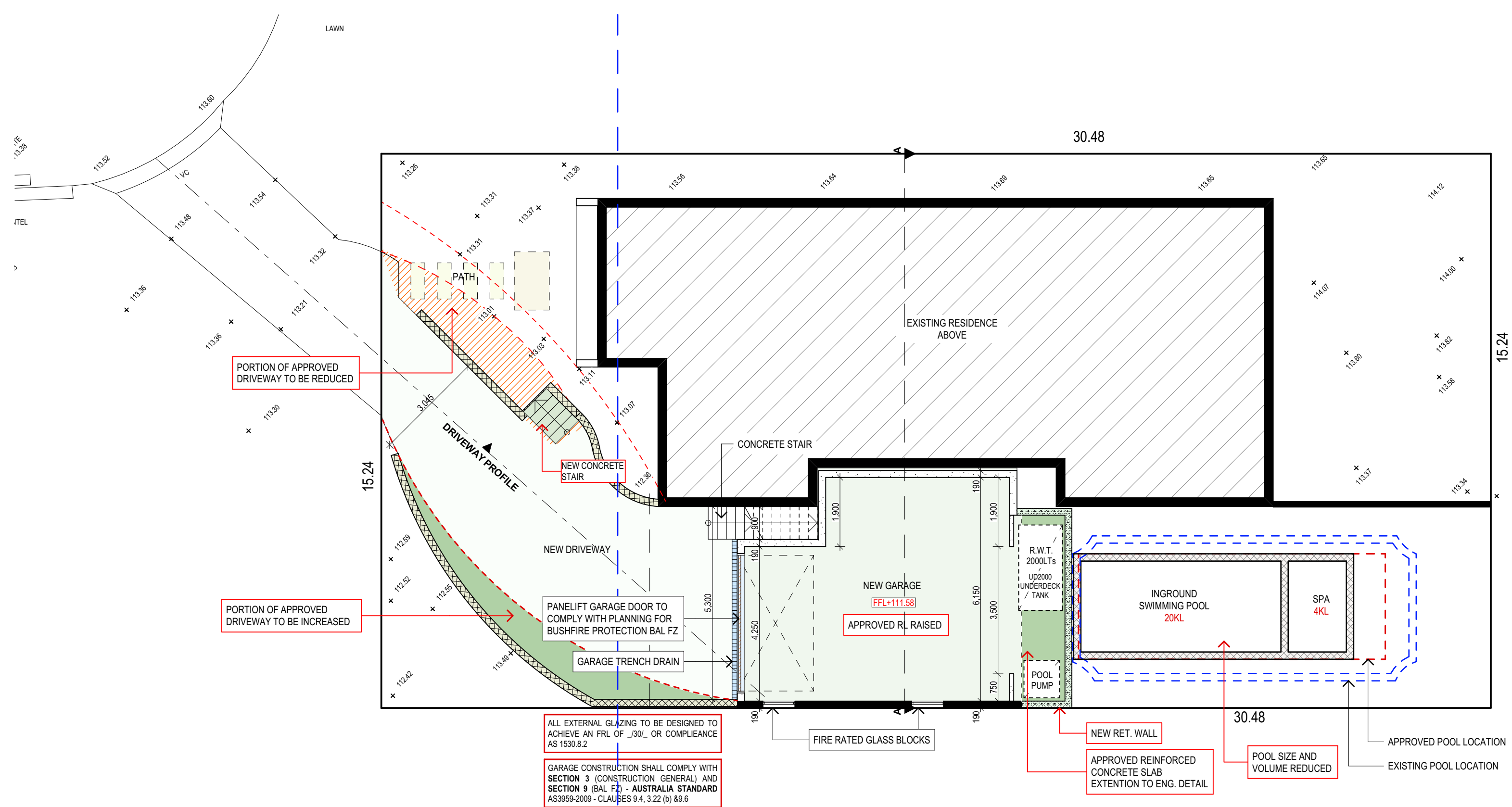


DRAWING No:
MOD.01



GARAGE FLOOR PLAN

NOTES:

- MODIFICATIOS TO APPROVED DA SHOWN **IN RED**
- ALL CONSTRUCTION TO COMPLY WITH AS3959 'CONSTRUCTION OF BUILDINGS IN BUSHFIRE PRONE AREAS' AND PLANNING FOR BUSHFIRE PROTECTION BAL FZ, AS PER THE REPORT PREPARED BY PLANNING FOR BUSHFIRE PROTECTION

TRUE NORTH:

NOTES (E & OE)

