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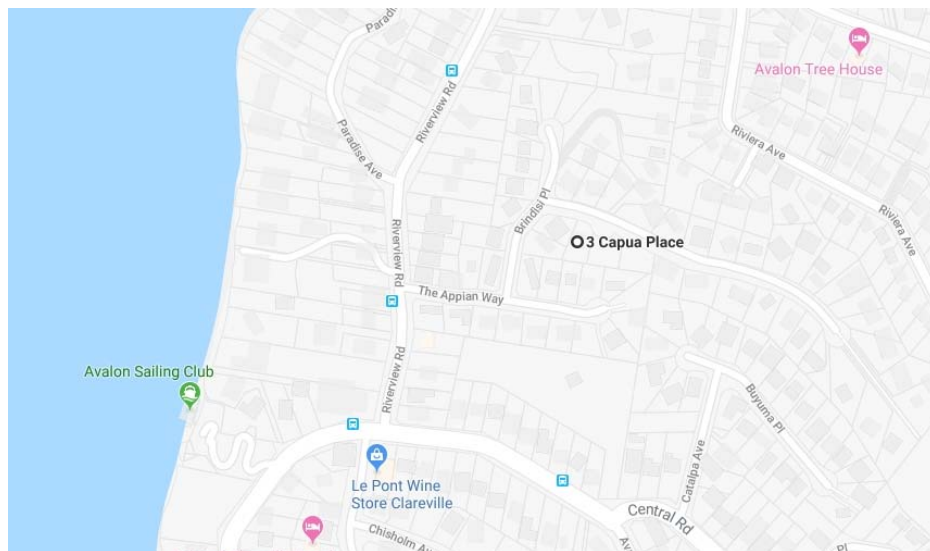
# STATEMENT OF ENVIRONMENTAL EFFECTS

## PROPOSED ALTERATIONS AND ADDITIONS TO 3 Capua Place, Avalon Beach, NSW, 2107

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20<sup>th</sup> March 2019

### 1.0 Site Description and Location

The site is known as 3 Capua Place, Avalon Beach NSW 2107 or Lot 25, D.P. 213661.



*Image 1 – Site location courtesy of Google Maps*

### 2.0 Locality and Planning

The site is located on the low side of Capua Place with a southerly aspect. It is surrounded by residential low density properties. The site is located within Northern Beaches Council. The proposed development has been prepared in accordance with Pittwater Local Environmental Plan 2014 and Pittwater Development Control Plan (DCP) 2014.

### 3.0 Proposed Works

The proposed works are all external and located at the rear of the site. The proposed work is as follows:

- construct new concrete swimming pool
- existing rear enclosed balcony to be removed and replace with new timber deck and covered pergola.
- Construct new retaining walls and stairs to replace existing



*Image 2 showing location of proposed pool and brick wall and balcony to be demolished*

### 4.0 Statutory Planning Controls

The proposal is permitted with consent from council. The site is zoned as follows:

Acid Sulfate Soils Map – Class 5

Land Zoning E4 – Environmental Living

Biodiversity Map

Geotechnical Hazard Map – Hazard H1

#### SEPP No.55 – Remediation of Land

The site has an established history of residential zoning and use and has not been zoned for industrial, agricultural or defence purposes at any time. Therefore there is no evidence to suggest the land is likely to be contaminated and render it unsuitable for continued residential use.

## Pittwater LEP 2014

### Land Use:

The site is zoned E4 - Environmental Living. The development is consistent with the relevant objectives of the zone on the basis that:

- *The proposed works will have no adverse impacts on the ecological, scientific or aesthetic values of the locality.*
  - *To encourage development that retains and enhances riparian and foreshore vegetation and wildlife corridors.*
- The new pool will not make any significant change to the existing topographical features of the site and will be designed to engineers details to ensure no landslip occurs.
  - The pool replaces an area of paving, turf and terraced gardens.
  - No native trees are to be removed. An existing *Plumeria Acutifolia* (Frangipani) is to be transplanted and an existing *Murraya paniculata* (Murraya) is to be removed.

