Forest Oak		v
					147	<i>Syncarpia glomulifera</i>	Turpentine		v
					148	<i>Syagrus romansoffianum</i>	Cocos Palm		v
					149	<i>Syagrus romansoffianum</i>	Cocos Palm		v
					150	<i>Macadamia integrifolia</i>	Macadamia		v
					151	<i>Macadamia integrifolia</i>	Macadamia		v





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Project **WARRIEWOOD VALE DEVELOPMENT**

Address **8 FOREST ROAD, WARRIEWOOD**

Drawing Title **GROUND FLOOR WEST LANDSCAPE PLAN**

Client **WARRIEWOOD VALE P/L** Scale **1:200 @A1**

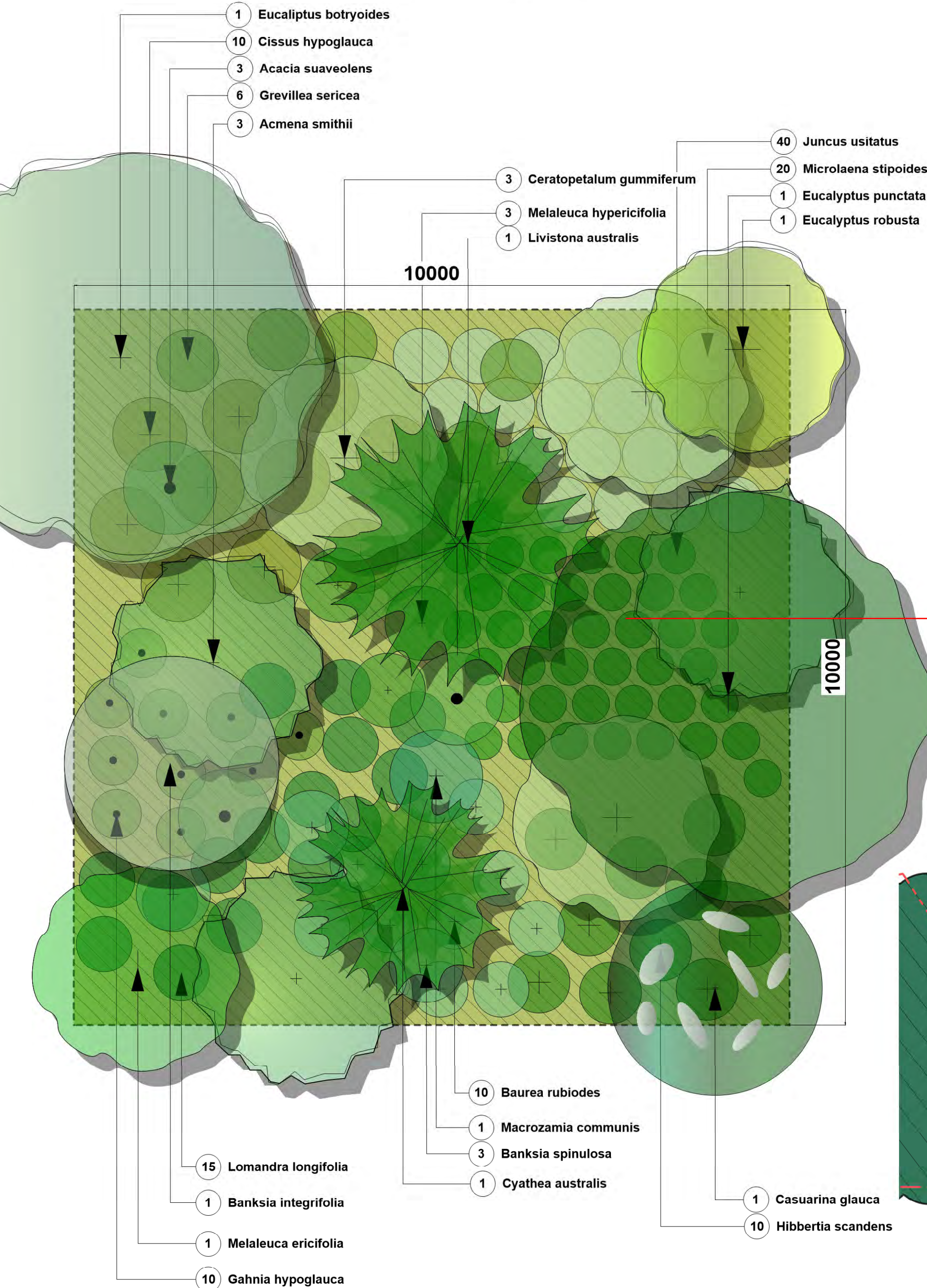
Drawing No. **15-826**

Page

L-04

BOTANIC NAME	COMMON NAME	POT SIZE	DENSITY
CANOPY TREES			
Acmea smithii	Lilly Pilly	140mm	3 per 10sqm
Ceratopetalum gummiferum	NSW Christmas Bush	140mm	3 per 10sqm
Eucalyptus botryoides	Southern Mahogany	25Lt	1 per 10sqm
Eucalyptus robusta	Swamp Mahogany	25Lt	1 per 10sqm
Casuarina glauca	Swamp She Oak	25Lt	1 per 10sqm
Melaleuca ericifolia	Swamp Paperbark	25Lt	1 per 10sqm
Livistonia australis	Cabbage Tree Palm	1m CT	1 per 10sqm
Banksia integrifolia	Coastal Banksia	25Lt	1 per 10sqm
Eucalyptus punctata	Scribbly Gum	25Lt	1 per 10sqm
Cyathea australis	Rough Tree Fern	0.5m c.T	1 per 10sqm
SHRUBS			
Acacia suaveolens	Sweet Wattle	140mm	3 per 10sqm
Banksia spinulosa	Honey Suckle Banksia	140mm	3 per 10sqm
Grevillea sericea	Pink Spider Flower	140mm	6 per 10sqm
Macrozamia communis	Cycad	200mm	1 per 10sqm
Melaleuca hypericifolia	Red Flowering Paperbark	140mm	3 per 10sqm
GROUNDCOVERS/GRASS			
Hibbertia scandens	Golden Guinea Flower	Tube	10 per 10 sqm
Baurea rubiodes	Dog Rose	Tube	10 per 10 sqm
Cissus hypoglauca	Kangaroo Grass	Tube	10 per 10 sqm
Ghnia hypoglauca	Water Vine	Tube	10 per 10 sqm
Juncus spp	Rush	Tube	40 per 10 sqm
Lomandra longifolia	Mat Rush	Tube	15 per 10 sqm
Microlaena stipoides	Weeping Grass	Tube	20 per 10 sqm

NOTES:
* Riparian Planting to be carried out by Qualified Bush Regeneration Contractor.
* Planting to be informal with mixed Trees, Shrubs and Groundcovers.
* Creekline bank to be stabilised where required using approved methods by Council.



