

list of abbreviations

A/C	air conditioning
ALUM	aluminium
AP	access panel
AS	adjustable shelf
AW	awning window
BAL	balustrade
BALC	balcony
BDY	boundary
BLWK	block work
BS	bath spout
BSN	basin
BWBP	brickwork bagged & painted
BWF	brickwork faced
COF	concrete- off form
CPS	concrete- polished & sealed
CST	concrete- steel trowel finish
CONC	concrete
COS	check on site
CCTV	closed circuit TV
CFC	compressed fibre cement
COL	column
CPD	cupboard
CPT	carpet
CR	cement render
CT	ceramic tile
CTP	cooktop
DH	double hung
DP	down pipe
DPC	damp proof course
DRY	dryer
DR	drawer
DW	dishwasher
EDB	electrical switch board
EQ	equal
EX	existing
F	fridge
FC	fibrous cement sheet
FCL	finished ceiling level
FFL	finished floor level
FGL	finished ground level
FP	fixed panel
FR	freezer
FS	fixed shelf
FW	floor waste
G	glass/ glazing
GBL	glass balustrade
GL	glass- louvre
GO	glass- obscure
GALV	galvanised
GD	grated drain
GPO	general purpose outlet
GU	gutter
HR	hanging rail
HT	hose tap
HTR	heated towel rail
HWU	hot water unit
LAM	laminated
LV	louvre
MB	metal balustrade
MDF	medium density fibreboard
MI	mirror
MPBR	membrane pebble ballast roof
MR	metal roof

MSB	main switch board
MS	metal sheeting
MT	mosaic tile
MW	microwave
MX	mixer
Ø	diameter
OF	overflow
PAV	paving
PB	plasterboard
PBFR	plasterboard- fire resistant 90/90/90
PBM	plasterboard- moisture resistant
PLY	plywood
PNT	paint
PU	polyurethane
PV	photo voltaic
RA	return air
RH	range hood
RHS	rectangular hollow section
RL	reduced level
RWH	rainwater head
RWO	rainwater outlet
SD	smoke detector
SH	shutters
SHA	shutters automated
SH	shingles
SHR	shower
SK	skirting
SP	set plaster
SPM	set plaster moisture resistant
SS	stainless steel
ST	stone
STL	steel
SWP	sewer pipe
T	timber
TB	timber- battens
TF	timber- frame
TFB	timber- floorboards
THR	timber- handrail
TOF	top of fence
TOW	top of wall
TRH	toilet roll holder
TR	tiled roof
TRZO	terrazzo
TS	timber screen
U/S	underside
VB	vapour barrier
VN	veneer- timber
VP	vent pipe
WB	weatherboards
WC	water closet
WM	washing machine
WPM	water proof membrane

BASIX notes

NatHERS Thermal Comfort Inclusions
Floors Minimum 150 mm concrete slab on ground, no insulation Minimum 150 mm Concrete slab between levels, no insulation required where habitable rooms are above and below
External Walls Cavity brick with AIR-CELL Permicav insulaton for a minimum Total system R-value of RT1.47 FC cladding on stud wall with R2.0 insulation (insulation only value) 150mm concrete wall to lift, no insulation required Note: No insulation is required to external Garage walls External Colour: Medium (0.475 < SA < 0.7)
Walls within dwellings Single skin brick, no insulation between habitable rooms Plasterboard on stud, no insulation required R2.0 insulation only required to walls between garage and foyer.
Glazing Doors/Windows Glazed windows and doors: Group A – awning/bifold/casement windows/hinged glazed doors U-value: 4.30 (equal to or lower than) SHGC: 0.47 (±10%) Group B – sliding doors/windows/fixd glazing/louvred windows U-value: 4.30 (equal to or lower than) SHGC: 0.53 (±10%) Given values are AFRC total window system values (glass and frame)
Skylights U-value: 4.2 and SHGC: 0.72
Roof and Ceilings Concrete roof, with R1.8 insulation (insulation only value) where habitable rooms below Plasterboard ceiling, no insulation required No insulation to garage where roof above. External Colour: Medium (0.475 < SA < 0.7)
Ceiling Penetrations No downlights modelled Sealed exhaust fans: ceiling penetration 250mm diameter with 50mm clearance Once lighting plan has been developed NatHERS certificate can be updated to improve specification.
Floor coverings Exposed concrete to garage, tiles to wet areas, carpet with rubber underlay to bedrooms and timber elsewhere
External Shading Shading as per stamped drawings
Ventilation All external doors have weather seals, all exhaust fans and chimneys have dampers, and down lights proposed will have capped fittings
BASIX Water Commitments
Fixtures Install showerheads minimum rating of 4 stars – High flow (> 6 and <= 7.5 litres/min) Install toilet flushing system with a minimum rating of 4 stars in each toilet Install tap with a minimum rating of 6 stars in the kitchen Install taps with a minimum rating of 6 stars in each bathroom
Alternative water Install rainwater tank, minimum 5,000L capacity collected from min. 212m² roof area. Tank connected to – at least one outdoor tap, and toilets
Pool Maximum 42.6 kL outdoor pool Pool will have a cover
BASIX Energy Commitments
Hot water system Electric Heat Pump – performance not specified
Cooling system 3-phase air-conditioning to living areas and bedrooms: EER 3.0-3.5
Heating system Ground source heat pump (direct exchange): EER < 2.5
Ventilation Bathrooms – individual fan, externally ducted to roof or façade, manual on/off switch Kitchen – individual fan, externally ducted to roof or façade, manual on/off switch Laundry – individual fan, externally ducted to roof or façade, manual on/off switch
Pool Heating system - Solar (electric boosted)
Other Induction cooktop & electric oven Outdoor clothes drying line
Alternative energy 3.0kW solar Photovoltaic system

drawing list

No.	Drawing Name	Rev.
DA00	Cover Sheet	D
DA01	Site Analysis Plan	C
DA02	Excavation and Fill Plan	D
DA03	Roof & Site Plan	D
DA04	Level 1 Plan	D
DA05	Level 2 Plan	D
DA06	Level 3 Plan	C
DA07	Level 4 Plan	C
DA08	Level 5 Plan	C
DA09	North Elevation	C
DA10	East Elevation	D
DA11	South Elevation	C
DA12	West, North (Boatshed) & South (Boatshed) Elevations	D
DA13	Section AA	C
DA14	Section AA Boatshed	D
DA15	Section BB Boatshed	D
DA16	Section BB & CC	C
DA17	Section DD & EE	D
DA18	Area Calculations	D
DA19	Building Envelope Analysis	C
DA20	Building Height Analysis	C
DA21	Shadow Diagram 9am	D
DA22	Shadow Diagram 12pm	D
DA23	Shadow Diagram 3pm	D
DA24	Sun Path Diagram 9am	D
DA25	Sun Path Diagram 12pm	D
DA26	Sun Path Diagram 3pm	D
DA27	Finishes	D
DA28	Perspectives	C
DA29	Perspectives - Boat shed	D
DA30	Perspectives - New	D



Development Application

MacDiarmid House Avalon

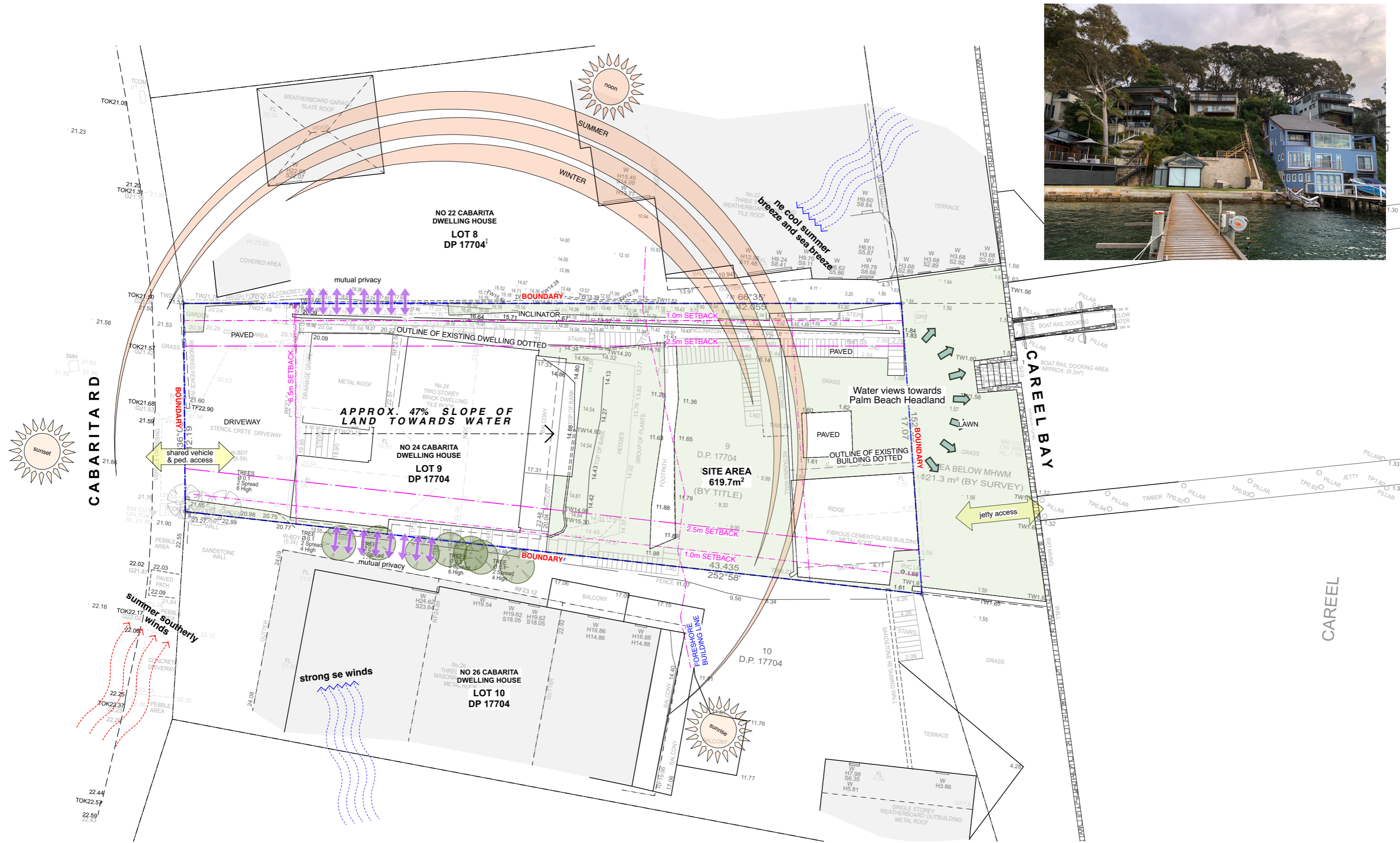
at

24 Cabarita Road, Avalon

for

Bruce & Libby MacDiarmid

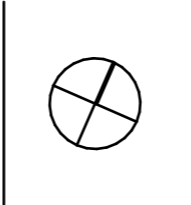
CORBEN ARCHITECTS PO Box 1021 Neutral Bay NSW 2089 Australia 02 9904 1844 mail@corben.com.au corben.com.au Nominated Architect: Philip Corben (Reg. No. 4616)	job no.	MACA	dwg no.
	drawn	RV	DA00
	checked	MC	revision
	scale		D



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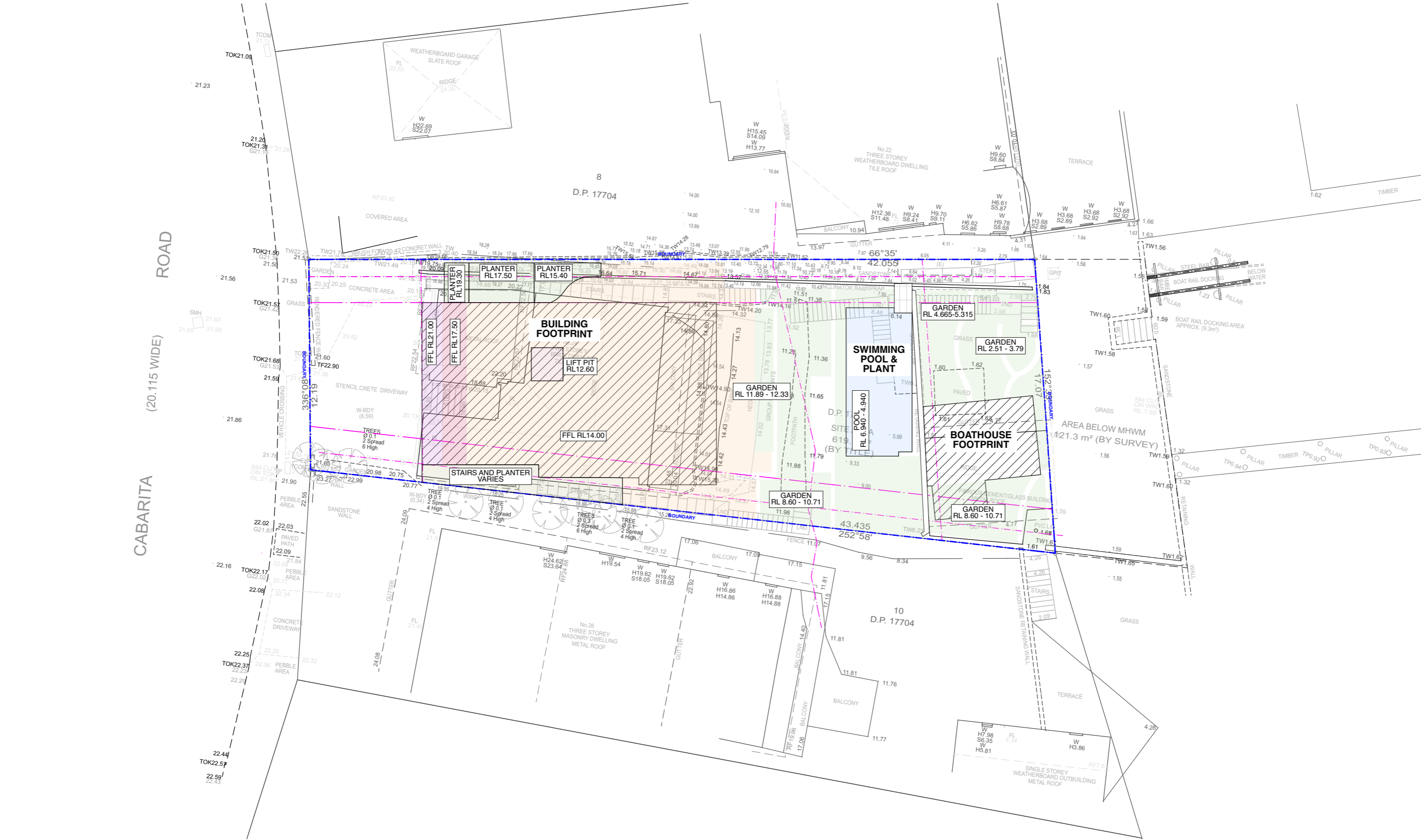
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project MacDiarmid House Avalon
address 24 Cabarita Road Avalon NSW
client Bruce & Libby MacDiarmid

title Site Analysis Plan
issue Development Application

job no. MACA
drawn RV
checked MC
scale 1:200

dwg no. DA01
revision C



revisions

RevID	Date	Description
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project

MacDiarmid House
Avalon

address

24 Cabarita Road
Avalon NSW

client

Bruce & Libby
MacDiarmid

title

Excavation and Fill
Plan

issue

Development
Application

job no.

drawn
checked

scale

MACA

RV
MC

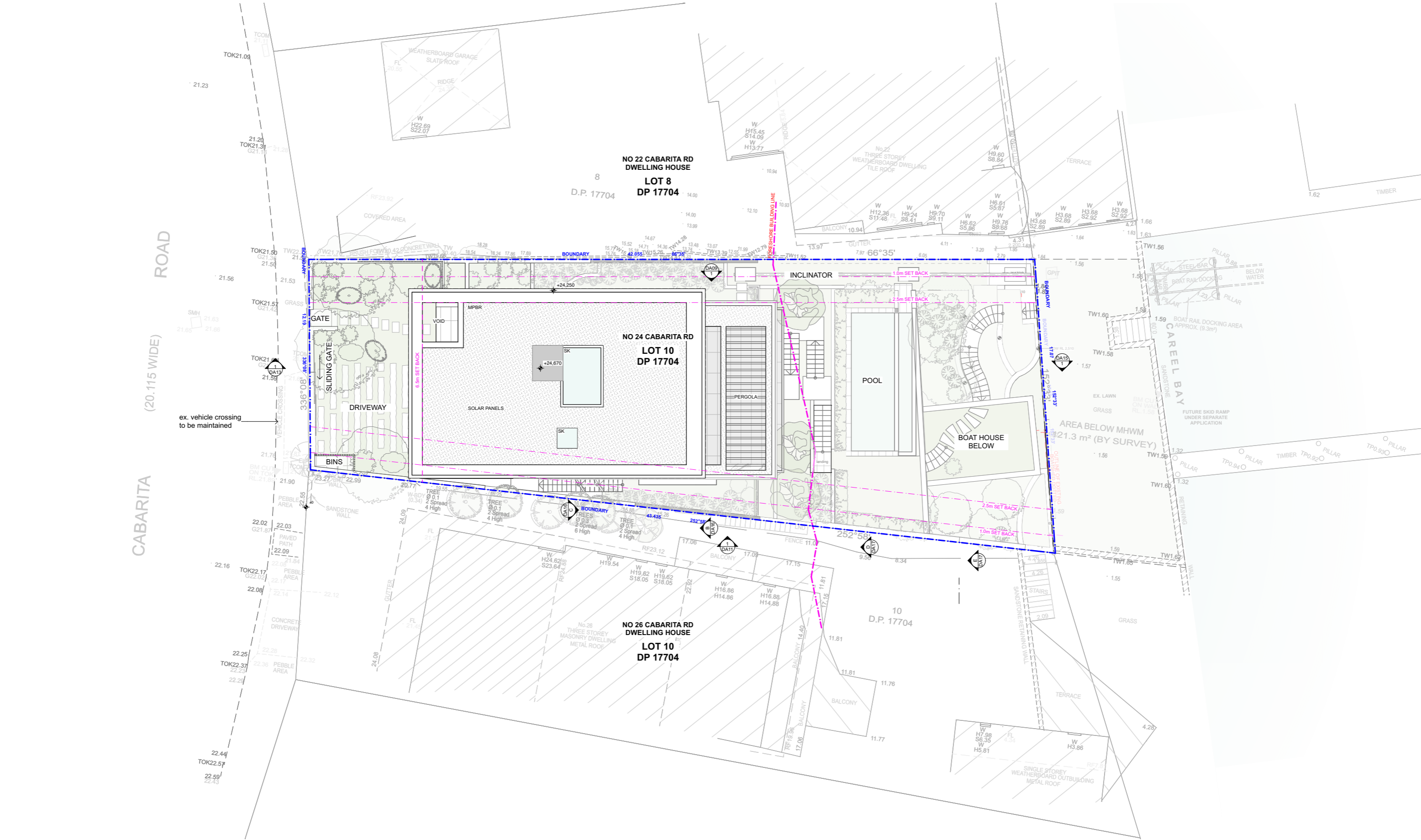
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revision

D

DA02



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project

MacDiarmid House
Avalon

address

24 Cabarita Road
Avalon NSW

client

Bruce & Libby
MacDiarmid

title

Roof & Site Plan

issue

Development
Application

job no.

