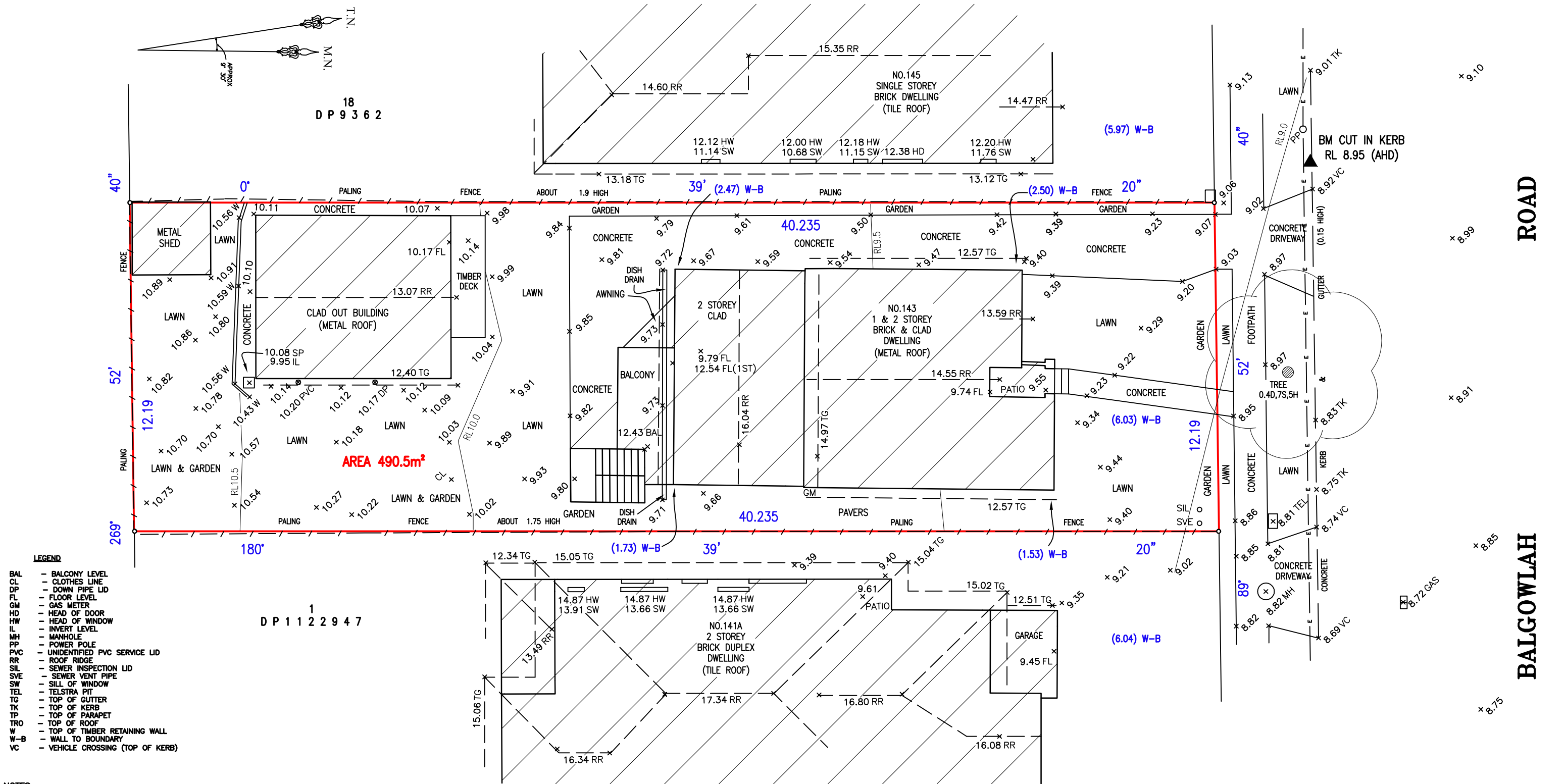




- NOTES:**
1. ORIGIN OF LEVELS PM 710, R.L.10.428 (A.H.D.).
 2. BEARINGS ARE ON MAGNETIC NORTH AS DERIVED BY DP 9362.
 3. A BOUNDARY IDENTIFICATION SURVEY HAS BEEN UNDERTAKEN.
 4. NO SERVICES OR UNDERGROUND SERVICES SEARCH HAS BEEN UNDERTAKEN. SERVICES SHOWN ARE BASED ON VISIBLE SURFACE INDICATORS EVIDENT AT THE DATE OF SURVEY & ARE CHARTED AS A GUIDE TO THE POSITION & NATURE OF THE SERVICE. ALL SERVICE AUTHORITIES SHOULD BE CONTACTED PRIOR TO ANY DEVELOPMENT.
 5. RIDGE, EAVE & GUTTER HEIGHTS HAVE BEEN OBTAINED BY AN INDIRECT METHOD AND ARE ACCURATE FOR PLANNING PURPOSES ONLY.
 6. ADJOINING BUILDINGS AND DWELLINGS HAVE BEEN PLOTTED FOR DIAGRAMMATIC PURPOSES ONLY AND SPECIFIC DETAILS, IF CRITICAL, WILL REQUIRE FURTHER SURVEY.
 7. THE SPREAD & HEIGHT OF EACH TREE IS INDICATIVE ONLY AND SPECIFIC DETAILS, IF CRITICAL, WILL REQUIRE FURTHER SURVEY.

EASEMENTS & COVENANTS

- A COVENANT UNDER DEALING NUMBER A787232 AFFECTS THE SUBJECT PROPERTY & SHOULD BE VERIFIED BY A SOLICITOR.

				PLAN SHOWING DETAIL, LEVELS & BOUNDARIES OF LOT 17 IN DP 9362 AT NO.143 BALGOWLAH ROAD BALGOWLAH	CONSULTING SURVEYORS	RATIO: 1:100	DATE 17/03/2020	
					3D SURVEYING	DATUM: A.H.D.	ISSUE	SHEET SIZE A2
					P.O. Box 2228 STRAWBERRY HILLS 2012 Ph: 0425 233 907 Fax: (02) 9594 0084 E-mail: threedsurv@optusnet.com.au Website: www.surveyorssydney.com.au	DRAWN: IB/DC		
						REF. No.: 2016		
DATE	BY	REVISION	ISSUE					