1 RIPARIAN PLANTING MATRIX (1:50)
Scale: 1:50



2 SITE PLAN
Scale: 1:600

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E	21/12/21	ISSUE SECT 4.55 FOR APPROVAL
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Drawing Title RIPARIAN PLANTING

Client WARRIWOOD VALE P/L Scale AS SHOWN @A1 Drawing No. 15-826

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BUILDING A - NORTHEAST VIEW



BUILDING B - SOUTHEAST VIEW

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Project:
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Client:
EQ CONSTRUCTIONS

Status:
ISSUE FOR \$4.56

Drawing Title: 3D
Photomontages 1

Project No: Pn_0800 Drawing No: A900 Revision: 01

Date: 28/02/2022 Checked: JB Drawn: YA Scale@A1:



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NSW Nominated Architect Pavlo Doroch 9170



BUILDING C - SOUTHWEST VIEW



BUILDING D - NORTHWEST VIEW

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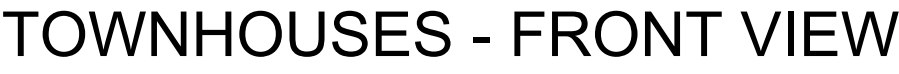
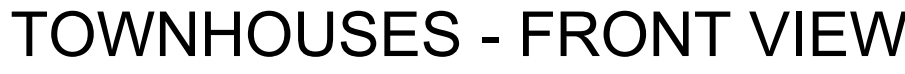
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Pn_0800 A901 01

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NSW Nominated Architect Pavlo Doroch 9170

FF&E Schedule

8 Forest Rd Warriewood NSW 2102

Project Pn_8000

Revision 1

Prepared by Architecture Design Studio

11 Egerton Street, Silverwater NSW 2128



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Note:

1. This schedule is to be read in conjunction with the Architectural Drawings and other schedules and specifications, relevant standards and regulations.

Legend	Description	Colour	Image
AL1	Aluminium Awing	Dulux Monument Power Coat	
BAL 1	Balustrade Glass - Apartments		

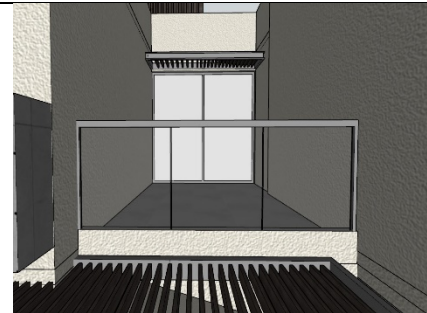
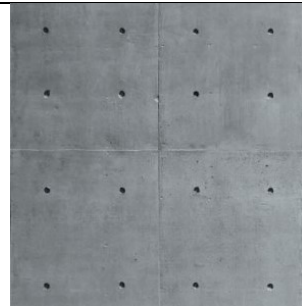
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Legend	Description	Colour	Image
BAL 2	Balustrade Solid Wall - Apartments	FC3 - White	
BAL 3	Balustrade Glass - Townhouses		
C01	Concrete Finish	Concrete Precast	

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Legend	Description	Colour	Image
FC1	Fibre Cement Cladding	Dulux – Oolong	
FC2	Fibre Cement Cladding	Dulux - Tinker	
FC3	Fibre Cement Cladding	Dulux - White	



Project: 8 Forest Rd Warriewood 2102
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Legend	Description	Colour	Image
GD1	Glazing Door/ Window	Glass	
L01	Horizontal Louvres	Timber Look	



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Project No.: Pn_08000
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Legend	Description	Colour	Image
MC1	Aluminium Louvres	White	
MC2	Metal Cladding	Aluminium Slats/Battens – Timber Look	



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Legend	Description	Colour	Image
P01	Render And Paint	Dulux White China	
SC	Sandstone Cladding	Sandstone	


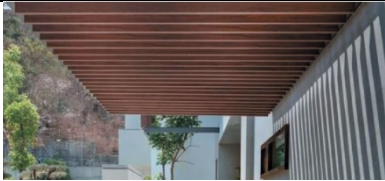

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Legend	Description	Colour	Image
SH	Sun shading	P01 – White Render	
SH2	Sun shading	Timber Look	
TC	Aluminium Cladding	Timber Look	


Project: 8 Forest Rd Warriewood 2102
Client: EQ Construction
Project No.: Pn_08000
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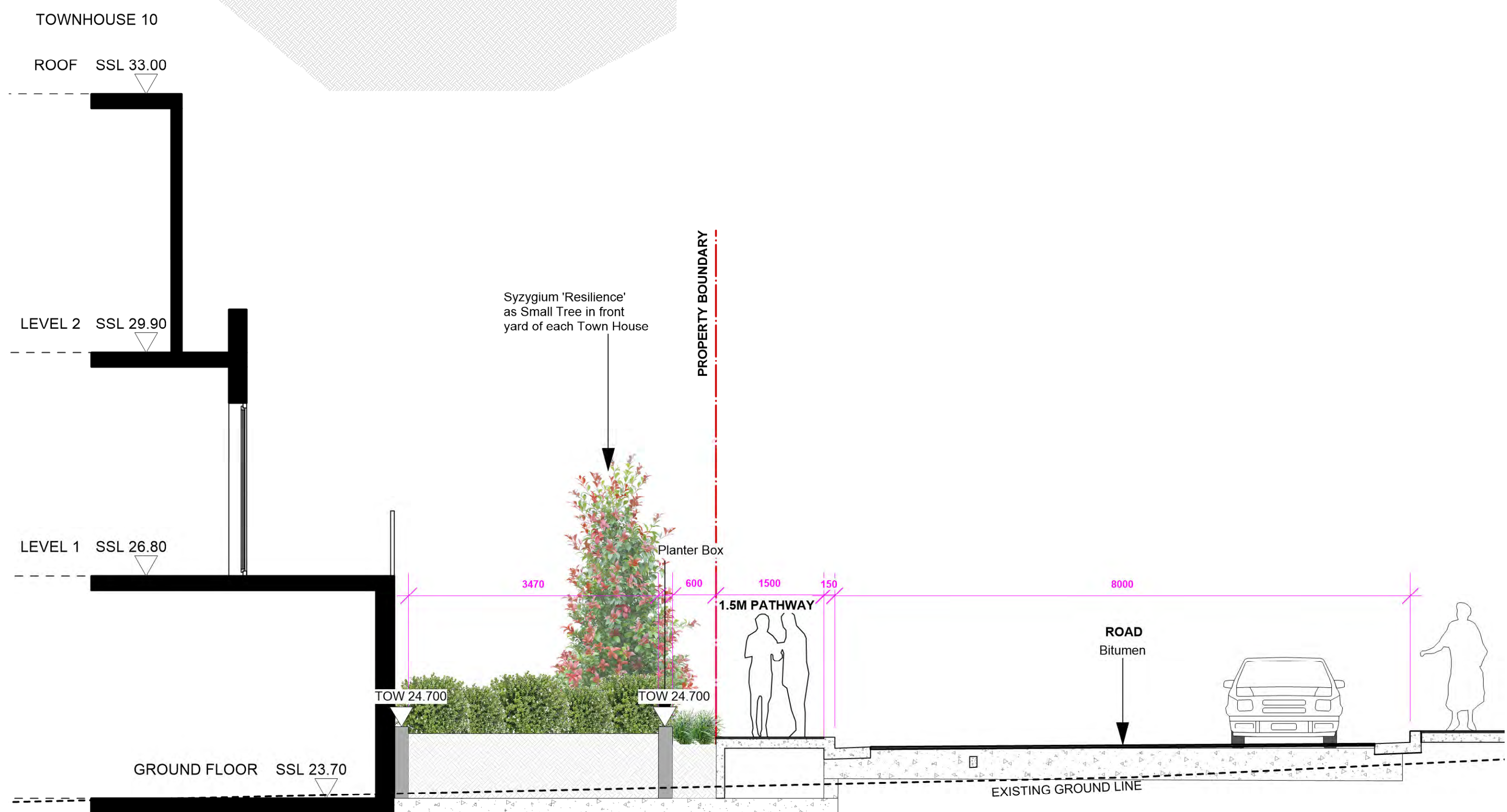
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Legend	Description	Colour	Image
TF	Fence	Aluminium Slats – Timber Look	