MACA

drawn
checked

RV
MC

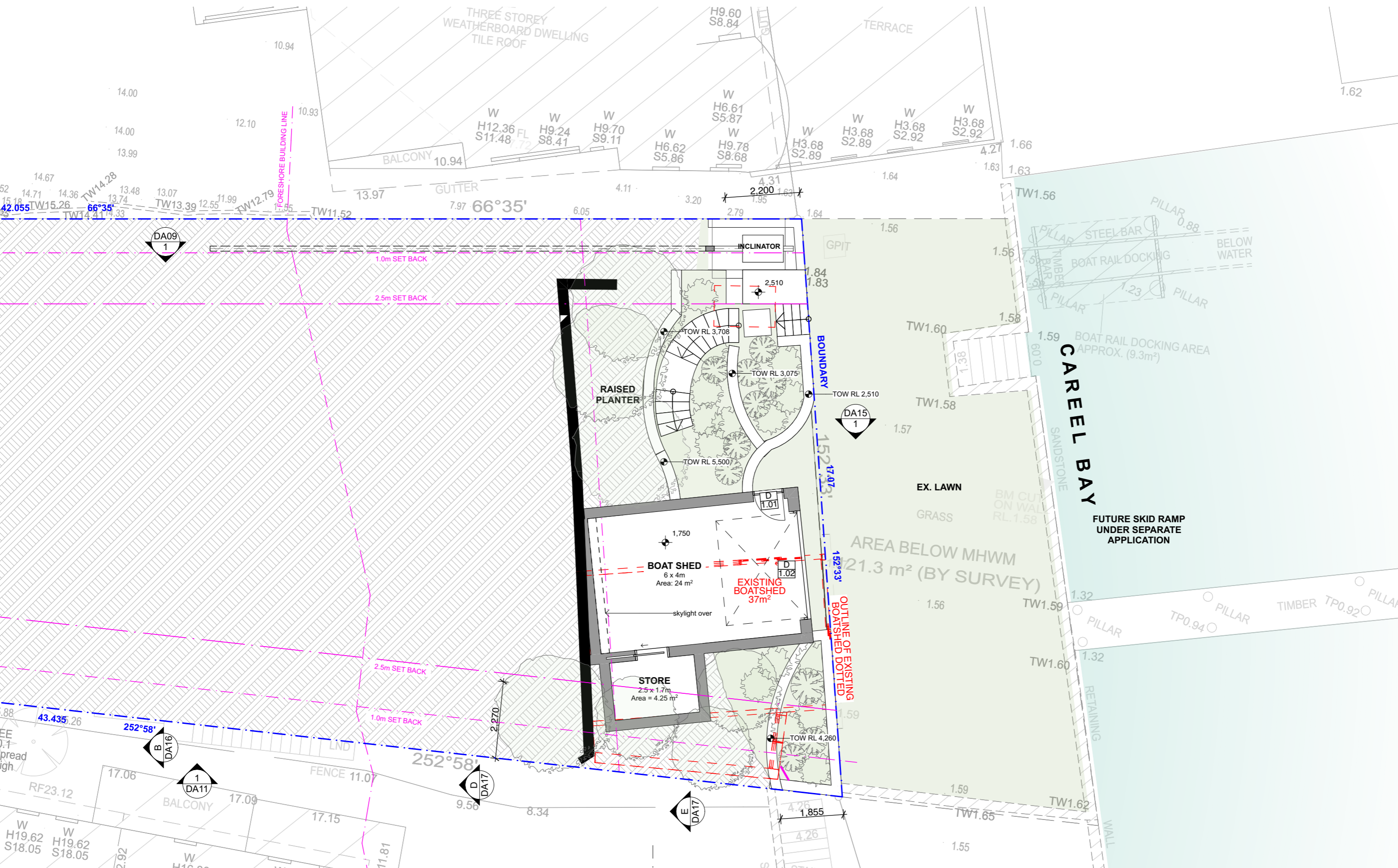
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project	MacDiarmid House Avalon
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address	24 Cabarita Road Avalon NSW
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client	Bruce & Libby MacDiarmid
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title	Level 1 Plan
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issue	Development Application
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job no.	MACA
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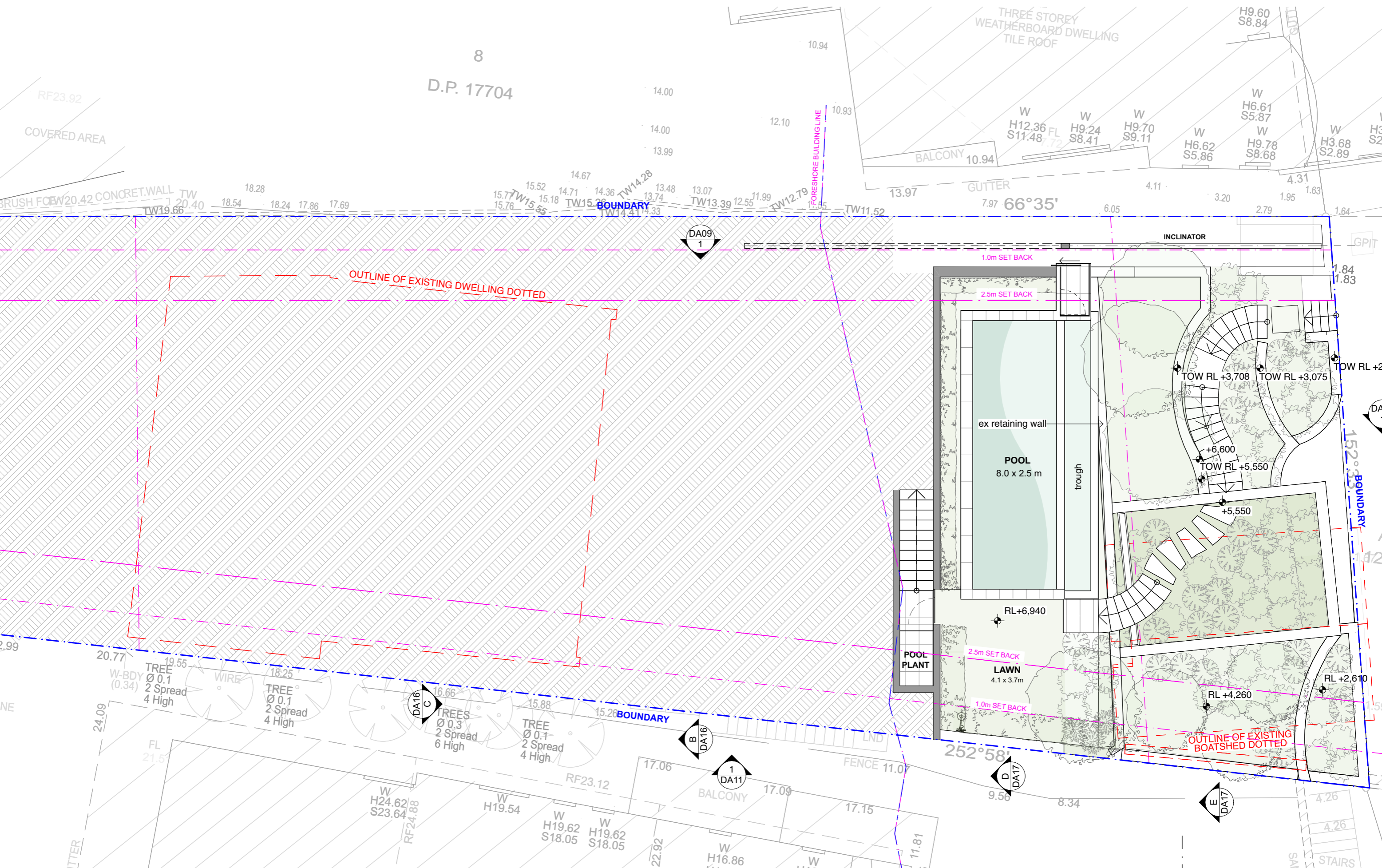
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DA04
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C	26/6/2023	DA Amendment Issue
D	14/11/2023	DA Amendment Issue

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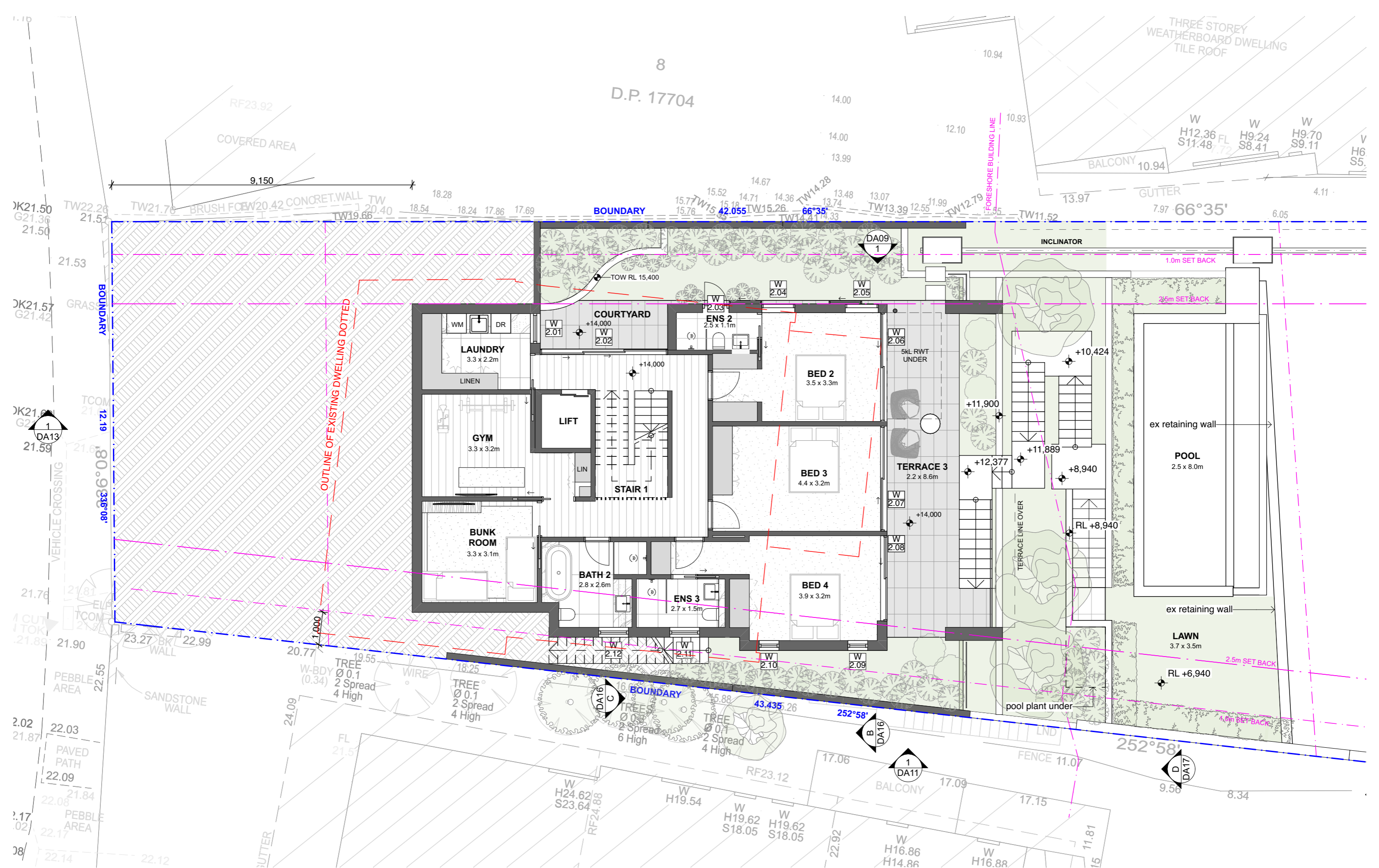


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address	24 Cabarita Road Avalon NSW	issue	Development Application	drawn	RV	revision	D
client	Bruce & Libby MacDiarmid	scale	1:100	checked	MC		



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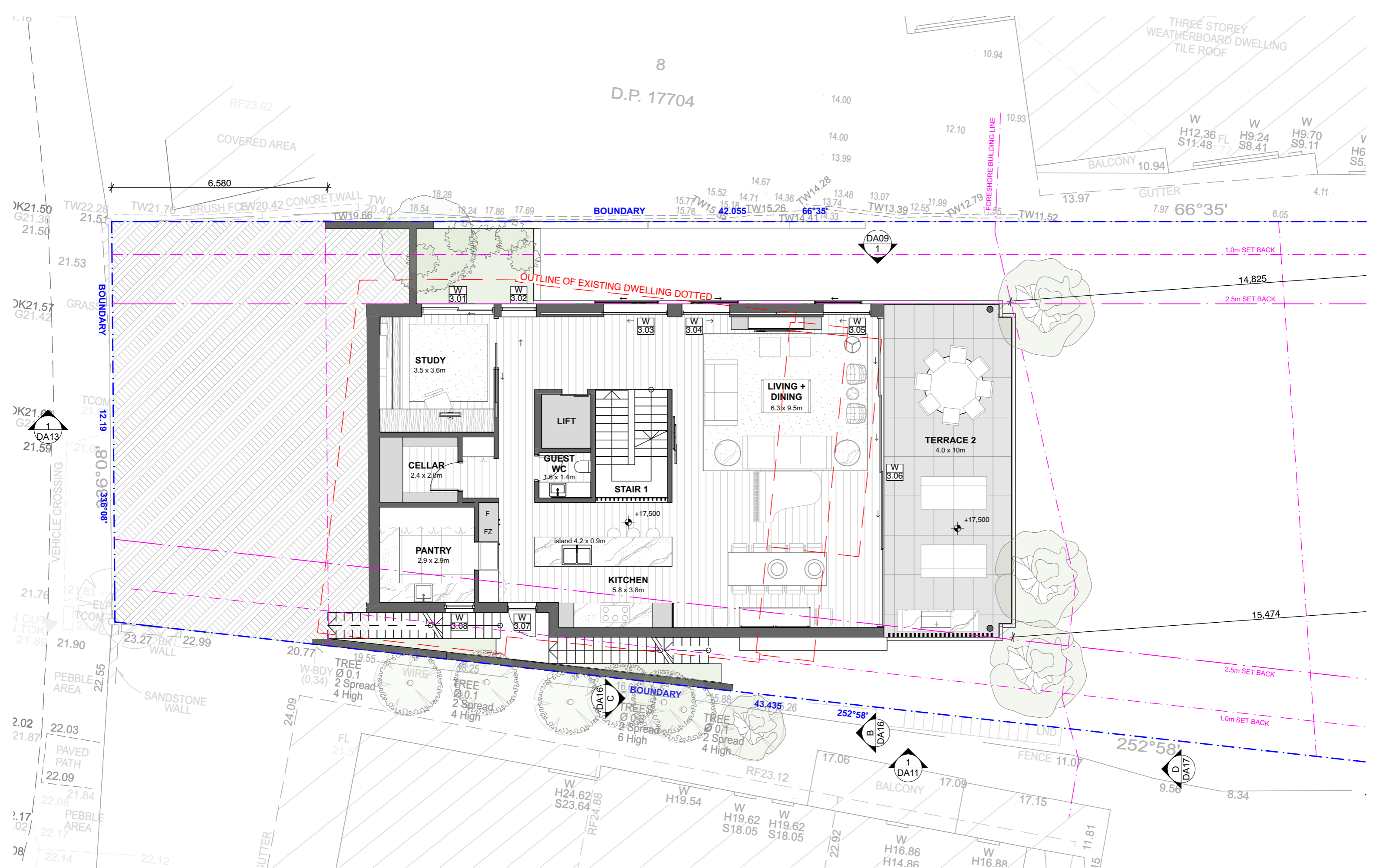
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address	24 Cabarita Road Avalon NSW
client	Bruce & Libby MacDiarmid

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issue	Development Application

job no.	MACA
drawn	RV
checked	MC
scale	1:100

dwg no.	DA06
revision	C



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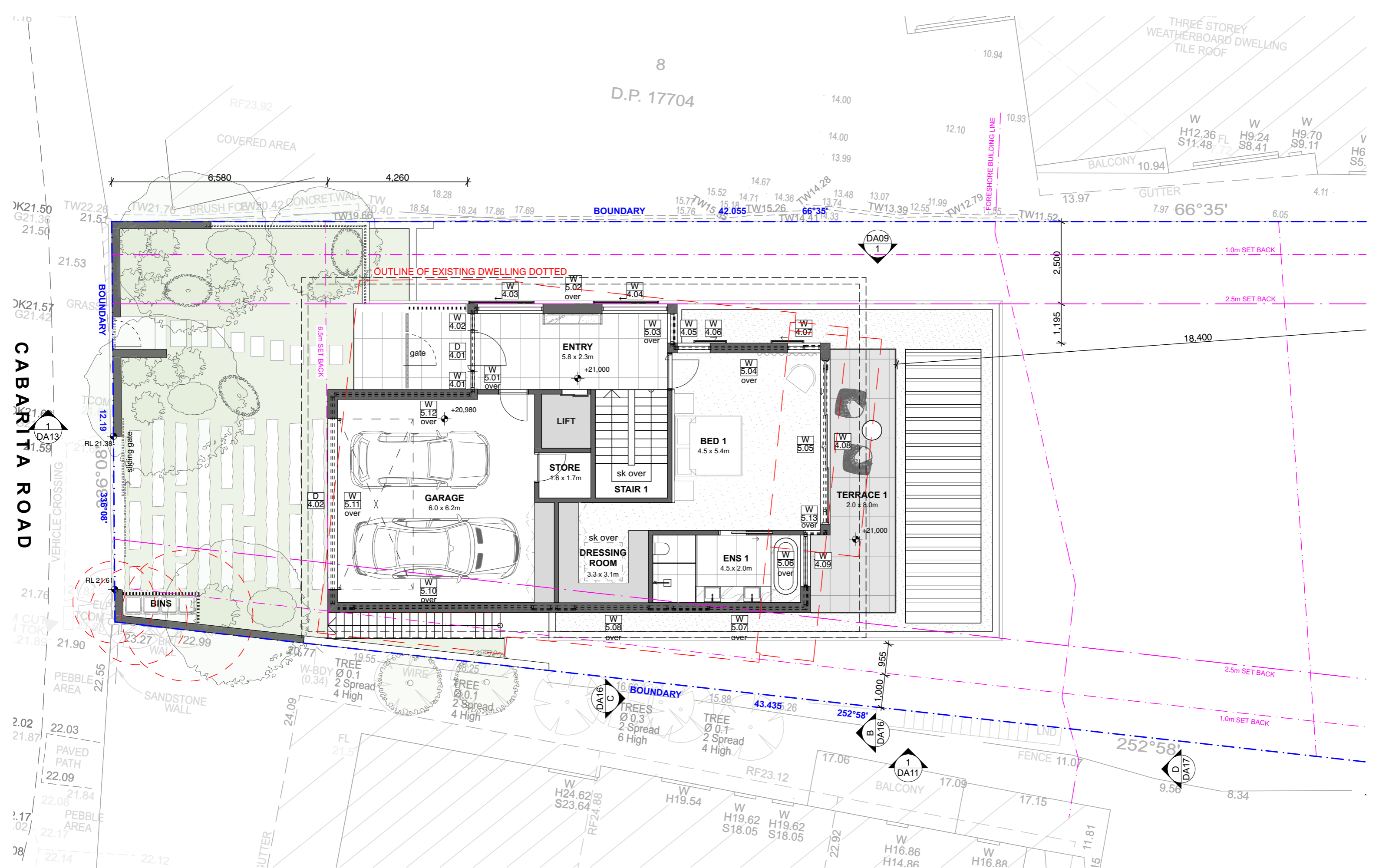
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project MacDiarmid House
Avalon
address 24 Cabarita Road
Avalon NSW
client Bruce & Libby
MacDiarmid

