

HERITAGE IMPACT STATEMENT

19-21 The Corso, Manly



Refurbishment and Conservation Works

11 December 2020

Cover Image: 19-21 The Corso, Manly (Source: NBRSArchitecture)

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HERITAGE IMPACT STATEMENT FOR CONSERVATION AND REFURBISHMENT WORKS AT 19-21 THE CORSO, MANLY

1.0 INTRODUCTION

1.1 BACKGROUND

This Heritage Impact Statement has been prepared in accordance with the standard guidelines of the NSW Heritage Division to accompany an application for proposed works at 19-21 The Corso, Manly. The site comprises four-storey shop-top housing fronting The Corso and running through to Market Lane at the rear.

Details of the development proposal have been prepared by NBRSArchitecture. The proposal involves refurbishment and conservation works to the existing building.

The subject property is included in a listed item of local heritage significance on Schedule 5 of the *Manly Local Environmental Plan (LEP) 2013* as Group of Commercial Buildings, All numbers The Corso. It is also located within the Town Centre Conservation Area (C2) and in the vicinity of a number of other listed items.

Accordingly, this Heritage Impact Statement reviews the proposal in terms of the relevant heritage provisions of the *Manly LEP 2013* and the requirements of the *Manly Development Control Plan (DCP) 2013*, and the Impact Assessment Criteria guidelines endorsed by the NSW Heritage Council.

1.2 METHODOLOGY

This Heritage Impact Statement has been prepared in accordance with the guidelines set out in the *Australia ICOMOS Charter for Places of Cultural Significance*, 2013, known as The Burra Charter, and the New South Wales Heritage Office (now the Heritage Division of the NSW Office of Environment and Heritage) publication, *NSW Heritage Manual*.

The Burra Charter provides definitions for terms used in heritage conservation and proposes conservation processes and principles for the conservation of an item. The terminology used, particularly the words *place*, *cultural significance*, *fabric*, and *conservation*, is as defined in Article 1 of The Burra Charter. The NSW Heritage Manual explains and promotes the standardisation of heritage investigation, assessment and management practices in NSW.

1.3 SITE LOCATION

The subject site is located at 19-21 The Corso, Manly NSW 2095, and is bounded on the south by The Corso, on the west by three-storey commercial development, on the north by Market Lane and to the east by two-storey commercial development. The site runs through to Market Lane at the rear. The building comprises Part Lot 1, Lots 2-13 and part CP in SP12989 in documents held by the NSW Land Registry Services (LRS).

The site is situated in the main commercial precinct of the Manly Town Centre. The location and context of the subject site are shown in Figure 1 and Figure 2 below.



Figure 1: Aerial map with the subject site circled red. (Source: NSW LRS, SIX Maps, maps.six.nsw.gov.au)



Figure 2: Street map with the subject site circled red. (Source: NSW LRS, SIX Maps, maps.six.nsw.gov.au)

1.4 HERITAGE MANAGEMENT FRAMEWORK

The subject property is listed as an item of local heritage significance on Schedule 5 of the *Manly Local Environmental Plan (LEP) 2013* as Group of Commercial Buildings, All numbers The Corso – item No: I106. It is also located within the Town Centre Conservation Area (C2)

It is also located in the vicinity of a number of other separately listed local heritage items including:

- Street Trees, The Corso (from Whistler Street to Sydney Road) – Item No: I104
- Group of Commercial Buildings, 46-64 The Corso, Manly - Item No: I109
- St Matthews Church and Hall, 44 The Corso Manly - Item No: I113

Other heritage listed items in the vicinity of the subject site are visually and physically separated from the site by intervening development, and do not warrant assessment as part of this report.

1.5 AUTHORSHIP

This report was prepared by Alice Steedman, Associate, using documentary evidence prepared for a previous Heritage Impact Statement for the site by **NBR**SARCHITECTURE.

1.6 LIMITATIONS

This report is limited to the assessment of potential impacts on the European cultural heritage values of the site and does not include Aboriginal and Archaeological assessment. This report only addresses the relevant planning provisions that relate to heritage.

1.7 COPYRIGHT

Copyright of this report remains with the author, **NBR**SARCHITECTURE. Unless otherwise noted, all images are by the author.

2.0 DOCUMENTARY EVIDENCE

2.1 EARLY OWNERSHIP HISTORY – SMITH'S BRIGHTON ESTATE

The subject site is located on Lot 6 and part of Lot 7 of Section B of the Brighton Estate, which was originally part of 100 acres granted to John Thompson on 13 April 1842.¹ Thompson's land was located to the northwest of Gilbert Baker's 30-acre grant of 1810, with what later would be known as The Corso roughly delineating the boundary of the two grants.



Figure 3 – Undated Parish Map, showing Thompson's 100-acre grant in Manly Cove. (Source: NSW Land Registry Services (LRS), Historic Land Records Viewer (HLRV), Parish Map, Manly Cove)

In 1853, Henry Gilbert Smith purchased John Thompson's 100-acre grant and set about turning the little village of Manly into his grandiose vision for a beachside resort town to be called, "New Brighton".² Lot 6 was included in the land purchased by Henry Gilbert Smith on 9 March 1853.³ Interestingly, Smith had acquired part of Lot 7 shortly after it had been granted to Thompson in 1842. By 1849, after a quick succession of transfers, the property was in the ownership of A. M. Mulligan and it remained within the family until 1899.⁴

In 1854, Henry Gilbert Smith built a small pier at Manly Cove and instigated his own regular boat service to Circular Quay. Opposite the pier he constructed the neat Italian-style Pier Hotel with an adjoining public "Pleasure Garden" for walks. A visitor on Boxing Day 1888 recorded how he sat on the verandah of the Pier Hotel, amid the tinkle of barrel organs and "oompahs" of a German Band, watching the streams of day trippers file off the paddle-steamboats.⁵

As Smith purchased more and more land in the Manly area, his ideas for the area's development grew. In 1856, Smith cleared a wide street between the harbour and the ocean

¹ NSW Land Registry Services (LRS), Primary Application 11224 (Part Lot 7); NSW LRS, Primary Application 29492 (Lot 6)

² Jack, I., *Pittwater Road Conservation Area, Manly, Final Draft History*, January 2017, p6

³ NSW LRS, Primary Application 29492 (Lot 6)

⁴ NSW LRS, Primary Application 11224; CT Vol 1313 Fol 164

⁵ If not otherwise noted, this and the following is based on Sharp, A., *Pictorial Memories of Manly to Palm Beach*, 1983, p8

frontage which he named 'The Corso' after a street he remembered from Rome and laid out a plan of Manly north of The Corso. This was initially known as Ellensville and later renamed Brighton.⁶ He laid the foundation stone for the first Church of England, St Matthew's in 1858 and gave land for other public buildings and public parks.

The Norfolk pines along the ocean front are said to have been planted by Smith who also established trees on the harbour foreshores and established the concept of planting trees in Manly's streets. He built a public bath house where the Manly Art Gallery would open in 1930, and erected various statues including the famous stone kangaroo (1857) which he considered would attract visitors to the area, and a "Camera Obscura" for the entertainment of day trippers.

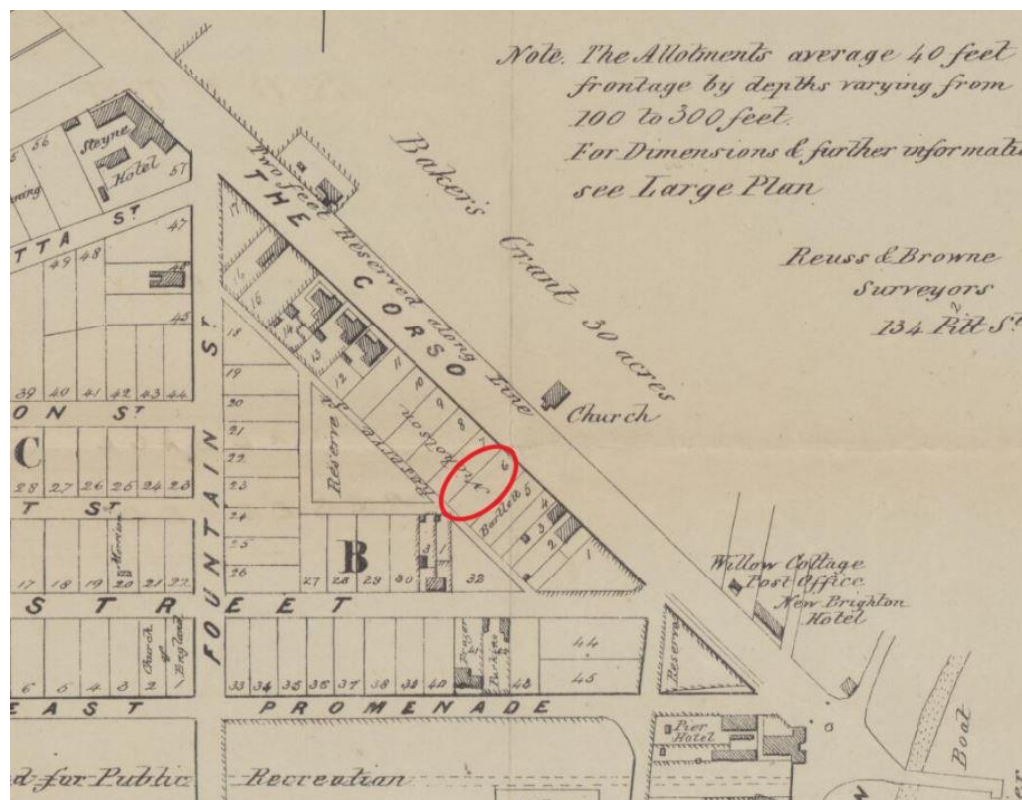


Figure 4 – Detail from Brighton Manly Beach, plan by Reuss & Brown Surveyors, 1855. Approximate location of subject site circled in red. (Source: National Library of Australia, MAP F 642A, nla.obj-229982496)

2.2 19-23 THE CORSO, MANLY

2.2.1 C. J. CARROLL CHEMIST (1896)

19-21 The Corso has contained a chemist since 1896, when C. J. Carroll opened a pharmacy and dentist surgery.⁷ Photographs of these chemist premises were published in the *Australian Town and Country Journal* in 1899 (Figure 5-Figure 6), and a later photograph shows the building in 1911 (Figure 7).

Born in 1869 in Cooma, NSW, Charles James Carroll had qualified as MPS and was head dispenser at R. C. Knaggs & Co. in Newcastle for a number of years.⁸ In 1896 he moved to

⁶ Jack, I., *Pittwater Road Conservation Area, Manly, Final Draft History*, January 2017, p6

⁷ Pandora Archive, 'Peninsula Historian – When Chemists Processed your Snaps', www.mphs.com.au (accessed October 2018)

⁸ Manly Library Local Studies, 'Carroll's chemist, 19-21 Corso'

Manly where he opened his own chemist shop, marrying Elizabeth Ethel Smyth or Smith in Sydney in October that year. The couple had three children, born in 1897, 1901 and 1908.

