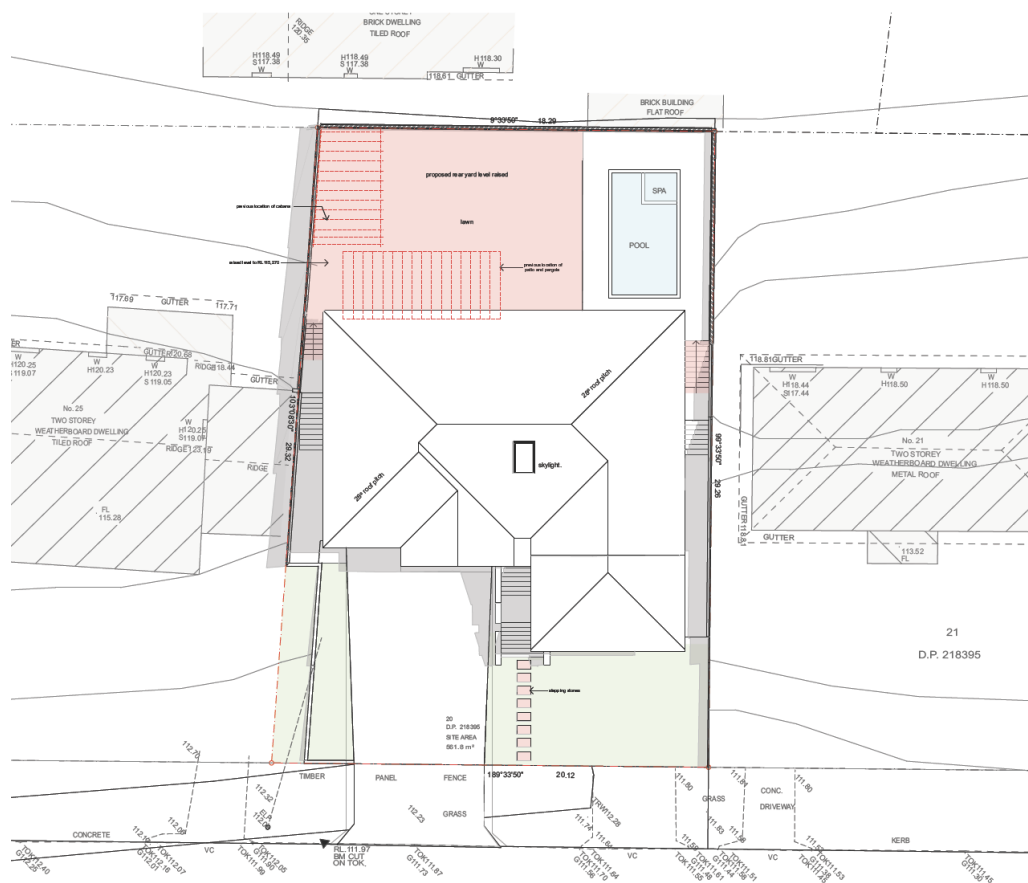


Proposed storeroom and raised rear yard finished level to approved dwelling.



Lot 20 Deposited Plan 218395

October 2020

design : **STUDIO ML**

m : 0403 324 888
e : design@studioml.com.au
w : www.studioml.com.au
i : design.studioml

CONTENTS

1.0	Introduction	3
2.0	The Proposal	3
3.0	The Site And Surrounds	5
4.0	Warringah Local Environmental Plan 2011 (WLEP2011)	6
3.1	Height of Buildings	6
3.2	Floor Space Ratios	7
5.0	Warringah DCP 2011	8
5.1	Wall Height	8
5.2	Number of Storeys	8
5.3	Side Building Envelope	8
5.4	Site Coverage	8
5.5	Side Boundary Setback	9
5.6	Front Boundary Setbacks	9
5.7	Rear Boundary Setbacks	10
5.8	Stormwater	10
5.9	Erosion and Sediment	10
5.10	Excavation and Landfill	11
5.11	Demolition and Construction	12
5.12	Waste Management Plan	12
5.13	Landscaped Open Space and Bushland Settings	12
5.14	Private Open Space	16
5.15	Noise	16
5.16	Access to Sunlight	17
5.17	Views	17
5.18	Privacy	17
5.19	Building Bulk	18
5.20	Building Colours and Materials	18
5.21	Roofs	19
5.22	Glare and Reflection	19
5.23	Safety and Security	20
5.24	Provision and Location of Utility Services	21
5.25	Conservation of Energy and Water	25
6.0	Environmental Impacts/ Suitability of the Site	23
6.1	Submissions	25
6.2	The Public Interest	25
7.0	Conclusion	26

1.0 INTRODUCTION

This statement of environmental effects has been prepared by *Design Studio ML* to support a Development Application made by the owner Ms Calci for alterations and additions to an existing dwelling at the property known as 23 Reynolds Crescent, Beacon Hill.

The proposed alterations and additions comprise of a store room to the lower ground floor, adjacent to the garage, and a raised rear yard level with 1.0m depth of soil above.

The subject site currently has an approved Complying Development Certificate - 2019/431/01, date of determination 26 May 2020, for alterations and additions to the existing dwelling and swimming pool, which remain unaffected by the proposal.

The site is zoned R2 – Low Density Residential under the provisions of the Warringah Local Environmental Plan 2011, whereby dwelling houses are permitted with consent. The proposed alterations and additions to the approved dwelling is suitable and appropriate and satisfies the objectives of the R2 zone.

The assessment undertaken concludes that the application is compliant with the applicable controls and exhibits a quality architectural form, which is worthy of approval.

2.0 THE PROPOSAL

The proposal is described in detail in the following plans and supporting documentation:

- Architectural Plans prepared by *Design:Studio ML*.
- Survey Plan prepared by *ATS Land Surveyors*.
- Storm water & Sediment Control Plans prepared by *NY Civil*.

The proposed works principally comprise:

Proposed Alterations and Additions

Lower Ground Floor: Retaining walls to the perimeter including a cavity wall for drainage to control surface and subsurface waters

Upper Ground Floor: Raised rear yard level (raised 500mm) with lawn providing for a soil depth of 1.0m above the storeroom ceiling slab; steps leading up to the new rear level; and removal of the patio and pergola.

The proposed alterations and additions will integrate with the approved dwelling, providing an extension of the garage with a store room and a raised rear yard level

with increased landscaped area.

The proposed alterations and additions are located to the rear of the approved dwelling along with an increase in landscaped area, provides for a proposal that will not be readily apparent from any public place or adjoining properties with the works well below fence height.