title Level 4 Plan
issue Development
Application

job no. MACA
drawn RV
checked MC
scale 1:100

dwg no. DA07
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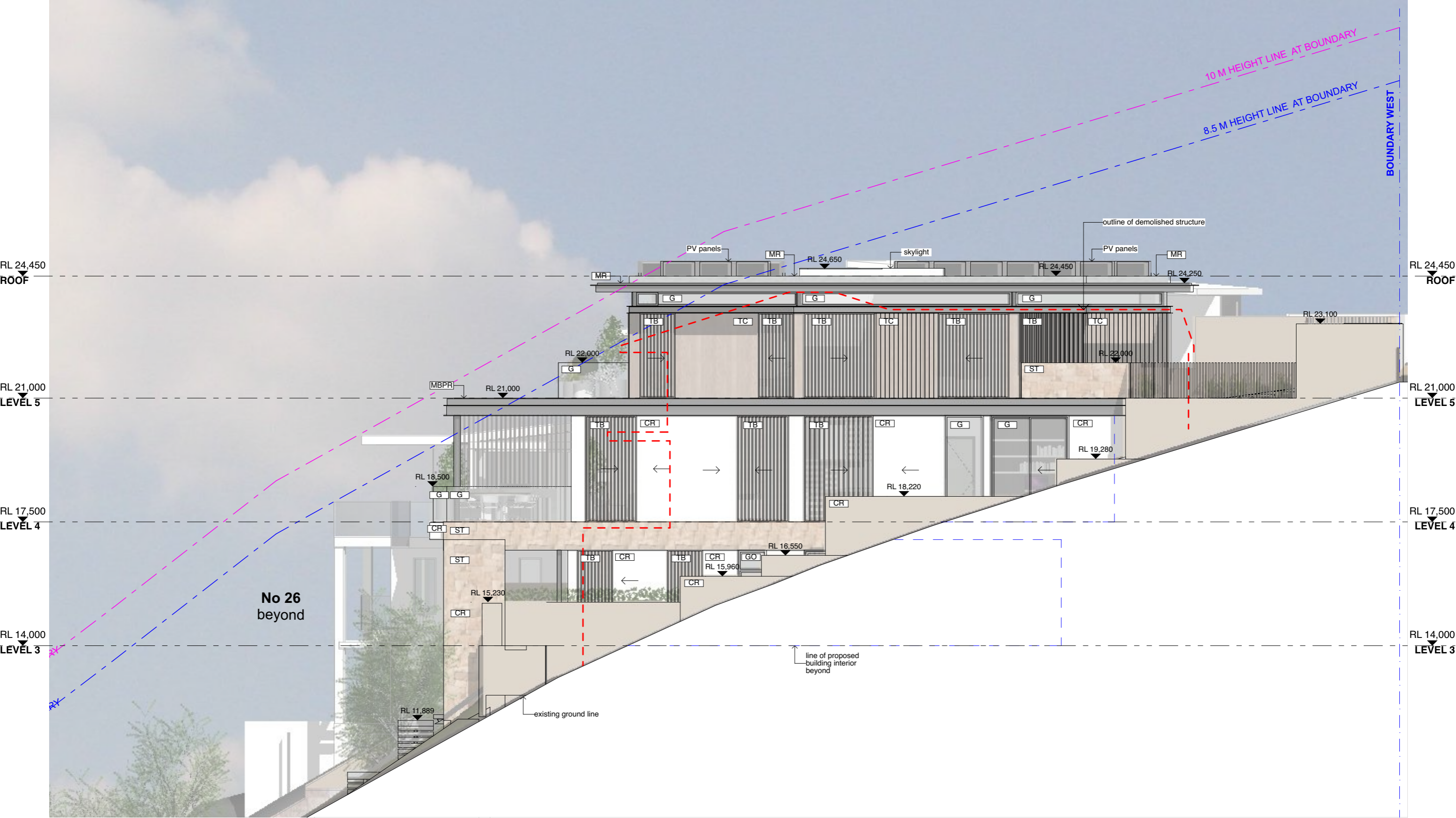
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client	Bruce & Libby MacDiarmid

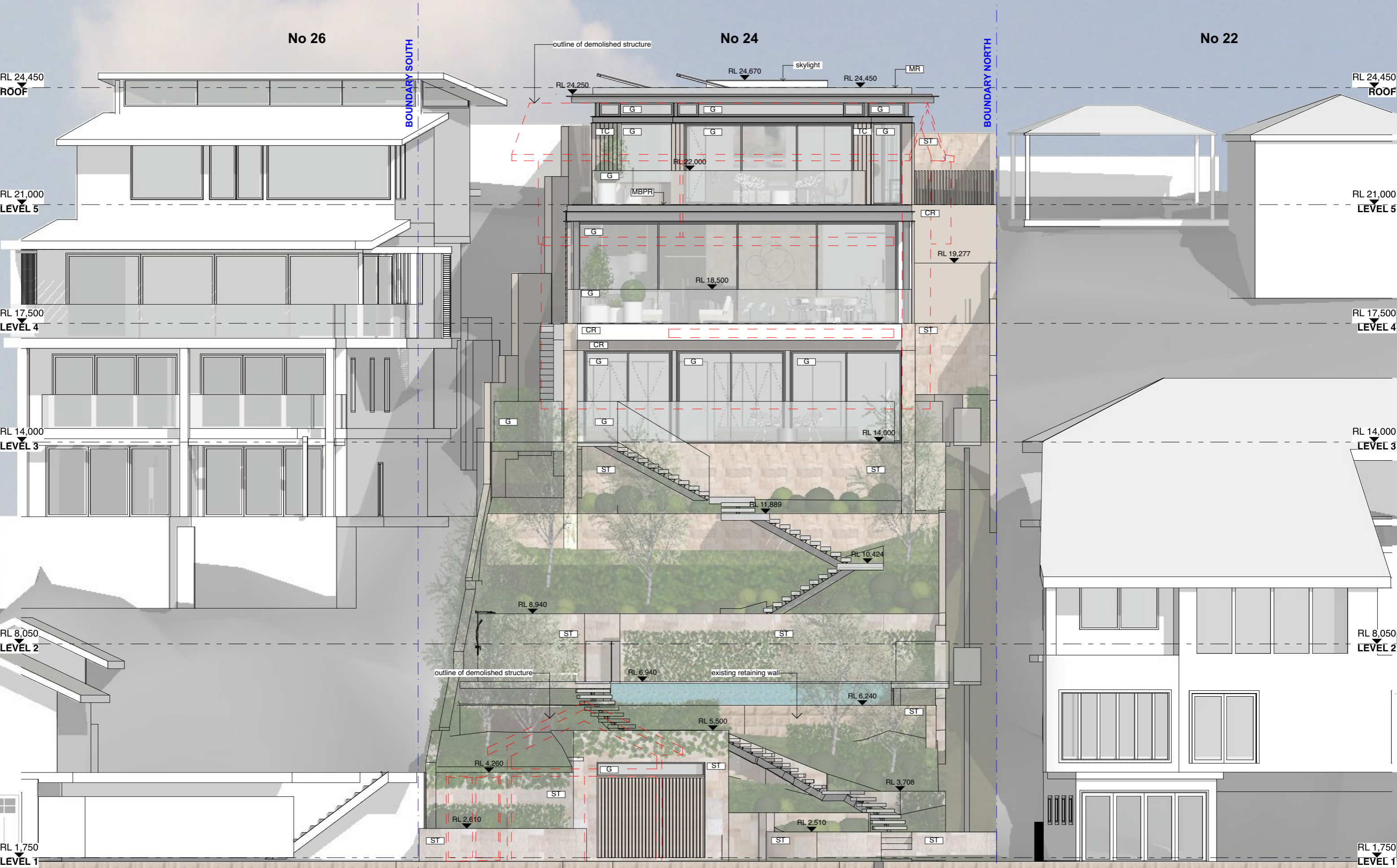
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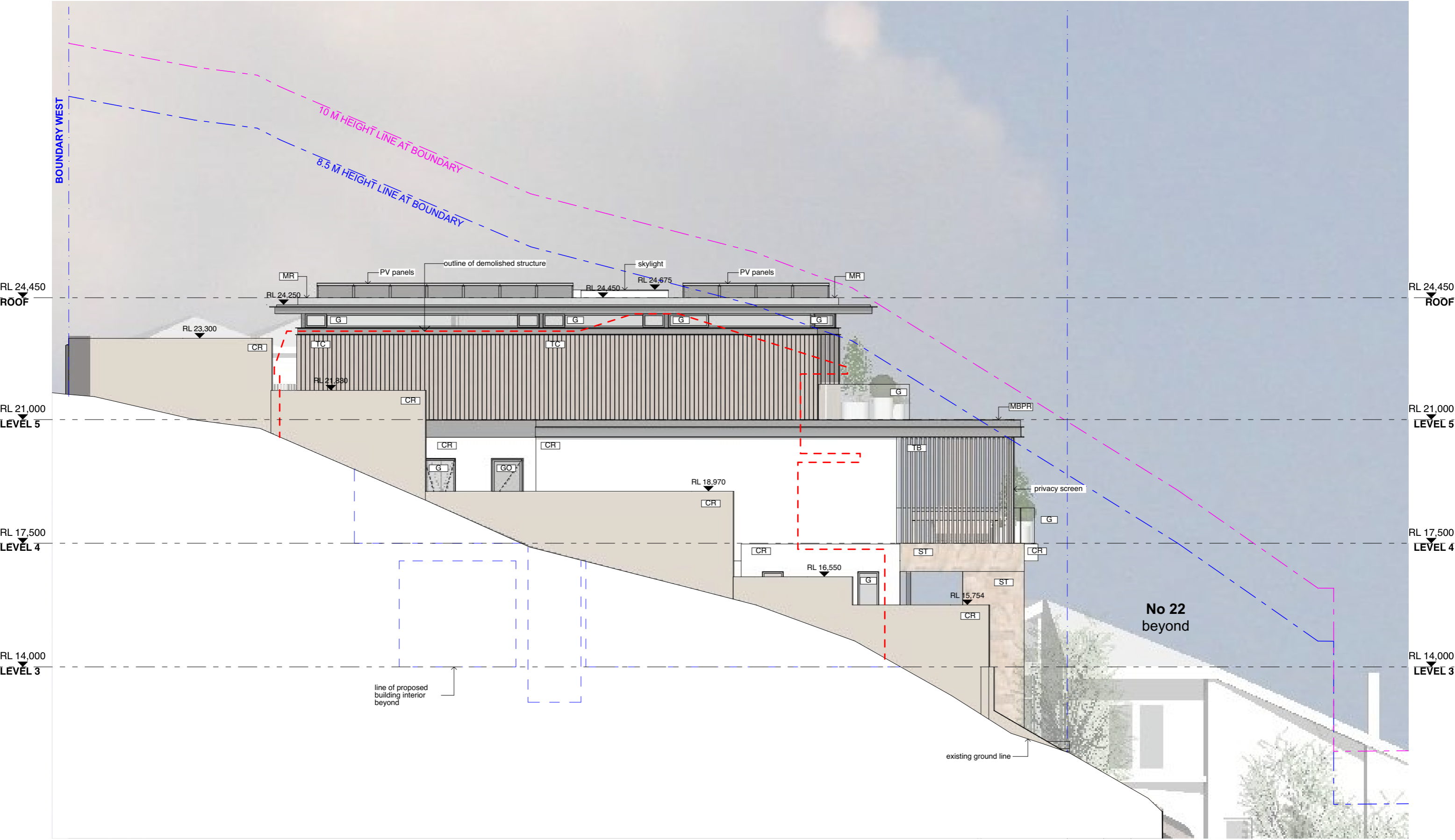
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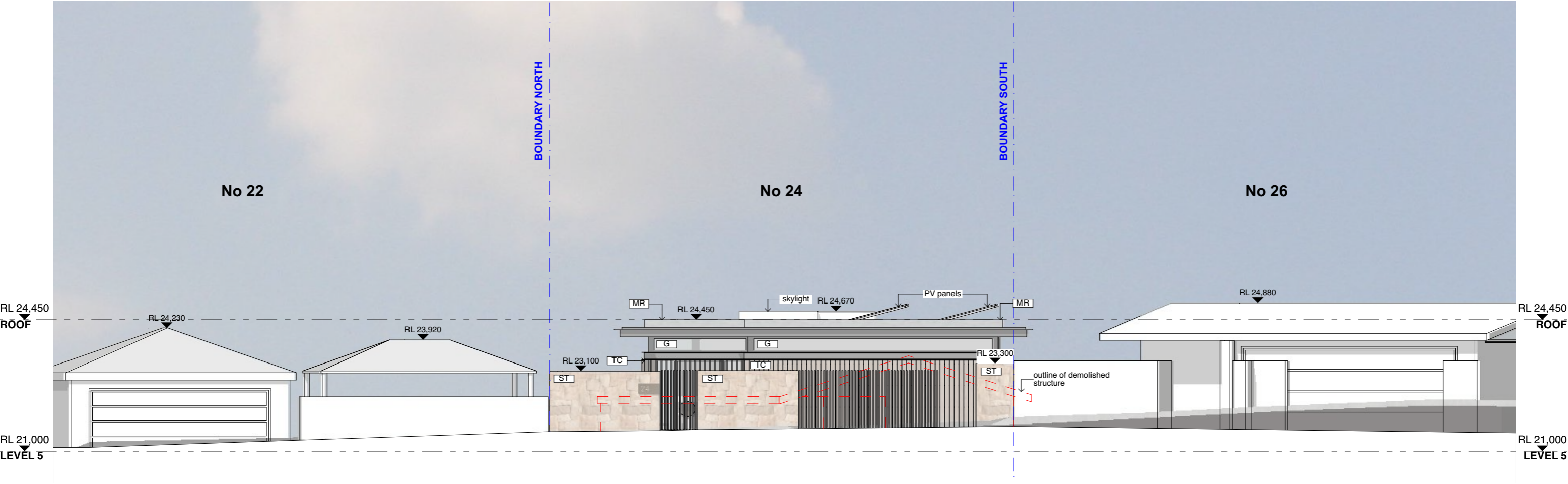


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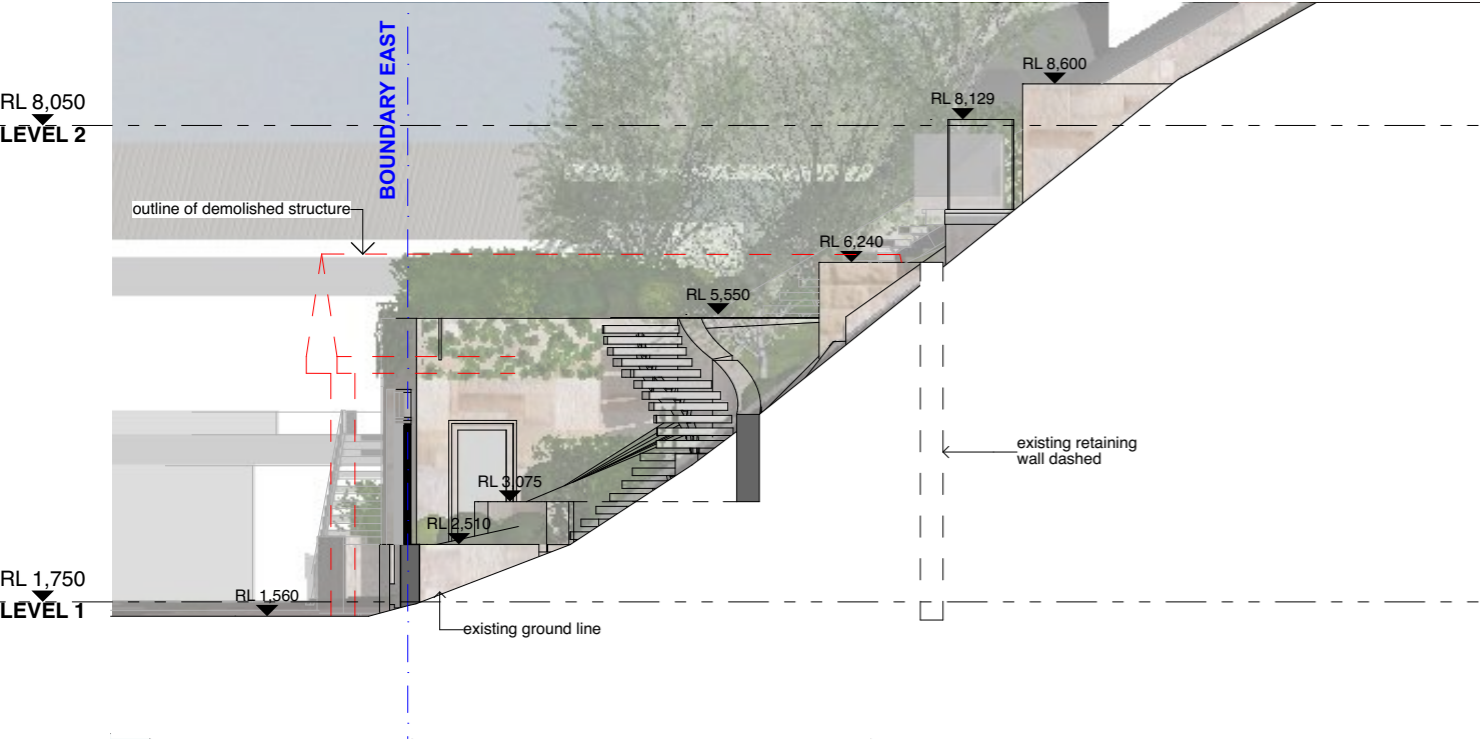


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	A	12/12/2022		DA Issue	Nominated Architect: Philip Corben (Reg. No. 4616)	client	Bruce & Libby MacDiarmid	checked			MC			
	B	11/5/2023		DA Amendment Issue			issue							
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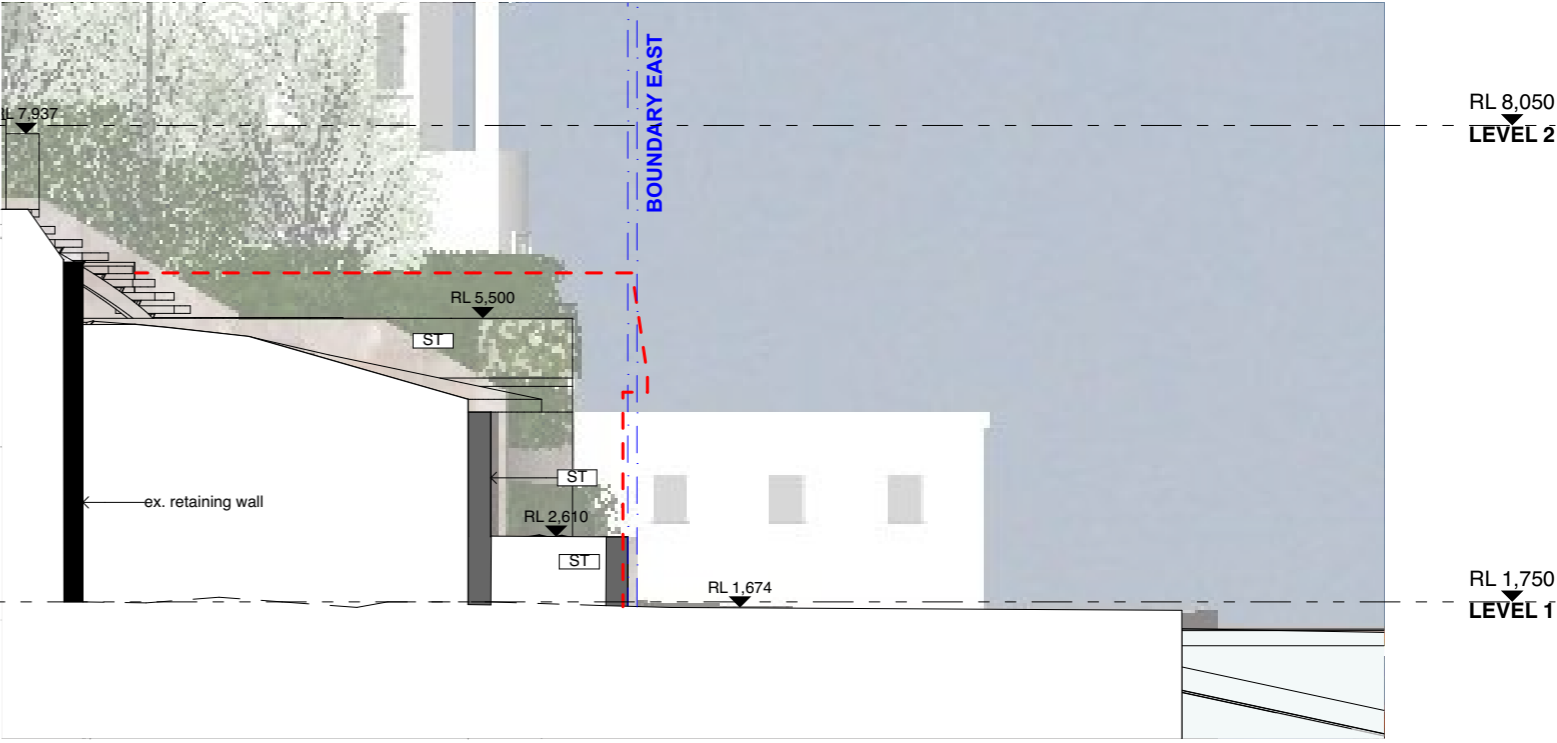