Carroll was not only a qualified chemist but also a mechanical dentist.⁹ In 1906, he also built 'spacious refreshment rooms at the back of his well-known [American] soda fountain'. He was a prominent member of the Pharmaceutical Society of NSW and was its president in c1910.



Figure 5 – Shopfront of C. J. Carroll's pharmacy and dental surgery at 19-21 The Corso, as depicted in 1899. (Source: *The Queen of Australian Watering Places*, *Australian Town and Country Journal*, 25 February 1899, p34)



Figure 6 – The interior of C. J. Carroll's pharmacy and dental surgery at 19-21 The Corso, as depicted in 1899. (Source: *The Queen of Australian Watering Places*, *Australian Town and Country Journal*, 25 February 1899, p34)

⁹ Manly Library Local Studies, 'Carroll's chemist, 19-21 Corso'

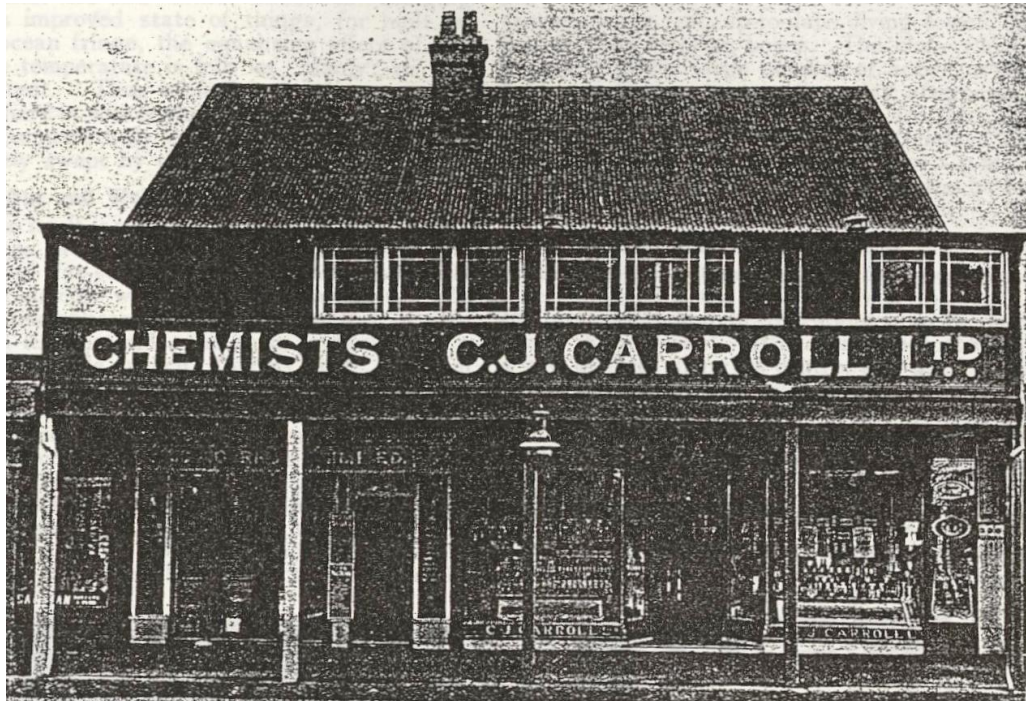


Figure 7 – C. J. Carroll's chemist shop at 19-21 The Corso, as depicted in 1911 as part of an advertisement in 'Australian Country Life'. (Source: Manly Library Local Studies, 'Carroll's chemist, 19-21 Corso')



Mr. C. J. Carroll,
A LEADING RESIDENT OF MANLY.

Figure 8 – C. J. Carroll, depicted in 1899 (Source: *The Queen of Australian Watering Places*, *Australian Town and Country Journal*, 25 February 1899, p34)



Figure 9 – C. J. Carroll's in c1910s. (Source: Manly Library Local Studies, 'Carroll's chemist, 19-21 Corso')

Carroll did not own the building at 19-21 The Corso. After a succession of transfers, the site was purchased by Hannah Martha Malcolm in 1903 and sold to John Thomas Easterbrook in March 1916, for £8,000.¹⁰ Easterbrook, a master pastry cook, subsequently opened his own "refreshment rooms" at 19 The Corso.¹¹ From 1917 to 1920, the adjacent chemist business at 21 The Corso was noted as "Manly Pharmacy Ltd", and Carroll moved elsewhere.¹²

2.2.2 CONSTRUCTION OF EXETER FLATS (1922)

From c1921, Easterbrook developed his property and the existing buildings at 19-21 The Corso were demolished to make way for the new 'Exeter Flats'.¹³ An advertisement in the *Sydney Morning Herald* of 14 October 1922 described the new 'Exeter Flats', as shown in Figure 10 below. The building was being completed at that time.

In 1924, the Sydney Sands Directory contained the following entry for 19-21 The Corso:

19-21 *Fegent, W.G., Ltd., chemists*
 19-21 *Exeter Flats –*
 1st Floor –
 Spence, Miss M., masseuse
 Smith Mrs. E.
 Marshall, L.D.
 2nd Floor –
 Manly Cinematograph Ad. Co.
 Cull Miss A.
 McGuire Miss.
 Staley W.G.
 3rd Floor –
 Hodgin A.C.
 Browne Mrs.

¹⁰ Land at Manly, *The Sun*, 17 March 1916, p6; cf. NSW LRS, Indenture Bk 1205 No 485; Primary Application 29492 (Lot 6)

¹¹ City of Sydney Archives, *Sydney Sands Directory, Manly – The Corso (West)*, 1917-1919

¹² City of Sydney Archives, *Sydney Sands Directory, Manly – The Corso (West)*, 1917-1920; Manly Library Local Studies, 'Carroll's chemist, 19-21 Corso'

¹³ Manly Library Local Studies, 'Corso, [no 19-23] Exeter Flats'

The building still contained a chemist on the ground floor, known as W. G. Fegent's. A new Certificate of Title was issued to Easterbrook for 19-21 The Corso on 5 November 1929, with the lease to chemist William Gray Fegent renewed in November 1933.¹⁴ The site was transferred to Violet Olive Blackwood and Doris Edwina Hawke on 17 September 1935, with new Certificates of Title issued to both.¹⁵



Figure 10 – Description of 'Exeter Flats' published in October 1922, when the building was nearing completion. (Source: Advertising, Sydney Morning Herald, 14 October 1922, p16)



Figure 11 – Late 1930s, photograph showing the 1922 Exeter Flats (misleadingly, a section of the building is duplicated on the right), with the ground floor occupied by chemist W. G. Fegent. (Source: Manly Library Local Studies, 'Corso, [no 19-23] Exeter Flats')

¹⁴ NSW LRS, CT Vol 4346 Fol 7

¹⁵ NSW LRS, CT Vol 4729 Fol 119 (Violet Olive Blackwood); CT Vol 4729 Fol 120 (Doris Edwina Hawke)

Doris Hawke sold her share of 19-21 The Corso to Violet Olive Schofield, née Blackwood, on 29 August 1947.¹⁶ In March 1951, the site was transferred to the Commercial Banking Company, and on 6 December 1957, Carroll's Pty Ltd acquired the property, owning it until 16 July 1964 when it was sold to 21 The Corso Pty Ltd.¹⁷

The adjacent 23 The Corso was later occupied by Norton-Trevaire, a 'great name in photography' (cf. Figure 12). The business, which had another shop in the 'Strand Arcade' in the city, specialised in exclusive wedding portraiture and in reproductions of photographs in oils in various sizes.¹⁸ A photograph dated 1970 shows the building still occupied by Trevaire (Figure 13). In 1976, 23 The Corso was acquired by 21 The Corso Pty Ltd.¹⁹



Figure 12 – Photograph said to be dated c1960s, showing 'Exeter Flats' on left, adjacent to Trevaire's at 23 The Corso. (Source: Manly Library Local Studies, File 009642)

¹⁶ NSW LRS, CT Vol 4729 Fol 120 and Vol 5778 Fol 46

¹⁷ NSW LRS, CT Vol 5778 Fol 46

¹⁸ Advertising, *Catholic Weekly*, 9 May 1946, p17

¹⁹ NSW LRS, CT Vol 13463 Fol 68



Figure 13 – 1970 photograph of the Corso, with 'Exeter Flats' on the far left and Trevaire's still located at 23 The Corso. (Source: Australian National University, Noel Butlin Archives Centre, Tooth's Yellow Cards, 'Plaza Hotel (ex Ivanhoe Hotel to 1978), The Corso, Manly', Card 7 Side 2, N60-YC-533)

2.2.3 SITE CONSOLIDATION AND NEW BUILDING AT 23 THE CORSO (1970s)

With the acquisition of 19-21 The Corso in 1964 and 23 The Corso in 1976, the consolidated site was under the ownership of 21 The Corso Pty Ltd from February 1976 and a new Certificate of Title was issued on 21 October 1977.²⁰ The plan included in the Title Certificate noted a 4-storey brick building at 19-21 The Corso and a brick building at 23 The Corso, with the latter annotated as "being demolished" (Figure 14). This suggests that the existing building at 23 The Corso was constructed after 1977, replacing the earlier building at the property.

In August 1989, the shops at 19-23 Corso were offered for sale at auction.²¹ The ground floor shops of the combined site at 19-23 The Corso subsequently became part of the same occupancy by Soul Pattinson Chemist, with connected surgery.²² The building remained in the one ownership now known as Hilrok Properties Pty Ltd.

A DA was approved for works to 23 The Corso in 2019/20. It is the intention that this portion of the site will be removed from the Strata plan, reinstating 19-21 The Corso on its own site.