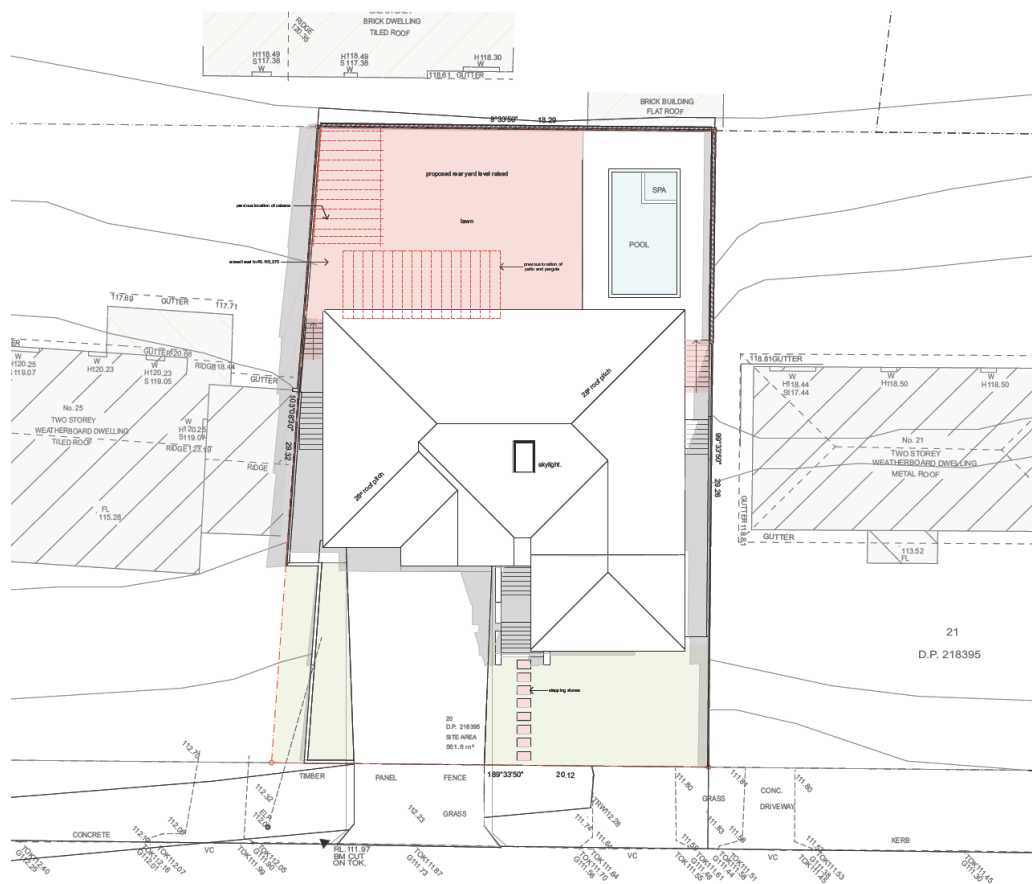


Image 1.

Proposed alterations & additions to the approved dwelling (highlighted in red).

3.0 THE SITE AND SURROUNDS

The subject site is legally described as *Lot 20 in Deposited Plan No 218395* with vehicle access from Reynolds Crescent on the eastern boundary. The subject site are known as 23 Reynolds Crescent, Beacon Hill.

The site is a rectangle in shape, with a frontage of 20.01m to Reynolds Crescent. The site slopes significantly from west to east (down to the street). The side boundaries with 29.26m to the north and 29.32m to the south and a rear boundary with 18.29m. The site area is 561.8m².

Buildings in the vicinity and along Reynolds Crescent predominately range from one (1) to two (2) storeys. To the immediate north is a two (2) storey dwelling of face brick and cladding construction with a tile roof. Further north is a 1 storey dwelling with face brick construction and a tile roof. To the south is a single storey residential dwelling with cladding, attached awning and steep tiled roof that contains an attic and 3 dormers facing the street.

Surrounding the subject site within the general vicinity are predominately brick masonry and cladding constructed 1 – 2 storey dwellings eclectic and non descript in terms of architectural style.

The locality does not exhibit any consistent architectural style or form although most of the significant residential development predates the 1980's. There are no architectural or natural elements, which provide a streetscape definition or notable character worth emulating.

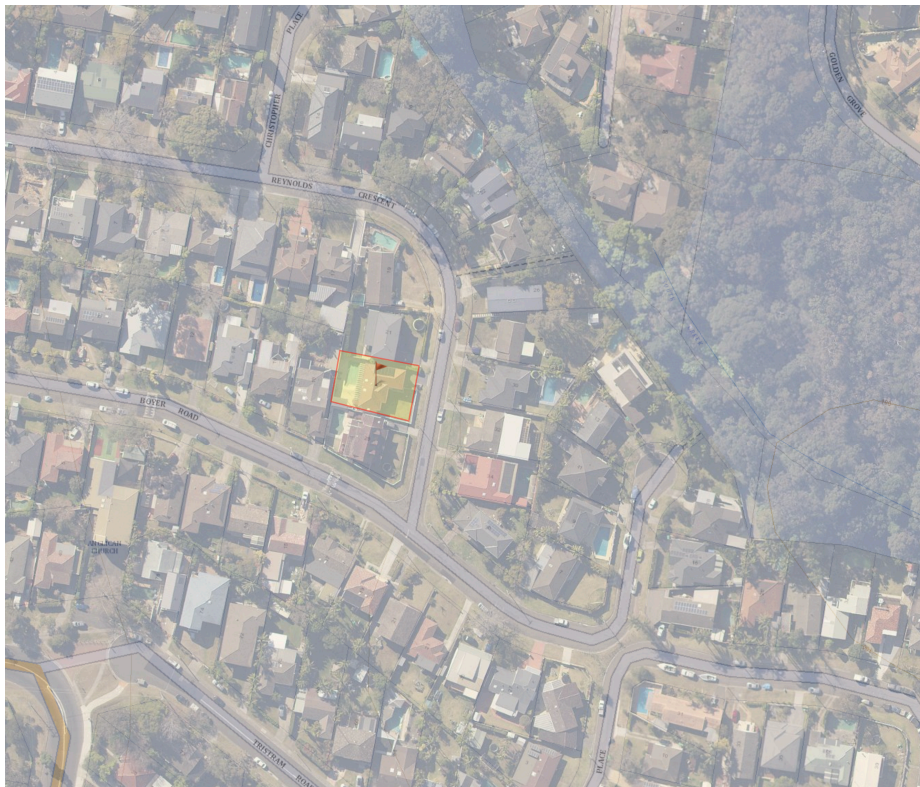


Image 2.