1 SECTION 1 (REFER TO L-01) RIPARIAN ZONE
Scale: 1:50



2 SECTION 2 (REFER TO L-03) ROAD
Scale: 1:50

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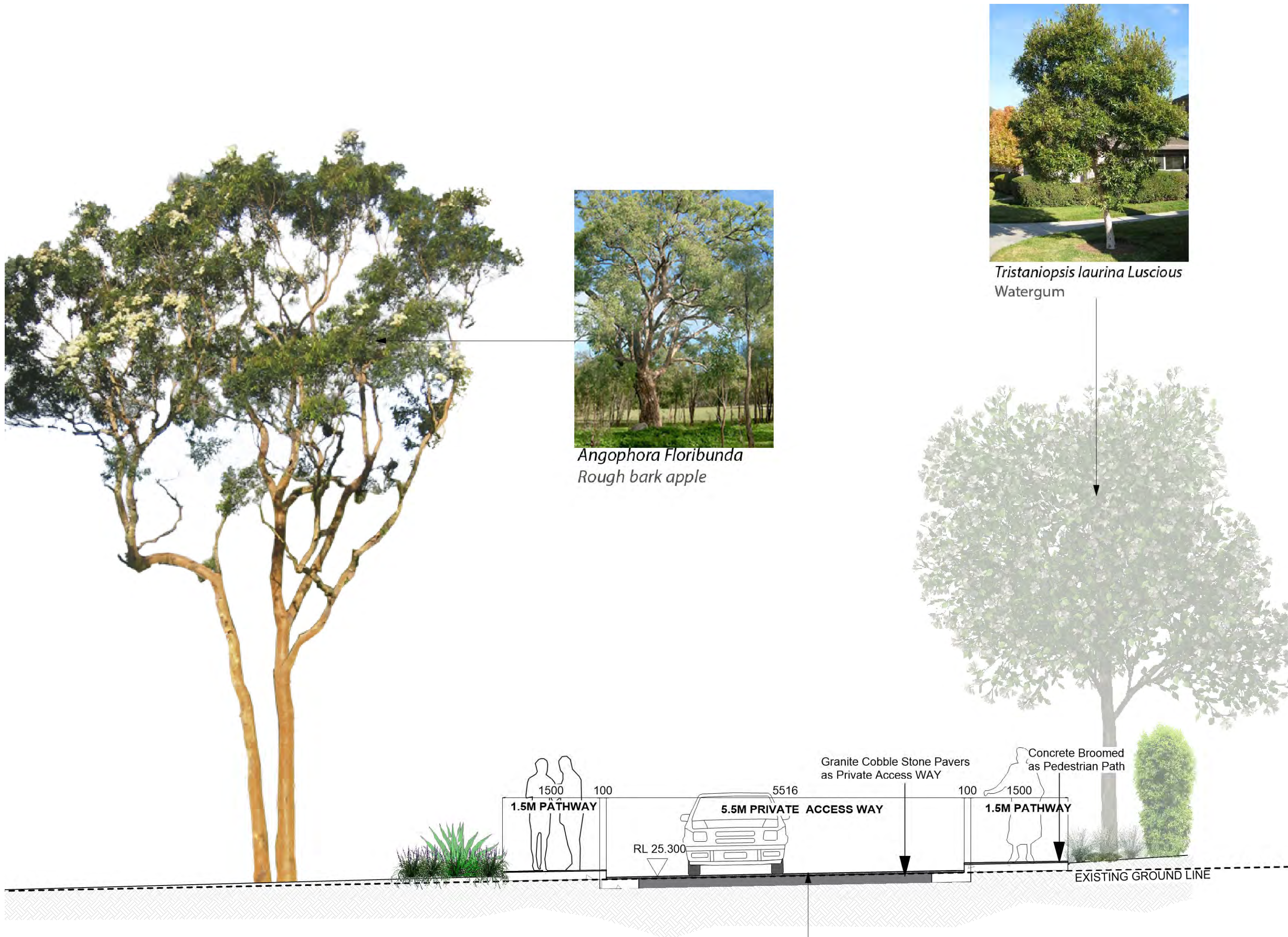
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Client WARRIEWOOD VALE P/L Scale 1:50 @A1