²⁰ NSW LRS, CT Vol 13463 Fol 68

²¹ Manly Library Local Studies, 'Corso, [no 19-23] Exeter Flats'

²² Manly Library Local Studies, 'Corso, [no 19-23] Exeter Flats'

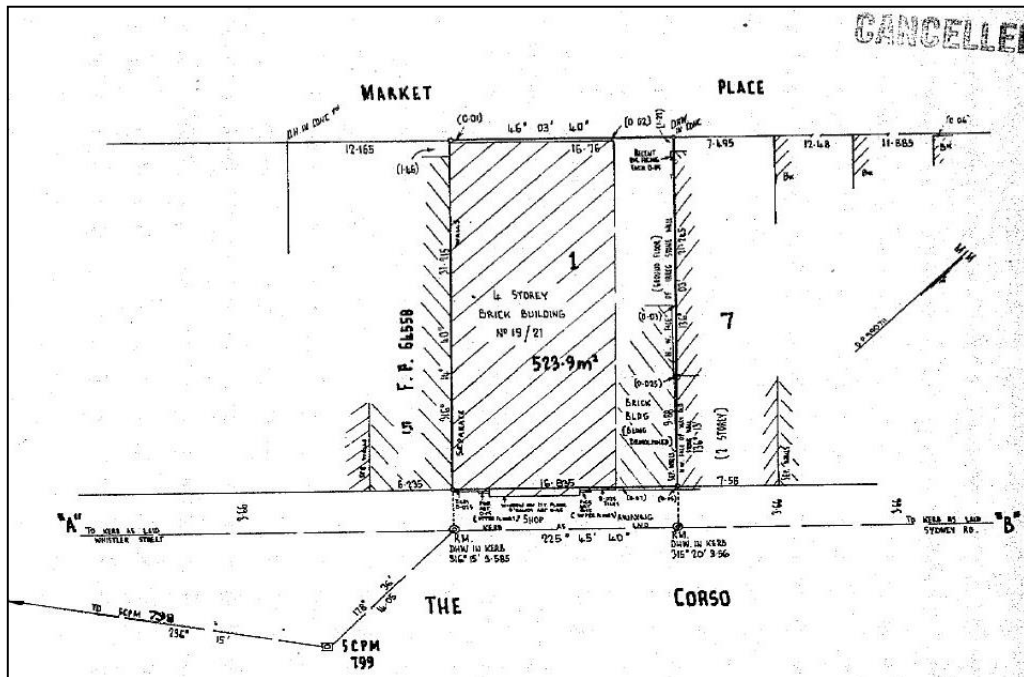


Figure 14 – Plan issued with the new Certificate of Title for the consolidated site, showing the 4-storey brick building at 19-21 The Corso, and a “Brick Building (being demolished)” at 23 The Corso. (Source: NSW LRS, CT Vol 13463 Fol 68)



Figure 15 – 1999, Exeter Flats, with the ground floor occupied by Soul Pattinson Chemist. (Source: Manly Library Local Studies, ‘Corso, [no 19-23] Exeter Flats’)



Figure 16 – 2009, Exeter Flats on the left, with the ca late 1970s building at 23 The Corso visible on the right. (Source: Manly Library Local Studies, 'Corso, [no 19-23] Exeter Flats')

3.0 PHYSICAL EVIDENCE

3.1 SITE CONTEXT

19-21 The Corso is located on the northern side of The Corso at the junction with Darley Road. The Corso is a divided road to the south of 19-21 The Corso and contains part of the heritage item Street Trees, The Corso with garden beds below. To the north of 19-21 The Corso the road forms a pedestrian plaza in which the Street Trees continue the axis towards the beach.

Lining each side of The Corso are 2 -3 storey commercial buildings of varying ages representing the development of The Corso over time. Most of the buildings form part of the heritage item Group of Buildings, All numbers The Corso of which the subject site also forms a part. St Matthew's Church is located at the corner of Darley Road and The Corso diagonally opposite the site. It is set back from the building line of the Corso and Darley Road and set within a paved forecourt. The commercial buildings to the north of the church have recently undergone extensive redevelopment behind the façade.

19-21 The Corso is bounded on its southern boundary by a 2-3 storey building with contemporary façades to The Corso and Market Lane. The northern boundary of 19-21 The Corso is bounded by the 2 storey building at 23 The Corso which is currently on the same land title. The ground floor retail area of 19-21 The Corso extends across into 23 The Corso. The first floor of 23 The Corso is currently accessed from a stairway located in 19-21 The Corso.



Figure 17 - The Corso looking south (Google Earth, 2020)



Figure 18 - The Corso looking north (Google Earth, 2020)



Figure 19 - St Matthew's Church (Google Earth, 2020)

3.2 DESCRIPTION OF THE EXTERIOR

The subject site comprises a rendered four-storey building extending over the entire lot between The Corso and Market Lane. Above street level, the primary façade fronting The Corso is in a modelled Art Deco style consisting of a central projecting bay containing four double hung windows flanked by paired double hung sash windows at either side which originally contained the porch for each apartment. The porches appear to have been progressively enclosed over the life of the building.

The central bay has an entablature above the first-floor windows and a frieze below. The windows at first floor level are each divided into 3 vertical panes per sash whilst the windows above are all single pane double hung sashes. The canopy over the ground floor shop fronts is suspended by steel rods from fixing points centrally located to either side of the central bay and to the outer edges of the façade.

The parapet is topped with restrained ribbon cornice with a cartouche recessed within each pier to either side of the central bay.

The ground floor façade consists of a contemporary aluminium framed shopfront with roller shutter access and contemporary tiles to the masonry façade to either side. Doors to either side of the shopfront access the floors above with the primary entry to the residential units being located on the southwest side.



Figure 20 - General view of the main elevation of 19-21 The Corso, showing the varied architectural character of the north side of The Corso.

The rear façade to Market Lane extends three-storeys at street level with the fourth storey recessed behind the square and unadorned parapet. The façade is planar with regularly placed double and single aluminium framed double hung sash windows at the first and second floor and a central door flanked by windows at the ground floor.



Figure 21 - North (rear) elevation of 19-21 The Corso, Manly.

The side elevations extend to the boundary at each street frontage and step back through the central portion of the site to accommodate a narrow light well to either side above the first floor. These elevations are also rendered and contain timber framed double hung sash windows and half-glazed timber doors. The light wells are also punctuated by a later reinforced concrete fire escape stair with walls constructed in painted face brick. The stairs extend to steel framed porches which access apartments at the front and rear of the complex.

All facades and windows are generally in a poor state of repair. There is evidence of corrosion in concealed lintels above the windows causing significant cracking to the rendered facades.



Figure 22: The Corso elevation above ground floor level.



Figure 23: Detail of entablature over the first floor central bay and detailing below window sills at each level



Figure 24: Fourth storey from Market Lane looking through lightwell towards The Corso. The rear of the fourth-storey is set back from Market Lane and contains shared laundry facilities.



Figure 25: View across lightwell on north-east side of the building.

3.3 DESCRIPTION OF THE INTERIOR

The Corso frontage contains a large open retail space. A door to the rear leads to a narrow corridor which extends through to Market Lane. The retail space extends into 23 The Corso through a hole in the dividing wall.

To the south of the retail area a long narrow passage provides access to a central stairway leading to the 10 residential units above. The corridor continues through to the rear of the building to Market Lane. The rear of the building contains office spaces and amenities.

The central stair has a simple profiled handrail and a timber fretwork balustrade. The fretwork has been covered by hardboard panelling at the lower level. The narrow landings provide access to four units at level 1 and 2 and to 2 units at level 3. The level 3 landing also provides access to a communal rooftop with shared laundry facilities.



Figure 26: First floor landing facing south apartments.

Two-bedroom units are located to The Corso frontage to the south and one-bedroom units are located to Market Lane to the north.

The two-bedroom units have an internal corridor off which are located the kitchen, bathroom and one bedroom. It opens into a lounge room at the centre of the unit which is provided with a narrow double-hung sash window overlooking the lightwell. A large bedroom and the porch/ study area are accessed from the lounge and overlook The Corso.

The one-bedroom units have a short internal corridor which connects directly into the kitchen, bathroom and lounge in three directions. The bedroom and porch/study are located north of the narrow lounge room and overlook Market Lane.

The units generally have little decorative detailing with plain ceilings, coved cornices and simple splayed skirtings and architraves. Remnant original detailing can be found in varying degrees and locations in a number of units and includes doors with three vertical panels, moulded skirtings and architraves (Figure 27), and original porch partitions (Figure 28).

The units are generally in poor condition with evidence of water ingress in the upper units. Bathrooms and kitchens are in a very poor condition.



Figure 27: First floor south unit with original door detailing. Note splayed skirting on left side of the photograph.



Figure 28: Second floor north unit with early but modified door detailing of the former porch entry.



Figure 29: View of typical bathroom

3.4 ARCHAEOLOGICAL POTENTIAL

There are no basement levels associated with the building on the site, however plans held by Sydney Water indicate a sewer easement is located below 19-21 The Corso. This is the main sewer line leading to the Northern Suburbs Ocean Outfall Sewer.

3.5 VIEWS

The principal views to the subject buildings are to its main façade (south-eastern elevation) as part of a group of buildings forming the built edge of The Corso. Both side elevations abut two-three storey commercial buildings such that the upper level of 19-21 The Corso is partially visible from street level.

The rear (north) elevation is located directly opposite a multi-level Council carpark. Transverse views of the façade are available from Market Lane and full views are available from the carpark.

As one of the tallest buildings constructed in The Corso, the upper floor offers views across the rooftops of the surrounding Town Centre precinct.



Figure 30 - View of 19-21 The Corso, looking westwards.



Figure 31 - View of 19-21 from the corner of Market Lane and Whistler Street.



Figure 32 - View from the top floor terrace looking eastwards.



Figure 33 - View from top floor of carpark looking over 19-21 The Corso to the south.

- 1) *The Corso is a most impressive formal street with a central avenue planting of mature Phoenix Palms and Moreton Bay figs. It has its own unique streetscape shaped by an uncommon grouping of fine late 19th Century to early 20th century buildings. Despite varying levels of intactness and some less aesthetic and sympathetic development, the group as a collective whole contributes to the historic streetscape. The overall character is created by a wide vista defined on either side by pleasantly low scaled and detailed buildings; vertical emphasis of the plantings; monuments; pedestrian arcades; shop awnings; and framed views of the sea. The Corso has additional social significance generated by a strong collective community experience and memory of it as a visitor destination, linked to Manly's historical function as a resort.*
- 2) *The nature of The Corso as an important public pedestrian space means it is invariably experienced in 'serial vision' from eye-height level as one walks through the street. This experience reveals particular important attributes: an overall change in building scale from higher to lower as one moves from Manly Cove to the Ocean Beach; the particular scale and character generated by the ability to read the parapet details of the street façades (or, in some cases the related roof form) as silhouetted against the sky and background trees rather than against other buildings; and then, looking closer, building facades that are restrained but finely-detailed.*
- 3) *St Matthew's Church, located on the intersection of Darley Road with its tower as a focal point, together with the oblique intersection of Sydney Road are important interruptions to the linear form of The Corso.*
At each end The Corso is open and merges into spaces with good outward views. The gradual visual progression from Manly Cove to the Ocean Beach with the surf revealed behind a screen of Norfolk Pines is the essence of Manly's unique quality.

4.3 SIGNIFICANCE OF THE MANLY TOWN CENTRE CONSERVATION AREA

The subject site is located within the Manly Town Centre Conservation Area, which is identified as Heritage Conservation Area in Schedule 5 attached to the *Manly Local Environmental Plan 2013*.

The Statement of Significance contained in the *Manly Development Control Plan 2013, Amendment 11 – last amended 28 August 2017* for the Manly Town Centre Conservation Area is accepted as the basis of this assessment of potential heritage impacts. It states:

The Manly Town Centre Conservation Area is of local heritage significance as a reflection of the early development of Manly as a peripheral harbor and beachside village in the fledgling colony of New South Wales. This significance is enhanced by its role as a day-trip and holiday destination during those early years, continuing up to the present time, and its association with HG Smith, the original designer and developer of the Manly Town Centre Conservation Area as it is today. The physical elements of the Manly Town Centre Conservation Area reflect this early development and its continued use for recreational purposes, most notably the intact promenade quality of The Corso and its turn of the century streetscape, as well as key built elements such as hotels, and remaining original commercial and small scale residential buildings.