Aerial of the subject site of the proposed alterations & additions to the approved dwelling.

4.0 WARRINGAH LOCAL ENVIRONMENTAL PLAN 2011 (WLEP2011)

The subject site is zoned Residential R2 pursuant the Warringah Local Environmental Plan 2011.

Zone R2 Low Density Residential

1 Objectives of zone

- *To provide for the housing needs of the community within a low density residential environment.*
- *To enable other land uses that provide facilities or services to meet the day to day needs of residents.*
- *To ensure that low density residential environments are characterised by landscaped settings that are in harmony with the natural environment of Warringah.*

2 Permitted without consent

Home-based child care; Home occupations

3 Permitted with consent

Bed and breakfast accommodation; Boarding houses; Boat sheds; Building identification signs; Business identification signs; Centre-based child care facilities; Community facilities; Dwelling houses; Educational establishments; Emergency services facilities; Environmental protection works; Exhibition homes; Group homes; Health consulting rooms; Home businesses; Hospitals; Oyster aquaculture; Places of public worship; Pond-based aquaculture; Recreation areas; Respite day care centres; Roads; Secondary dwellings; Tank-based aquaculture; Veterinary hospitals

4 Prohibited

Any development not specified in item 2 or 3

The proposed development is considered to be consistent with the zone objectives as it provides for the housing needs of the community in a low-density environment.

Further the existing low scale building will sit within a landscaped setting, whereby the quality and quantity of landscaping will be increased as a consequence of the proposed development.

4.1 Height of Buildings

4.3 Height of buildings

(1) The objectives of this clause are as follows—

- (a) to ensure that buildings are compatible with the height and scale of surrounding and nearby development,*
- (b) to minimise visual impact, disruption of views, loss of privacy and loss of solar access,*
- (c) to minimise any adverse impact of development on the scenic quality of Warringah's coastal and bush environments,*
- (d) to manage the visual impact of development when viewed from public places such as parks and reserves, roads and community facilities.*

(2) The height of a building on any land is not to exceed the maximum height shown for the land on the Height of Buildings Map.

(2A) If the Height of Buildings Map specifies, in relation to any land shown on that map, a Reduced Level for any building on that land, any such building is not to exceed the specified Reduced Level.

The proposed alterations and additions will not alter the building height which is compliant.

4.2 Floor Space Ratio

4.4 Floor space ratio

(1) The objectives of this clause are as follows—

- (a) to limit the intensity of development and associated traffic generation so that they are commensurate with the capacity of existing and planned infrastructure, including transport infrastructure,*
- (b) to provide sufficient floor space to meet anticipated development needs for the foreseeable future,*
- (c) to ensure that buildings, by virtue of their bulk and scale, are consistent with the desired character of the locality,*
- (d) to manage the visual impact of development when viewed from public spaces,*
- (e) to maximise solar access and amenity for public areas.*

(2) The maximum floor space ratio for a building on any land is not to exceed the floor space ratio shown for the land on the Floor Space Ratio Map.

The Floor Space Ratio does not apply to the subject site.

5.0 WARRINGAH DEVELOPMENT CONTROL PLAN 2011

The Warringah DCP 2011 relates to the subject site and proposed alterations and additions of the approved dwelling.

5.1 B1 Wall Heights

1. Walls are not to exceed 7.2 metres from ground level (existing) to the underside of the ceiling on the uppermost floor of the building (excluding habitable areas wholly located within a roof space).

The proposed alterations and additions will not alter the wall heights. The walls to the store room are located beneath ground level and are not visible. The remainder of the proposal is for a raised rear yard level.

5.2 B2 Number of Storeys

1. Buildings on land shown coloured on the DCP Map Number of Storeys must comply with the maximum number of storeys identified on the DCP Map Number of Storeys.

The proposed alterations and additions will not alter the number of storeys as approved. The storeroom is technically defined as a storeroom, however it is only a single storey, and within a basement.

5.3 B3 Side Building Envelope

1. 1. Buildings on land shown coloured on the DCP Map Side Boundary Envelopes must be sited within a building envelope determined by projecting planes at 45 degrees from a height above ground level (existing) at the side boundaries of:

- 4 metres, or
- 5 metres

as identified on the map.

2.

3. 2. On land within the R3 Medium Density Residential zone, above and below ground structures and private open space, carparking, vehicle access ramps, balconies, terraces, and the like shall not encroach the side boundary envelope.

The proposed alterations and additions will not alter the side boundary envelope.

5.4 B4 Site Coverage

1. 1. Development on land shown coloured on the DCP Map Site Coverage shall not exceed the maximum site coverage shown on the map. Where shown on the map as:

- 33.3% - the total building footprint(s) must not cover more than 33.3% of the site area, and

- *20% = 3,500m² or 30% <3,500m² - the total building footprint(s) must not cover more than 20% of the site area except on allotments having an area of less than 3,500m² where the total building footprint/s must not cover more than 30% of the site area.*

Site coverage does not apply to the subject site.

5.5 B5 Side Boundary Setbacks

- 1. Development on land shown coloured on the DCP Map Side Boundary Setbacks is to maintain a minimum setback from side boundaries as shown on the map.*
- 2. Side boundary setback areas are to be landscaped and free of any above or below ground structures, car parking or site facilities other than driveways and fences.*
- 3. On land within the R3 Medium Density Residential zone, above and below ground structures and private open space, basement car parking, vehicle access ramps, balconies, terraces, and the like shall not encroach the side setback except as provided for under Exceptions below.*

Whilst a 900mm setback is required, the proposal provides for a setback of 670mm - 1260m to the south and 5600mm to the north. The proposed alterations and additions will not alter the side boundary setbacks as visible from neighbouring properties and as the structures are below ground, importantly a 1.0m soil depth is proposed to accommodate landscaping.

The net effect is an improvement as the rear yard area will now allow for screen planting with a deeper soil profile than currently exists.

5.6 B7 Front Boundary Setbacks

- 1. Development is to maintain a minimum setback to road frontages.*
- 2. The front boundary setback area is to be landscaped and generally free of any structures, basements, carparking or site facilities other than driveways, letter boxes, garbage storage areas and fences.*
- 3. Where primary and secondary setbacks are specified, buildings and structures (such as carparks) are not to occupy more than 50% of the area between the primary and secondary setbacks. The area between the primary setback and the road boundary is only to be used for landscaping and driveways.*
- 4. For land zoned E3 and not having frontage to Kamber Road or Kimbriki Road the minimum front building setback area is to be densely landscaped using locally occurring species of canopy trees and shrubs and free of any structures, carparking or site facilities other than driveways, letterboxes and fences.*

The proposed alterations and additions will not alter the front boundary setback.