W West Elevation

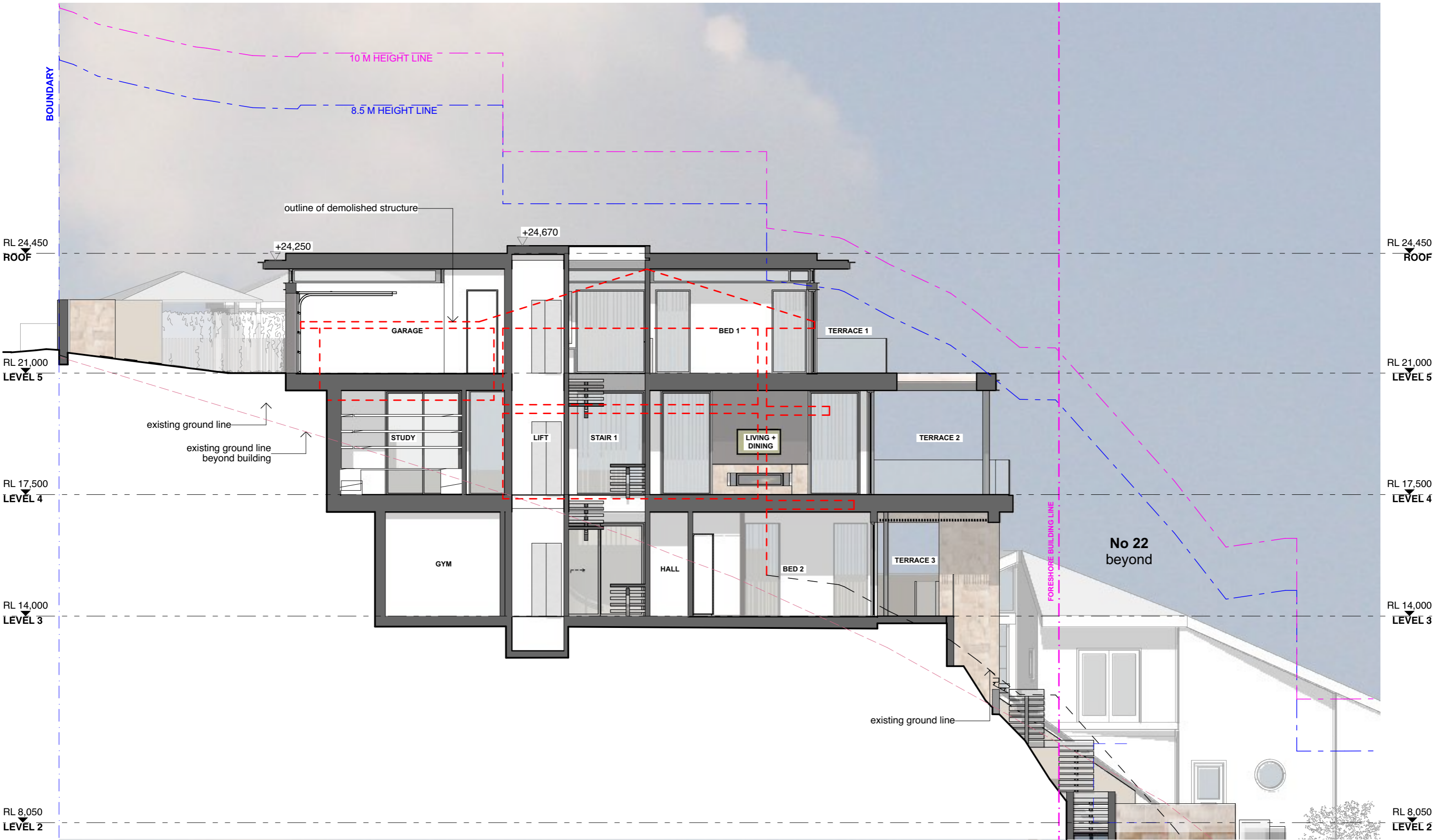


N North Elevation - Boatshed



S South Elevation - Boatshed

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	B	11/5/2023	DA Amendment Issue				mail@corben.com.au										
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project

MacDiarmid House
Avalon

address

24 Cabarita Road
Avalon NSW

client

Bruce & Libby
MacDiarmid

title

Section AA

issue

Development
Application

job no.

MACA

drawn

RV

checked

MC

scale

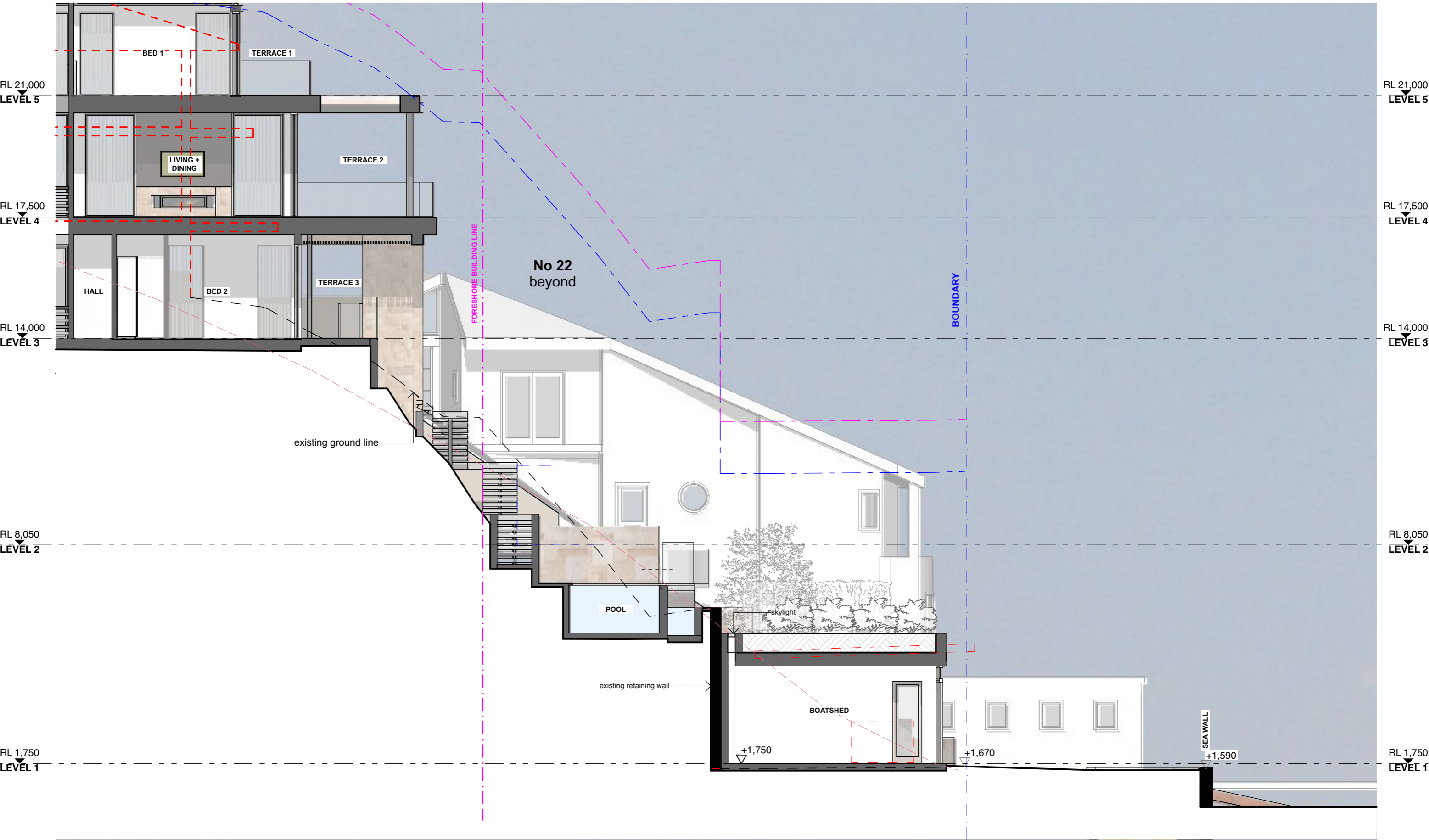
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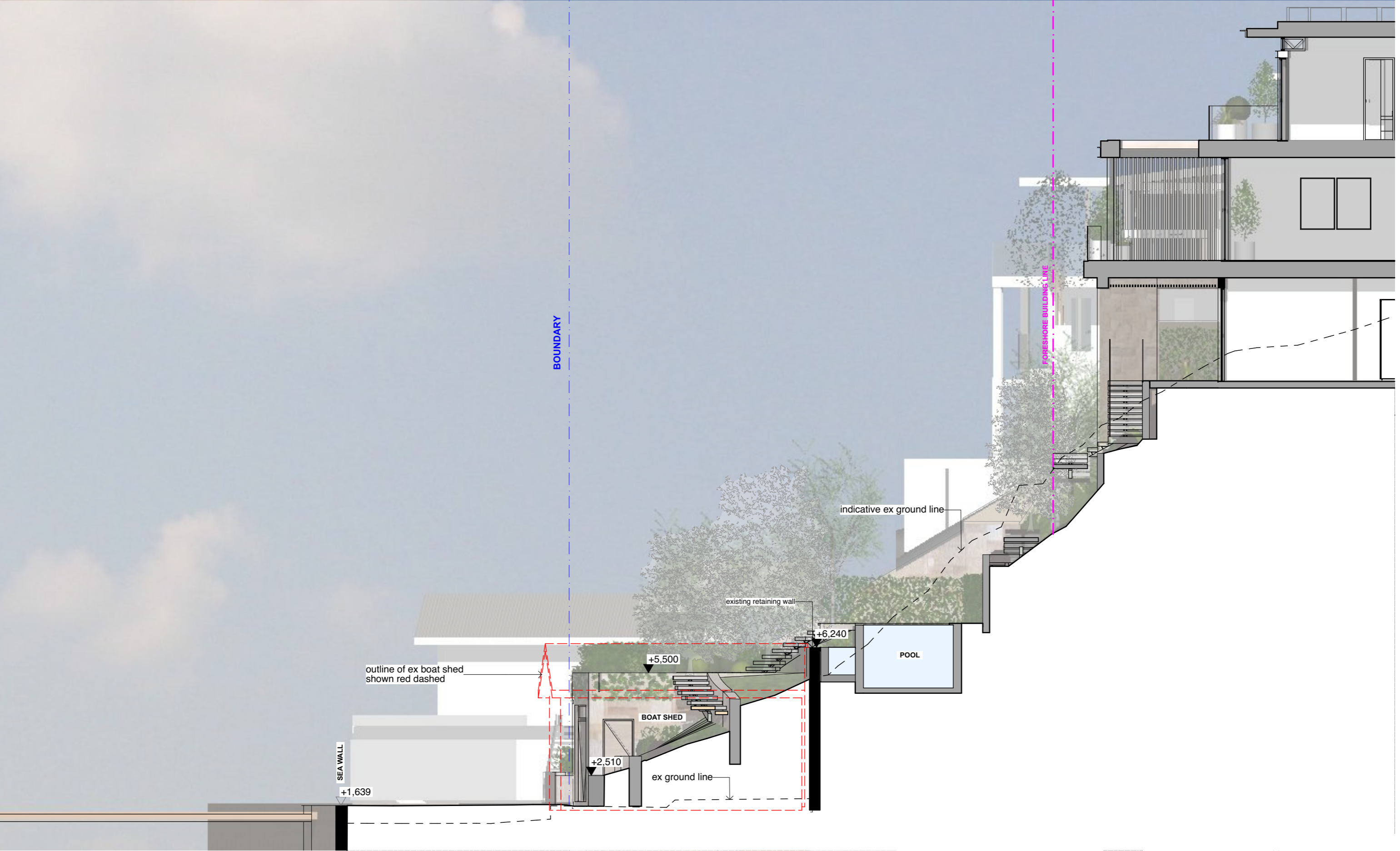
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revision

C



<div><div><div>Any discrepancies to be brought to Architect's attention</div><div>Use figure dimensions in preference to scaling</div><div>Only scale under direction from Architect</div><div>Builder to examine site and verify conditions and dimensions</div><div>This drawing remains the property of the architect</div><div>Client is granted conditional license to use the drawings</div><div>Transfer of license is prohibited</div><div>Architect reserves the right to terminate the licence</div><div>Electronic data transfer should be scanned for viruses before use</div><div>Any loss or damage (including consequential damage) caused to the recipient of electronic data, by its direct or indirect use, is not the liability of the architect</div><div>Refer to hard copies for accuracy of electronic data</div><div>Copyright reserved by the Architect</div></div></div>	revisions		notes	CORBEN ARCHITECTS		project	MacDiarmid House Avalon	title	Section AA Boatshed	job no.	MACA	dwg no.	
	RevID	Date		Description	ARCHITECTS		address	24 Cabarita Road Avalon NSW	issue	Development Application	drawn	RV	DA14
	A	12/12/2022		DA Issue									
	B	11/5/2023		DA Amendment Issue									
	C	26/6/2023		DA Amendment Issue									
	D	14/11/2023		DA Amendment Issue									
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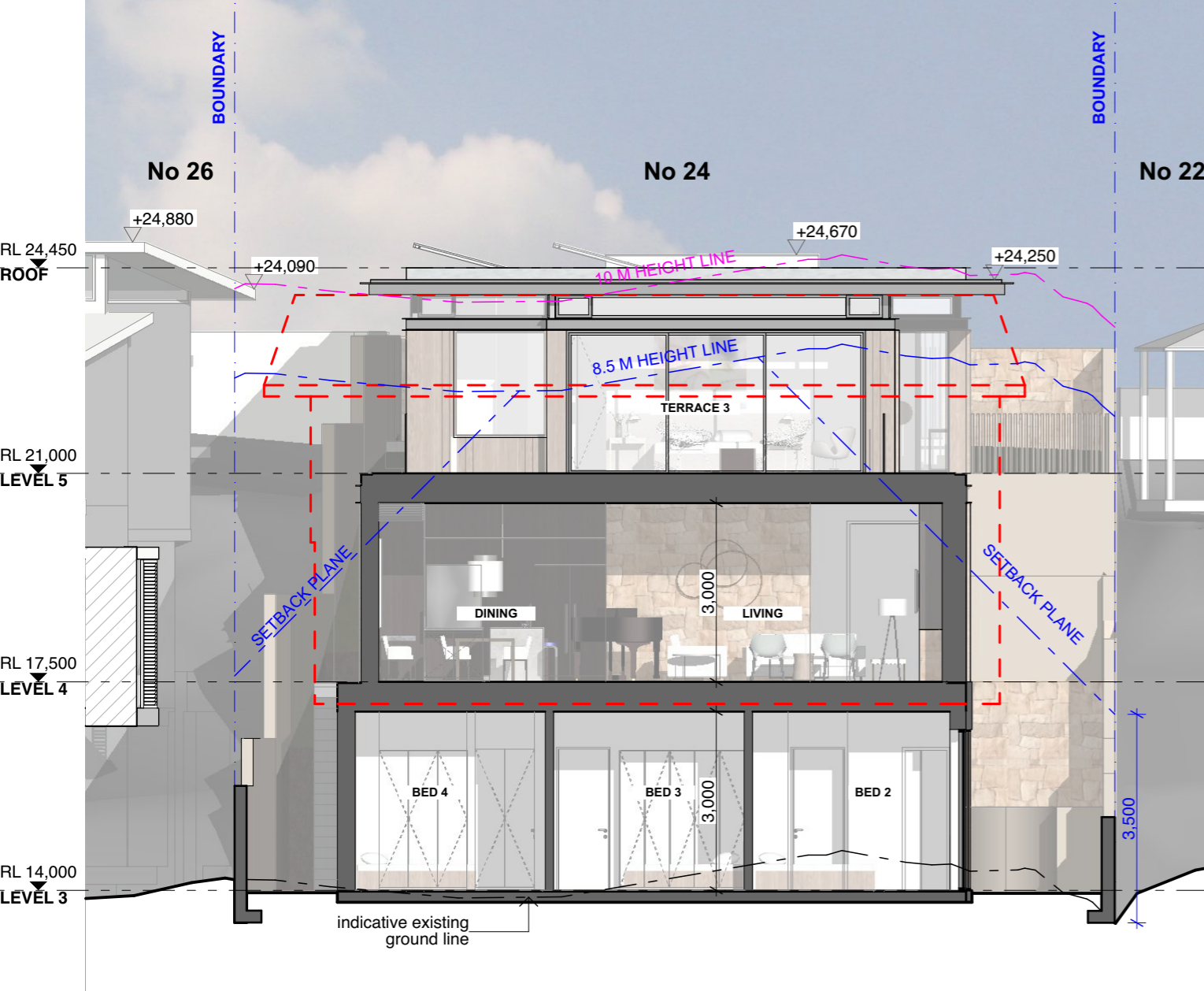
revisions			notes
RevID	Date	Description	
D	14/11/2023	DA Amendment Issue	