The beautiful natural setting of the Manly Town Centre Conservation Area has provided a solid foundation for its picturesque qualities. The cultural landscape, including plantings, monuments and open spaces, reflects the continued enhancement of the Manly Town Centre Conservation Area over time, in order to attract and sustain visitors to the area, which in turn has provided great support to the local economy. The many historic vistas which remain to this day enhance the visitor experience in the Manly Town

Centre Conservation Area and assist with providing an interpretation of the Manly Town Centre Conservation Area as it has changed over time.

The Manly Town Centre Conservation Area maintains a high level of social significance, as a popular destination for local, national and international tourists, as well as through its encapsulation of the Australian beach culture.

4.4 HERITAGE ITEMS IN THE VICINITY

The subject site is located in close proximity to the following heritage items listed in Schedule 5 attached to *Manly LEP 2013*:

- Street Trees, The Corso (from Whistler Street to Sydney Road) (I104)
Part of earliest planting on The Corso c.1850's by H.G. Smith. Historic and aesthetic importance to the streetscape. (NSW State Heritage Inventory, Database number 2020424)
- Group of Commercial Buildings, 46-64 The Corso (I109)
Two, two-storey terrace commercial buildings. Modern architectural significance in scale and style; major significance in contribution of additional horizontal emphasis to streetscape of The Corso. (NSW State Heritage Inventory Database number 2020496)
- St Matthews Church and Church Hall, 44 The Corso (Cnr Darley Road) (I113)
The church is a consistently detailed but sombre example of Interwar Gothic style. The interior detailing and fittings are of a high quality of design, exhibiting a contrasting lightness to the exterior. As this building is seen in the round, the spatial effect on the north eastern side is of significance and it makes an important landmark and identifies the junction of the Corso with Darley Road. It makes a major contribution to the Corso. (NSW State Heritage Inventory Database number 2020028)

4.5 ARCHAEOLOGICAL POTENTIAL

There are no archaeological sites in the vicinity of 19-21 The Corso listed in Schedule 5 of *Manly Local Environment Plan 2013*.

5.0 THE PROPOSAL

The proposed development, designed by NBR Architecture, includes the following:

- Exterior conservation works to The Corso frontage and side elevations
- Modifications to Market Lane elevation
- Re-roofing to top floor and replacement of damp proof membrane and gravel to the open terrace to resolve failed waterproofing
- Upgrade of the residential entrance from The Corso through to the central stair
- Provision of dedicated waste storage for residential and retail on ground floor
- Provision of accessible toilet on ground floor
- Conservation works to central stair and landings and to original fabric within units
- New kitchen joinery and bathroom fit-out within units
- General paint and new floor coverings throughout

Note: Retail area is subject to separate DA by new tenant

The aim of the proposal is to improve building amenity and condition.

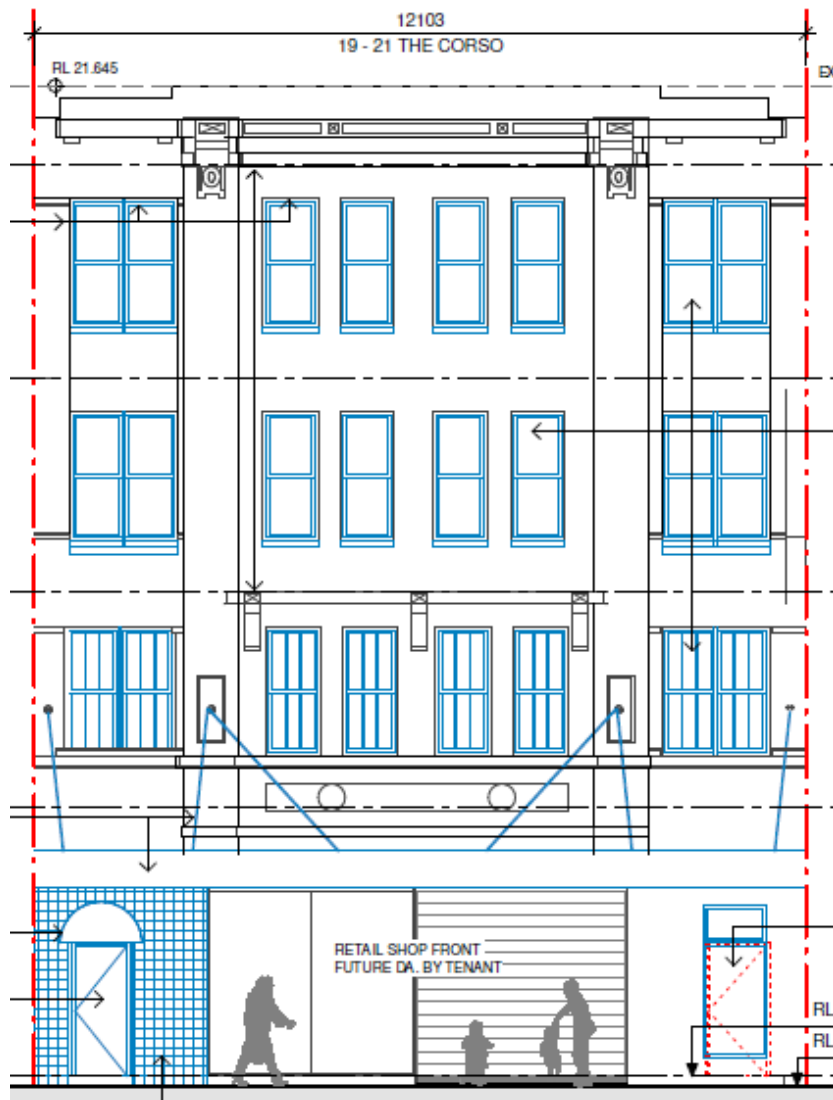


Figure 35: Proposed Elevation to The Corso. (Source: NBR Architecture)



Figure 36: Proposed Market Lane Elevation. (Source: NBRArchitecture)

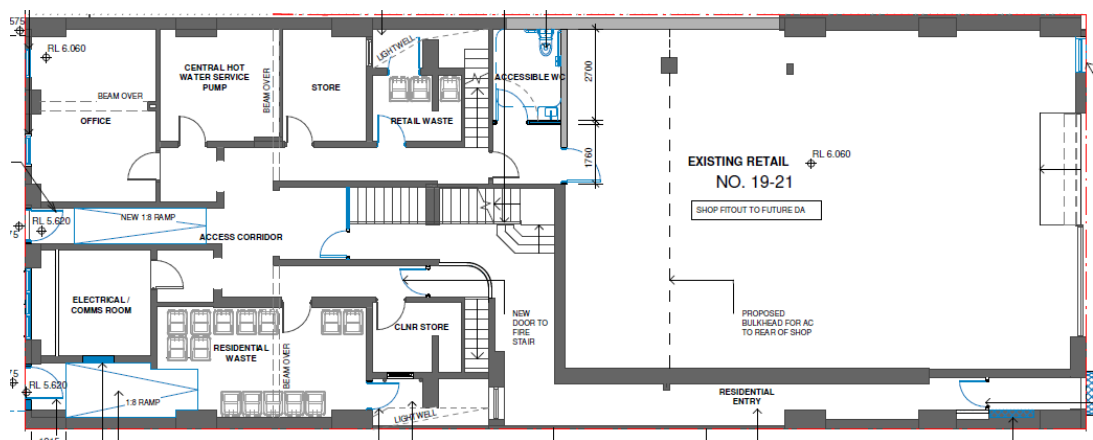


Figure 37: Proposed ground floor plan. (Source: NBRArchitecture)

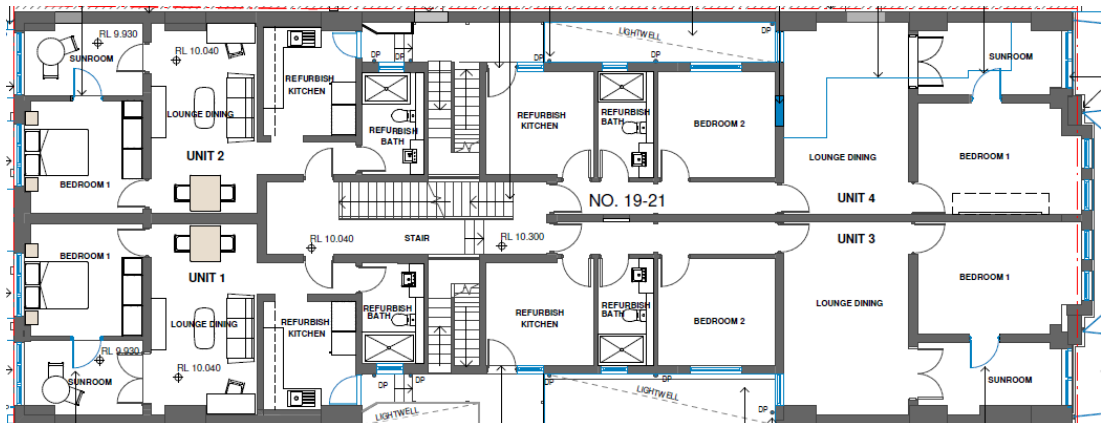


Figure 38: Proposed first floor plan. (Source: NBRSArchitecture)

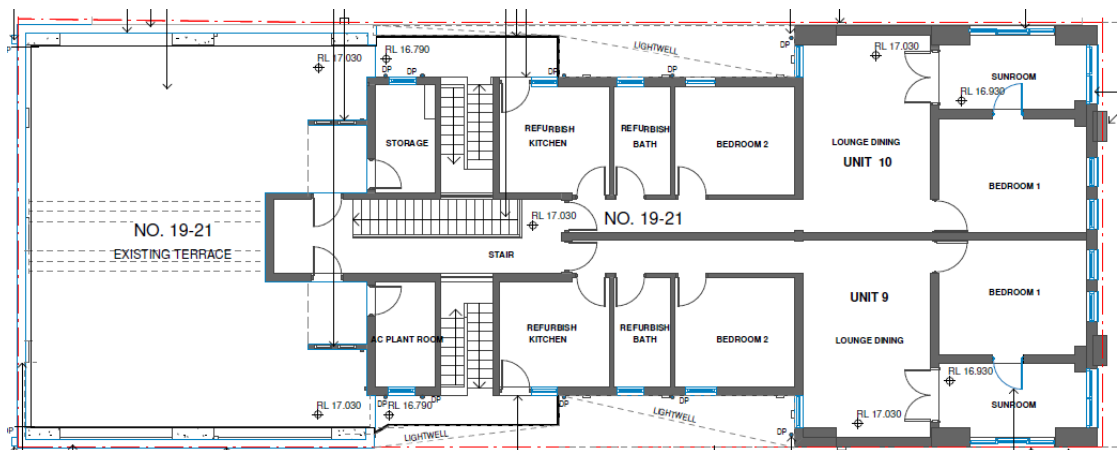


Figure 39: Proposed third floor plan. (Source: NBRSArchitecture)