Drawing No. 15-826

Page

L-06



Angophora floribunda
Rough bark apple

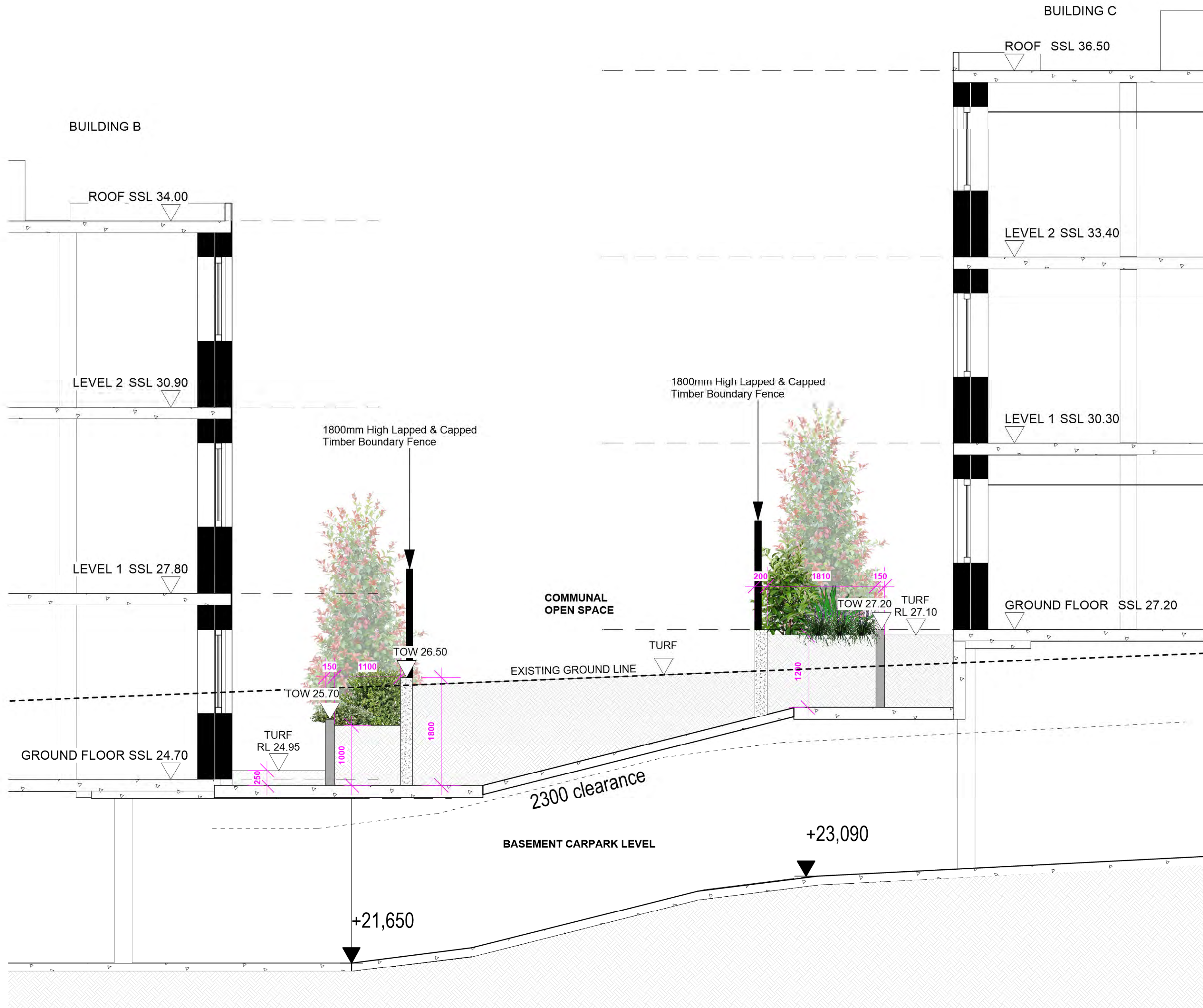


Tristania laurina Luscious
Watergum



GRANITE COBBLE STONE FOR PRIVACY ACCESS WAY

3 SECTION 3 (REFER TO L-03) PRIVATE ACCESS ROAD
Scale: 1:50



4 SECTION 4 (REFER TO L-03) COMMUNAL OPEN SPACE
Scale: 1:50

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Drawing Title **SECTIONS**

Client **WARRIEWOOD VALE P/L** Scale 1:50 @A1

Drawing No. **15-826**

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NOTE

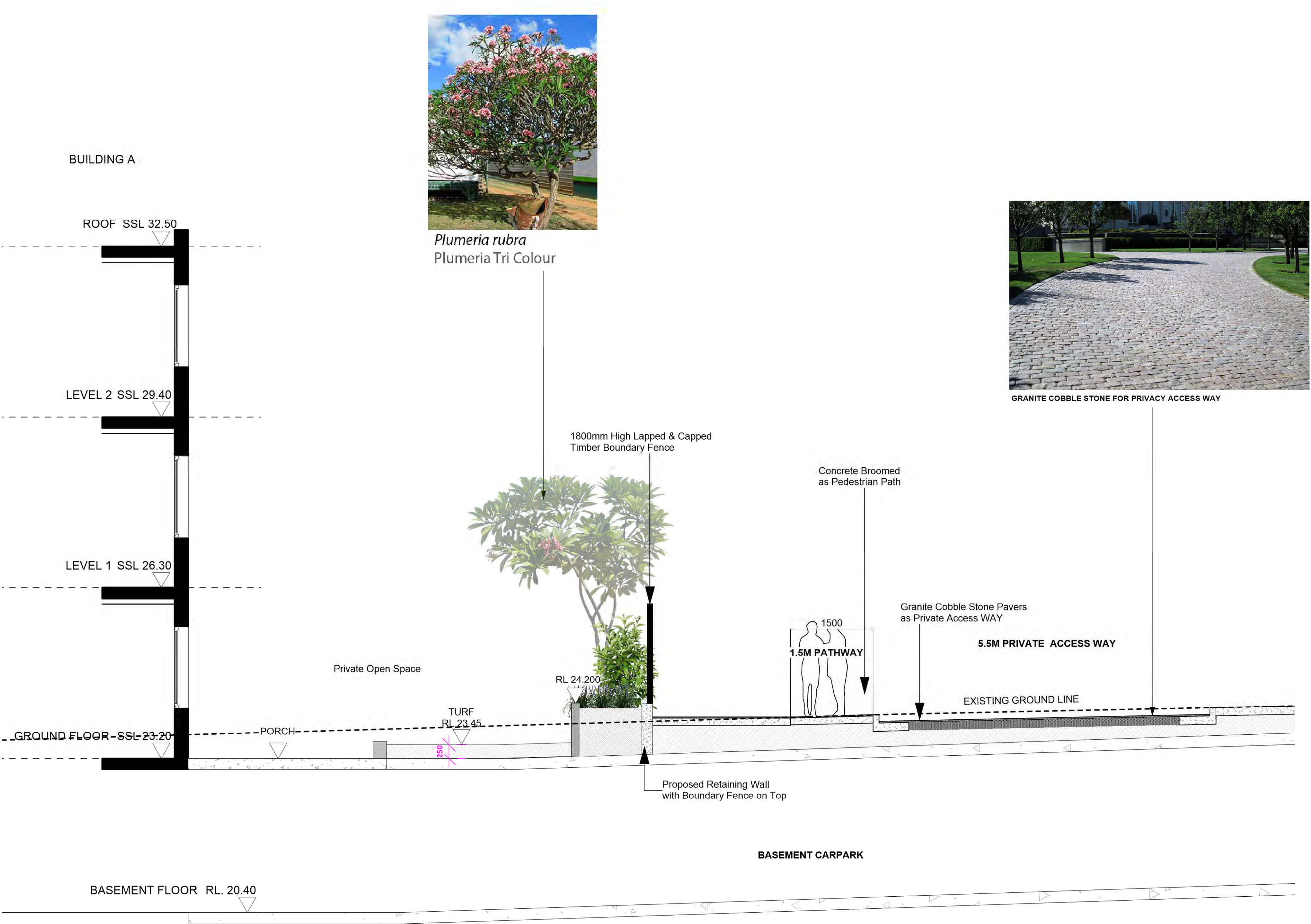
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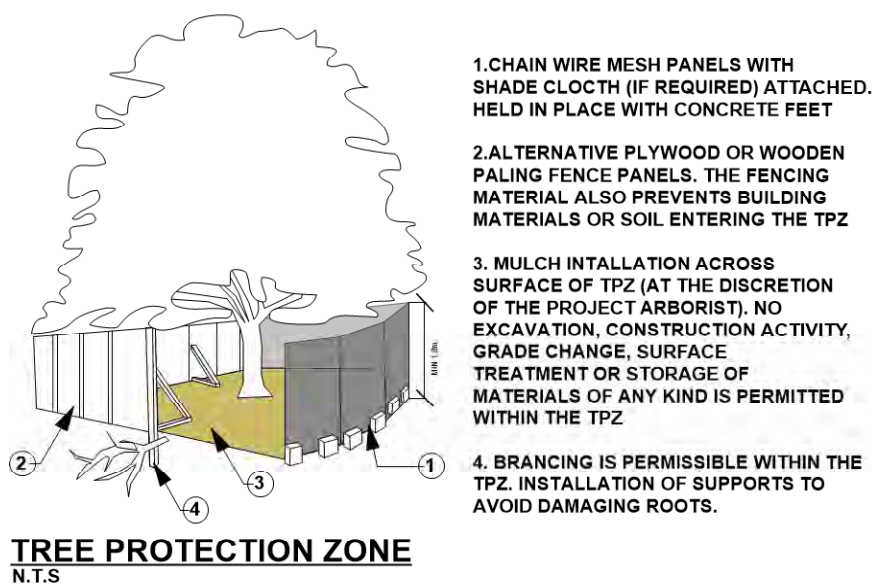
No responsibility will be accepted by Sitedesign for any variations in design, builder's method of construction or materials used, deviation from specification without permission or accepted work practices resulting in inferior construction. Locate and protect all services prior to construction.