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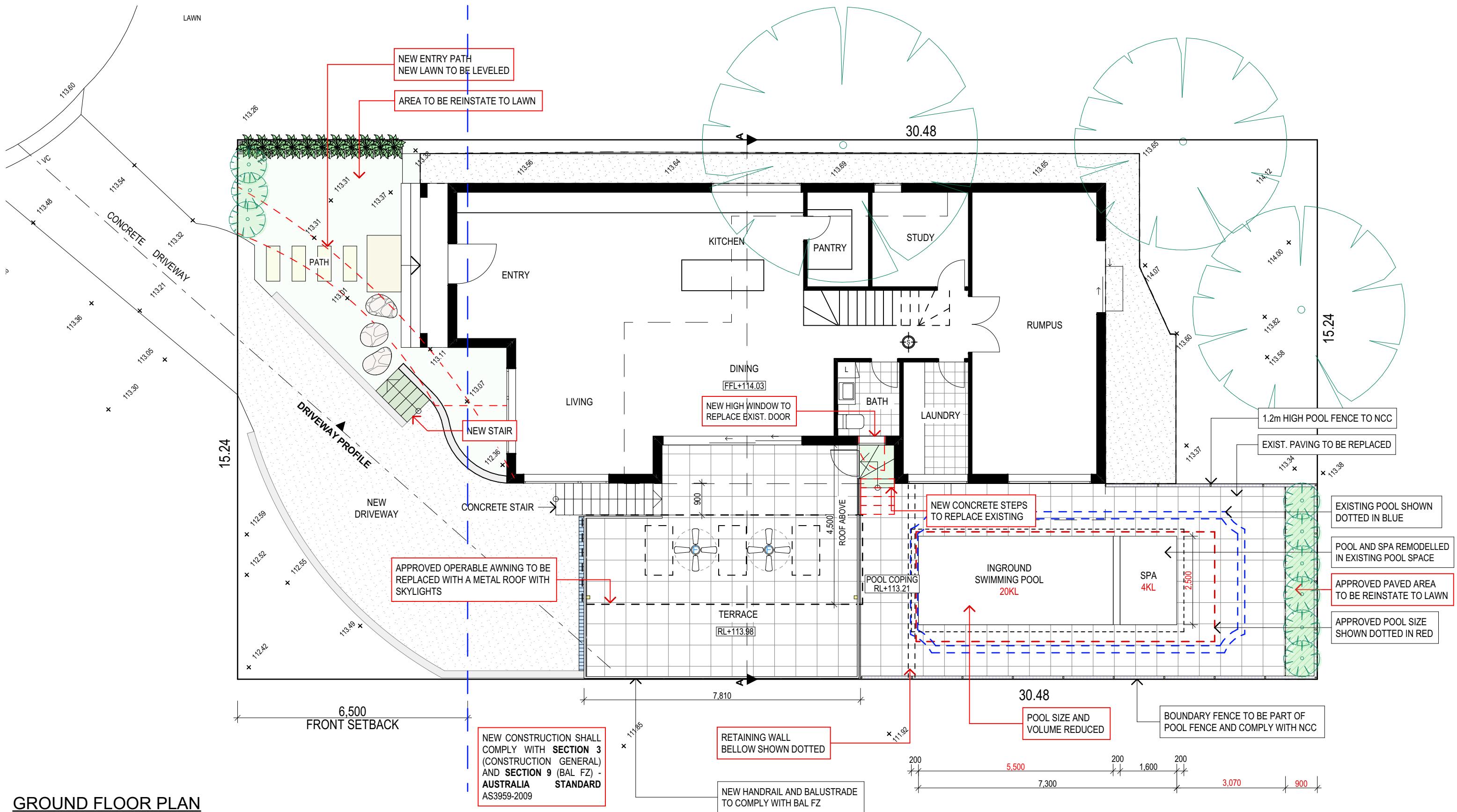
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REV:	DATE:	DESCRIPTION:
A	23.03.23	SECTION 4.55 UPDATED
B	31.03.23	SECTION 4.55 UPDATED

MODIFICATION DRAWINGS TO APPROVED ALTERATIONS AND ADDITIONS	DATE:	DRAWN BY:	SCALE:
16 Stephen Street - Beacon Hill NSW 2100	February/23	LB	1:100 @ A3
CLIENT:	JOB No:	CHECKED BY:	DRAWING No:
Bernie Zicat	1124/23	JJ	MOD.02
DRAWING TITLE:			
GARAGE FLOOR PLAN			



GROUND FLOOR PLAN

LEGEND I:

HARD WIRED SMOKE ALARM - to be installed as per Part 3.7.5 of the **BCA**.

NOTES:

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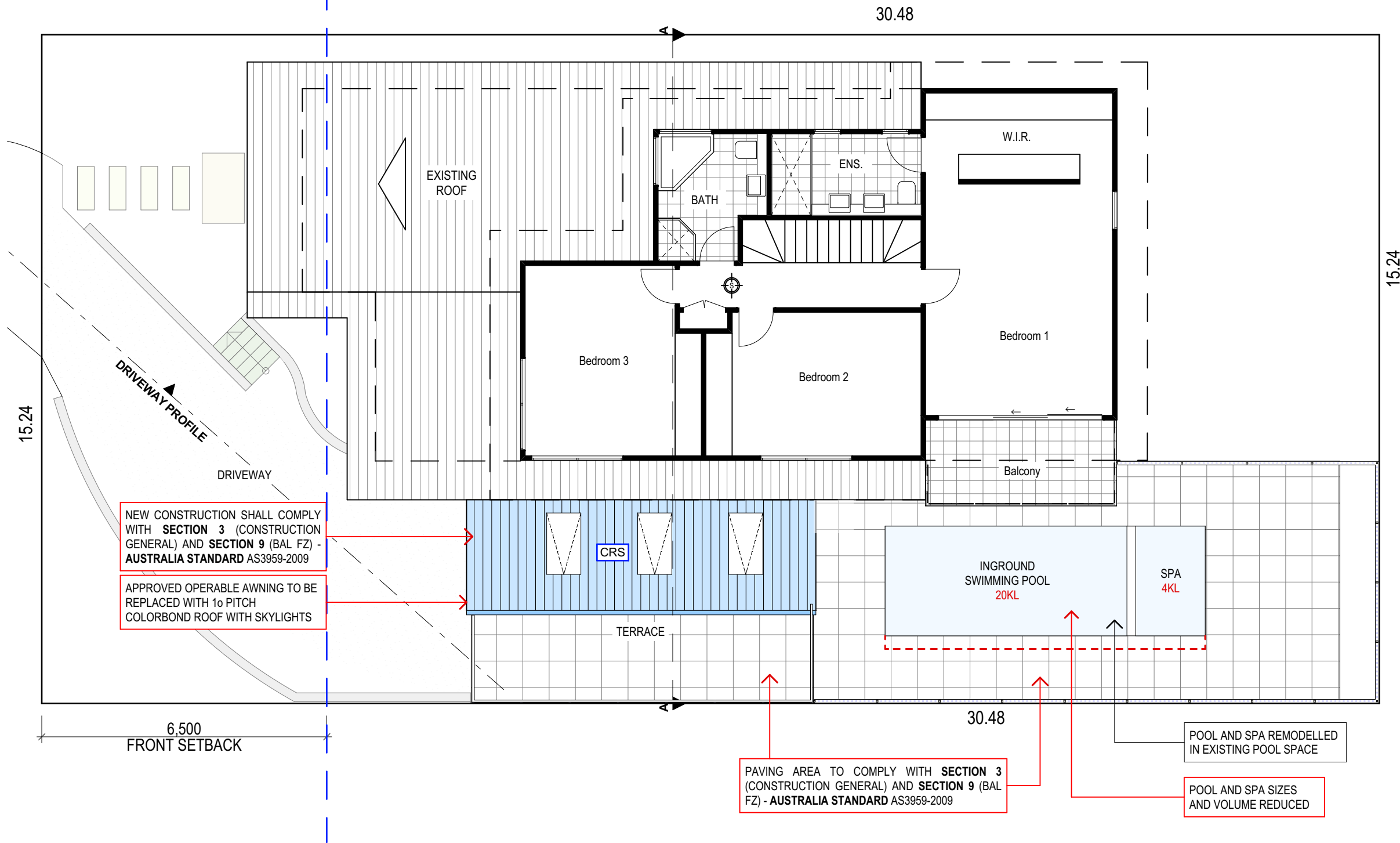
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	JOB No: 1124/23	CHECKED BY: JJ	DRAWING No: MOD.03

DRAWING TITLE:
GROUND FLOOR PLAN



FIRST FLOOR PLAN

LEGEND I:

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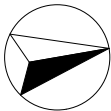
LEGEND:

CRS - COLORBOND ROOF SHEETING - external finish shall have a medium to dark range colour (BCA classification M and D).

REW - RENDERED EXTERNAL WALLS - 'MEDIUM' colour to mach existing dwelling.

* **BALUSTRADE** - Proprietary glazed with face pinned fixing & top 316 grade minimum, stainless stell channel (BCA requirement).

TRUE NORTH:



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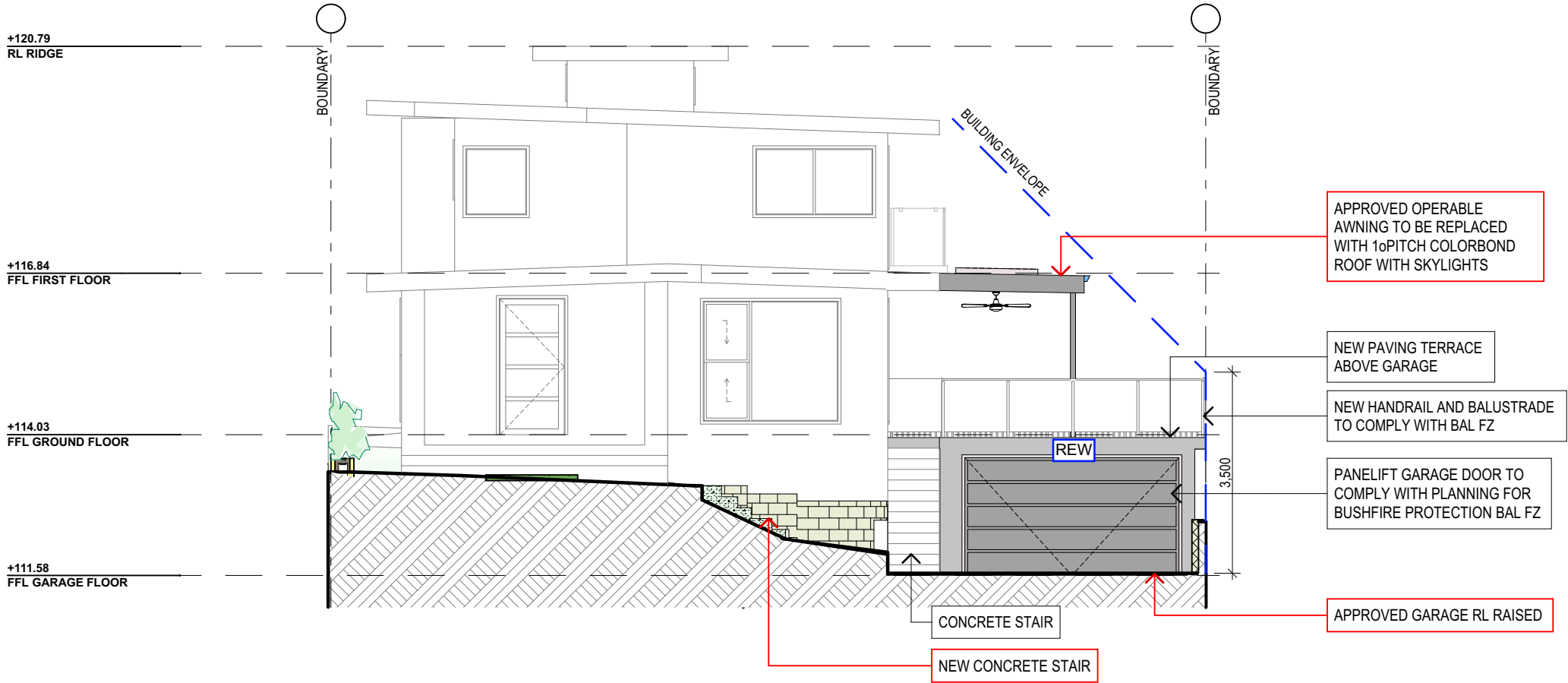
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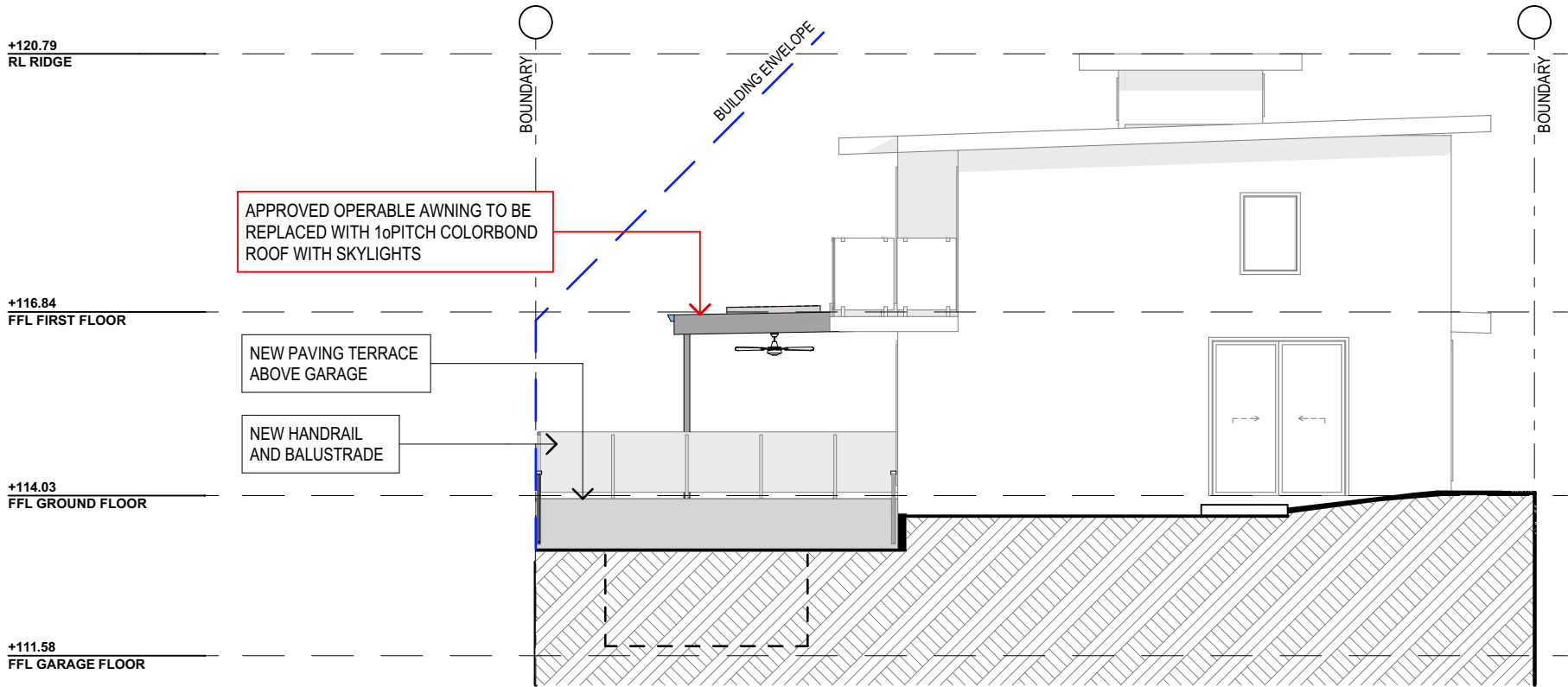
CLIENT:
Bernie Zicat