5.1 DOCUMENTATION EVALUATED

The following drawings, prepared by NBRSArchitecture, were reviewed as part of the preparation of this report:

DRAWING NO.	DRAWING TILE	ISSUE	DATE
DA 000	Cover Page		10.12.2020
DA 001	Site Analysis and Roof Plan		10.12.2020
DA 100	Ground Floor Plan - Existing and Demolition		10.12.2020
DA 110	First Floor Plan - Existing and Demolition		10.12.2020
DA 120	Second Floor Plan - Existing and Demolition		10.12.2020
DA 120	Third Floor Plan - Existing and Demolition		10.12.2020
DA 200	Proposed Ground Floor Plan		10.12.2020
DA 210	Proposed First Floor Plan		10.12.2020
DA 220	Proposed Second Floor Plan		10.12.2020
DA 230	Proposed Third Floor Plan		10.12.2020
DA 300	The Corso Elevation		10.12.2020
DA 310	Market Elevation		10.12.2020
DA 320	East Elevation		10.12.2020
DA330	West Elevation		10.12.2020
DA 400	Long Section Lightwell A		10.12.2020
DA 410	Long Section Lightwell B		10.12.2020
DA 400	Cross Section Lightwell A		10.12.2020
DA 410	Cross Section Lightwell B		10.12.2020

DRAWING NO.	DRAWING TITLE	ISSUE	DATE
DA 500	Schedule of Colours and Materials		10.12.2020
DA 510	Construction Waste Management Plan		10.12.2020
DA 511	Proposed Waste Management Site Plan		10.12.2020
DA 512	Heritage Conservation		10.12.2020
DA 513	Heritage Interior Scope		10.12.2020

6.0 ASSESSMENT OF HERITAGE IMPACT

6.1 INTRODUCTION

This Heritage Impact Statement has been prepared in relation to the following impact assessment criteria: the *Manly Local Environmental Plan (LEP) 2013*, the *Manly Development Control Plan (DCP) 2013* and the New South Wales Heritage Office (now NSW Heritage Division) guidelines, *Altering Heritage Assets* and *Statements of Heritage Impact*, contained within the NSW Heritage Manual.

6.2 OVERVIEW OF POTENTIAL HERITAGE IMPACTS

PROPOSED WORKS	HERITAGE IMPACT
<p>External conservation works to The Corso elevation including:</p> <ul style="list-style-type: none"> • repair and reconstruction of awning in line with the original character of the building • lintel replacement and render repairs • replacement of timber windows with timber framed double glazed sash windows to match existing detail 	<ul style="list-style-type: none"> • Positive heritage impact <p>The retention and conservation of the existing façade components enables the building to continue to contribute to the established character of the heritage item and conservation area</p> <p>The retention of the facades supports an understanding of the wider group of commercial buildings in the streetscape.</p> <p>Replacement of timber windows with double glazed windows improves the amenity of the apartments leading to longer term tenancies building a greater sense of community.</p>
<p>Modification to The Corso elevation including:</p> <ul style="list-style-type: none"> • Removal of door to eastern side of ground floor and replacement with glazed shopfront to match existing 	<ul style="list-style-type: none"> • Acceptable heritage impact <p>The retail area will be subject to a separate Development Application by a new tenant.</p> <p>The intent of this application is ensure the building is presentable and secure at ground level until it is developed to meet the requirements of the new tenant.</p>
<p>External Conservation to side elevations including:</p> <ul style="list-style-type: none"> • lintel replacement and render repairs • replacement of timber frame sash windows with aluminium sash windows similar to existing • replacement of doors with aluminium framed doors similar to the existing • removal of surface mounted services from elevation 	<ul style="list-style-type: none"> • Acceptable heritage impact <p>The windows will be replaced with aluminium frames as the side elevations are very difficult to access for maintenance. All windows will be double glazed to reduce noise to apartments from surrounding town centre activities</p> <p>It is the intention that all services will be routed internally and will be removed from the external facades.</p>

PROPOSED WORKS	HERITAGE IMPACT
<p>External conservation and adaptation of Market Lane elevation including:</p> <ul style="list-style-type: none"> • modification to window and door openings to improve activation and amenity to street frontage and apartments • lintel replacement and render repairs • new awning over street 	<ul style="list-style-type: none"> • Acceptable heritage impact <p>The Market Lane elevation is purely functional and not designed with any intent to increase general amenity to Market Lane.</p> <p>The proposed modifications increase the amenity of the existing office and the apartments and also increase pedestrian amenity at street level.</p>
<p>Internal conservation work including:</p> <ul style="list-style-type: none"> • Retention and conservation of original skirting, architraves and doors where extant • Retention of original planning and room layout in apartments and circulation spaces • Significant retention of ground floor room layout with minor change of function to provide dedicated waste storage to the building • Removal of cladding to stair balustrade and conservation of original fretwork balustrade detail • Removal of coved cornice and replacement with stepped cornice similar to original detail 	<ul style="list-style-type: none"> • Positive heritage impact <p>The retention and conservation of original features retains of authenticity and integrity of the place. It enables the interior to contribute to the established character of the heritage item as part of Group of Buildings, All Numbers, The Corso.</p>
<p>New accessible toilet to ground floor; conversion of offices to waste and services rooms; conversion of amenities to waste room and cleaners store including:</p> <ul style="list-style-type: none"> • New accessible toilet to rear of retail area also providing toilet facility for existing ground floor office • Change of existing internal office areas to hydraulic services and residential waste rooms • Change of amenities to retail waste and Cleaner's Store • Change of rear steps to ramp as required by Council Waste services 	<ul style="list-style-type: none"> • Acceptable heritage impact <p>The room layout of the rear ground floor is essentially retained despite the need to change the use of the rooms to meet current servicing requirements and standards.</p>
<p>Internal bathroom and kitchen refurbishment to units</p>	<ul style="list-style-type: none"> • Acceptable heritage impact <p>The bathrooms and kitchens will have new internal fit out to provide contemporary level of amenity. The fit out does not propose any change to the layout of the units and works</p>

PROPOSED WORKS	HERITAGE IMPACT
	within the existing kitchen and bathroom envelope. There is no loss of original detail.
Roof sheeting and waterproofing replacement	<ul style="list-style-type: none"> Acceptable heritage impact <p>The roof sheet will be replaced in a profile to match existing but in a more durable contemporary colorbond material.</p> <p>The waterproof membrane and gravel to the roof terrace will be replaced to resolve water ingress into the units below.</p>

6.3 EVALUATION OF THE GUIDELINES OF THE NSW HERITAGE DIVISION

The following assessment is based on the assessment criteria set out in the NSW Heritage Office (now Heritage Division) publication 'Statements of Heritage Impact', contained within the NSW Heritage Manual. The standard format has been adapted to suit the circumstances of this application.

The following aspects of the proposal respect or enhance the heritage significance of the item or conservation area for the following reasons:

The proposal respects the heritage significance of 19-21 The Corso as part of the heritage item Group of Commercial Buildings, All Numbers, The Corso (I106) and maintains its important contribution to the significance of the Town Centre Conservation Area and heritage items in the vicinity.

6.3.1 MINOR PARTIAL DEMOLITION (INCLUDING INTERNAL ELEMENTS)

Criteria	Response
<i>Is the demolition essential for the heritage item to function?</i>	Minor partial demolition is required to remove later accretions and to adapt the building to meet current amenity and provision of services
<i>Are important features of the item affected by the demolition (eg fireplaces in buildings)?</i>	There are no important features affected by the proposed demolition
<i>Is the resolution to partially demolish sympathetic to the heritage significance of the item (eg creating large square openings in internal walls rather than removing the wall altogether)?</i>	The proposed partial demolition is sympathetic to the heritage significance of the building. No large areas of wall are being removed.
<i>If the partial demolition is a result of the condition of the fabric, is it certain that the fabric cannot be repaired?</i>	The partial demolition involving window removal is not only a result of extensive decay of windows but corrosion of steel lintels above openings. New masonry lintels with stainless steel reinforcement will be installed which will be more resistant to salt attack and enable the building to be more resistant to decline in the future. New timber framed double hung sash windows to the primary façade will also be double glazed to improve the thermal and

acoustic performance of the units. Detailing will match the existing windows

6.3.2 MINOR ADDITIONS/ALTERATIONS

Criteria	Response
<i>How is the impact of the addition on the heritage significance of the item to be minimised?</i>	The awning and sunshades to the Market Lane elevation have minimal heritage impact due to their location on the rear elevation of the building. It is not visible from the decorated Art Deco façade on The Corso frontage or from the primary elevations of heritage items in the vicinity.
<i>Can the additional area be located within an existing structure? If not, why not?</i>	The awning provides shelter over the footpath and the sunshades over the window. These alterations cannot be located within an existing structure.
<i>Will the additions visually dominate the heritage item?</i>	The alterations are located on the rear façade and do not dominate the heritage item.
<i>Is the addition sited on any known, or potentially significant archaeological deposits? If so, have alternative positions for the additions been considered?</i>	The alterations are not sited on any known archaeological deposits and are located on the building façade.
<i>Are the additions sympathetic to the heritage item? In what way (eg form, proportions, design)?</i>	The alterations are sympathetic to the heritage item as they use a traditional building typology applied in a contemporary manner.

6.3.3 REPAINTING

Criteria	Response
<i>Have previous (including original) colour schemes been investigated? Are previous schemes being reinstated?</i>	Previous colour schemes will be examined once safe scaffold access can be provided to the building during the works. If conclusive evidence of original colour scheme cannot be found a suitable period colour scheme is proposed in the DA package.
<i>Will the repainting affect the conservation of the fabric of the heritage item?</i>	The repainting will protect the heritage item and ensure its retention and appreciation.

6.3.4 RE-ROOFING/RE-CLADDING

Criteria	Response
<i>Have previous (including original) roofing/cladding materials been investigated (through archival and physical research)?</i>	There is no archival evidence of previous roof coverings.
<i>Is a previous material being reinstated?</i>	It is intended that the existing corrugated metal roofing profile will be reinstated.

<i>Will the re-cladding affect the conservation of the fabric of the heritage item?</i>	The roof replacement and replacement of the waterproof membrane will stop water ingress from the roof into the units below.
<i>Are all details in keeping with the heritage profiles of the item (eg guttering, cladding profiles)?</i>	All existing detail will be reproduced.
<i>Has the advice of a heritage consultant or skilled tradesperson (eg slate roofer been sought)?</i>	New materials will be in Colourbond Ultra or Colorbond Stainless to withstand the coastal environment.