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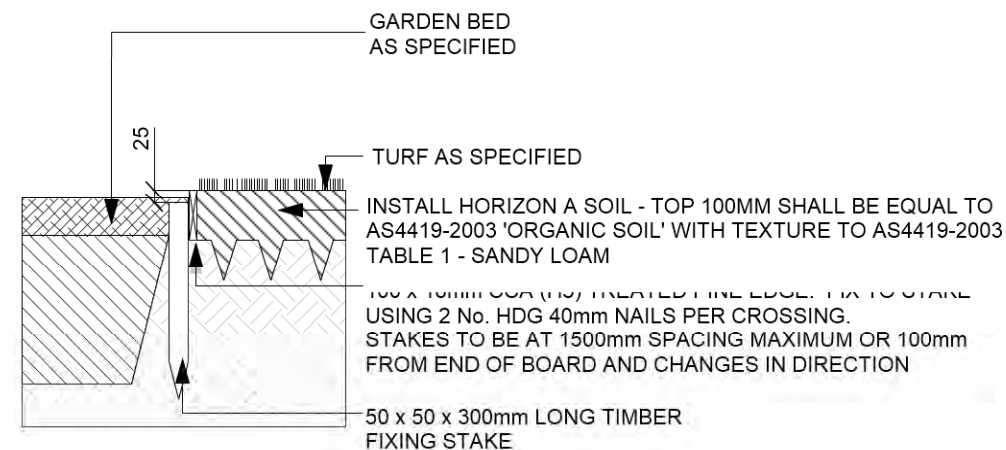


6 SECTION 5 (REFER TO L-03) PRIVATE ACCESS ROAD
 Scale: 1:50

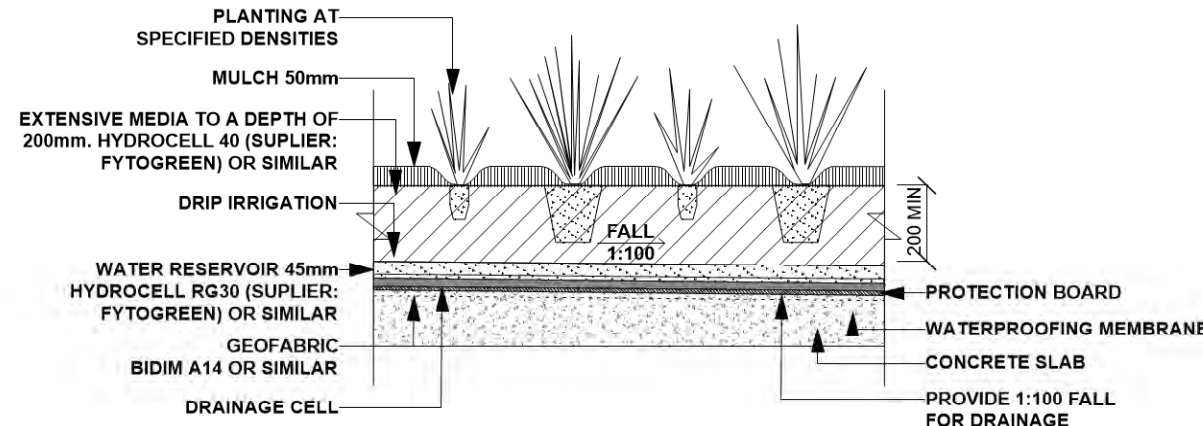


TREE PROTECTION ZONE
N.T.S

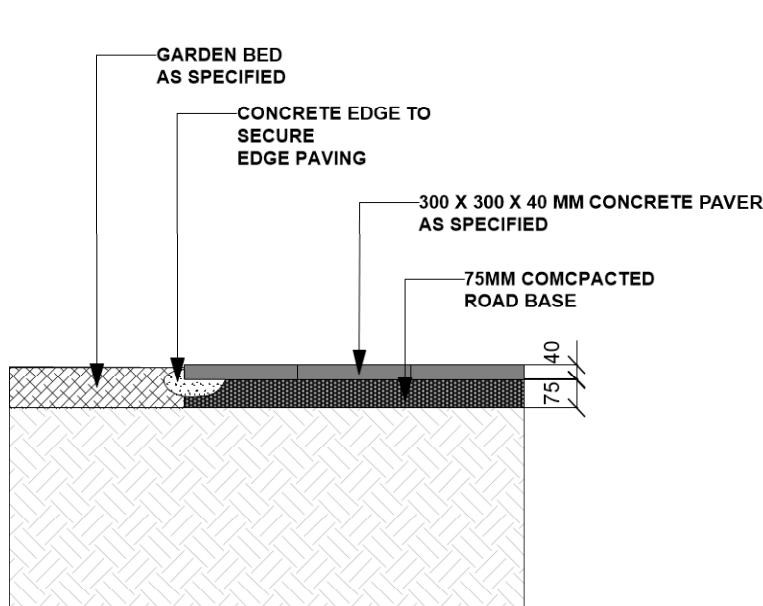
- 1.CHAIN WIRE MESH PANELS WITH SHADE CLOTH (IF REQUIRED) ATTACHED. HELD IN PLACE WITH CONCRETE FEET
- 2.ALTERNATIVE PLYWOOD OR WOODEN PALING FENCE PANELS. THE FENCING MATERIAL ALSO PREVENTS BUILDING MATERIALS OR SOIL ENTERING THE TPZ
3. MULCH INSTALLATION ACROSS SURFACE OF TPZ (AT THE DISCRETION OF THE PROJECT ARBORIST). NO EXCAVATION, CONSTRUCTION ACTIVITY, GRADE CHANGE, SURFACE TREATMENT OR STORAGE OF MATERIALS OF ANY KIND IS PERMITTED WITHIN THE TPZ
4. BRANCHING IS PERMISSIBLE WITHIN THE TPZ. INSTALLATION OF SUPPORTS TO AVOID DAMAGING ROOTS.