DRAWING TITLE:
FIRST FLOOR PLAN

DATE: February/23	DRAWN BY: LB	SCALE: 1:100 @ A3
JOB No: 1124/23	CHECKED BY: JJ	DRAWING No: MOD.04



SOUTH ELEVATION



NORTH ELEVATION

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LEGEND II:
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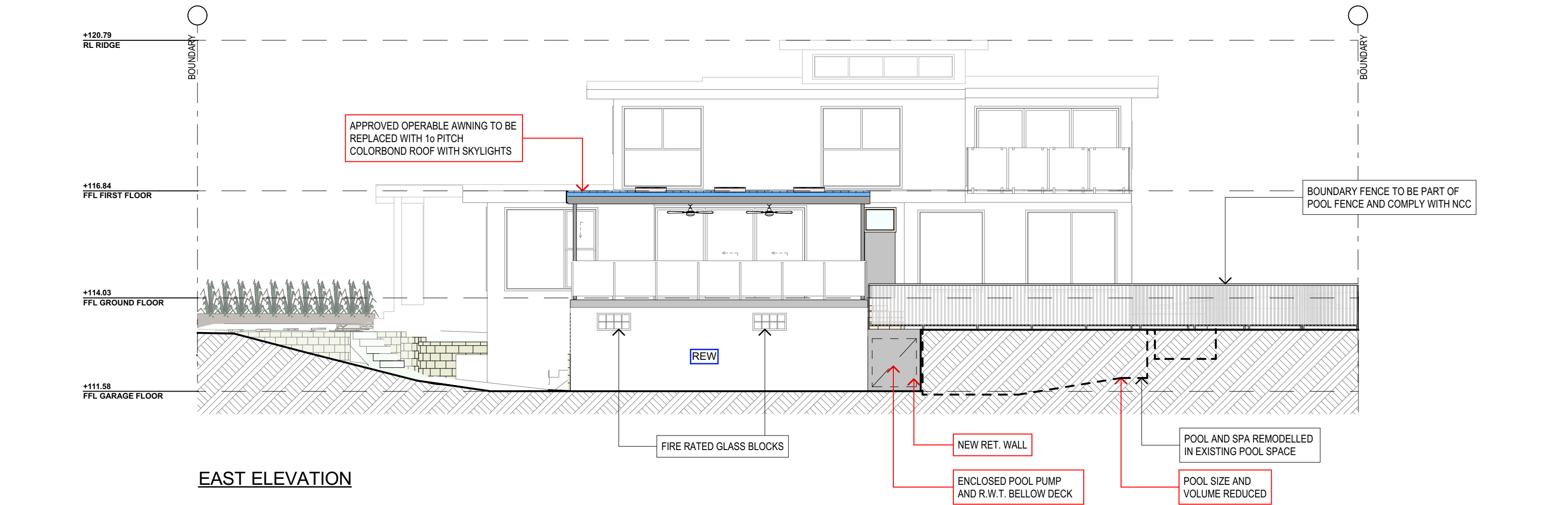
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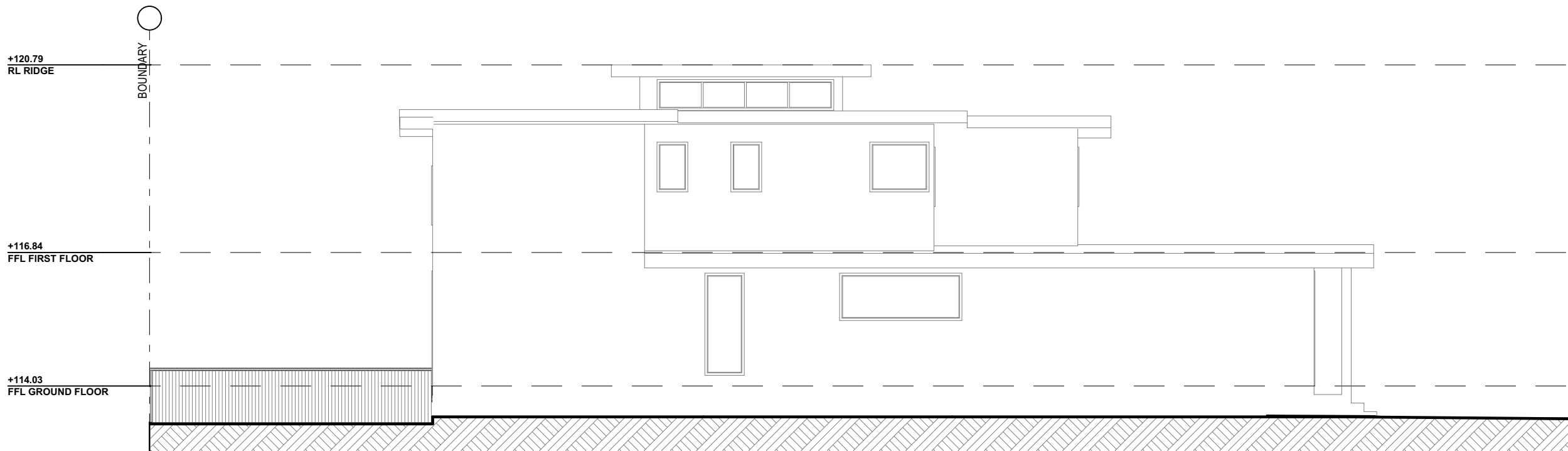
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MODIFICATION DRAWINGS TO APPROVED ALTERATIONS AND ADDITIONS
16 Stephen Street - Beacon Hill NSW 2100
CLIENT:
Bernie Zicat
DRAWING TITLE:
NORTH & SOUTH ELEVATIONS