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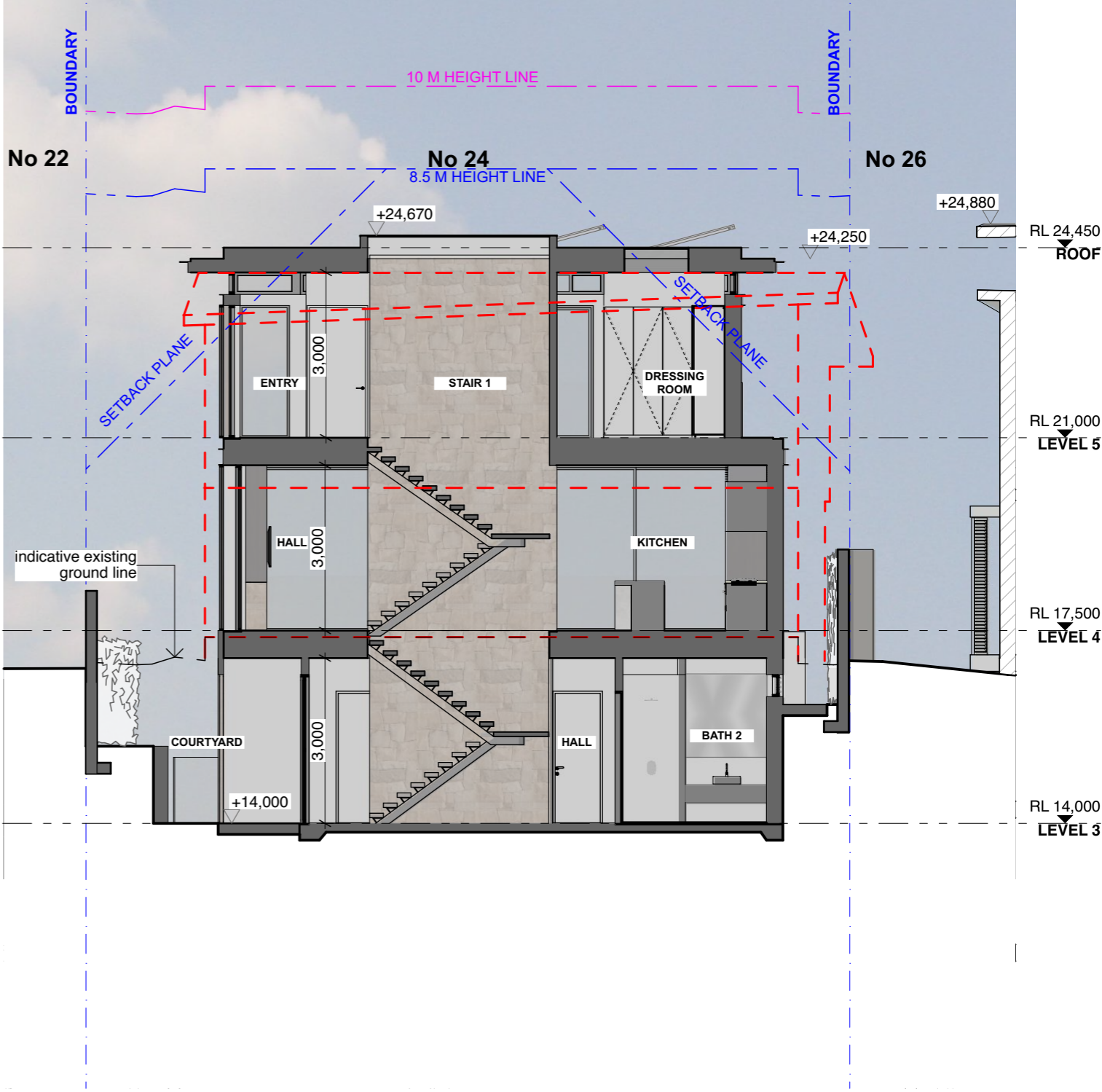
Nominated Architect: Philip Corben (Reg. No. 4616)

project	MacDiarmid House Avalon	title	Section BB Boatshed	job no.	MACA	dwg no.	DA15
address	24 Cabarita Road Avalon NSW	issue	Development Application	drawn	RV	revision	D
client	Bruce & Libby MacDiarmid	scale		checked	MC		



B

Section BB
1:100



C

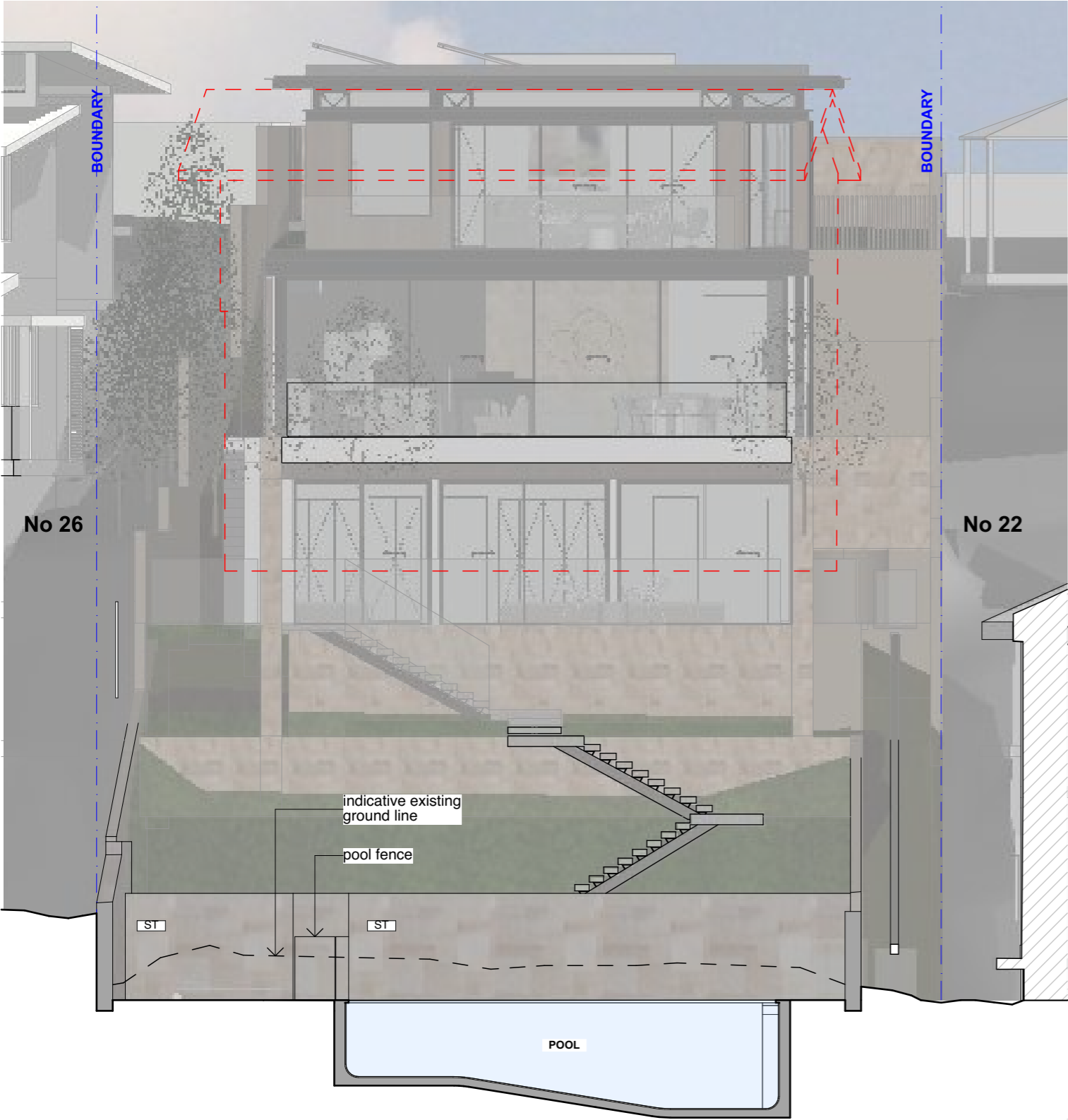
Section CC
1:100

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RevID	Date	Description	
A	12/12/2022	DA Issue	
B	11/5/2023	DA Amendment Issue	
C	26/6/2023	DA Amendment Issue	

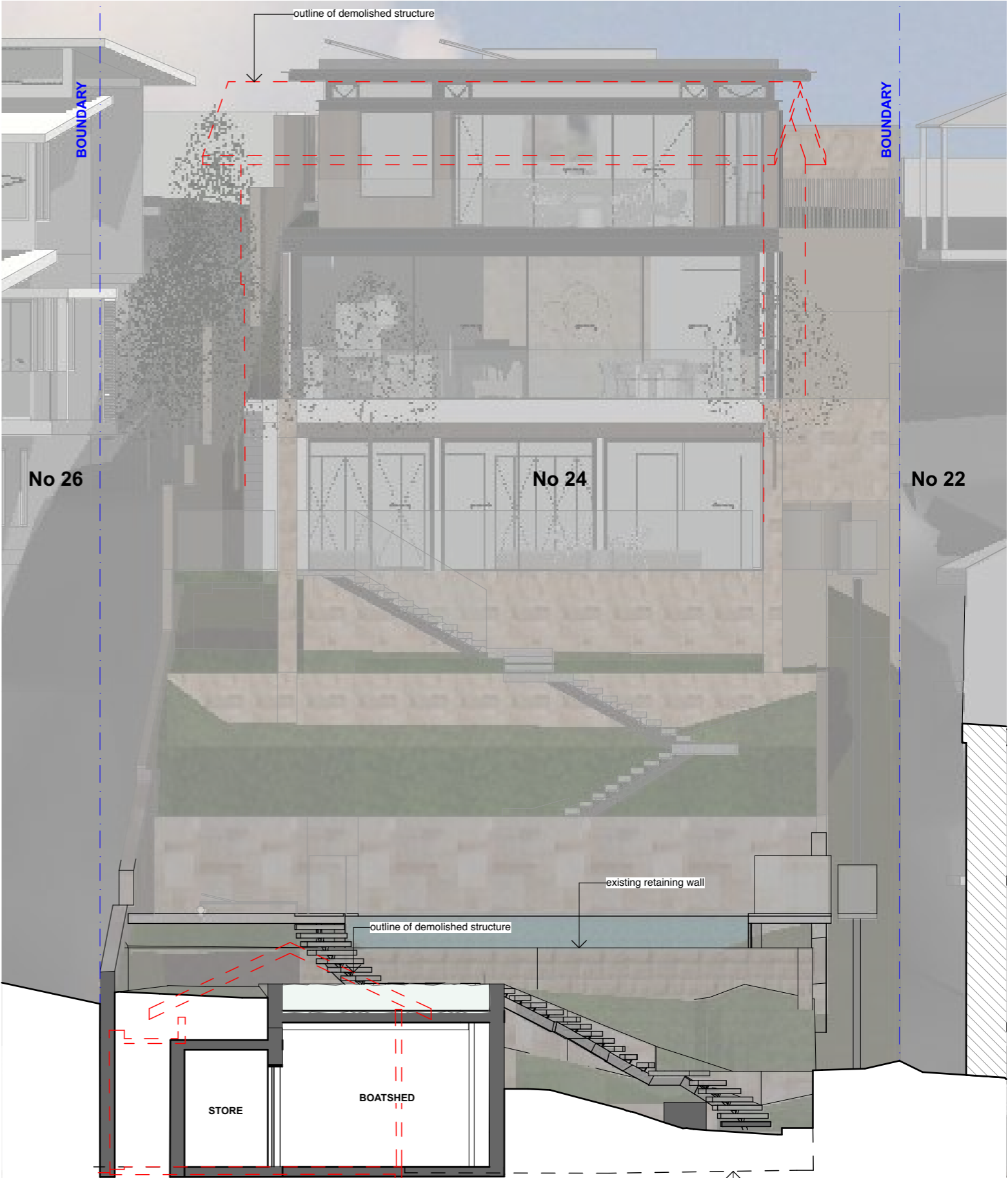
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PO Box 1021 Neutral Bay NSW 2089 Australia
02 9904 1844
mail@corben.com.au
corben.com.au
Nominated Architect: Philip Corben (Reg. No. 4616)

project	MacDiarmid House Avalon	title	Section BB & CC	job no.	MACA	dwg no.	
address	24 Cabarita Road Avalon NSW	issue	Development Application	drawn	RV	revision	DA16
client	Bruce & Libby MacDiarmid	scale	1:100	checked	MC		C



D

Section DD
1:100



E

Section EE
1:100

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RevID	Date	Description	
C	26/6/2023	DA Amendment Issue	
D	14/11/2023	DA Amendment Issue	

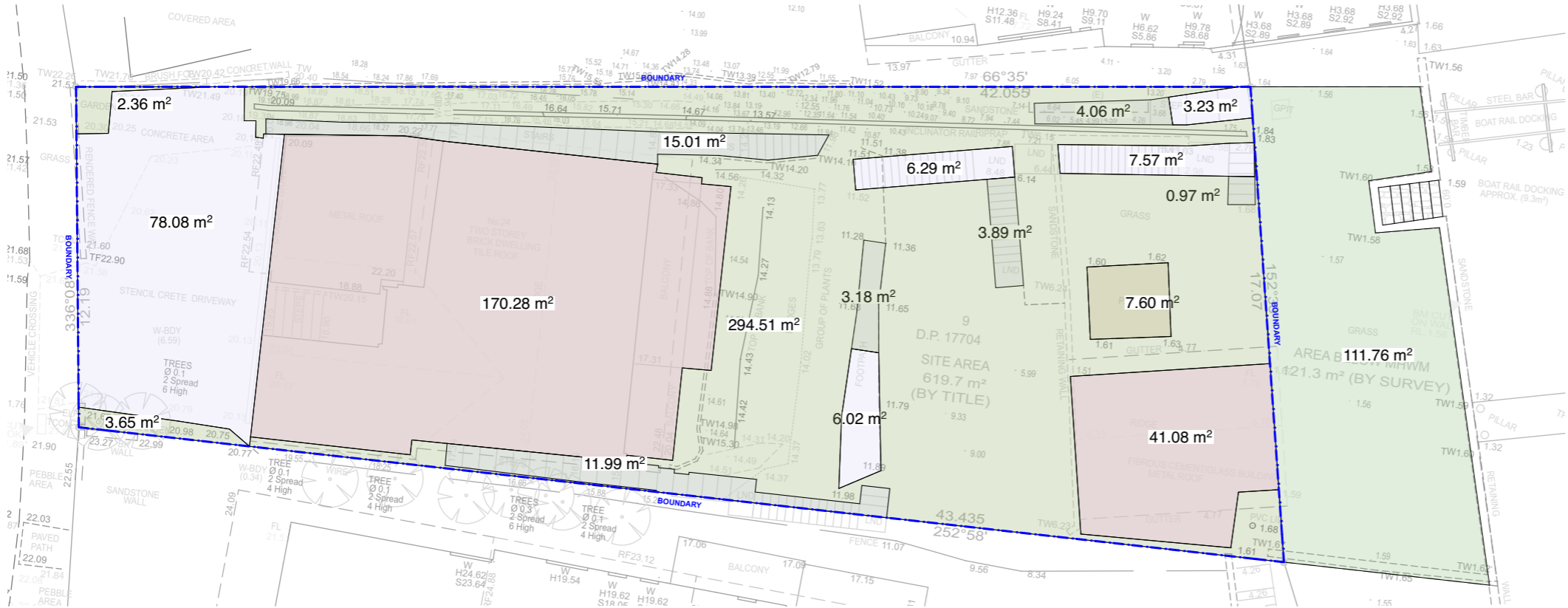


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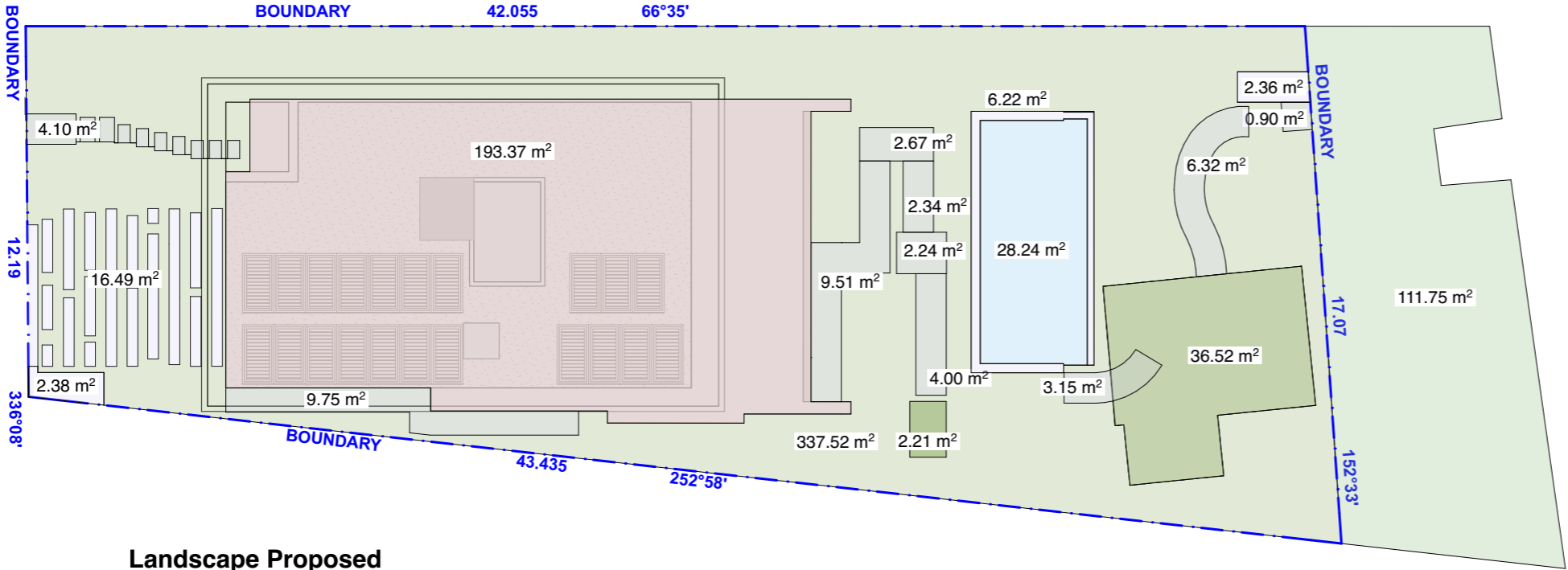
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02 9904 1844
mail@corben.com.au
corben.com.au

Nominated Architect: Philip Corben (Reg. No. 4616)

project	MacDiarmid House Avalon	title	Section DD & EE	job no.	MACA	dwg no.	DA17
address	24 Cabarita Road Avalon NSW	issue	Development Application	drawn	RV	revision	D
client	Bruce & Libby MacDiarmid			checked	MC		
				scale			



Landscape Existing



Landscape Proposed

CALCULATIONS

Site Area	619.7 m ²	
LANDSCAPE AREA		
Required (minimum)	371.8 m ²	60%
Existing	300.5 m ²	48%
Proposed	337.45 m ²	54%

LANDSCAPE AREA INCLUSIONS

Permissible Impervious Rec. Area	37.2 m ²	6%
Existing	7.6 m ²	1%
Proposed	0 m ²	0%
Impervious areas <1m width	no maximum control	
Existing	39.1 m ²	6%
Proposed	74.55 m ²	12%

ADDITIONAL LANDSCAPING (NOT INCLUDED ABOVE)

Landscape area above/below structure (300mm soil depth min)		
Existing	0 m ²	0%
Proposed	36.52 m ²	6%

TOTAL LANDSCAPING

Existing	300.5 m ²	48%
Proposed	373.97 m ²	60%

KEY

- Landscape Area
- Impervious Recreational Area
- Impervious Area <1m
- Impervious Area
- Building Footprint
- Pool Surface
- Landscape Area above/below structure
- Foreshore Area

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D	14/11/2023	DA Amendment Issue

notes



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Nominated Architect: Philip Corben (Reg. No. 4616)

project

MacDiarmid House
Avalon

address

24 Cabarita Road
Avalon NSW

client

Bruce & Libby
MacDiarmid

title

Area Calculations

issue

Development
Application

job no.