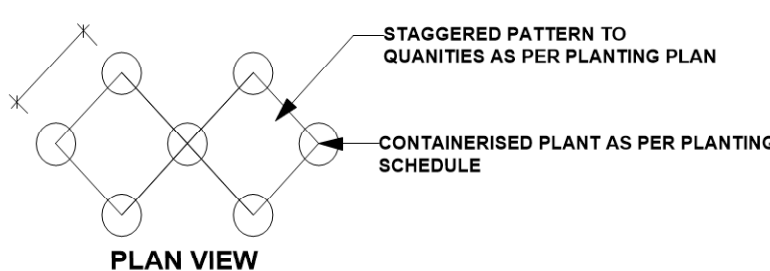
- GARDEN BED AS SPECIFIED
- TURF AS SPECIFIED
- INSTALL HORIZON A SOIL - TOP 100MM SHALL BE EQUAL TO AS4419-2003 'ORGANIC SOIL' WITH TEXTURE TO AS4419-2003 TABLE 1 - SANDY LOAM
- USE A 2000mm LONG EXTERIOR PILING BOARD 100 x 50 x 30mm USING 2 No. HDG 40mm NAILS PER CROSSING. STAKES TO BE AT 1500mm SPACING MAXIMUM OR 100mm FROM END OF BOARD AND CHANGES IN DIRECTION
- 50 x 50 x 300mm LONG TIMBER FIXING STAKE



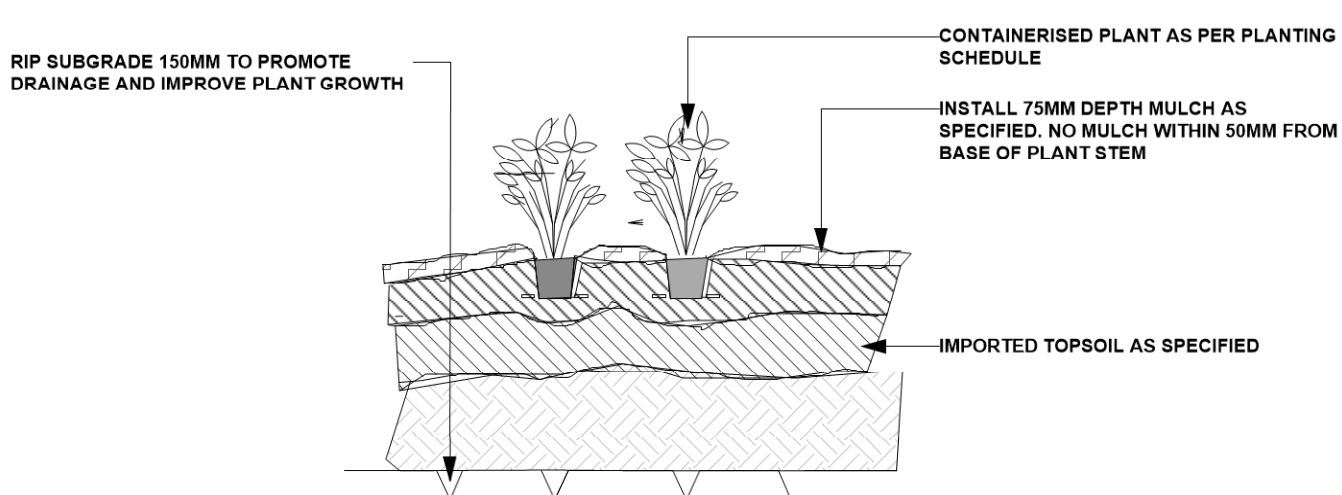
- PLANTING AT SPECIFIED DENSITIES
- MULCH 50mm
- EXTENSIVE MEDIA TO A DEPTH OF 200mm. HYDROCELL 40 (SUPPLIER: FYTOGREEN) OR SIMILAR
- D RIP IRRIGATION
- WATER RESERVOIR 45mm HYDROCELL R530 (SUPPLIER: FYTOGREEN) OR SIMILAR
- GEOFABRIC BIDIM A14 OR SIMILAR
- DRAINAGE CELL
- PROTECTION BOARD
- WATERPROOFING MEMBRANE
- CONCRETE SLAB
- PROVIDE 1:100 FALL FOR DRAINAGE



- GARDEN BED AS SPECIFIED
- CONCRETE EDGE TO SECURE EDGE PAVING
- 300 X 300 X 40 MM CONCRETE PAVER AS SPECIFIED
- 75MM COMPACTED ROAD BASE



PLAN VIEW



- CONTAINERISED PLANT AS PER PLANTING SCHEDULE
- INSTALL 75MM DEPTH MULCH AS SPECIFIED. NO MULCH WITHIN 50MM FROM BASE OF PLANT STEM
- IMPORTED TOPSOIL AS SPECIFIED
- RIP SUBGRADE 150MM TO PROMOTE DRAINAGE AND IMPROVE PLANT GROWTH

NOTE: ENSURE PLANTING HOLE IS FREE DRAINING PRIOR TO PLANTING. WHERE WATER POOLS OR IN HEAVY SOILS, RECTIFY.

TREE AS SPECIFIED, INSTALL CENTRED TO PLANTING HOLE AND PLUMB.

- 2No. 50x50x1800MM HWD STAKES POINTED AT ONE END.
- 50MM HESSIAN WEBBING STAPLED TO STAKES.

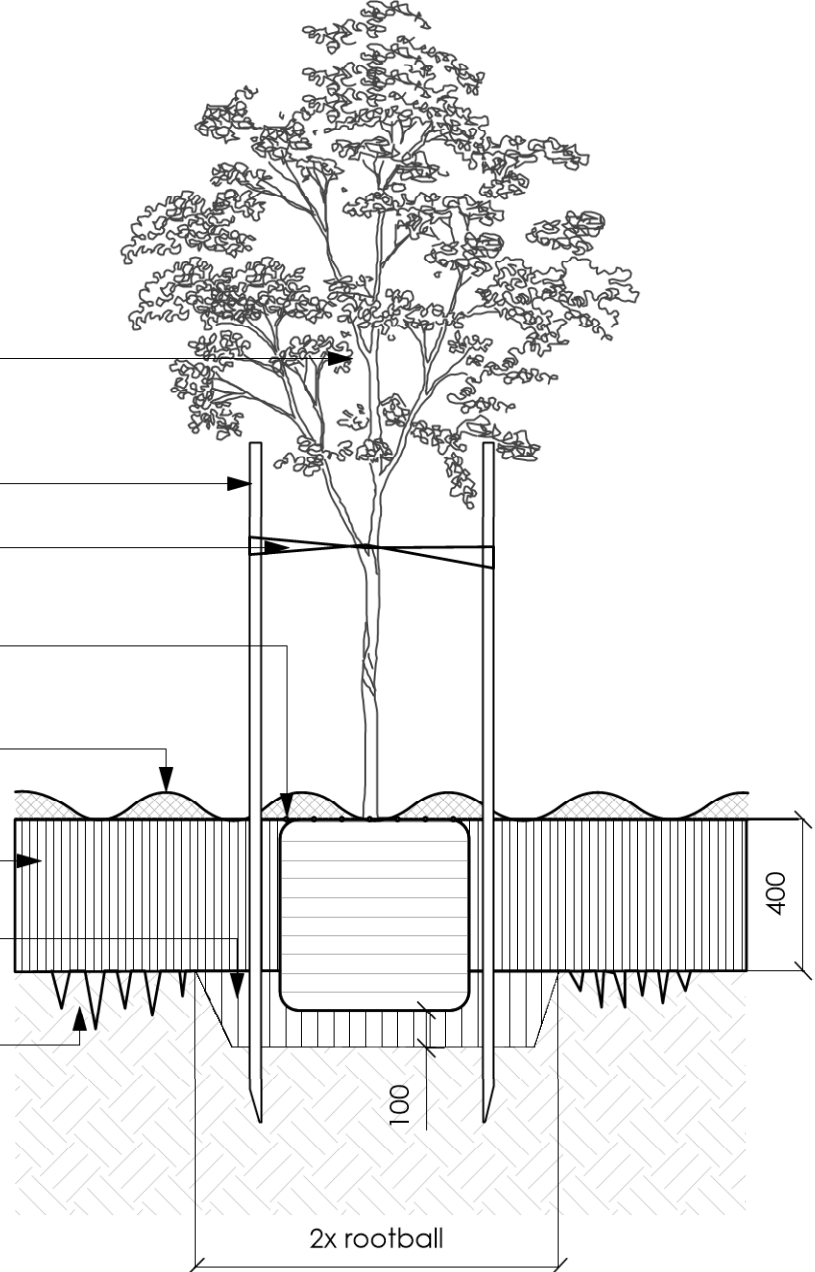
PROPRIETARY CONTROLLED RELEASE FERTILISER.