4.3 Height of Buildings – A maximum building height of 8.5m is specified and there is no change to the existing building height of 6.52m which complies.

4.4 Floor Space Ratio – N/A. Proposed works is an unenclosed balcony which does not change the FSR.

### 5.10 Heritage conservation

The site does not contain a heritage item nor in a heritage conservation area.

### 7.1 Acid sulfate soils

The site is zoned Class 5. No proposed works will lower the water table.

### 7.2 Earthworks

The earthworks associated with the proposed development will be carefully managed to ensure there are no adverse impacts on the environment or the amenity of the neighbouring properties.

### 7.3 Flood Planning

The development will not adversely affect flood behaviour.

### 7.6 Biodiversity Protection

The development will not have any adverse impact on the condition, ecological value and significance of the fauna and flora of the land due to the new pool replacing an area of turf and paving in the same location.

### 7.7 Geotechnical hazards

The land is identified as 'Geotechnical Hazard H1'. A Geotechnical Report accompanies this application.

## **5.0 Pittwater DCP**

The following general controls apply to the site.

### **B1 Heritage Controls**

The site does not contain a heritage item or is within a heritage conservation area.

The site has an existing dwelling and cleared lands. It is not known for being a potential Aboriginal place or containing any Aboriginal object.

**B2 Density Controls**

N/A

**B3 Hazard Controls**

**B3.1 Landslip Hazard**

A Geotechnical Risk Management Policy for Pittwater and Geotechnical Investigation is required and attached. The report observed there were no geotechnical hazards above, below or beside the property. The proposed development is suitable for the site provided it is carried out in accordance with the requirements of the report and good engineering and building practice.

**B3.2 Bushfire Hazard**

The site is not located within a bushfire zone.

**B3.6 Contaminated Land**

The land is residential with an existing dwelling. The land is not known to be contaminated and has not been used in the past for a purpose that might cause contamination.

**B3.11 Flood Prone Land**

The site is not located on the Pittwater Flood Risk Planning Map.

**B4 Controls Relating to the Natural Environment**

**B4.4 Flora & Fauna Habitat Enhancement Category 2 & Wildlife Corridor**

The development will conserve existing native vegetation and enhance habitats for locally native flora and fauna. There is no loss of significant canopy cover or net loss in native canopy trees. An existing *Plumeria Acutifolia* (Frangipani) is to be transplanted and an existing *Murraya paniculata* (Murraya) is to be removed.

The development ensures 60% of new planting incorporates native vegetation will have no impact on any trees or native fauna. There will be no loss of canopy cover or native canopy trees.

**B5 Water Management**

**B5.4 Stormwater Harvesting**

N/A

**B5.9 Stormwater Management – Water Quality – Low Density Residential**

N/A

**B5.13 Development on Waterfront Land**

N/A

**B6 Access and Parking**

No change to existing access and parking.

## **B8 – Site Works Management**

### **B8.1 Construction and Demolition – Excavation and Landfill**

The land is zoned H1 therefore a Geotechnical Risk Management Policy for Pittwater is required for DA lodgement stage. Approximately half of the new pool will be above ground level due to the sloping site. There will be a new garden bed that will require fill greater than 1m in height. All works will comply with the Geotechnical Report and recommendations by the Geotechnical engineer.

### **B8.2 Construction and Demolition – Erosion and Sediment Management**

Erosion and sedimentation prevention measures will be installed on site to prevent the migration of sediment off the site into any adjoining properties. Sediment and Erosion Control notes and diagram is noted on the Site Plan/Site Analysis L-01.

### **B8.3 Construction and Demolition – Waste Minimisation**

Waste materials generated through demolition, excavation and construction works is to be minimised by reuse on-site, recycling, or disposal at an appropriate waste facility.

## **C1 - Design Criteria for Residential Development**

### **C1.1 Landscaping**

A Landscape Plan accompanies this application. There is no changes to the existing front garden with the exception of a new native canopy tree added. New planting is proposed adjacent to the south of the new pool to provide screening of the undercroft. There is also new planting along the eastern and southern boundary. Proposed Plant selection comprises of over 60% native species.