MACA

drawn

RV

checked

MC

scale

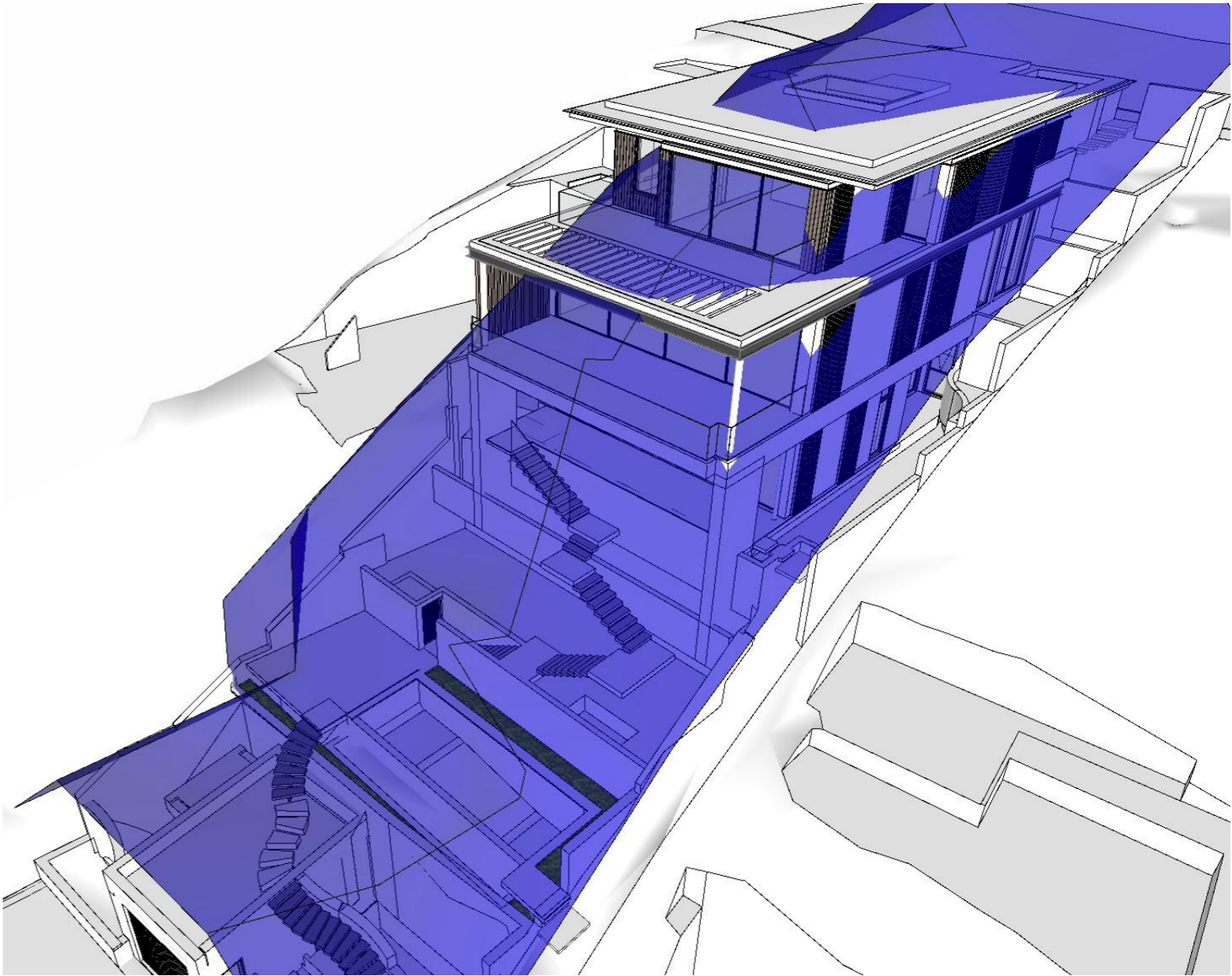
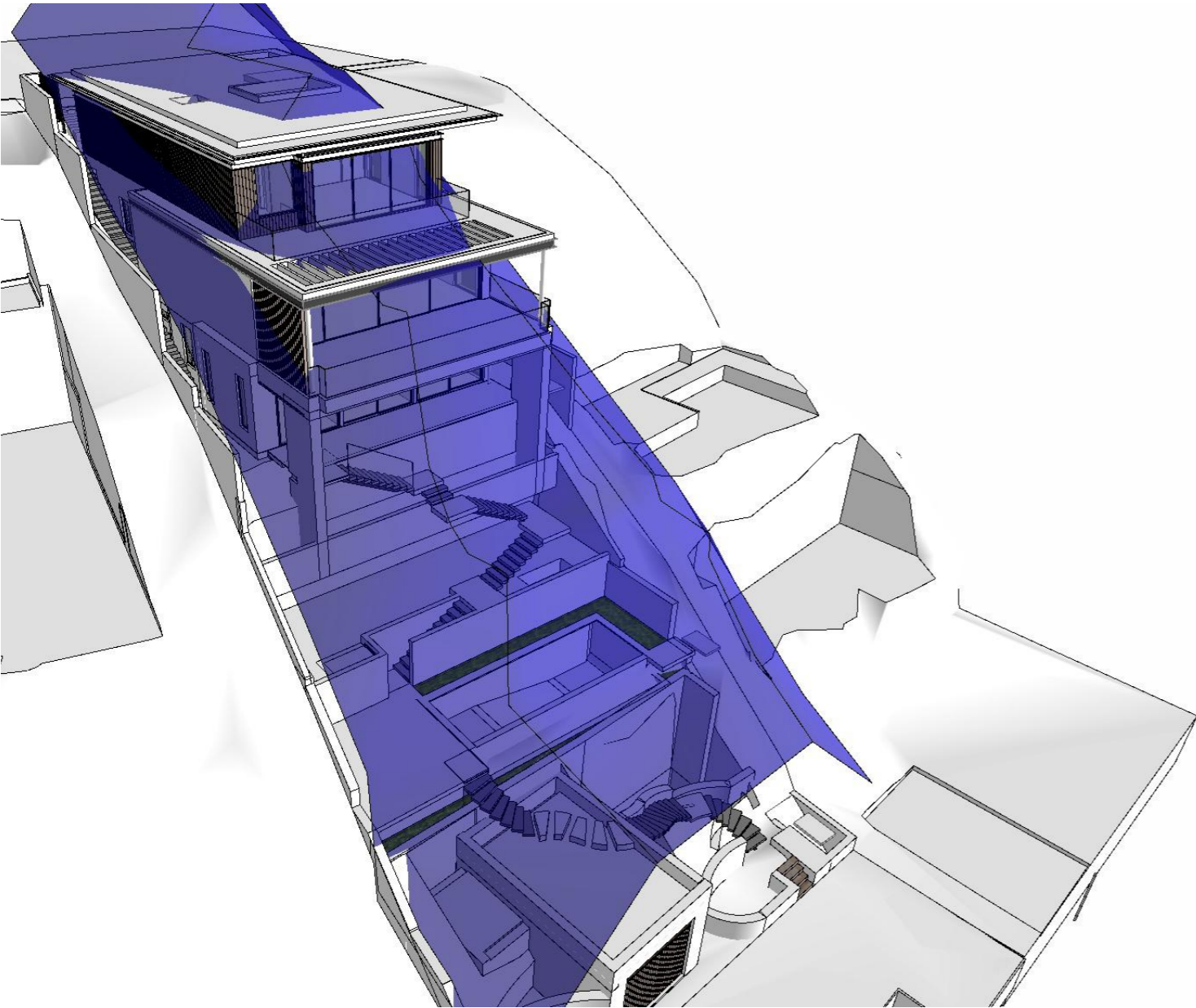
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dwg no.

DA18

revision

D



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C	26/6/2023	DA Amendment Issue

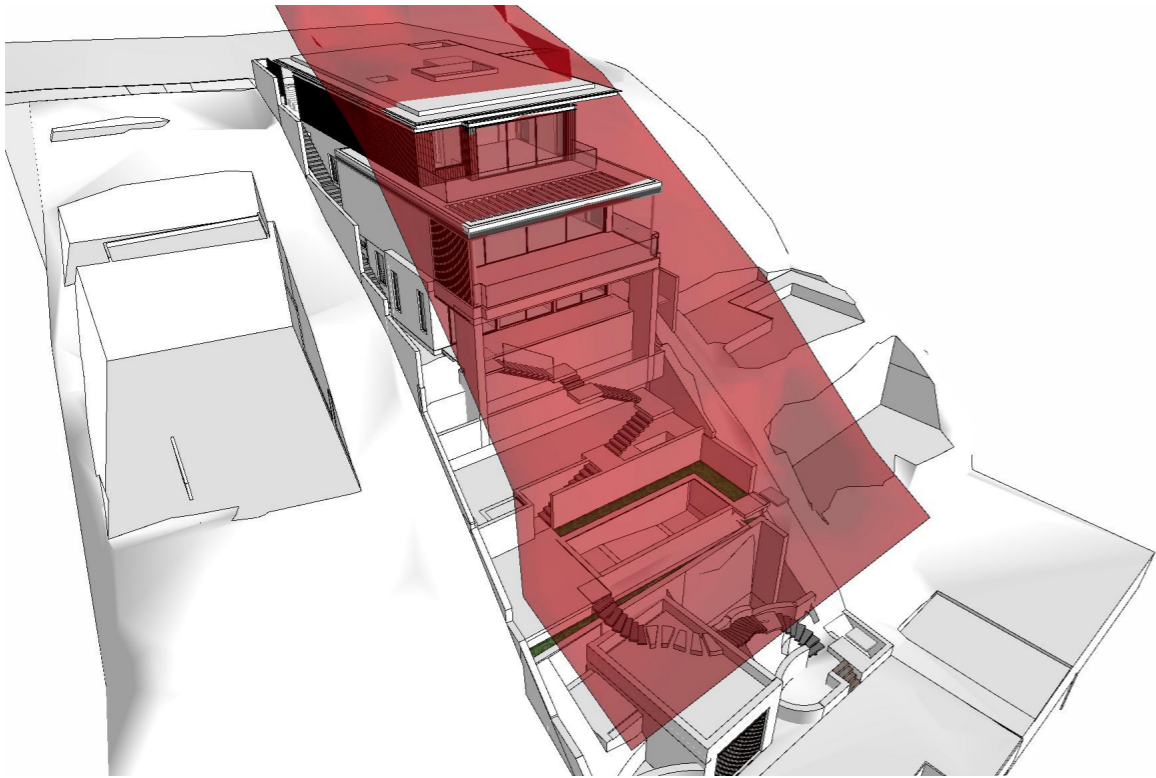
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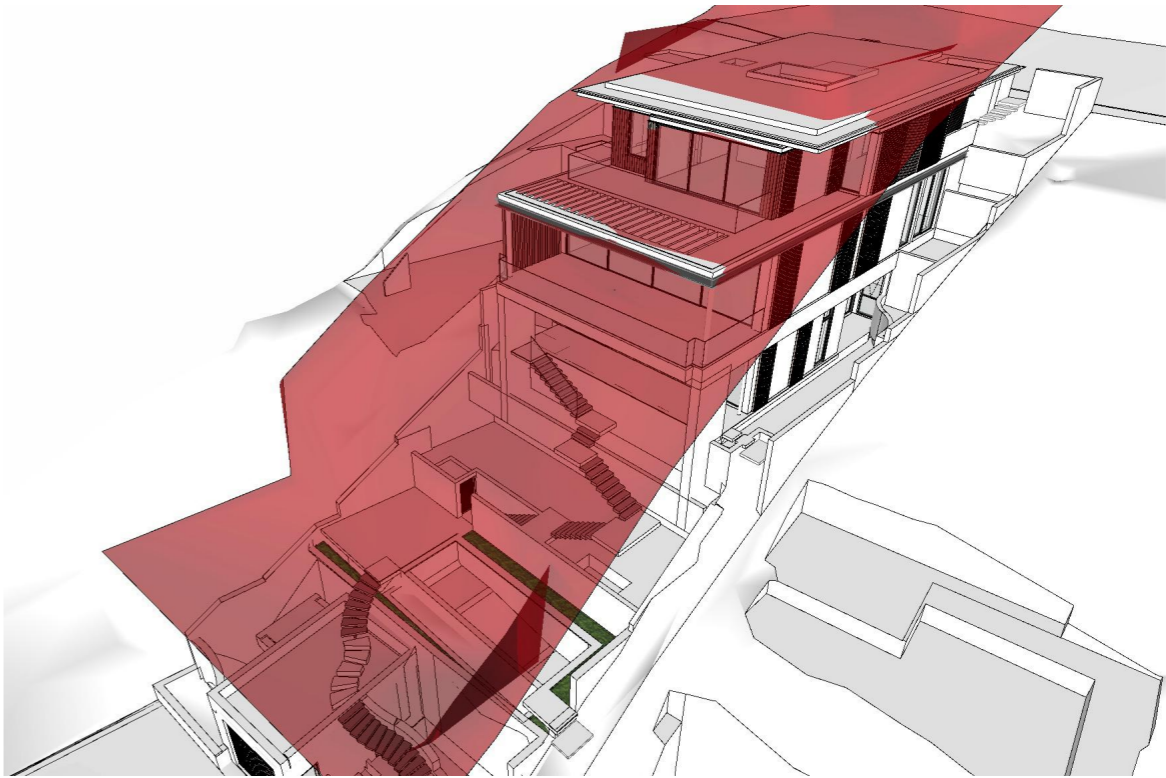
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Nominated Architect: Philip Corben (Reg. No. 4616)

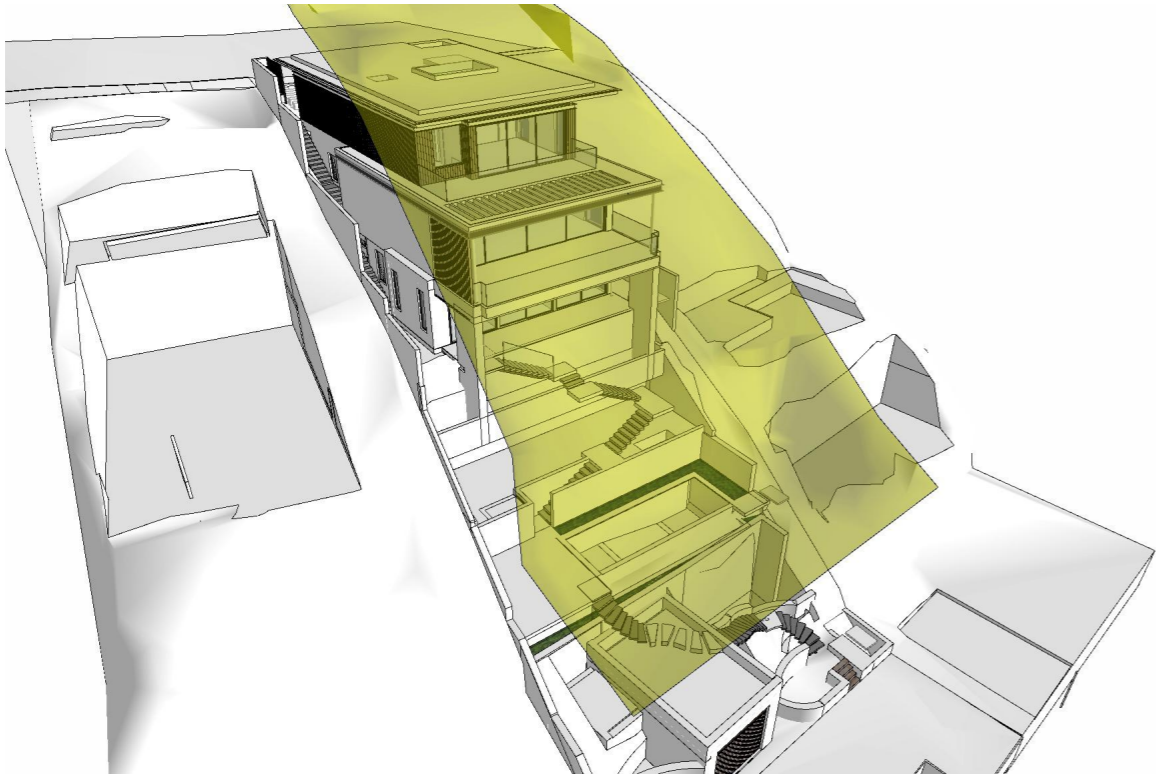
project	MacDiarmid House Avalon	title	Building Envelope Analysis	job no.	MACA	dwg no.	DA19
address	24 Cabarita Road Avalon NSW	issue	Development Application	drawn	RV	revision	C
client	Bruce & Libby MacDiarmid	scale		checked	MC		