75MM MULCH AS SPECIFIED. DISH MULCH TO BASE OF STEM.

TOPSOIL AS SPECIFIED

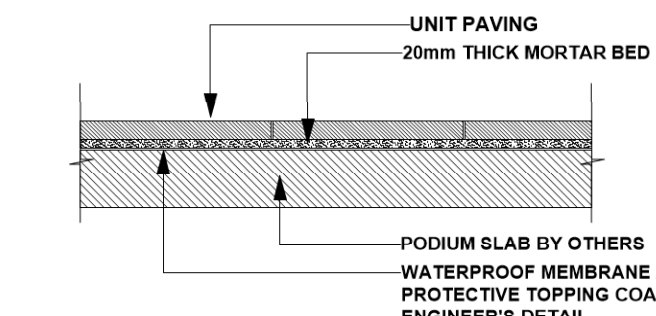
BACKFILL WITH SITE SOIL.

BREAK-UP SUBGRADE 150MM. MINIMUM. CULTIVATE PRIOR TO BACKFILLING AS SPECIFIED.

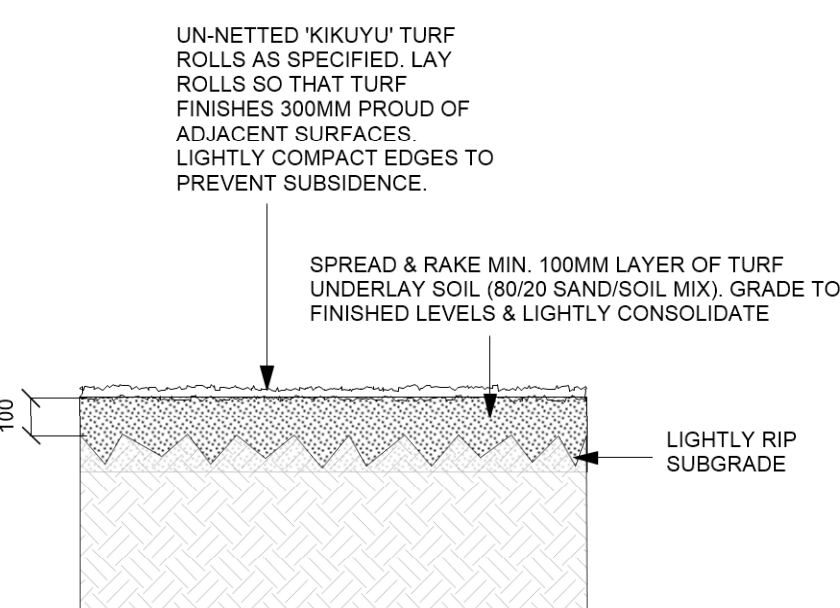


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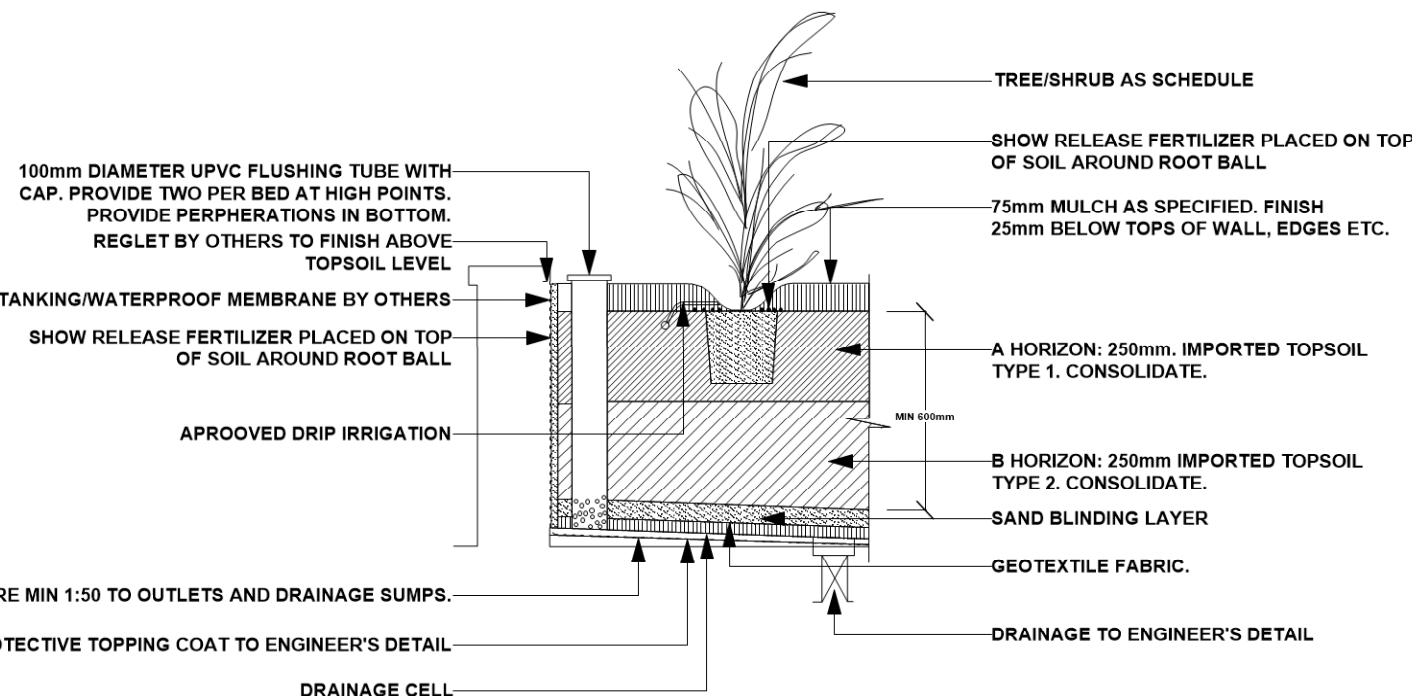
2x rootball



- UNIT PAVING
- 20mm THICK MORTAR BED
- PODIUM SLAB BY OTHERS
- WATERPROOF MEMBRANE AND PROTECTIVE TOPPING COAT TO ENGINEER'S DETAIL



- UN-NETTED 'KIKUYU' TURF ROLLS AS SPECIFIED. LAY ROLLS SO THAT TURF FINISHES 300MM PROUD OF ADJACENT SURFACES. LIGHTLY COMPACT EDGES TO PREVENT SUBSIDENCE.
- SPREAD & RAKE MIN. 100MM LAYER OF TURF UNDERLAY SOIL (80/20 SAND/SOIL MIX). GRADE TO FINISHED LEVELS & LIGHTLY CONSOLIDATE
- LIGHTLY RIP SUBGRADE