5.7 B9 Rear Boundary Setbacks

- 1. Development is to maintain a minimum setback to rear boundaries.*
- 2. The rear setback area is to be landscaped and free of any above or below ground structures.*
- 3. On land zoned R3 Medium Density where there is a 6m rear boundary setback, above and below ground structures and private open space, including basement carparking, vehicle access ramps, balconies, terraces, and the like shall not encroach the rear building setback.*
- 4. The rear building setback for land zoned IN2 Light Industrial at Tepko Road that adjoins land zoned R2 Low Density Residential is not to be used for industrial purposes or vehicle access.*
- 5. The rear building setback for land zoned IN2 Light Industrial in the vicinity of Campbell Parade, Manly Vale is not to be used for industrial purposes or vehicle access*

A 6.0m rear boundary setback applies. The proposed alterations and additions will not alter the rear boundary setbacks as readily apparent above ground, however the store room whilst subterranean encroaches within the required setback area. Importantly, as the proposal includes for the provision of a 1.0m on structure soil depth, the actual soil depth is increased from the natural situation where the site exhibits shallow soil depths above a rock stratum. In the circumstances, there is a positive impact that arises from the proposal as the quantity and quality of landscaping can be improved as a consequence of proposal.

5.8 C4 Stormwater

- 1. Stormwater runoff must not cause downstream flooding and must have minimal environmental impact on any receiving stormwater infrastructure, watercourse, stream, lagoon, lake and waterway or the like.*
- 2. The stormwater drainage systems for all developments are to be designed, installed and maintained in accordance with Council's Water Management Policy.*

A stormwater plan is prepared by NY Civil and accompanies this Development Application. The stormwater plan is in relation to the proposed store room and raised rear yard level.

5.9 C5 Erosion and Sediment

- 1. All developments which involve the disturbance of land must install and maintain erosion and sediment controls until the site is fully stabilised.*
- 2. Any erosion and sedimentation is to be managed at the source.*
- 3. Erosion, sediment and pollution controls including water discharge from the site must comply with Council's Water Management Policy.*
- 4. An Erosion and Sediment Control Plan must be prepared in accordance with Landcom's Managing Urban Stormwater: Soil and Construction Manual (2004) for all development which involves the disturbance of up to 2500m² of land.*
- 5. Soil and Water Management Plan must be prepared in accordance with Landcom's Managing Urban Stormwater: Soil and Construction Manual (2004) for all development which involves the disturbance of more than 2500m² of land.*

Erosion and sediment controls will be applied to the subject site for the proposed alterations and additions during the period of construction. Appropriate conditions of consent can be applied.

5.10 C7 Excavation and Landfill

- 1. All landfill must be clean and not contain any materials that are contaminated and must comply with the relevant legislation.*
- 2. Excavation and landfill works must not result in any adverse impact on adjoining land.*
- 3. Excavated and landfill areas shall be constructed to ensure the geological stability of the work.*
- 4. Excavation and landfill shall not create siltation or pollution of waterways and drainage lines, or degrade or destroy the natural environment.*
- 5. Rehabilitation and revegetation techniques shall be applied to the fill.*
- 6. Where landfill is necessary, it is to be minimal and shall have no adverse effect on the visual and natural environment or adjoining and surrounding properties.*

The proposed retaining walls will ensure that the site is stable and will not result in any impact to adjoining land.

The rear yard levels are raised by approximately 500mm and provide the opportunity for increased landscaped area with a soil depth of 1.0m

The raise level is located to the rear yard of the subject site and will have no adverse effect on the visual and natural environment or adjoining properties.

A geotech report prepared by *White Geotechnical* accompanies the

application.

5.11 C8 Demolition and Construction

1. *All development that is, or includes, demolition and/or construction, must comply with the appropriate sections of the Waste Management Guidelines and all relevant Development Applications must be accompanied by a Waste Management Plan.*

A Waste Management Plan accompanies this Development Application and relates to the proposed alterations and additions with the demolition, construction and ongoing waste systems.

5.12 C9 Waste Management

1. *All development that is, or includes, demolition and/or construction, must comply with the appropriate sections of the Waste Management Guidelines and all relevant Development Applications must be accompanied by a Waste Management Plan.*

A Waste Management Plan accompanies this Development Application and relates to the proposed alterations and additions with the demolition, construction and ongoing waste systems.

5.13 D1 Landscaped Open Space and Bushland Settings

Objectives

- *To enable planting to maintain and enhance the streetscape.*
- *To conserve and enhance indigenous vegetation, topographical features and habitat for wildlife.*
- *To provide for landscaped open space with dimensions that are sufficient to enable the establishment of low lying shrubs, medium high shrubs and canopy trees of a size and density to mitigate the height, bulk and scale of the building.*
- *To enhance privacy between buildings.*
- *To accommodate appropriate outdoor recreational opportunities that meet the needs of the occupants.*
- *To provide space for service functions, including clothes drying.*
- *To facilitate water management, including on-site detention and infiltration of stormwater.*

1. *The required minimum area of landscaped open space is shown on DCP Map Landscaped Open Space and Bushland Setting. To measure the area of landscaped open space:*

- a) *Driveways, paved areas, roofed areas, tennis courts, car parking and stormwater structures, decks, etc, and any open space areas with a dimension of less than 2 metres are excluded from the calculation;*
- b) *The water surface of swimming pools and impervious surfaces which occur naturally such as rock outcrops are included in the calculation;*

- c) Landscaped open space must be at ground level (finished); and*
- d) The minimum soil depth of land that can be included as landscaped open space is 1 metre.*

2. Where land is shown on DCP Map Landscaped Open Space and Bushland Setting as "Bushland Setting", a minimum of 50% of the site area must remain undisturbed by development and is to be kept as natural bushland or landscaped with locally indigenous species.

3. In Cottage Point the relationship of the locality with the surrounding National Park and Cowan Creek waterway will be given top priority by enhancing the spread of indigenous tree canopy and protecting the natural landscape including rock outcrops and remnant bushland.

The proposal satisfies the objectives of the landscaped open space and as the streetscape is maintained and increased planting to the private open space is provided.

With the increase of landscaped open space to the rear, it accommodates appropriate outdoor recreational opportunities that meet the needs of the occupants, maintains privacy between buildings and provides a space for service functions including clothes drying.