DATE: February/23	DRAWN BY: LB	SCALE: 1:100 @ A3
JOB No: 1124/23	CHECKED BY: JJ	DRAWING No: MOD.05



EAST ELEVATION



WEST ELEVATION

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CLIENT:
Bernie Zicat
DRAWING TITLE:
EAST & WEST ELEVATIONS

DATE: February/23	DRAWN BY: LB	SCALE: 1:100 @ A3
JOB No: 1124/23	CHECKED BY: JJ	DRAWING No: MOD.06

BASIX REQUIREMENT:

BASIX Inclusions for 16 Stephen Street - Beacon Hill

RAINWATER TANK:

- THE APPLICANT MUST INSTALL A RAINWATER TANK OF AT LEAST 1990 LITRES ON THE SITE. THIS RAINWATER TANK MUST MEET, AND BE INSTALLED IN ACCORDANCE WITH, THE REQUIREMENTS OF ALL APPLICABLE REGULATORY AUTHORITIES.
- THE APPLICANT MUST CONFIGURE THE RAINWATER TANK TO COLLECT RAIN RUNOFF FROM AT LEAST 140 SQUARE METRES OF THE ROOF AREA OF THE DEVELOPMENT.
- THE APPLICANT MUST CONNECTED THE RAINWATER TANK TO A TAP LOCATED WITHIN 10mETRES OF THE EDGE OF THE POOL.

OUTDOOR SWIMMING POOL:

- THE SWIMMING POOL MUST NOT HAVE A CAPACITY GREATER THAN 20 KILOLITRES.
- THE APPLICANT MUST INSTALL A POOL PUMP TIMER FOR THE SWIMMING POOL.
- THE APPLICANT MUST NOT INCORPORATE ANY HEATING SYSTEM FOR THE SWIMMING POOL

OUTDOOR SPA:

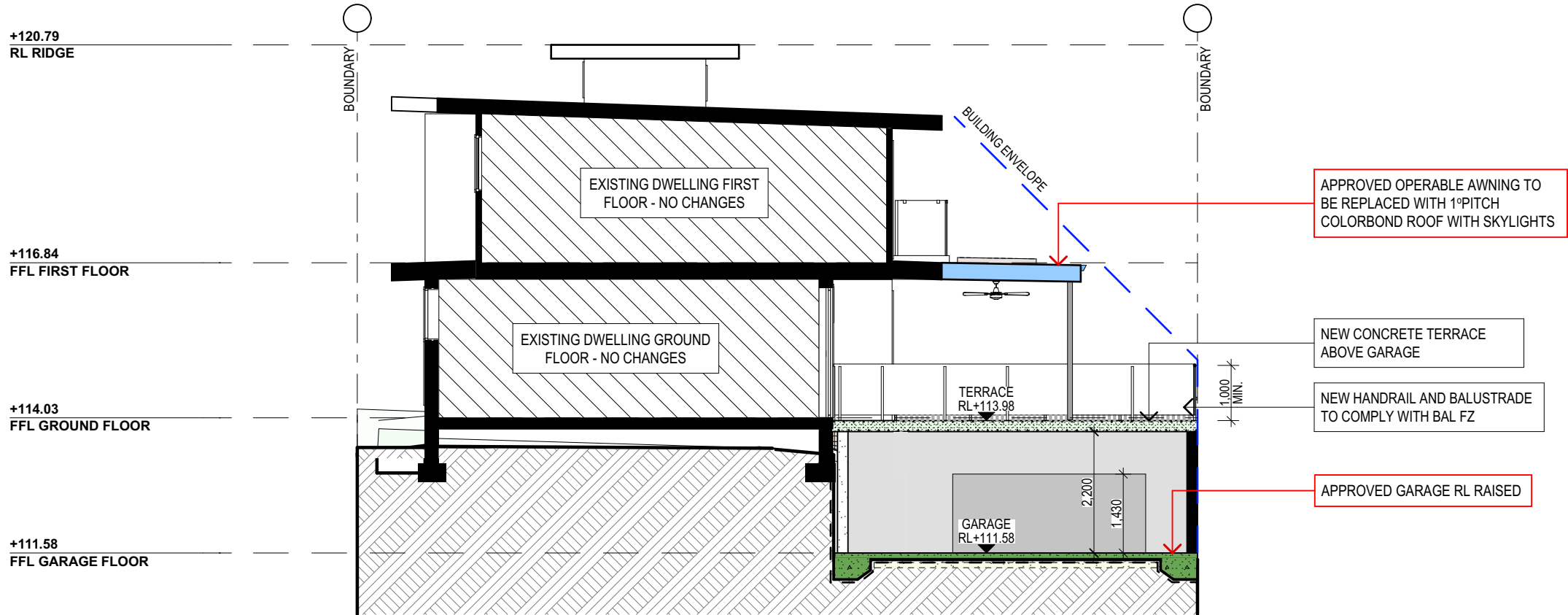
- THE SPA MUST NOT HAVE A CAPACITY GREATER THAN 4 KILOLITRES.
- THE APPLICANT MUST INSTALL A SPA PUMP TIMER.
- THE APPLICANT MUST INSTALL A GAS HEATING SYSTEM FOR THE SPA