### **C1.3 View Sharing**

No views will be obstructed by the proposal.

### **C1.5 Visual Privacy**

The proposed pool is a minimum of 3.9m and up to 5.6m from the rear boundary. It is setback 2.4m from the western boundary and 6.4m from the eastern boundary. Due to the large setbacks it will not overlook adjoining properties.

The new deck replaces an existing balcony in the same location at the rear of the dwelling.

### **C1.6 Acoustic Privacy**

The pool filter box will be housed in a soundproof enclosure located under the deck adjacent to the pool.

### **C1.7 Private Open Space**

Private open space is provided at the rear of the property to maximise privacy for the occupants.

### **C1.17 Swimming Pool Safety**

The proposed pool will meet the requirements of the Swimming Pools Act 1992 with fencing and warning notices.

## **D1 - Avalon Beach Locality**

### **D1.1 Character as viewed from a public place**

The proposed works are located at the rear of the site and will have no impact on the streetscape. The structures will not be visible from the waterway or a public place.



#### **D1.4 Scenic protection – General**

The proposed works will be not be visible from the waterway or a public place. The bushland landscape will remain as the predominant feature with the pool being screened with new planting.

#### **D1.5 Building Colours and materials**

The colours and materials will harmonise with the natural environment being timber and new paving to be earthy tones. The roof over the pergola with be metal in a mid grey colour. A colour and materials sample has been provided on Plan DA-02.

#### **D1.9 Side and Rear Building Line**

The pergola will be located 3.03m from the side western boundary and 7.9m from the side northern side boundary. It will be located 9.6m from the rear boundary.

For swimming pools a 1 metre setback from the boundary to the pool coping may be permitted. The proposed pool is located 2.4m from the western side boundary and 6.5m from the eastern side boundary. This allows a large area of landscaping between the pool and boundaries which will provide screening between adjoining properties.

#### **D1.11 Building Envelope**

There is no changes proposed to the existing building envelope. The existing building envelope remains unchanged and complies.

#### **D1.14 Landscape Area - Environmentally Sensitive Land**

Total Landscape Area to be 60% of the site

|                           |                     |         |
|---------------------------|---------------------|---------|
| Site Area                 | 728.9m <sup>2</sup> |         |
| Required Landscape Area   | 437.3m <sup>2</sup> | (60%)   |
| Existing Landscape Area   | 388.8m <sup>2</sup> | (53.3%) |
| Proposed Landscape Area   | 382.5m <sup>2</sup> | (52.5%) |
| Plus impervious allowance | 43.7m <sup>2</sup>  | (6%)    |
| Total Landscape Area      | 426.4m <sup>2</sup> | (58.5%) |

The existing site is non compliant.

The proposed works decrease the landscape area by only **0.8%**.

It is felt this should be deemed acceptable as the decrease is minor and the required outcomes of the standard have been achieved:

- The pool replaces paving and turf and does not remove any existing native landscaping.
- The objectives have been satisfied as there will be new planting to create a landscape setting and minimising the built form of the pool and existing house.
- The streetscape has not been altered with no trees being removed.

#### **D1.16 Fences – Flora and Fauna Conservation Areas**

No changes are proposed to the existing front or boundary fences. New pool fencing will be around the immediate pool structure.

#### **D1.17 Construction, Retaining Walls, terracing and undercroft areas**

The proposed walls have been kept to a minimum being adjacent to the pool. The retaining walls will not be visible from a public place. They will be constructed to engineers specifications. The undercroft of the pool is less than 3.5m and will be adequately screen with timber cladding and planting in front.

## **6.0 Conclusion**

The proposal has been designed to improve the amenity of the existing site. The proposal has no effect on the streetscape. The proposed development complies with all relevant guidelines with the exception of landscape area which was non-compliant before the proposed development. The proposal only decreases the landscape area by 0.8%.

We trust the proposal is supported by council.