With the increased landscaped open space in the form of the raised rear yard, this will facilitate water management with appropriate infiltration and stormwater measures.

The proposed alterations and additions will increase the amount of landscaped open space in relation to the amount of landscaped open space to the subject site prior commencement of construction.

The minimum requirement under the Warringah DCP is 40% of the site area. The proposal equates to a LOS of 36.3%. The short fall is minor i.e. 20sqm (3.7%).

The existing landscaped open space area prior to construction was 29.3% with only 20% of this area being within the rear private open space. See plan below.

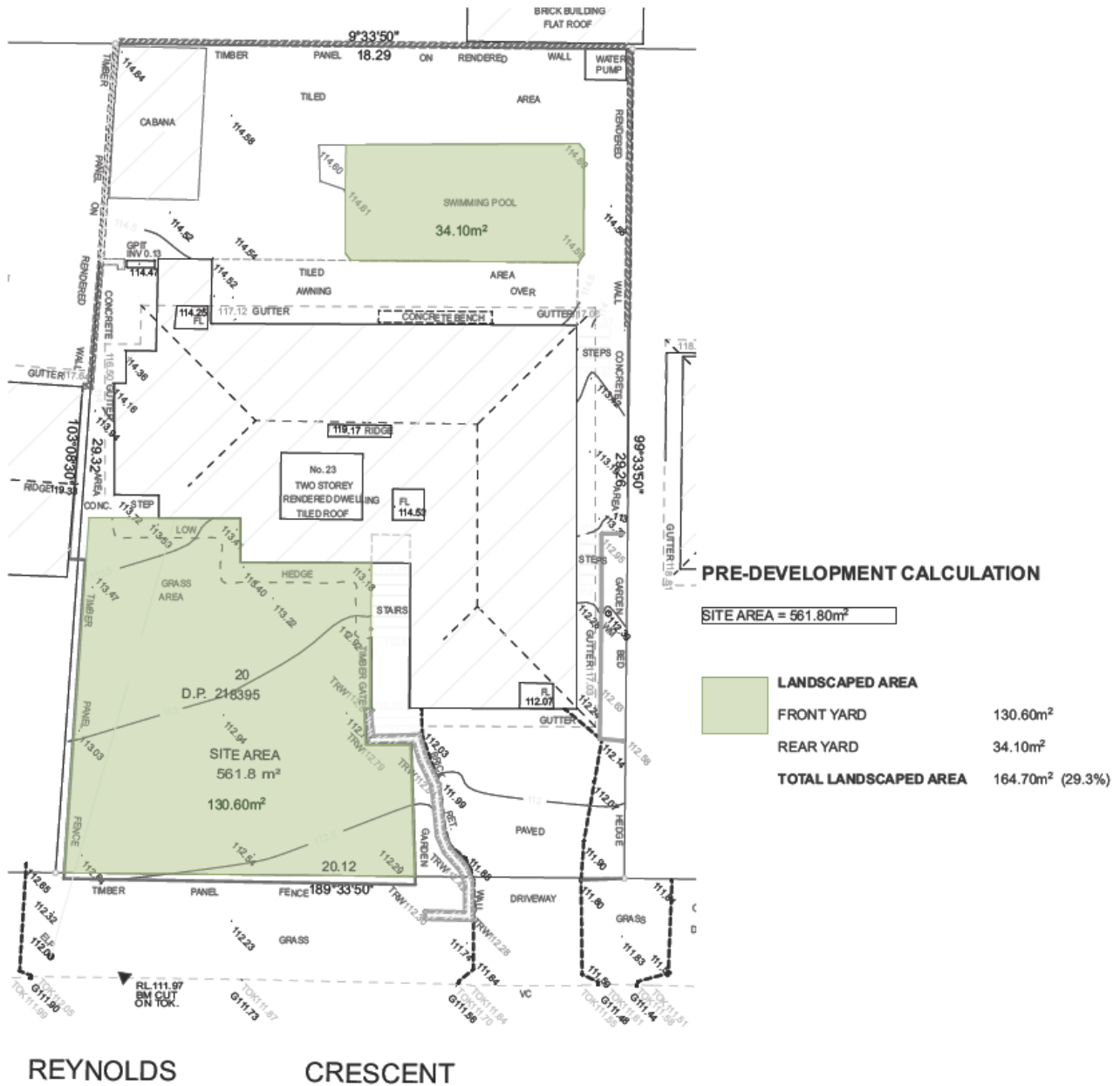


Image 3.
Landscaped area calculation pre-development.