6.3.5 NEW SERVICES

Criteria	Response
<i>How has the impact of the new services on the heritage significance of the item been minimised?</i>	Existing and new services will be routed through the interior of the building in vertical shafts to limit the impact of penetrations through walls and externally mounted services on the building.
<i>Are any of the existing services of heritage significance? In what way? Are they affected by the new work?</i>	The existing services are not of heritage significance. Existing surface mounted services on the side elevations will be removed.
<i>Has the advice of a conservation consultant (eg architect) been sought? Has the consultant's advice been implemented?</i>	A heritage architect has provided advice throughout the project.
<i>Are any known or potential archaeological deposits (underground and under foot) affected by the proposed new services?</i>	There are no known archaeological deposits on or within the site that will be affected by proposed new services.

6.4 HERITAGE OBJECTIVES OF THE MANLY LEP 2013

The proposed development is considered to be acceptable, from a heritage perspective, for the following reasons:

- Retains and conserves a building which forms part of a heritage item;
- Contributes to the conservation of the environmental heritage of Manly by conserving a portion of Commercial Buildings - All numbers The Corso and the Manly Town Centre Conservation Area.
- Achieves no adverse impact on the established heritage significance of Commercial Buildings – All numbers The Corso, Manly Town Centre Conservation Area or other heritage items in the vicinity.
- The development will improve an appreciation of the Commercial Buildings – All numbers The Corso from the public domain and contribute to an appreciation of the Manly Town Centre Conservation Area and other heritage items in the vicinity through the conservation and refurbishment of the building facades.

The proposal is, therefore, considered to be consistent with the relevant heritage objectives

of the *Manly LEP 2013*, which are:

5.10 Heritage conservation

(1) Objectives

The objectives of this clause are as follows:

- (a) to conserve the environmental heritage of Manly,*
- (b) to conserve the heritage significance of heritage items and heritage conservation areas, including associated fabric, settings and views,*

6.5 HERITAGE GUIDELINES OF THE *MANLY DCP 2013*

The *Manly DCP 2013* supports the *Manly LEP 2013* by providing additional objectives and development standards for properties which are heritage items, in the vicinity of Heritage items and are located in Heritage Conservation Areas. It also provides development controls for Manly Town Centre Conservation Area including development on The Corso.

6.5.1 GENERAL HERITAGE PROVISIONS

The proposed development is generally consistent with the objectives of the *Manly DCP 2013* that relate to heritage and are set out in the following DCP Section:

3.0 General Principles

3.2 Heritage

Objective 1) To retain and conserve environmental heritage and cultural significance of Manly including:

- significant fabric, setting, relics and view associated with heritage items and conservation areas;*
- the foreshore, including its setting and associated views; and*
- potential archaeological sites, places of Aboriginal significance and places of natural significance.*

Objective 2) To ensure any modification to heritage items, potential heritage items or buildings within conservation areas is of an appropriate design that does not adversely impact on the significance of the item or the locality.

Objective 3) To ensure that development in the vicinity of heritage items, potential heritage item and/ or conservation areas, is of an appropriate form and design so as not to detract from the significance of those items.

Objective 4) To provide infrastructure that is visually compatible with surrounding character and locality/visual context with particular regard to heritage buildings/areas and cultural icons.

Objective 5) To integrate heritage management and conservation into the planning development process including incentives for good heritage management, adaptive reuse, sustainability and innovative approaches to heritage conservation.

Comment:

The proposal ensures the retention and conservation of the environmental heritage and cultural significance of Manly through the retention of significant fabric, setting and views associated with the heritage item and conservation area. The proposal does not detract from or adversely affect heritage items in the vicinity or the conservation area. A heritage architect has advised on all aspects of the proposal.

6.5.2 ALTERATIONS OR ADDITIONS TO HERITAGE ITEMS OR CONSERVATION AREAS

The proposed development is generally consistent with the requirements of the *Manly DCP*

2013 that relate to alterations or additions to heritage items or conservations areas as set out in the following DCP Sections:

3.2 Heritage Considerations

3.2.2 Alterations or Additions to Heritage Items or Conservation Areas

3.2.2.1 Complementary Form and Scale that Distinguishes Heritage Significance

a) Alterations or additions to heritage items or buildings within a conservation area will not necessarily seek to replicate, overwhelm, dominate or challenge heritage details or character of the building or structure of heritage significant buildings. However, a contemporary response which complements and respects the form and scale of the original buildings may be considered if the heritage significance is retained.

b) Consideration should be given to whether making a house bigger will ruin its appearance. Additions to small houses can easily overwhelm them and use up garden space needed for private open space and impact the setting and pattern of development in the locality. Modest additions work best and can be organised as wings or pavilions to the existing house. All additions must be at the back of the house, not at the front.

Comment:

The alterations will not dominate the heritage details or character of the building, the heritage item or the conservation area. The alterations are a traditional response using a mix of traditional or contemporary materials which respects the form and scale of the original building and retain its contribution to the heritage significance of the heritage item, the conservation area and heritage items in the vicinity. The alterations are minor and do not impact upon the setting or the pattern of development of the locality. The alterations are to the rear of the development and not visible from the primary façade.

3.2.2.2 Retaining Significant Features and Landscape Setting

Note: Significant features in relation to this paragraph include roofs, detailing, brickwork, colours and original windows (size, proportion and type).

Alterations or additions to heritage items or buildings within a conservation area must:

a) retain original and traditional roof form, roof pitch with any alterations to the roofs to be sympathetic to the style of the heritage item or building within a conservation area;

b) retain original architectural detailing such as barge board, finial trim, window awnings and front verandas. New detailing must be complementary to the character of the item or place;

c) retain original wall treatments and original cladding (including slate). Modifications to face brick dwellings must use the original style of bricks, window heads, mortar joints and other building details;

d) not render or paint original face brickwork. In particular face brickwork where already so treated should be restored, where practical, to its original un-painted state;

e) where surfaces are not originally face brickwork:

i) any appropriate use of cement render is complementary to and consistent with the heritage architectural style and colour schemes and repainting must be articulated in the same manner as the original colour rendering of the building;

ii) external colour schemes are to be in keeping with the original character of the heritage building based where possible on physical or documentary evidence in keeping with the architectural style and period of the building;

iii) contemporary colours are not discouraged, but should be combined in a complementary way; and

iv) single colour solutions are not permitted;

f) avoid removal of original fabric in order to retain the integrity of the heritage item or conservation area; Note: Given that the loss of any heritage item would likely reduce overall

heritage values in Manly, the Council is unlikely to approve demolition unless the place is incapable of reasonable reuse or where it would not be technically feasible to make it useable. The Council is equally unlikely to approve demolition of a structure for the sole reason that it is in poor condition due to deferred maintenance or neglect.

g) ensure that any new windows are to be inserted into the existing fabric of a heritage building and be of a size, proportion and type of window that is compatible with the building's architectural style/period as shown in Figure 7; and

h) retain and maintain contributory landscape settings for heritage items and ensure new landscaping is sympathetic to the heritage significance of the item or place.

Comment:

Original detailing of the front façade above the awning is retained and it is proposed that original awning detailing be reinstated where sufficient evidence exists. Painted cement render is repaired, and original colour schemes reinstated where sufficient physical evidence can be located. If original the original colour palette cannot be conclusively located, a colour scheme has been proposed in the Development Application reflecting a proposed colour scheme suitable to the 1920s Art Deco styled building.

The existing roof form and profile will retained and it will be reclad in Colorbond Ultra or Stainless Steel to resist the corrosive coastal environment.

Window detailing will match existing. Where extant, internal joinery detailing will be retained and conserved.

6.5.3 EXCEPTIONS TO PARKING REQUIREMENTS AND FSR DEVELOPMENT STANDARDS FOR HERITAGE DEVELOPMENTS

The proposed development seeks exceptions to the Parking Requirements and Floor Space Ratio development standards included in the *Manly DCP 2013* regarding heritage developments as set out in the following DCP Sections:

3.2 Heritage Considerations

3.2.5 Exceptions to Parking Requirements and FSR Development Standards for Heritage Developments

3.2.5.1 Exceptions to Parking Requirements

See also paragraph 4.1.6 & paragraph 4.2.4 regarding development controls for parking and access.

- a) Council may consider exceptions to providing the required onsite car parking for:
- i) alterations and additions to a heritage item or a dwelling in a conservation area listed in Schedule 5 of the LEP, if the car parking adversely impacts on the item; or
 - ii) any other development of a listed heritage item in circumstances where Council is satisfied that the conservation of the item depends on Council allowing an exception to the parking requirement.

3.2.5.2. Exceptions to FSR Development Standards

Note: FSR is a development standard in the LEP clause 4.4. See also paragraph 4.1.3 FSR in this plan.

Under LEP clause 4.6, Council may consider exceptions to the maximum FSR where 'compliance with the standard is unreasonable or unnecessary in the circumstances of the case' and where 'there is sufficient environment planning grounds' to justify contravening the development standard' See LEP clause 4.6(3).

a) Council may consider an exception to FSR under the LEP in relation to determining a DA for consent to erect a building on land upon which there is a building which is an item of the environmental heritage where the conservation of the item depends on allowing the exception and the development does not adversely impact on the significance of the heritage item.

In this regard, when calculating the floor space of the development, Council may consider excluding the floor space of the item of the environmental heritage when considering an exception to the LEP standard. However such an exception will only be considered if Council is satisfied that the conservation of the item depends on Council allowing an exception to the FSR Development Standard in the LEP.

Comment:

The development involves considerable conservation works including retention, repair and reconstruction of historic fabric and detailing to the exterior and interior.

There is no existing parking on this site, nor has it been provided historically. The provision of parking is not possible within the heritage constraints of the building.

There is no change to the existing FSR.

For further discussion regarding the exceptions refer to the Statement of Environmental Effects.

6.5.4 SPECIAL CHARACTER AREAS

The subject property is located within a Special Character Area for which *Manly DCP 2013* contains the following objectives:

5.1 Manly Town Centre and The Corso

5.1.1 General Character

a) *Manly Town Centre has a cohesive character resulting from a generally low scale of development on its principle streets. Construction to the property boundaries, slightly higher and distinctive corner buildings and a good level of pedestrian protection and amenity generated by footpath awnings and through-block arcades has produced strongly defined and comfortable urban spaces. These spaces range from the tight enclosure of the arcades through to the openness of the Ocean Beach promenade and the Esplanade. Developments which contradict these features have not been sufficient to remove this character.*

b) *This unified form of development still allows a diverse range of architectural styles. Further, civic buildings such as the Council Chambers and St. Matthews Church have not been overwhelmed by taller and larger scaled modern development and still therefore retain their visual importance. The Town Centre has been identified as a Conservation Area for these reasons.*

c) *The Town Centre Urban Design Guidelines provide more detailed analysis of Manly Town Centre from an urban design point of view and provides more detailed guidelines for certain precincts and areas within the Town Centre. These precincts include:*

- i) Harbour/ Ocean Grid (including The Corso, Rialto Lane, Wentworth Street, Victoria Street, Ashburner Street & Darley Road);*
- ii) Mainland Grid (including Sydney Road, Belgrave Street, Raglan Street, Whistler Street, North Short Street & Central Avenue);*
- iii) Whistler Street Triangle (Whistler Street (south) Market Lane);*
- iv) Oceanfront (North + South Steyne);*
- v) Manly Cove (East + West Esplanade); vi) Gilbert Park Precinct (Gilbert Street); and*
- vii) Pittwater Road Precinct.*

Comment:

Although the existing building at 19-21 The Corso is taller than many buildings in The Corso, it is an integral part of the cohesive low-scale development of Manly Town Centre. The proposal seeks to retain and conserve the primary façade and footpath awning to The Corso and the side elevations at the upper levels. It does not propose an increase in development height. To retains and improves existing pedestrian amenity through retention and conservation of the footpath awning and retention of the shopfront facing The Corso. It improves pedestrian amenity to Market Lane through the provision of a footpath awning and through substantial improvements to the appearance of the Market Lane elevation.