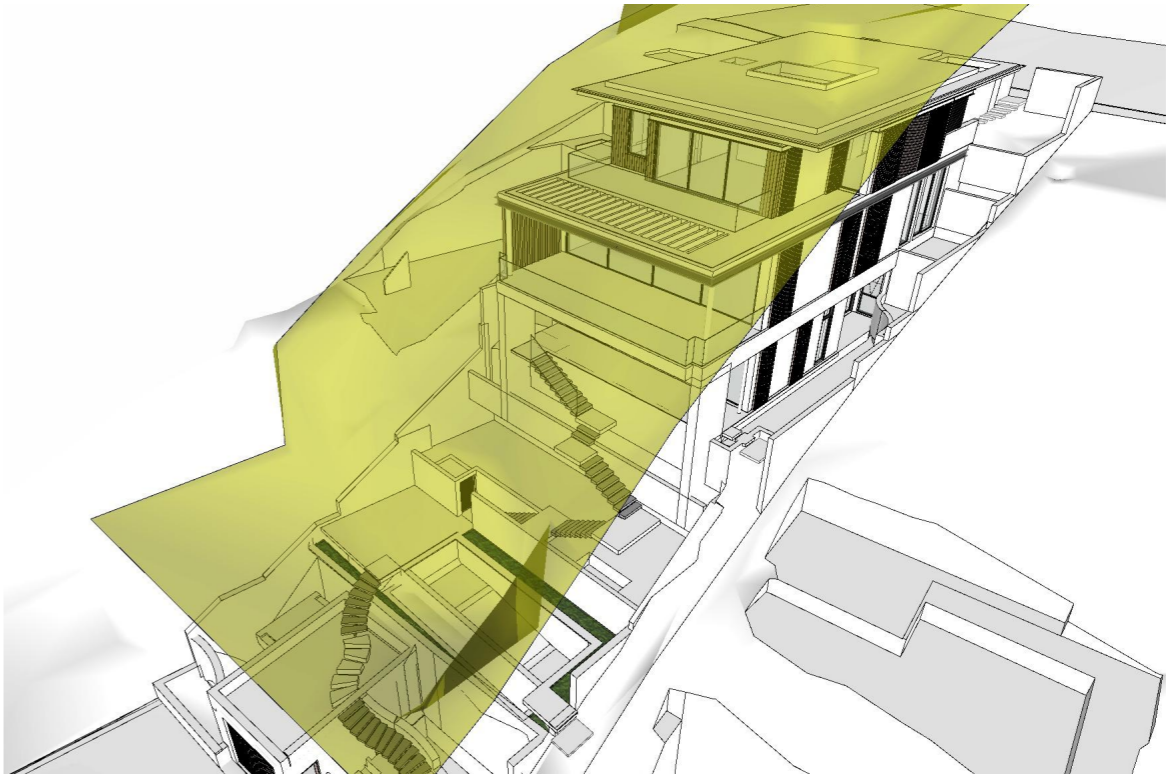
8.5m Building Height



8.5m Building Height



10m Building Height



10m Building Height

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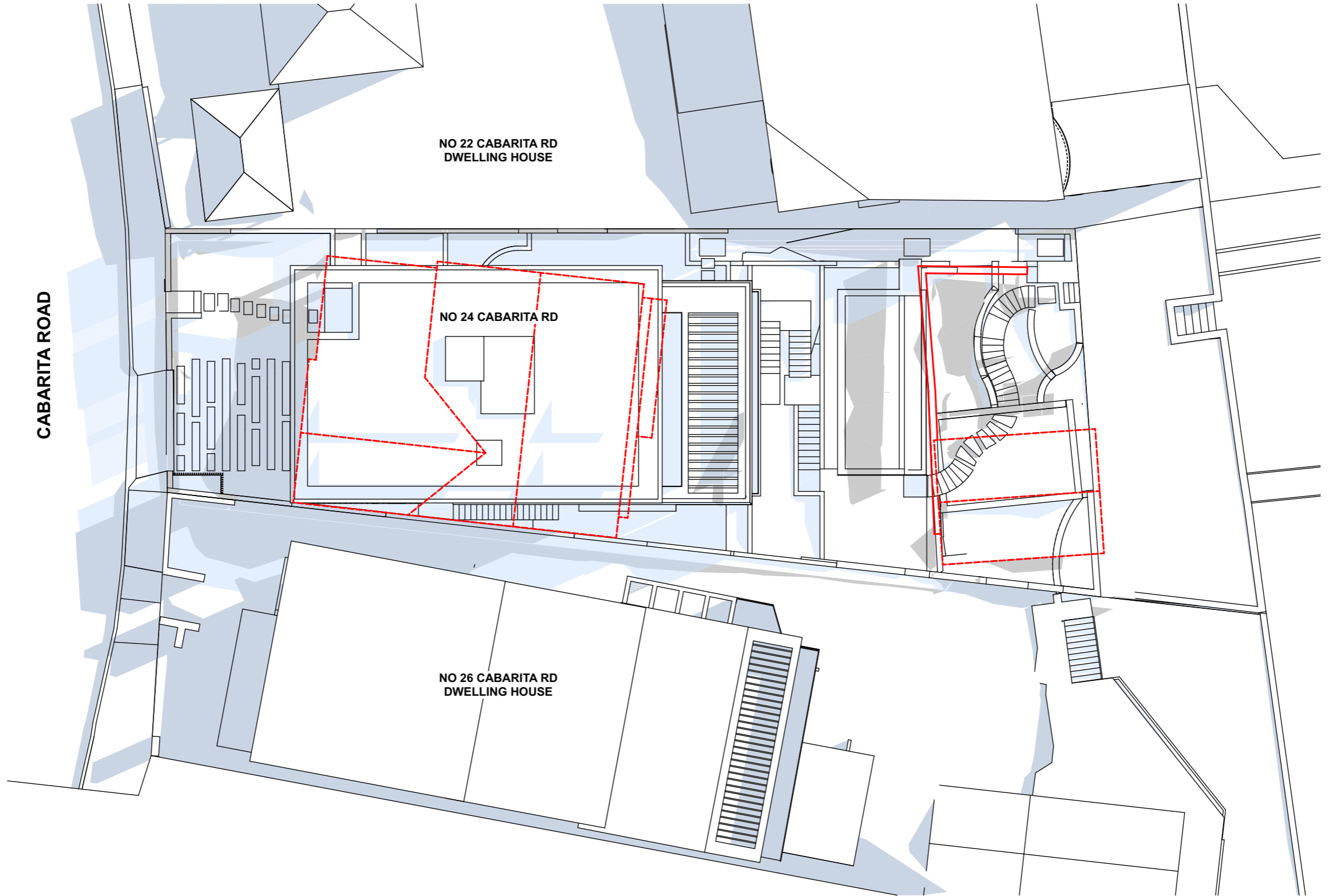
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project	MacDiarmid House Avalon	title	Building Height Analysis	job no.	MACA	dwg no.	DA20
address	24 Cabarita Road Avalon NSW	issue	Development Application	drawn	RV	revision	C
client	Bruce & Libby MacDiarmid	scale	1:400	checked	MC		



1

June 9am Shadows

KEY

EXISTING SHADOW

PROPOSED SHADOW

- revisions
- RevID

Date

Description

A

12/12/2022

DA Issue

B

11/5/2023

DA Amendment Issue

C

26/6/2023

DA Amendment Issue

D

14/11/2023

DA Amendment Issue

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project

MacDiarmid House Avalon

address

24 Cabarita Road
Avalon NSW

client

Bruce & Libby MacDiarmid

title

Shadow Diagram 9am

issue

Development Application

job no.

MACA

drawn

RV

checked

MC

scale

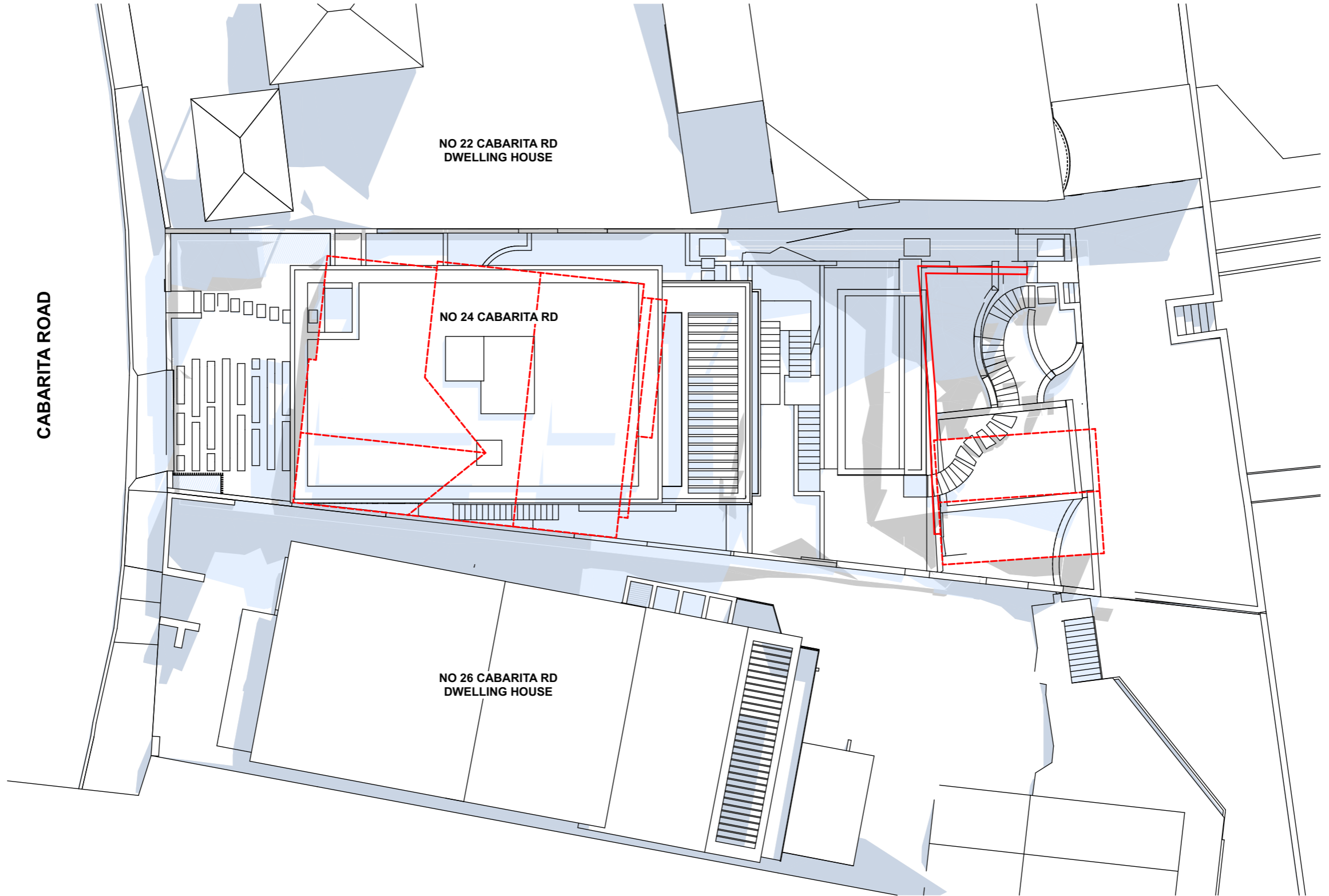
1:200

dwg no.

DA21

revision

D



1

June 12pm Shadows

KEY	
	EXISTING SHADOW
	PROPOSED SHADOW

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A	12/12/2022	DA Issue
B	11/5/2023	DA Amendment Issue
C	26/6/2023	DA Amendment Issue
D	14/11/2023	DA Amendment Issue

notes

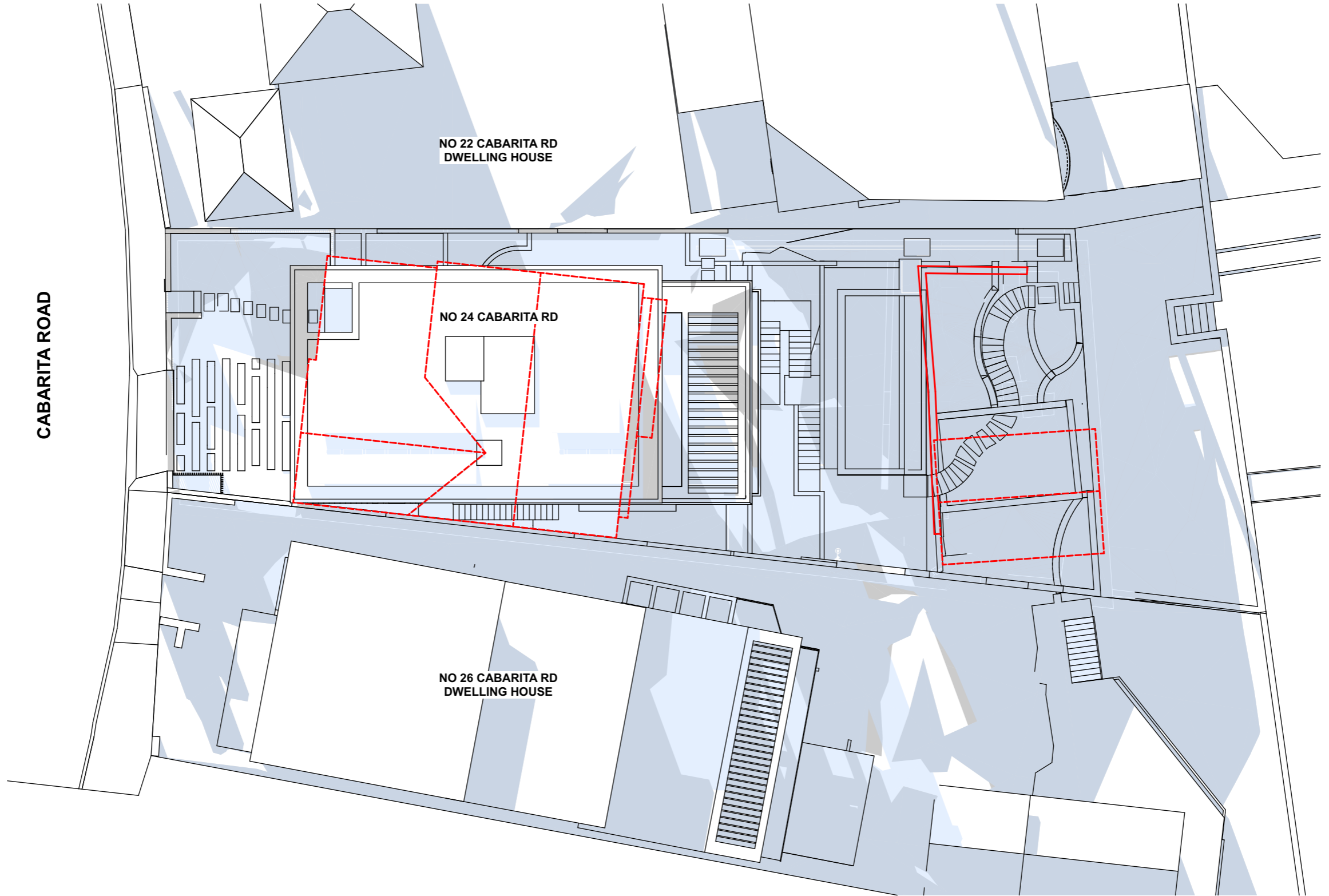


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Nominated Architect: Philip Corben (Reg. No. 4616)

project	MacDiarmid House Avalon	title	Shadow Diagram 12pm	job no.	MACA	dwg no.	DA22
address	24 Cabarita Road Avalon NSW	issue	Development Application	drawn	RV	revision	D
client	Bruce & Libby MacDiarmid	scale	1:200	checked	MC		



1

June 3pm Shadows

KEY	
	EXISTING SHADOW
	PROPOSED SHADOW

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B	11/5/2023	DA Amendment Issue
C	26/6/2023	DA Amendment Issue
D	14/11/2023	DA Amendment Issue

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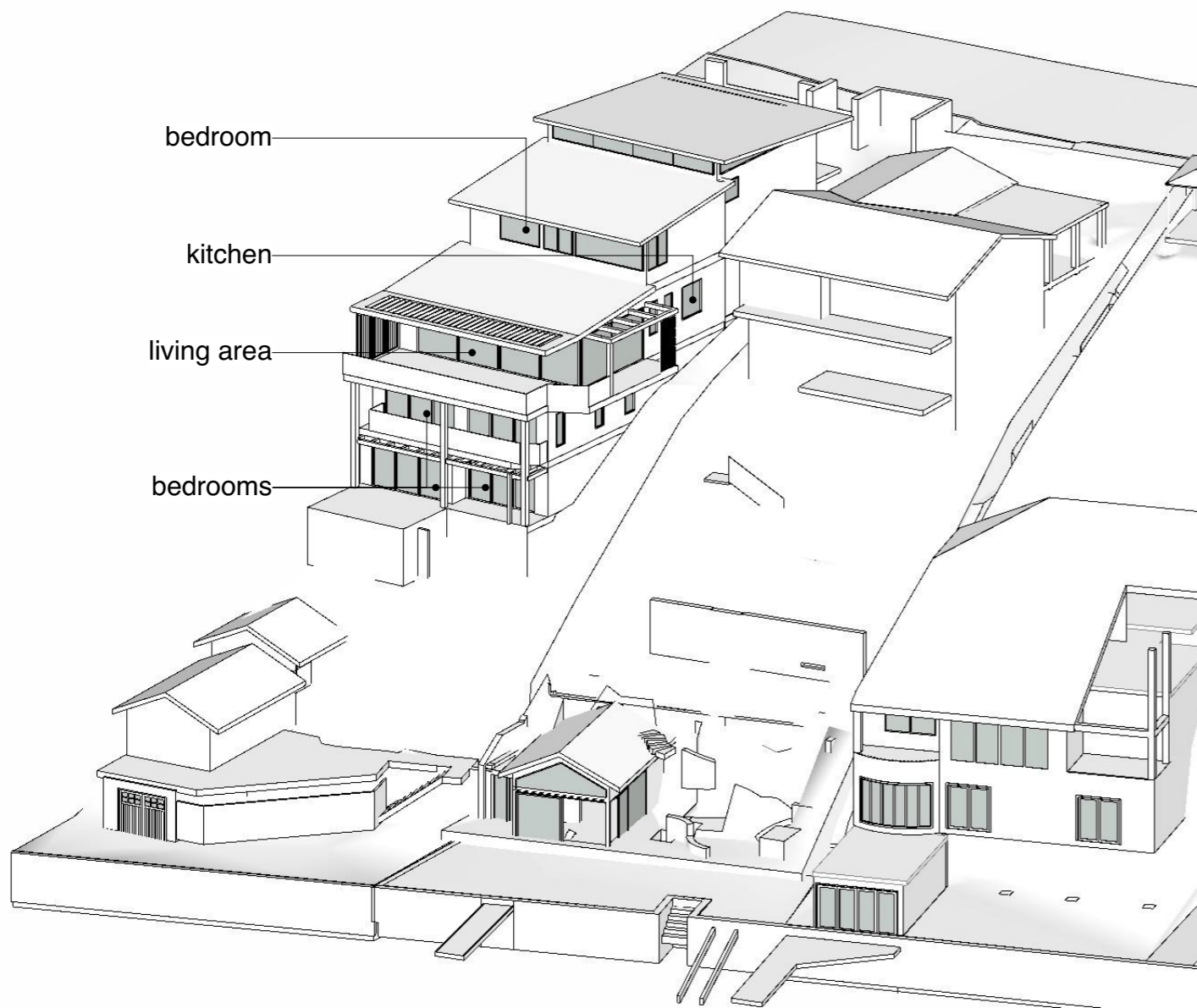


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project	MacDiarmid House Avalon	title	Shadow Diagram 3pm	job no.	MACA	dwg no.	DA23
address	24 Cabarita Road Avalon NSW			drawn	RV	revision	D
client	Bruce & Libby MacDiarmid	issue	Development Application	checked	MC		
				scale	1:200		



bedroom

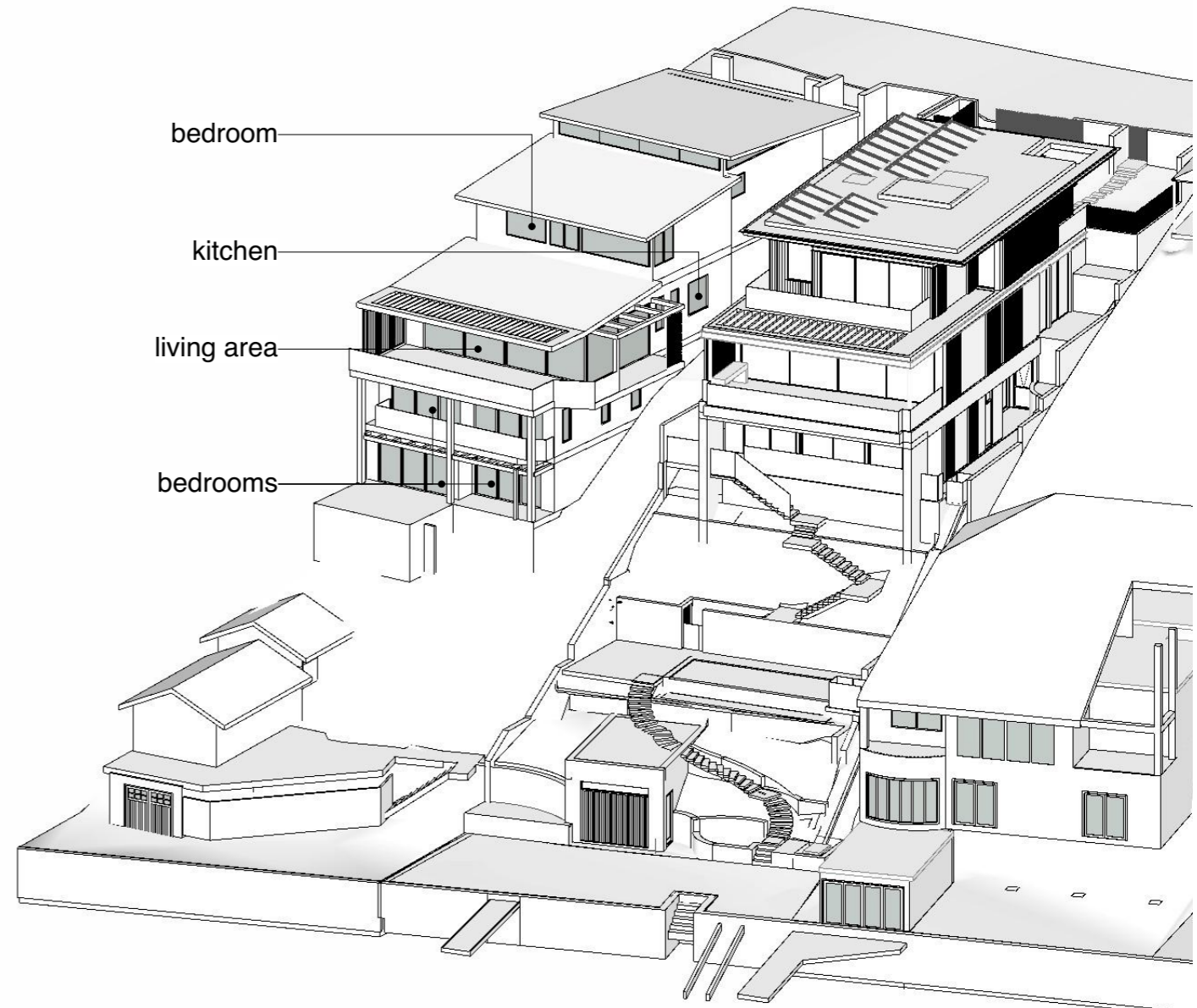
kitchen

living area

bedrooms

1

9am Iso existing



bedroom

kitchen

living area

bedrooms

2

9am Iso proposed

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Nominated Architect: Philip Corben (Reg. No. 4616)

project

MacDiarmid House
Avalon

address

24 Cabarita Road
Avalon NSW

client

Bruce & Libby
MacDiarmid

title

Sun Path Diagram
9am

issue

Development
Application

job no.