LIGHTING REQUIREMENTS:

40% OF NEW OR ALTERED LIGHT FIXTURES TO BE FITTED WITH FLUORESCENT, COMPACT FLUORESCENT, OR LIGHT-EMITTING-DIODE (LED) LAMPS

INSULATION REQUIREMENTS - CONSTRUCTION

- FLOOR - CONCRETE SLAB
EXTERNAL WALLS: GARAGE - MASONRY - RENDERRED
WINDOWS AND DOORS:
- W1 (BATHROOM) - STANDARD ALUMINIUM, SINGLE CLEAR (or U-value: 7.63, shgc: 0.75)
- PANEL LIFT GARAGE DOOR
- FIRE RATED GLASS BLOCKS



SECTION A-A

NOTES:

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BUSHFIRE REPORT FOR 16 STEPHEN STREET - BEACON HILL:

CONSTRUCTION AND DESIGN FOR BAL 19 AND BAL FZ:

ALL NEW WORK IS TO BE UNDERTAKEN IN ACCORDANCE WITH THE RELEVANT REQUIREMENTS OF THE BCA AND AS3959 2009. THE FOLLOWING RECOMMENDATIONS ARE A MINIMUM LEVEL OF CONSTRUCTION.

1. NEW CONSTRUCTION SHALL COMPLY WITH SECTION 3 AND SECTION 9 (BAL FZ) OF AUSTRALIAN STANDARD AS3959-2009 "CONSTRUCTION OF BUILDINGS IN BUSH FIRE-PRONE AREAS" NEW CONSTRUCTION CAN BE DESIGNED AND INSTALLED IN ACCORDANCE WITH NASH STANDARD FOR RESIDENTIAL AND LOW-RISE FRAMING, PART 1: DESIGN CRITERIA OR PART 2: DESIGN SOLUTIONS.

2. ELETRICITY AND GAS SUPPLIES: AS FAR AS PRACTICAL, NEW ELECTRICITY AND GAS SUPPLIES SHALL BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF 4.1.3 OF PBP.

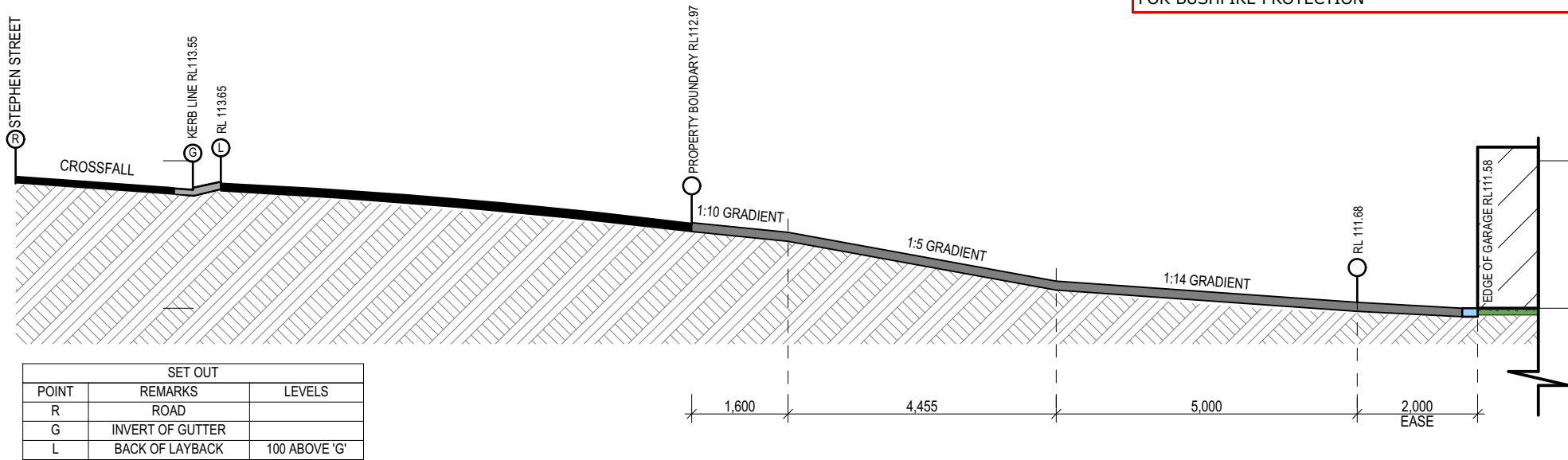
3. EXISTING DWELLING HAS BEEN UPGRADED TO IMPROVE EMBER PROTECTION IN ACCORDANCE WITH THE RECOMMENDATION OF THE PREVIOUS APPROVED DEVELOPMENT APPLICATION.