Manly Town Centre Urban Design Guidelines 2002, Section 2.1 provides general urban design guidelines and Section 3.1.1 provides precinct and area guidelines for The Corso area as part of the Harbour/Ocean Grid Precinct.

In regard to the General Urban Design Guidelines, the proposal satisfies the general requirements of section 2.1.3 Conservation Areas and Heritage Buildings in the following ways:

- the proposed minor alterations respect the overall heritage context of their setting
- the shop front is retained to the property line at The Corso
- the awning to The Corso is retained and conserved
- a new awning is proposed to Market Lane
- Juliette balconies are provided to 2 units fronting Market Lane
- Sunshade devices have been included to upper storey window to the Market Lane façade
- All windows are openable to maximise natural ventilation
- New services are reticulated within the building removing all unsightly exposed services from the exterior walls.
- A heritage colour scheme is proposed for the external façade should onsite investigations not reveal sufficient evidence of the original colour scheme.
- The heritage façade will be retained.

The proposal retains activation of the street front façade to The Corso. It has not been possible to activate 75% of the Market Lane facade due to the narrow frontage and the inability to make large structural openings in a masonry façade constructed above the main sewer line. The ground floor Market Lane façade is activated through the inclusion of the increased window area to the existing office, decorative façade finishes and the introduction of a footpath awning providing shelter to pedestrian traffic. The upper level Market Lane façade is activated through the inclusion of larger window openings and Juliette balconies providing passive surveillance over the laneway and improving the overall presentation of the building.

With the exception of street front activation to Market Lane, the proposed development is generally consistent with the objectives of the Urban Design Guidelines

5.1.1 Statement of Significance for Manly Town Centre Conservation Area

The Manly Town Centre Conservation Area is of local heritage significance as a reflection of the early development of Manly as a peripheral harbor and beachside village in the fledgling colony of New South Wales. This significance is enhanced by its role as a day-trip and holiday destination during those early years, continuing up to the present time, and its association with H G Smith, the original designer and developer of the Manly Town Centre Conservation Area as it is today. The physical elements of the Manly Town Centre Conservation Area reflect this

early development and its continued use for recreational purposes, most notably the intact promenade quality of The Corso and its turn of the century streetscape, as well as key built elements such as hotels, and remaining original commercial and small scale residential buildings. The beautiful natural setting of the Manly Town Centre Conservation Area has provided a solid foundation for its picturesque qualities. The cultural landscape, including plantings, monuments and open spaces, reflects the continued enhancement of the Manly Town Centre Conservation Area over time, in order to attract and sustain visitors to the area, which in turn has provided great support to the local economy. The many historic vistas which remain to this day enhance the visitor experience of the Manly Town Centre Conservation Area and assist with providing an interpretation of the Manly Town Centre Conservation Area as it has changed over time. The Manly Town Centre Conservation Area maintains a high level of social significance, as a popular destination for local, national and international tourists, as well as through its encapsulation of the Australian beach culture.

Comment:

The proposed development supports and enhances the significance of Manly Town Centre Conservation Area through the retention and conservation of a prominent commercial and residential building which represents the continued development of Manly Town Centre over time.

5.1.2 The Corso

a) Statement of Heritage Significance for The Corso

This is a concise statement of the existing positive qualities of the street. It comprises the reasoning behind the LEP heritage listing of The Corso.

i) The Corso is a most impressive formal street, with a central avenue planting of mature Phoenix palms and Moreton Bay figs. It has its own unique streetscape shaped by an uncommon grouping of fine late 19 century to early 20 century buildings. Despite varying levels of intactness and some less aesthetic and sympathetic development, the group as a collective whole contributes to the historic streetscape. The overall character is created by a wide vista defined on either side by pleasantly low-scaled and detailed buildings; the vertical emphasis of the plantings; monuments; pedestrian arcades; shop awnings; and framed views of the sea. The Corso has additional social significance generated by a strong collective community experience and memory of it as a visitor destination, linked to Manly's historical function as a resort.

ii) The nature of The Corso as an important public pedestrian space means it is invariably experienced in 'serial vision' from eye-height level as one walks through the street. This experience reveals particular important attributes: an overall change in building scale from higher to lower as one moves from Manly Cove to the Ocean Beach; the particular scale and character generated by the ability to read the parapet details of the street façades (or, in some cases the related roof form) as silhouetted against the sky and background trees rather than against other buildings; and then, looking closer, building facades that are restrained but finely-detailed.

iii) St Matthew's Church, located on the intersection of Darley Road with its tower as a focal point, together with the oblique intersection of Sydney Road are important interruptions to the linear form of The Corso. At each end The Corso is open and merges into spaces with good outward views. The gradual visual progression from Manly Cove to the Ocean Beach with the surf revealed behind a screen of Norfolk Pines is the essence of Manly's unique quality.

Comment:

The proposed development supports and enhances the significance of The Corso through the retention and conservation of a prominent commercial and residential building representative of the early 20th Century development of the Corso. Conservation of the

building contributes to the significance and an appreciation of the fine collection of late 19th and early 20th Century buildings and therefore has the potential to enhance the visitor experience of The Corso.

The proposed development does not attempt to alter the parapet details or the silhouette of the primary street façade against the sky. The conservation and refurbishment of 19-21 The Corso supports an appreciation of the character of The Corso gained through the gradual visual progression from Manly Cove to Ocean Beach through the retention of a prominent façade and its footpath awning.

b) The Corso Guidelines

Paragraphs 5.1.2.1 to 5.1.2.19 below set out important matters in relation to maintaining the above mentioned significance under paragraphs following:

5.1.2.1 Most existing buildings are significant and are to be conserved, not redeveloped

a) The only exceptions are in respect to buildings identified in Schedule 6 – The Corso: Site Specific Controls as may be able to accommodate redevelopment.

b) Existing street facades, including all original detailing, are particularly important and are to be maintained. This includes original framing details and materials to windows, doors and other openings. Original details missing or removed should be reinstated and unsympathetic additions removed. Appendix 6 lists requirements and suggestions. The shop-front at 36 The Corso is the only one in its original configuration and is to be retained.

Comment:

(See comment for 5.1.2.19 regarding Schedule 6 requirements.)

The existing original street façade including all original detailing of 19-21 The Corso will be retained and conserved. Original detailing will be reinstated to the footpath awning.

5.1.2.2 Internal changes are important

a) The spaces and activities within the building give meaning to that building. In addition, internal building fabric may be significant even if not seen from the street. The heritage assessment will advise on the significance of any internal fabric.

b) Where internal alterations are proposed:

i) floor levels and the layout of activities are to retain a logical relationship with the window, door and balcony openings of the street façade;

ii) floor levels are to be maintained adjacent to first floor windows and other openings; and

iii) architectural organisation of interiors must relate to the building facade.

Comment:

The proposal retains the historic mix of retail and residential use. It also retains the original planning and spatial layout of all residential units and does not propose significant change to the ground floor layout. The proposal therefore supports the retention of the heritage significance of the place.

The window openings to the ground rear façade are modified as part of the proposed works in order to satisfy the urban design requirements for increased Market Lane activation. First and second floor windows to Market Lane are also enlarged to increase amenity of the residential units and improve the presentation and activation of this façade.

Where extant, original detailing of doors, skirtings and architraves will be retained and conserved.

5.1.2.3 Significance is more than the depth of a façade: thus new development is to be to the rear.

New development to existing buildings, where permitted, will predominantly be to the rear. The heritage assessment will be able to advise on the necessary setback for any new development. This will vary from property to property but at minimum will be the depth of the first room or shop space.

5.1.2.4 Parapets to be read against the sky
a) Parapet details on the street frontage, and in some cases the related original or historically relevant roof form, are to continue to be read by pedestrians as silhouetted against the sky. This is also to be the case for the parapet of any new building fronting The Corso.

b) This provision applies in respect to both oblique and perpendicular views of buildings as pedestrians move through the street. This provision will govern the height and setback of any permitted additional floor levels and also establishes an important 'visual catchment' to The Corso that needs to be kept clear of obstructions.

Comment:

Minor alterations are located to the rear of the building and do not impact the presentation of the historic façade to The Corso. The existing parapet profile to The Corso and all rooms within the building will be retained and conserved.

The oblique view of the building from The Corso will remain substantially unchanged due to the location of alterations at the rear of the property.

5.1.2.5 Critical Views to be Kept Open

a) Part of the significance and character of The Corso derives from the views from within the street space out to Manly Cove and to the Ocean Beach. Two longer views within the visual catchment of The Corso are from Sydney Harbour as the ferry approaches Manly Wharf; and down Sydney Road, from Fairlight looking east to Shelly Beach headland.

b) Critical views identified in a) above must be protected from intrusion and are to be kept open. See also the Townscape Principle Map A – Manly Town Centre which maps important vistas in Schedule 2. See also The Corso Master Plan which identifies the location for certain activities such as outdoor eating areas, stage and playground as well as lighting and tree locations. The details of the Master Plan provide an important physical representation of the policies and objectives for The Corso. The location of specific activities proposed or associated with a development proposal must comply with the Master Plan.



Figure 40 Extract from Townscape Principle Map A. The subject site is circled red. (Source: Manly DCP 2013 Schedule 2-Townscape Principles)

Comment:

The proposal retains and enhances the critical views illustrated by the arrows in the Townscape Principles Map A above. The proposed conservation works to the façade will enhance the view north-along Darley Street which terminates in the building. The proposed alterations at the rear of the building will not be visible from Darley Street and the prominent façade and its silhouette will be retained and conserved.

The retention and conservation of the primary façade to the Corso also helps to reinforce the prominent corners of The Corso and Darley Street illustrated by the solid black lines.

5.1.2.8 Windows and balconies open to the street

To allow interaction between the building and the public street (and to provide natural ventilation), windows to upper floors are to be openable and balconies are not to be enclosed. Where original balconies have been enclosed, Council encourages that they be reopened in keeping with their historic use and heritage significance.