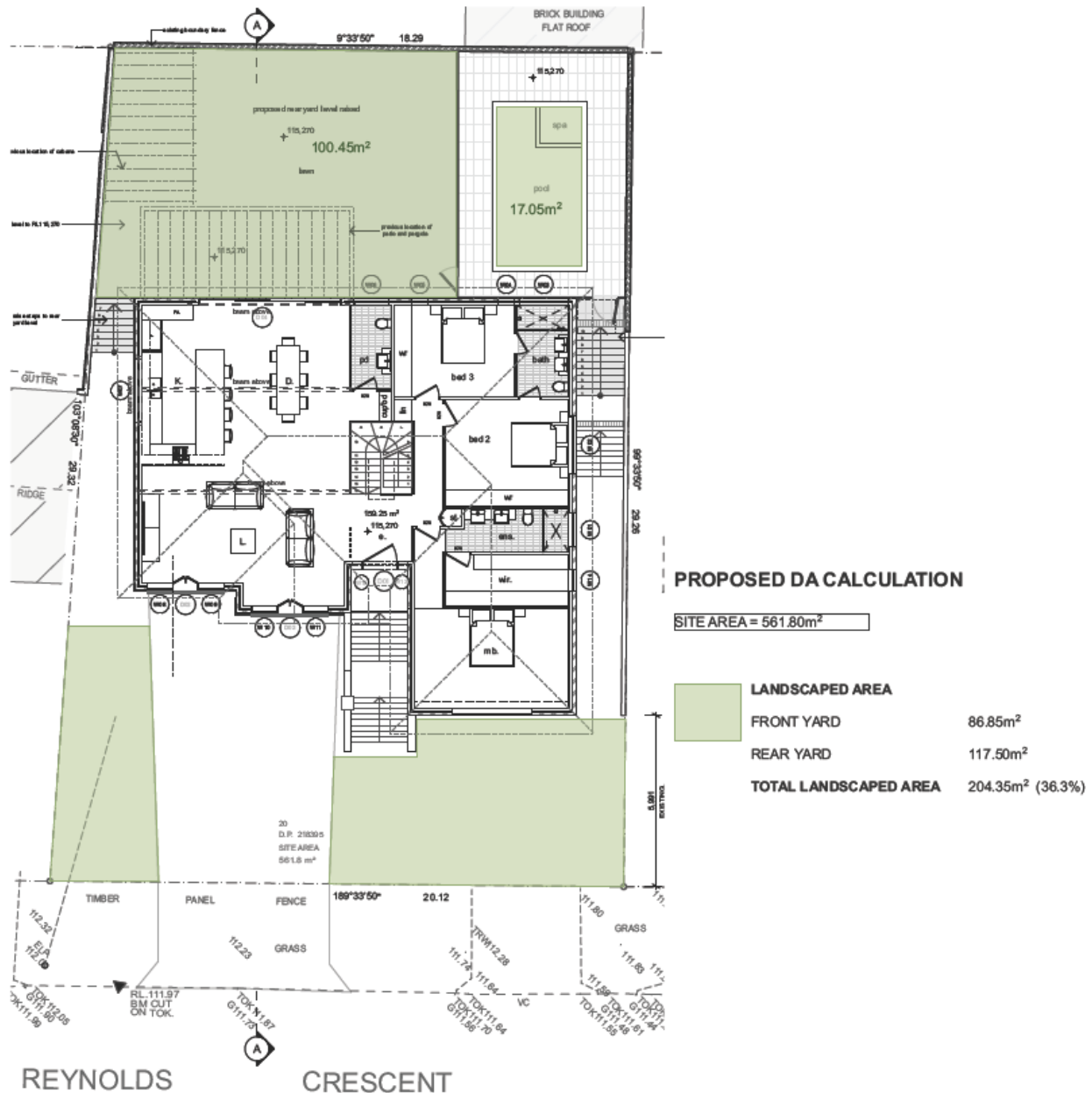


Image 4.
Landscaped area calculation proposed development application.

The proposed alterations and additions will have a significantly increased amount of landscaped open space with an increase of 83sqm of landscaped open area to the rear private open space in comparison to what was existing. Refer to the landscaped area calculation pan (Dwg No. DA.09).

The proposal satisfies the objectives of the control and provides for sufficient planting, enhance vegetation and recreational opportunities, maintains privacy between buildings and facilitates water management.

In conclusion notwithstanding the minor non compliance, the landscaped open space provided on site is substantially increased both in terms of quantum and quality.

5.14 D2 Private Open Space

1. Residential development is to include private open space for each dwelling.
2. The minimum area and dimensions of private open space are as follows:

<i>DWELLING Type</i>	<i>Area and Minimum Dimensions per dwelling</i>
<i>Dwelling houses (including dual occupancy) and attached dwellings with 1 or 2 bedrooms</i>	<i>A total of 35m2 with minimum dimensions of 3 metres</i>
<i>Dwelling houses (including dual occupancy) and attached dwellings with 3 or more bedrooms</i>	<i>A total of 60m2 with minimum dimensions of 5 metres</i>
<i>Multi dwelling housing (not located at ground level); residential flat buildings and shop top housing</i>	<i>A total of 10m2 with minimum dimensions of 2.5 metres</i>

3. Private open space is to be directly accessible from a living area of a dwelling and be capable of serving as an extension of the dwelling for relaxation, dining, entertainment, recreation and children's play.
4. Private open space is to be located and designed to ensure privacy of the occupants of adjacent buildings and occupants of the proposed development.
5. Private open space shall not be located in the primary front building setback.
6. Private open space is to be located to maximise solar access.

The proposed alterations and additions will not alter the private open space area but improve the recreational opportunities for the occupants. The proposal complies.

5.15 D3 Noise

1. Noise from combined operation of all mechanical plant and equipment must not generate noise levels that exceed the ambient background noise by more than 5dB(A) when measured in accordance with the NSW Industrial Noise Policy at the receiving boundary of residential and other noise sensitive land uses.

See also NSW Industrial Noise Policy Appendices

- 2. Development near existing noise generating activities, such as industry and roads, is to be designed to mitigate the effect of that noise.*
- 3. Waste collection and delivery vehicles are not to operate in the vicinity of residential uses between 10pm and 6am.*
- 4. Where possible, locate noise sensitive rooms such as bedrooms and private open space away from noise sources. For example, locate kitchens or service areas closer to busy road frontages and bedrooms away from road frontages.*
- 5. Where possible, locate noise sources away from the bedroom areas of adjoining dwellings/properties to minimise impact.*

The proposed alterations and additions will not generate noise and is use for residential purposes within a suburban setting.

5.16 D6 Access to Sunlight

- 1. Development should avoid unreasonable overshadowing any public open space.*
- 2. At least 50% of the required area of private open space of each dwelling and at least 50% of the required area of private open space of adjoining dwellings are to receive a minimum of 3 hours of sunlight between 9am and 3pm on June 21.*

The proposed alterations and additions will not alter access to sunlight for the neighbouring properties.

5.17 D7 Views

- 1. Development shall provide for the reasonable sharing of views.*

The proposed alterations and additions will not have an affect on views or view sharing.

5.18 D8 Privacy

- 1. Building layout should be designed to optimise privacy for occupants of the development and occupants of adjoining properties.*
- 2. Orientate living areas, habitable rooms and windows to private open space areas or to the street to limit overlooking.*
- 3. The effective location of doors, windows and balconies to avoid overlooking is preferred to the use of screening devices, high sills or obscured glass.*
- 4. The windows of one dwelling are to be located so they do not provide direct or close views (ie from less than 9 metres away) into the windows of other dwellings.*

5. Planter boxes, louvre screens, pergolas, balcony design and the like are to be used to screen a minimum of 50% of the principal private open space of a lower apartment from overlooking from an upper apartment.

The proposed alterations and additions maintains privacy between the neighbouring properties as the proposal is in relation to a storeroom located with the lower ground level (beneath the finished ground level) and a raised rear yard level.

5.19 D9 Building Bulk

1. Side and rear setbacks are to be progressively increased as wall height increases.

2. Large areas of continuous wall planes are to be avoided by varying building setbacks and using appropriate techniques to provide visual relief.

3. On sloping land, the height and bulk of development (particularly on the downhill side) is to be minimised, and the need for cut and fill reduced by designs which minimise the building footprint and allow the building mass to step down the slope. In particular:

The amount of fill is not to exceed one metre in depth.

Fill is not to spread beyond the footprint of the building.

Excavation of the landform is to be minimised.