- TREE/SHRUB AS SCHEDULE
- SHOW RELEASE FERTILIZER PLACED ON TOP OF SOIL AROUND ROOT BALL
- 75mm MULCH AS SPECIFIED. FINISH 25mm BELOW TOPS OF WALL, EDGES ETC.
- A HORIZON: 250mm IMPORTED TOPSOIL TYPE 1. CONSOLIDATE.
- B HORIZON: 250mm IMPORTED TOPSOIL TYPE 2. CONSOLIDATE.
- SAND BLINDING LAYER
- GEOTEXTILE FABRIC.
- DRAINAGE TO ENGINEER'S DETAIL
- 100mm DIAMETER UPVC FLUSHING TUBE WITH CAP. PROVIDE TWO PER BED AT HIGH POINTS. PROVIDE PERIPHERATIONS IN BOTTOM. REGLET BY OTHERS TO FINISH ABOVE TOPSOIL LEVEL
- TANKING/WATERPROOF MEMBRANE BY OTHERS
- SHOW RELEASE FERTILIZER PLACED ON TOP OF SOIL AROUND ROOT BALL
- APPROVED DRIP IRRIGATION
- MORTAR SCREED OR SLAB FALLS TO ENSURE MIN 1:50 TO OUTLETS AND DRAINAGE SUMPS.
- WATERPROOF MEMBRANE AND PROTECTIVE TOPPING COAT TO ENGINEER'S DETAIL
- DRAINAGE CELL

LANDSCAPE MAINTENANCE

THE CONTRACTOR SHALL CONTINUOUSLY MAINTAIN ALL AREAS OF THE CONTRACT DURING THE PROGRESS OF THE WORKS. THE CONTRACTOR SHALL COMMENCE AND FULLY IMPLEMENT THE SHORT-TERM MAINTENANCE AND ESTABLISHMENT AFTER PRACTICAL COMPLETION HAS BEEN CONFIRMED.

SITE CONTROL: REPORT TO THE PRINCIPAL'S DESIGNATED REPRESENTATIVE ON ARRIVING AT AND BEFORE LEAVING THE SITE.

PLANT ESTABLISHMENT PERIOD: THE PERIOD BETWEEN THE DATE OF PRACTICAL COMPLETION AND THE DATE OF FINAL COMPLETION.

MAINTENANCE/ ESTABLISHMENT PERIOD: 12 MONTHS.

PLANT ESTABLISHMENT: MAINTAIN THE CONTRACT AREA DURING THE PLANT ESTABLISHMENT PERIOD. ENSURE THE GENERAL APPEARANCE AND PRESENTATION OF THE LANDSCAPE AND THE QUALITY OF PLANT MATERIAL AT DATE OF PRACTICAL COMPLETION IS MAINTAINED FOR THE FULL PLANTING ESTABLISHMENT PERIOD.

EXISTING PLANT MATERIAL: MAINTAIN EXISTING PLANTING WITHIN THE LANDSCAPE CONTRACT AREA AS SPECIFIED FOR NEW PLANTING.

REPLACEMENTS: REPLACE FAILED, DEAD AND/OR DAMAGED PLANTS AT MINIMUM 3 WEEK INTERVALS AS NECESSARY THROUGHOUT THE FULL PLANT ESTABLISHMENT PERIOD.

REPORTING: SUBMIT REGULAR REPORTS BY THE LAST FRIDAY OF EACH MONTH SUMMARISING THE GENERAL STATUS OF WORKS. INCLUDE A MAINTENANCE SCHEDULE, A LOG BOOK OF MAINTENANCE ACTIVITY, SOIL TEST RESULTS AS REQUIRED FOR ANY FERTILISING PROGRAMS, AND PLANT REPLACEMENT REQUIREMENTS.

WATER RESTRICTIONS: COORDINATE THE WATER SUPPLY AND CONFIRM THE WATERING REGIME AGAINST RELEVANT GOVERNMENT LEGISLATION AND RESTRICTIONS AT THE TIME.

STAKES AND TIES: REMOVE AT THE END OF THE PLANTING ESTABLISHMENT PERIOD.

TEMPORARY FENCES: REMOVE TEMPORARY PROTECTIVE FENCES AT THE END OF THE PLANTING ESTABLISHMENT PERIOD.

COMPLIANCE: PLANT ESTABLISHMENT SHALL BE DEEMED COMPLETE, SUBJECT TO THE FOLLOWING:

- * REPAIRS TO PLANTING MEDIA COMPLETED.
- * PESTS, DISEASE, OR NUTRIENT DEFICIENCIES OR TOXICITIES ARE NOT EVIDENT.
- * MULCHED SURFACES HAVE BEEN MAINTAINED IN A WEED FREE AND TIDY CONDITION AND TO THE SPECIFIED DEPTH.
- * VEGETATION IS ESTABLISHED AND WELL FORMED.
- * PLANTS HAVE HEALTHY ROOT SYSTEMS.
- * VEGETATION IS NOT RESTRICTING ESSENTIAL SIGHT LINES AND SIGNAGE.

DRIP IRRIGATION PERFORMANCE SPECIFICATION

All Garden Beds and Planter Boxes are to be provided with a drip irrigation system connected to a pump and the rainwater tank. Water Taps to be provided.

Design, supply and install a permanent, fully automated drip irrigation system. The system is to cover all new garden areas to the extent shown on the drawings. Water is to be delivered via sub surface drippers and/or drip lines. The system is to be capable of supplying 32mm of water/week over all irrigated areas. It is to be designed to operate for a minimum of 10 years. All lines are to be buried below the finished ground level. Pits are to be set on a 200mm deep bed of gravel. Pit covers are to be level with the soil surface. Avoid seepage onto pavement, buildings or other structures. Include plumbing connection to main, main valve and backflow prevention. Central controller/programmer to be located in a lockable box in nominated location to be approved prior to installation. A dedicated GPO is to be provided for the controller to be plugged into. All work is to be approved by the local regulatory authority. Prepare as installed drawings and commission the system. The Contractor is to submit documents of the design and specification for the irrigation system for approval prior to commencement of work. Equipment is to comply with AS 2698.1 & as 2698.3.

Connect to pumps connect to the rainwater tanks.

I	19/01/22	ISSUE SECT 4.56 FOR APPROVAL
H	17/01/22	ISSUE SECT 4.56 FOR APPROVAL
G	12/01/22	ISSUE SECT 4.56 FOR APPROVAL
F	22/12/21	ISSUE SECT 4.56 FOR APPROVAL
E	21/12/21	ISSUE SECT 4.55 FOR APPROVAL

AMENDMENTS - NOTES

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LANDSCAPE ARCHITECTS // CONSTRUCTION // MAINTENANCE // IRRIGATION

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Project **WARRIEWOOD VALE DEVELOPMENT**

Address **8 FOREST ROAD, WARRIEWOOD**

Drawing Title **TYPICAL DETAILS & NOTES**

Client **WARRIEWOOD VALE P/L** Scale 1:20 @A1

Drawing No. **15-826**

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