MACA

drawn

RV

checked

MC

scale

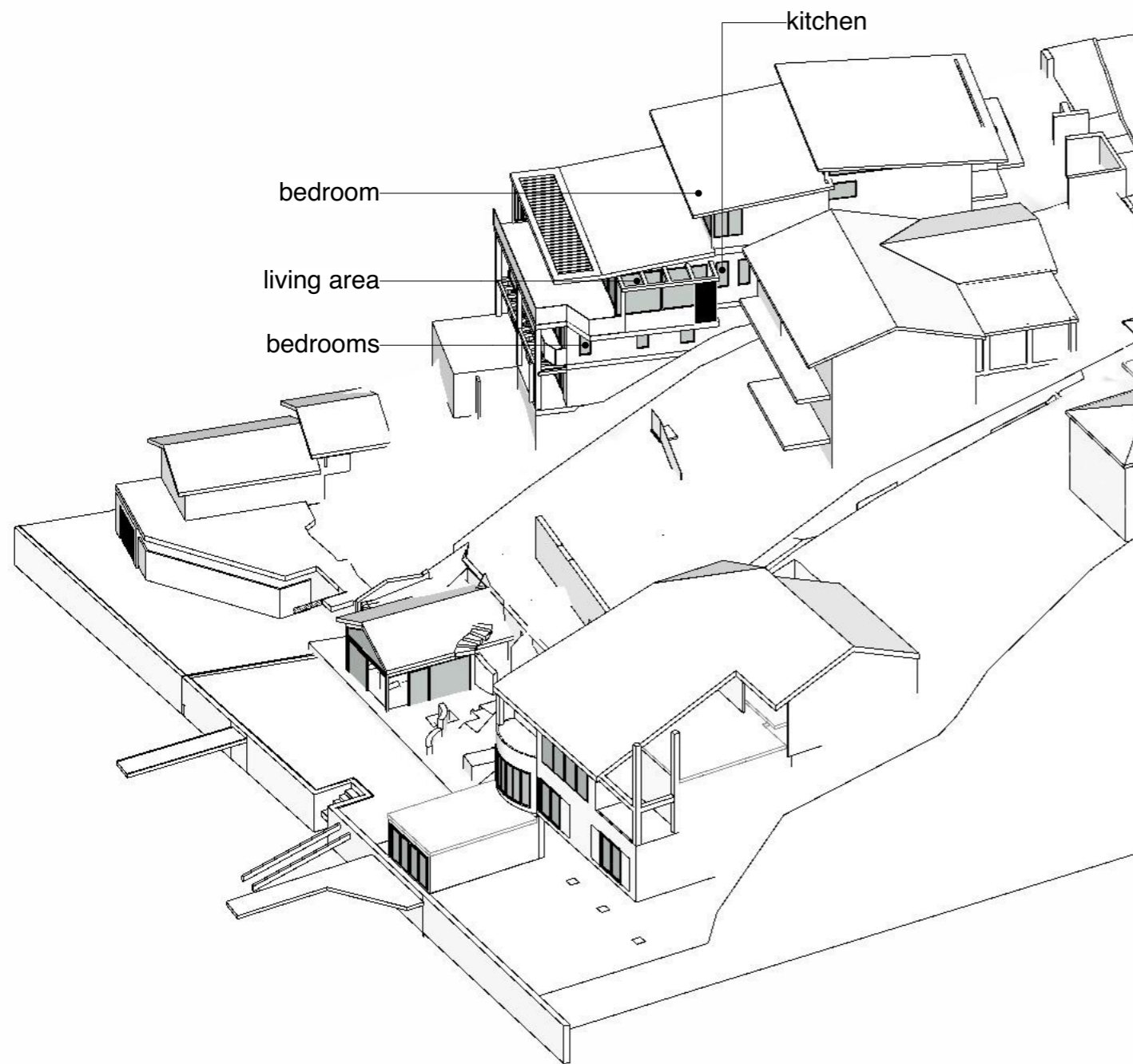
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dwg no.

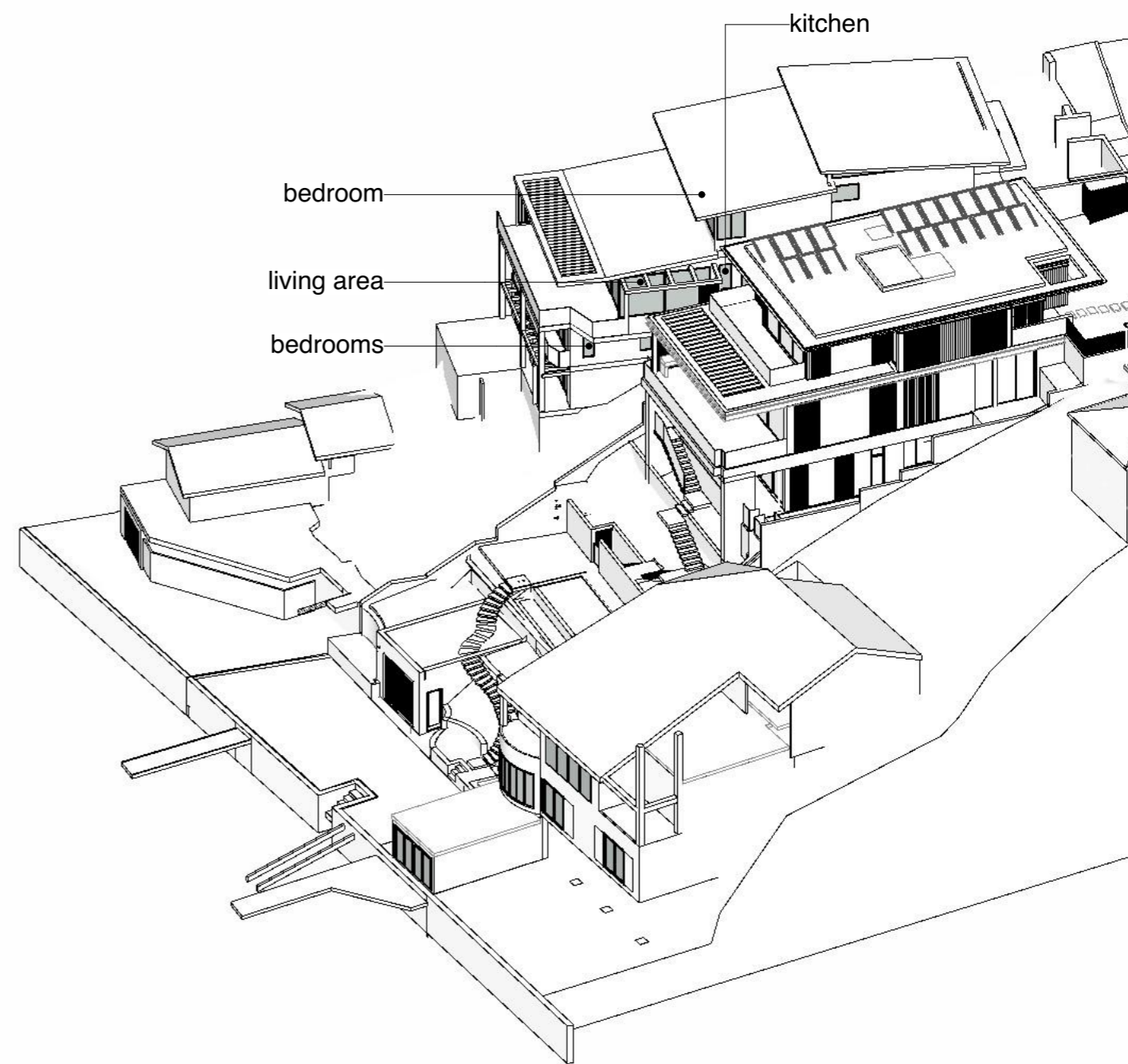
DA24

revision

D



12pm Iso Existing



12pm Iso Proposed

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D	14/11/2023	DA Amendment Issue

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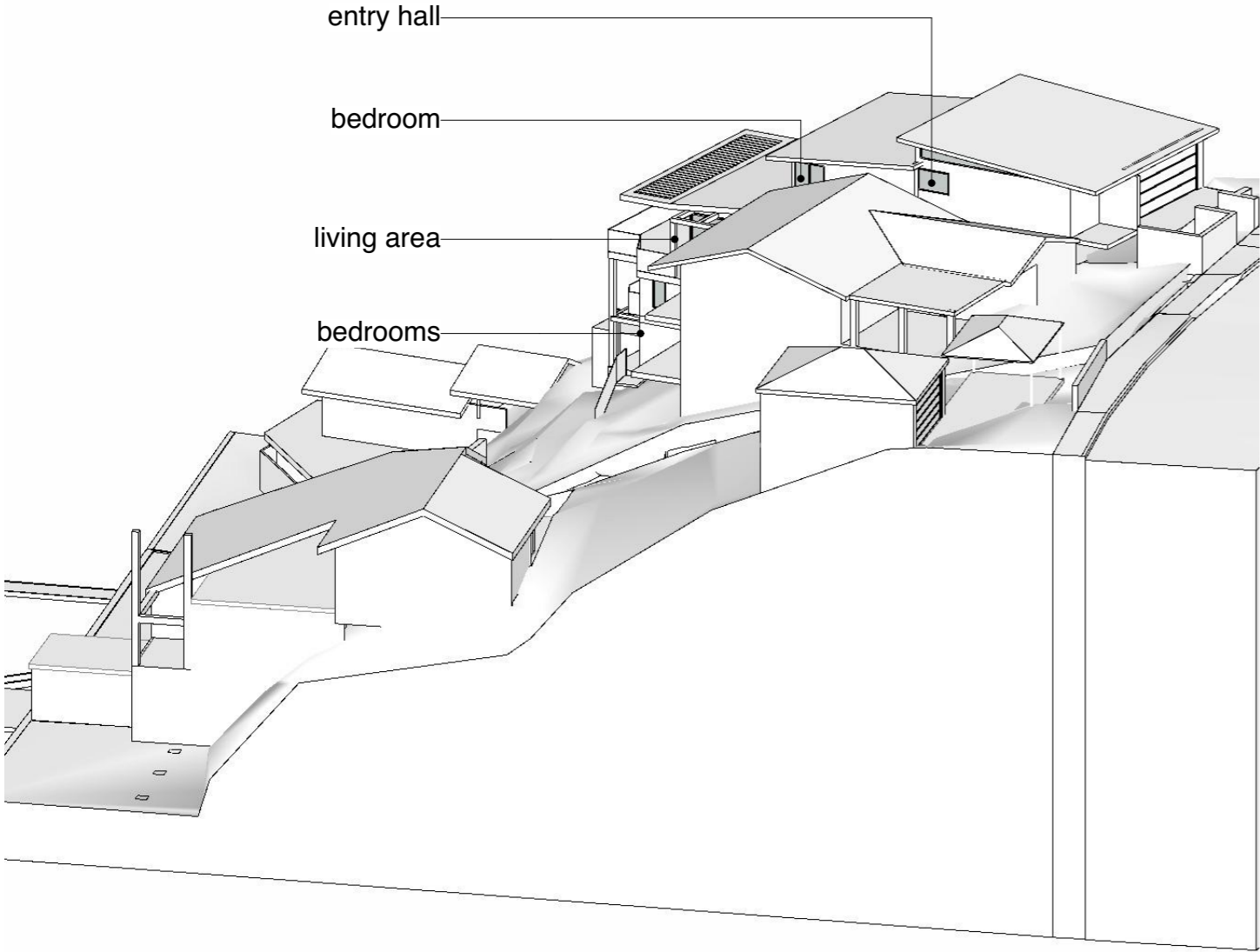


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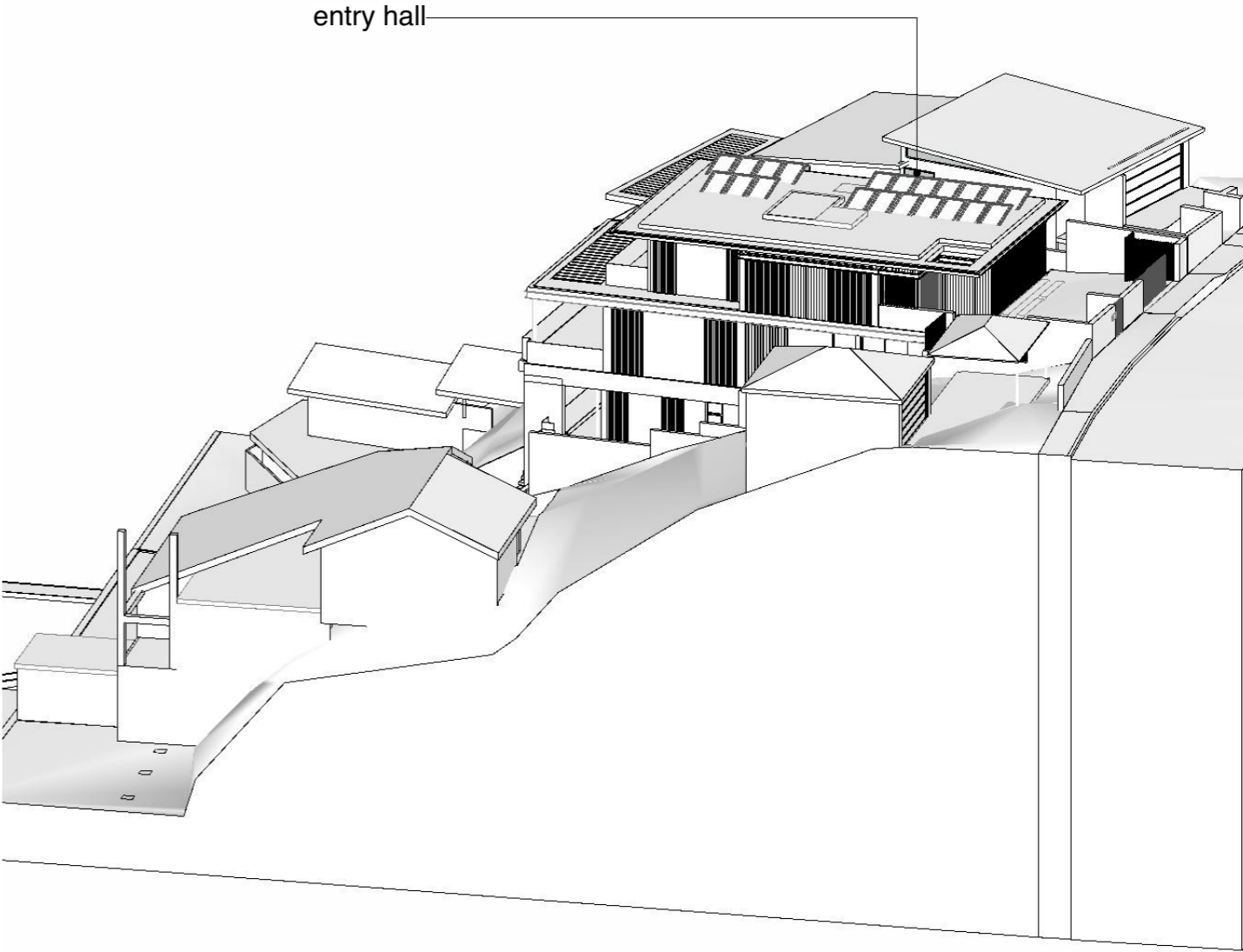
Nominated Architect: Philip Corben (Reg. No. 4616)

project	MacDiarmid House Avalon	title	Sun Path Diagram 12pm	job no.	MACA	dwg no.	DA25
address	24 Cabarita Road Avalon NSW	drawn	RV	checked	MC	revision	D
client	Bruce & Libby MacDiarmid	issue	Development Application	scale	1:200		



1

3pm Iso Existing



2

3pm Iso Proposed

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C	26/6/2023	DA Amendment Issue
D	14/11/2023	DA Amendment Issue

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Nominated Architect: Philip Corben (Reg. No. 4616)

project	MacDiarmid House Avalon	title	Sun Path Diagram 3pm	job no.	MACA	dwg no.	DA26
address	24 Cabarita Road Avalon NSW	issue	Development Application	drawn	RV	revision	D
client	Bruce & Libby MacDiarmid	scale	1:250	checked	MC		



1



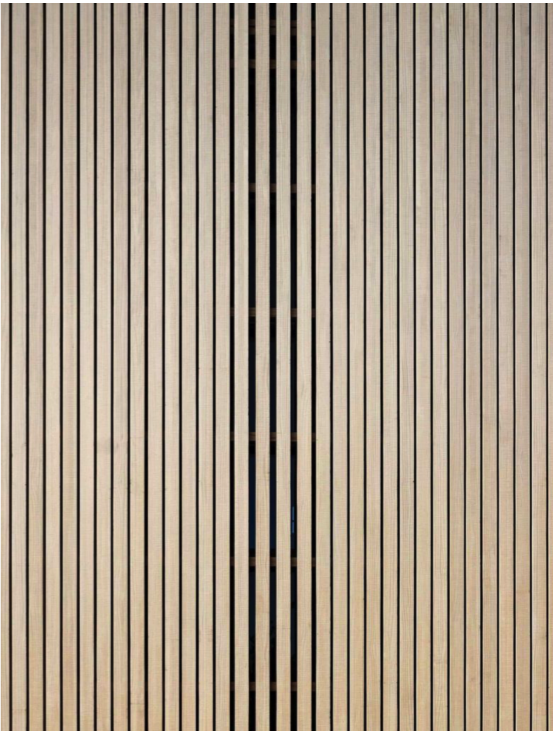
2



3



4



5



6



7



8



9



10

- 1 steel frame slim line roof edge
- 2 white render
- 3 timber battens / sandstone
- 4 steel frame painted dark
- 5 timer look battens / cladding
- 6 dark aluminium framed windows and doors
- 7 sandstone against dark steel frame
- 8 white render / timber battens / steel frame
- 9 paving inlay to landscape area
- 10 pebble ballast roof

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Nominated Architect: Philip Corben (Reg. No. 4616)

project	MacDiarmid House Avalon
address	24 Cabarita Road Avalon NSW
client	Bruce & Libby MacDiarmid

title	Finishes
issue	Development Application

job no.	MACA
drawn	RV
checked	MC
scale	

dwg no.	DA27
revision	D



Existing Boat Shed



Proposed Boat Shed and Landscaping

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D	14/11/2023	DA Amendment Issue

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Nominated Architect: Philip Corben (Reg. No. 4616)

project	MacDiarmid House Avalon	title	Perspectives - Boat shed	job no.	MACA	dwg no.	DA29
address	24 Cabarita Road Avalon NSW	checked	MC	drawn	RV	revision	D
client	Bruce & Libby MacDiarmid	issue	Development Application	scale			



revisions

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CORBEN ARCHITECTS

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project

MacDiarmid House
Avalon

address

24 Cabarita Road
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client

Bruce & Libby
MacDiarmid

title

Perspectives - New

issue

Development
Application

job no.

MACA

drawn

RV

checked

MC

scale

dwg no.

DA30

revision

D