4. Building height and scale needs to relate to topography and site conditions.

5. Orientate development to address the street.

6. Use colour, materials and surface treatment to reduce building bulk.

7. Landscape plantings are to be provided to reduce the visual bulk of new building and works.

8. Articulate walls to reduce building mass.

The proposed alterations and additions will not alter the bulk and scale of the approved dwelling. The proposed works are for a store room located within a basement and concealed by on structure planting.

5.20 D10 Building Colours and Materials

1. In highly visible areas, the visual impact of new development (including any structures required to retain land) is to be minimized through the use of appropriate colours and materials and landscaping.

2. The colours and materials of development on sites adjoining, or in close proximity to, bushland areas, waterways or the beach must blend in to the natural landscape.

3. The colours and materials used for alterations and additions to an existing structure shall complement the existing external building façade.

4. The holiday/fisherman shack character of the waterfront of Cottage Point is to be enhanced by the use of building materials which are sympathetic to the small timber and fibro cottages currently in existence on the waterfront. All buildings visible from the water are to utilise materials such as weatherboard, fibre cement, corrugated steel and timber. The use of masonry is discouraged.

The proposed alterations and additions will not alter the external colours and finishes of the approved dwelling.

5.21 D11 Roofs

1. Lift overruns, plant and other mechanical equipment are not to detract from the appearance of roofs.

2. Roofs should complement the roof pitch and forms of the existing buildings in the streetscape.

3. Articulate the roof with elements such as dormers, gables, balconies, verandahs and pergolas.

4. Roofs shall incorporate eaves for shading.

5. Roofing materials should not cause excessive glare and reflection.

6. Service equipment, lift overruns, plant and other mechanical equipment on the roof shall be minimised by integrating as many services, etc as possible into the building.

The proposed alterations and additions will not alter the roof form of the approved dwelling.

5.22 D12 Glare and Reflection

1. The overspill from artificial illumination or sun reflection is to be minimised by utilising one or more of the following: Selecting an appropriate lighting height that is practical and responds to the building and its neighbours;

- Minimising the lit area of signage;*
- Locating the light source away from adjoining properties or boundaries;*

and

- Directing light spill within the site.*

2. Any glare from artificial illumination is to be minimised by utilising one or more of the following:

- Indirect lighting;*
- Controlling the level of illumination; and*
- Directing the light source away from view lines.*

3. Sunlight reflectivity that may impact on surrounding properties is to be minimised by utilising one or more of the following:

- *Selecting materials for roofing, wall claddings and glazing that have less reflection eg medium to dark roof tones;*
- *Orienting reflective materials away from properties that may be impacted;*
- *Recessing glass into the façade;*
- *Utilising shading devices;*
- *Limiting the use of glazing on walls and glazed balustrades and avoiding the use of highly reflective glass; and*
- *Selecting windows and openings that have a vertical emphasis and are significantly less in proportion to solid massing in walls.*

The proposed alterations and additions will not increase glare and reflection to neighbouring properties.

5.23 D20 Safety and Security

- 1. Buildings are to overlook streets as well as public and communal places to allow casual surveillance.*
- 2. Service areas and access ways are to be either secured or designed to allow casual surveillance.*
- 3. There is to be adequate lighting of entrances and pedestrian areas.*
- 4. After hours land use activities are to be given priority along primary pedestrian routes to increase safety.*
- 5. Entrances to buildings are to be from public streets wherever possible.*
- 6. For larger developments, a site management plan and formal risk assessment, including the consideration of the 'Crime Prevention through Environmental Design' principles may be required. This is relevant where, in Council's opinion, the proposed development would present a crime, safety or security risk. See Crime Prevention and Assessment of Development Applications – Guidelines under Section 79C of the Environmental Planning and Assessment Act 1979 prepared by the Department of Urban Affairs and Planning (now Department of Planning).*
- 7. Buildings are to be designed to allow casual surveillance of the street, for example by:*
 - a) Maximising the glazed shop front on the ground level so that views in and out of the shop can be achieved;*
 - b) Providing openings of an adequate size in the upper levels to maximise opportunities for surveillance;*
 - c) Locating high use rooms to maximise casual surveillance;*
 - d) Clearly displaying the street number on the front of the building in pedestrian view; and*
 - e) Ensuring shop fronts are not obscured by planting, signage, awnings and roller shutters.*
- 8. Casual surveillance of loading areas is to be improved by:*
 - a) Providing side and rear openings from adjacent buildings that overlook service areas and clear sight lines; and*

b) Providing adequate day and night lighting which will reduce the risk of undesirable activity.

9. Design entrances to buildings from public streets so that:

- a) Building entrances are clearly identifiable, defined, lit and visible;*
- b) The residential component of a shop top housing development has a separate secure pedestrian entrance from the commercial component of the development;*
- c) Main entrances are clearly identifiable;*
- d) Pavement surfaces and signage direct pedestrian movements; and*
- e) Potential conflict between pedestrians and vehicles is avoided.*

The proposed alterations and additions will not alter the safety and security measures of the approved dwelling. The store room is located adjacent to the garage and is beneath the finished ground level. The raised yard is located to the rear of the subject site.

5.24 D21 Provision and Location of Utility Services

1. If a proposed development will involve a need for them, utility services must be provided, including provision of the supply of water, gas, telecommunications and electricity and the satisfactory management of sewage and drainage.

2. Service structures, plant and equipment are to be located below ground or be designed to be an integral part of the development and suitably screened from public places or streets.

3. Where possible, underground utility services such as water, gas, telecommunications, electricity and gas are to be provided in a common trench. The main advantages for this are:

- a) A reduction in the number of trenches required;*
- b) An accurate location of services for maintenance;*
- c) Minimising the conflict between services;*
- d) Minimising land required and cost;*

4. The location of utility services should take account of and minimise any impact on natural features such as bushland and natural watercourses.

5. Where natural features are disturbed the soil profile should be restored and landscaping and tree planting should be sited and selected to minimise impact on services, including existing overhead cables.

6. Where utilities are located above ground, screening devices should include materials that complement the streetscape, for example fencing and landscaping. The location of service structures such as electricity substations should be within the site area.

7. Habitable buildings must be connected to Sydney Water's sewerage system where the density is one dwelling per 1050 square metres or greater.

8. On land where the density is less than one dwelling per 1050 square metres, and where connection to Sydney Water is not possible, Council may consider the on-site disposal of effluent where the applicant can demonstrate that the proposed sewerage systems or works are able to operate over the long term without causing unreasonable adverse effects.

The site is provided with access to electricity, telecommunications, sewer and water supply. All services will connect into existing. Stormwater is to be collected into a series of pits and conveyed to the street as shown in the stormwater plans.

