

STATEMENT OF ENVIRONMENTAL EFFECTS 22

ABERNETHY ST SEAFORTH

PROPOSED DWELLING ALTERATIONS AND ADDITIONS

PREPARED ON BEHALF OF

Mr & Mrs Hardy

July 2018

1. INTRODUCTION

This statement has been prepared to accompany the SECTION 96 Amendment to the approved development application from Northern Beaches Council, for alterations and additions to the existing dwelling upon the land at Lot 1 in DP 91180 which is known as **No.22 Abernethy St, Seaforth (DA320/16)**.

The application is for minor amendments which include a new roof structure over an existing deck, a new bay window into an existing window which only extends to existing roof line and the removal of first floor terrace and replaced with a new roof.

In preparation of this modification application consideration has been given to the following:

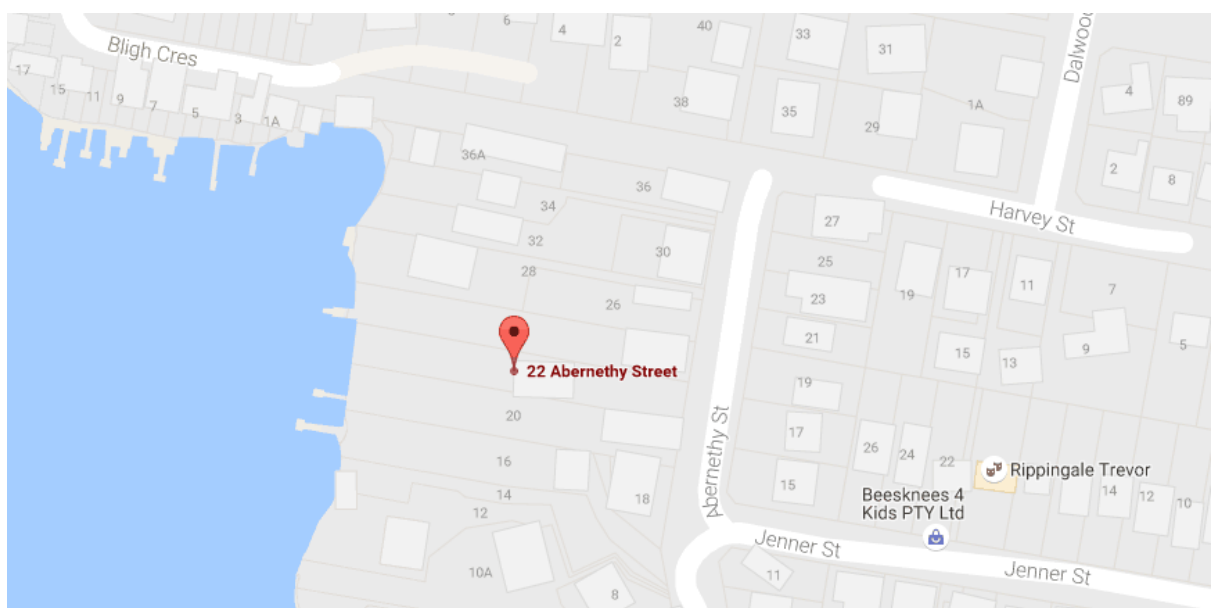
- Environmental Planning & Assessment Act, 1979.
- Manly Local Environmental Plan 2013.
- Manly Development Control Plan 2013.

This Statement is to be read in conjunction with plans prepared by Porebski Architects attached to the application and includes an updated BASIX report.

As a result of that assessment it is concluded that the development of the site in the manner proposed has no impact to neighbouring properties or to the public domain and is considered to be acceptable and is worthy of the support of the Council.

2. SITE DESCRIPTION AND LOCALITY

The site is identified as Lot 1 in DP 91180 which is known as No. 22 Abernethy St, Seaforth. The site is located on the western side of Abernethy St. The site is rectangular in shape and has an area of 1,733m² with a frontage of 14.5m and a maximum depth of 122.2m. The locality is depicted in the following;



Site Location Map

The site has a steep slope towards the rear of the site with levels of RL 55.3 at the front and RL 1.4 at the rear.

The site is depicted in the following photographs:



View of Site from Street

The dwelling is located 33m from the front boundary and cannot be seen from Street. The above picture shows the existing two car garage and the drive way from the street.

The existing surrounding development comprises a mix of double and triple storey detached dwellings. The existing surrounding development is depicted in the following aerial photograph:



Aerial Photograph of Locality

4. THE DEVELOPMENT PROPOSAL

This modification seeks approval for the amendments to Development Application DA320/16 including;

- New posts to support new roof over existing balcony
- New bay window in location of existing window – to sit under existing roof line.
- New metal deck roof over existing balcony.
- Existing first floor terrace to be removed - infilled and roof finished off as a hipped roof tiled roof.
- Existing first floor terrace to be removed and infilled – flat metal deck roof.

The proposed pergola will have no impact to the landscape or are outside of the building envelope already approved so no updates to the previous reports provided in the development application are required.

5 ZONING & DEVELOPMENT CONTROLS

The proposed development is identified as development requiring the consent of the Council under the provisions of the Environmental Planning and Assessment Act 1979, as amended. As the property is located on the harbour foreshore Council consent is required, otherwise the proposed development would have met the Complying Development Certificate requirements. The following is an assessment of the proposal against the relevant provisions of the Act and all of the relevant planning instruments and policies of Manly Council.

5.1 Planning for Bushfire Protection 2006

The proposed works is located on land identified as bushfire prone land on Council's Bushfire Prone Land Map. It should be noted that the affected area is at the bottom on the site and no part of the existing or proposed dwelling is located near the zone.

A bush fire report has been prepared by Eco Logical Australia for the DA and the modification will have no impact on the report with the findings and recommendations to be followed.

5.2 Manly Local Environmental 2013

The LEP provides a number of generic objectives which apply to development generally, but has more specific objectives applying to the zone. The subject property is zoned – Zone E3 Environmental Management under the provisions of MLEP 2013 as shown on Figure 2 below.

It is considered that the modifications:

- Do not negatively impact on nearby foreshores, significant geological features and bushland
- Ensure no loss of natural vegetation.

- Retaining the existing amenity to the surrounding residences.
- Provide a development that the bulk, scale and height compliments the topography and surrounding properties.

The modification will have no detriment impact to the visual amenity of harbour or coastal foreshore

4.3 Manly Residential Development Control Plan 2013

The Manly DCP 2013 applies to all land where the LEP applies. Therefore the DCP applies to the subject development.

Clause 3.1.1 – Streetscape (Residential Areas) -

The modifications will not have a detrimental impact on the view of the site from the street as they are not visible.

Clause 3.3 - Landscaping

There are no changes or impact to the landscape.

Clause 3.4 - Amenity (Views, Overshadowing, Overlooking/Privacy, Noise)

No view lines are affected by the amendments, no new shadows are cast over any adjoining land and there is no impact to neighbor's privacy by the proposed works.

Clause 3.7 – Stormwater Management

The new roof structure will connect to the proposed storm water system, no new works required.

The proposed pergola is within height and setback guidelines of the Manly LEP and DCP.

5 CONCLUSIONS

The applicant seeks consent for a Section 96 modification to the approved development consent DA320/16.

The proposed modifications to the approved building have been designed to improve the amenity of the dwelling for the occupants or in response to site building conditions.

The amendments have no impact on the neighbouring properties and as such it is considered that there are no matters which would prevent Northern Beaches Council from granting consent.

The proposal is an appropriate development consistent with the approved and overall character of the locality.

Edwin Hardy
July 2018