Comment:

The previously enclosed balconies to the upper floors are not proposed to be completely reopened as part of the proposal. All are provided with operable double-glazed windows within the original masonry openings to match existing double hung sash windows. This allows occupants to moderate noise levels from The Corso or Market Lane but also to open the porch areas up to street activity if desired.

At the second-floor level on Market Lane, porch and bedroom openings are taken to floor level to create Juliette balconies providing the opportunity for greater interaction with the laneway.

5.1.2.9 Building heights determined by site-specific requirements in addition to the established numerical requirements.

a) While building heights are contained in the LEP Height of Building Map, considerations of

the appropriate height and exceptions under LEP clause 4.6 will also consider:

- i) the provision requiring parapets to be read against the sky;
 - ii) any need to retain existing long views;
 - iii) the need to maintain a visual continuity between floor levels on adjoining buildings (mezzanine levels may provide a means to relate lower contemporary floor to ceiling heights with the greater heights in existing older buildings);
 - iv) any need to relate to specific detailing on adjoining buildings; and
 - v) any opportunity, presented by development of the site, to hide unsympathetic views of development in other streets as seen over the top of existing buildings in The Corso.
- See also Schedule 6 for more detailed site requirements and suggestions.

Comment:

The height of buildings permitted in The Corso is 10m (See Figure 41). The existing building at 19-21 The Corso, forming part of the Heritage Item Commercial Buildings - All numbers The Corso has a height of 15.5m to the top of the parapet facing the Corso and is therefore in contravention of the height restriction.

The proposal to conserve and refurbish 19-21 The Corso does not impact upon the ability of the parapet of the primary façade to be read against the sky and the proposal does not request any increase in the height of the building.

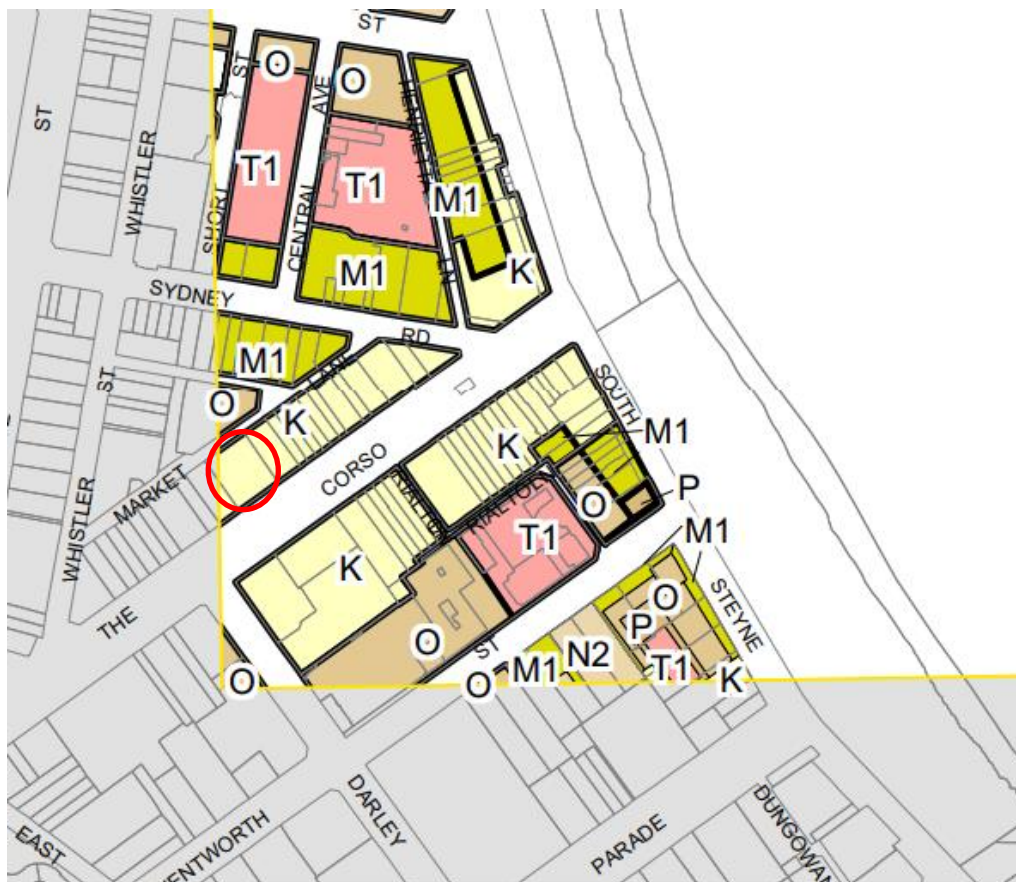


Figure 41 Extract from Height of Buildings Map 005. The maximum building height for Area K is 10 metres. The subject site is circled red. (Source: Manly DCP 2013 HOB_005)

5.1.2.11 Footpath Awnings

Footpath awnings (solid, horizontal & with lighting) are required, but trafficable balconies and post-supported awnings and balconies are prohibited and considered to be an unnecessary intrusion on the available street space.

Comment:

The footpath awning to The Corso is to be retained and conserved. Extant original detailing will be investigated and reconstructed.

A new footpath awning is proposed to Market Lane providing increased amenity for pedestrians.

5.1.2.12 Street Level Uses to Encourage Activity

a) Shop-fronts are to maximise their contribution to the liveliness and safety of the street, both day and night.

b) At night, all shop fronts within The Corso Conservation Area must be transparent and illuminated. Window displays are actively encouraged. Opaque security grills and the like are not acceptable. Roller shutters will not be permitted but security screens are permitted behind the window display.

Comment:

No change is currently proposed to the shop front to The Corso as this will be subject to a Development Application by a future tenant.

The ability to open the Market Lane façade to street level activation is severely restricted by the location of the main sewer under the building and consequent Sydney Water restrictions on structural modifications. This proposal includes opening the windows of the existing office to ground level to improve integration of the space to street level activities.

5.1.2.13 Shop-fronts are to be Reinstated

a) Where shop-fronts have been removed and replaced with shuttered openings, the reinstatement of shop-fronts is supported for aesthetic and historic reasons. New Shuttered openings will not be permitted.

b) New shop-fronts should comprise a 'frame' established by masonry ends read as vertical continuations of the façade above, and by a solid horizontal plinth between the ground and the window sill. The design of the space within this frame can reflect the use of the premises, and utilise contemporary design.

c) Where internal retail space extends over more than one external building frontage, the width of shop-fronts should reflect the external building design rather than the internal configuration.

Comment:

The proposal does not include reinstatement of the shopfront to The Corso. The current tenant is vacating the premises and the shop fit out and its interface with the street will be subject to a separate DA by the new tenant.

5.1.2.15 External building colours are important to the overall presentation of The Corso

a) Colours and tones are to pick out, rather than conceal, architectural details.

b) Colour schemes need to demonstrate an appropriate balance between the contemporary function of each building and a consistent presentation of the street as a whole. To assist, Council encourages a choice between:

i) a colour scheme that is historically correct to the age and style of the building; or

ii) an alternative colour scheme that complements the desired character and traditional colour

schemes of the wider Conservation Area.

Comment:

Paint scrapes of the façade will be carried out once safe scaffold access is provided during construction. It is the intention to reinstate original colour scheme should sufficient evidence exist. An alternative colour scheme has been presented in the Development Application should the results of the paint scrapes be inconclusive.

5.1.2.17 External details for plant, exhausts, ducts and other services as part of the overall building structure.

A number of buildings are already disfigured by the addition of air conditioners, other mechanical services, kitchen exhausts, downpipes and the like without adequate thought as to their integration. All DAs are to include provision for such services and show how they are to be integrated into the overall structure and/or disguised from public view.

Comment:

The proposal includes provision of internal ducting for water supply, waste and mechanical exhaust to the existing apartments. The retail area air conditioning plant will be housed within a re-purposed terrace level communal laundry rather than reinstated on the roof.

5.1.2.18 The impact of new development on rear lane-ways and on adjacent development is important

Development to the rear of properties fronting The Corso will also have an impact on the character and pedestrian scale of either Market Lane or Rialto Lane. The design of such development is to be consistent with the relevant provisions of the Manly Town Centre Urban Design Guidelines. Privacy and over-shadowing issues in relation to the 'Peninsula' development (fronting Wentworth Street) will also be a consideration in determining the scale and design of development to the rear of properties on the southern side of The Corso.

Comment:

The proposal includes works to improve the appearance of the building to Market Lane. Window openings are enlarged including the provision of Juliette balconies at second floor level. A footpath awning is provided across the façade providing shelter to pedestrians using the laneway.

The windows in the existing office are also extended to the internal floor level. There is limited opportunity to further activate the Market Lane ground floor level due to access required for waste, egress and fire services.

The roof terrace will be provided with a new waterproofing system.

5.1.2.19 Site specific controls

The Corso as a whole comes alive through many individual considerations and actions. Note: Schedule 6 lists specific comments on how each property in The Corso might be conserved or, where relevant, redeveloped to continue to add to the distinct and significant character of the street. Schedule 6 includes advice as to which properties may be replaced through demolition and small-scaled actions to improve the presentation of each building.

Extract from Schedule 6:

<i>Property</i>	<i>Use</i>	<i>Site Specific Controls</i>
<i>21 The Corso</i>	<i>Shop + residential</i>	<i>Redesign the two ground level entrance doors to the upper floors to give a more substantial appearance, with transparent glazing (to increase connection with the street and solid returns.</i>

Comment:

As a result of removing access to the first-floor level of 23 The Corso, the ground floor entrance to the eastern side, and the space behind it, has been incorporated into the existing glazed shopfront. The redevelopment of this shopfront will be the subject of a separate DA by a future tenant.

The southern entrance is provided with a new fully glazed door to the residential apartments.

7.0 CONCLUSION

The proposed conservation and refurbishment of the property at 19-21 The Corso, will have a positive impact on the heritage significance of the Commercial Buildings – All numbers The Corso, Manly Town Centre Conservation Area and other heritage items in the vicinity.

The primary façade to The Corso will be retained and conserved and will significantly enhance the appearance of the building within the heritage item and Manly Town Centre. It will also positively contribute to heritage items in the vicinity.

The design of the refurbishment has been carefully considered. It aims to retain the historic planning and layout of the units and reinstate heritage detailing both externally and internally. New minor alterations to the Market Lane elevation are in contemporary materials, so they can be read as new fabric.

All existing views to and from the heritage item, heritage items in the vicinity, and within the Manly Town Centre Conservation Area will be retained and conserved. The alterations will not be visible in critical views as defined in the Townscape Principles. The character of Manly Town Centre and The Corso Special Character Area will be retained and enhanced through conservation of a prominent building.

The proposed refurbishment and conservation works are consistent with the heritage objectives of the *Manly LEP 2013* and the *Manly DCP 2013*. In our view, the consent authority should have no hesitation, from a heritage perspective, in approving this application.



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