5.25 D22 Conservation of Energy and Water

- 1. The orientation, layout and landscaping of sites is to make the best use of natural ventilation, daylight and solar energy.*
- 2. Site layout and structures are to allow for reasonable solar access for the purposes of water heating and electricity generation and maintain reasonable solar access to adjoining properties.*
- 3. Buildings are to be designed to minimize energy and water consumption.*
- 4. Landscape design is to assist in the conservation of energy and water.*
- 5. Reuse of stormwater for on-site irrigation and domestic use is to be encouraged, subject to consideration of public health risks.*
- 6. All development must comply with Council's Water Management Policy.*

The proposed alterations and additions will not alter the Basix Certificate commitments to the approved dwelling. The proposal is for a storeroom to the lower ground floor and adjacent to the garage. The ground floor proposes a raised rear yard level with increased amount of landscaped open area.

Reduced paved areas, impervious areas and increased landscaped open area to the rear will ensure to improve conserving water and energy.

6.0 LIKELY IMPACTS AND SUITABILITY OF THE SITE FOR THE DEVELOPMENT

It is considered that the proposed alterations and addition to the approved dwelling is suitable for the subject site.

The proposed store room and the raised rear yard level will maintain the same streetscape appearance, improve amenity and recreational opportunities for the occupants.

Any potentially adverse environmental impacts such as privacy and overshadowing have been considered with mitigative elements incorporated into the overall design.

The proposal has been designed to have regard to the opportunities and constraints of the site and in particular will provide a positive contribution to the character of the site and its functionality and opportunity for increased effective landscaping.

A contextual analysis of the site and surrounds, proposed density, increased landscaped open space clearly demonstrates that the proposal does not represent a bulky or over-development of the site and conforms with Warringah LEP 2011 and relevant DCPs.

The proposal has been mindful of solar access, privacy, locality and the character of the streetscape. The proposed alterations and additions will integrate with the approved dwelling.

The proposal will result in a building that sits comfortably as a “good neighbour” within its physical and natural environment. The proposed alterations and additions will maintain the prevailing side, rear and front setback patterns within the immediate vicinity and not alter the streetscape of the area.

Some of the issues covered by the above matters of consideration are addressed in more detail below:

glare and reflection

The proposal is not likely to result in overspill or glare from artificial illumination or sun reflection, which would unduly diminish the amenity of the locality.

construction management /pollution control

Proper site construction management will be required to ensure the surrounding amenity, pedestrian and road safety, and natural environment are not unreasonably impacted upon. In particular:

- there is adequate area on site for handling and storage of materials;
- the sites location will enable access to the site without disturbance to the amenity of the neighbourhood;
- construction waste is to be either recycled where possible or alternatively as last option transported to approved waste depots;
- safe pedestrian access is to be provided around the site at all times;

- the builder is to implement appropriate measures to minimise air and water borne pollutants such as dust, odour, liquids and noise;
- drainage facilities will be constructed in preliminary stages to allow for gross pollution control and silt and sediment control during construction.

noise

The development will not result in noise emission which would unreasonably diminish the amenity of the area or which would be unreasonable to the intended occupants. There are no obvious noise generators.

Surrounding development in the immediate vicinity is generally of one (1) – two (2) storeys and residential use, and there are no perceivable nuisances associated from this form of development, which will render the site unsuitable.

pollutants

No special measures are required to control pollutants from the use of the site.

flood affectation

The land is not known to be subject to flooding.

potentially contaminated land

Having regard to the historical uses of the land for residential development only there are unlikely to be any issues emanating from potential contamination of the soil which would render the site unsuitable.

safety and security

The building provides windows to all elevations and accessible areas, particularly to the front porch, which allows for casual surveillance of the surroundings. Furthermore, lighting of entrances, access way and landscaped areas will be provided.

front fences and walls

The fencing currently existing will remain on the boundaries.

utility services

The site is provided with access to electricity, telecommunications, sewer and water supply. All services will connect into existing. Stormwater is to be collected into a series of pits and conveyed to the street.

protection of flora

No significant or endangered flora or fauna is likely on the site.

access to sunlight

The proposal will not later the height of the development and this ensures that there will be no unreasonable overshadowing of the adjoining properties.

Sunlight to the principal private open spaces is not reduced to less than 3 hours between 9:00am and 3:00pm on June 21.

privacy

The privacy of adjoining properties is maintained as the proposal is for a store room to the lower ground floor and raising of the rear yard level.

building bulk

The building mass is will remain the same under the proposed alterations and additions.

The overall development will not have an adverse impact on the locality or adverse visual impact when viewed from adjoining properties or public places.

energy conservation

The principal objectives for the owners have been to create an ecologically sustainable energy efficient development within an urban environment. The proposal makes good use of natural day light and cross ventilation, solar energy and penetration, by minimising winter heat loss and summer heat gain.

This is achieved by passive means including thermal mass, cross ventilation, awning and roof over hangs, insulation to walls and ceiling is proposed.

Overall the site is suitable for the proposed development.

6.1 SUBMISSIONS

Council is responsible for the referral of the application to relevant Government bodies and to adjoining owners.

Any submissions will be reviewed by the applicant and Council during the assessment process, and duly considered.

6.2 THE PUBLIC INTEREST

Given the compliance with the requirements and in particular the objectives of the Warringah LEP 2011 and DCP, the attention to producing a quality alterations & additions to the residential development, the proposal is considered to have a positive impact on the streetscape and character of the locality with little external amenity impacts.

In the circumstances there are no reasons to conclude that the proposal is contrary to the public interest.

7.0 CONCLUSION

The proposed development has been assessed against the relevant heads of consideration under s.4.15 of the Act as being satisfactory.

The proposed alterations and additions is permissible under the Warringah LEP 2011 and is considered to satisfy the relevant objectives. The proposal complies with the relevant Warringah development controls.

The proposal is an appropriate response to both the opportunities and constraints of the site identified by proper site analysis, and complies with most of the relevant controls in the Warringah DCP.

The overall form and the street facade will remain the same as the proposal seeks consent for amendments to the rear of the subject site. Amenity impacts appropriately curtailed to acceptable limits.

It is our opinion that the proposed alterations and additions to the approved dwelling results in a design, siting and form which will not have an adverse impact on the streetscape and character of the area.

No significant adverse impacts will be introduced on the natural or built environments as a result of the proposal and given the relevant planning policies, codes and requirements of the *EP&A Act 1979* have been duly satisfied, the proposed application is worthy of approval on its merits.