4. ASSET PROTECTION ZONES: AT THE COMMENCEMENT OF BUILDING WORKS AND IN PERPETUITY, THE ENTIRE PROPERTY SHALL BE MANAGED AS AN INNER PROTECTION AREA AS OUTLINED WITHIN PBP2006 AND THE NSW RFS DOCUMENT 'STANDARDS FOR ASSET PROTECTION ZONES'.

5. WATER SUPPLIES: RETICULATED WATER SUPPLY IS LOCATED ON THE ADJOINING ROAD AT REGULAR INTERVALS AND IS EASILY ACESSIBLE. ADDITIONAL WATER SUPPLIES ARE NOT RECOMMENDED AS A CONDITION OF CONSENT.

6. ADJACENT BUILDING (CLASS 10a): CLASS 10a BUILDINGS SHALL COMPLY WITH THE REQUIREMENTS OF AS3959, 2009 PART 3.2. *CONSTRUCTION REQUIREMENTS FOR SPECIFIC STRUCTURES.*

7. ADJACENT STRUCTURES (CLASS 10b): AT THE PLANNING STAGE, CLASS 10b BUILDINGS IN BUSHFIRE PRONE AREAS SHOULD BE NON-COMBUSTIBLE. (CLASS10b BUILDING INCLUDE A FENCE, RETAINING OR FREE-STANDING WALL, SWIMMING POOL OR THE LIKE.



DRIVEWAY PROFILE

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16 Stephen Street - Beacon Hill NSW 2100

CLIENT:
Bernie Zicat

DRAWING TITLE:
SECTION / BASIX

DATE:
February/23

JOB No:
1124/23

DRAWN BY:
LB

CHECKED BY:
JJ

SCALE:
1:100 @ A3

DRAWING No:
MOD.07

NOTES

DESIGNATED SITE MANAGER/BUILDER

PRIOR TO COMMENCEMENT OF WORK A SITE MANAGER OR BUILDER MUST BE NOMINATED. THE SITE MANAGER OR BUILDER WILL BE RESPONSIBLE AND LIABLE FOR ALL WORKS CARRIED OUT ON THE SITE. THIS ASSUMES THE RESPONSIBILITY FOR THE ACTIONS OF ALL SUBCONTRACTED PARTIES AS WELL AS ADVISING THEM OF COUNCIL'S REQUIREMENTS WHEN CARRYING OUT WORKS.

TOPSOIL MANAGEMENT

PRIOR TO THE STRIPPING OF TOPSOIL, THE VEGETATIVE COVER MUST BE REDUCED BY EITHER SLASHING OR MOWING. ALL TOPSOIL IS TO BE RETAINED AND PROTECTED FOR REUSE ON SITE. SOIL STOCKPILES MUST NOT BE LOCATED ON NATURE STRIPS, FOOTPATHS, ROADWAYS, KERBS, ACCESSWAYS, WITHIN DRAINAGE LINES/FLOWS/PATHS OR AROUND OR AGAINST TREE SHRUBS. SEDIMENT CONTROL MEASURES MUST BE INCORPORATED WITH ANY RESULTING STOCKPILE. THE STOCKPILE CAN BE PROTECTED FROM EROSION BY COVERING IT WITH AN IMPERVIOUS MATERIAL, IN CONJUNCTION WITH THE INSTALLATION OF A SEDIMENT FENCE AROUND IT. IF STOCKPILES ARE TO REMAIN FOR MORE THAN ONE MONTH THEY ARE TO BE GRASSED IMMEDIATELY AND STABILISED WITHIN FOURTEEN DAYS. SURPLUS TOPSOIL MUST BE REASONABLY REMOVED FROM SITE.

BUILDING MATERIAL STOCKPILING

SUFFICIENT AREA MUST BE ALLOCATED WITHIN THE SITE FOR SUCH STORAGE OF BUILDING MATERIALS, DEMOLITION WASTE, WASTE CONTAINERS, ETC. AS WILL BE REQUIRED.

SEDIMENT FENCES

A SEDIMENT FENCE SHOULD BE LOCATED ALONG THE DOWNSLOPE BOUNDARY(S) OF THE SITE, ON THE CONSTRUCTION SIDE OF THE TURF FILTER STRIP OR NATIVE VEGETATION, AND AROUND ALL STOCKPILES OF MATERIAL ON THE SITE.

DUST CONTROL

ALL TRUCKS/UTES MUST COVER THEIR LOADS AT ALL TIMES. APPROPRIATE METHODS ARE TO BE EMPLOYED TO PREVENT BLOWING DUST CREATING AN UNACCEPTABLE HAZARD OR NUISANCE ON THE SITE OR DOWN WIND. PRODUCTION OF DUST CAN BE MINIMISED BY LIMITING AREA OF EARTHWORKS, WATERING AND PROGRESSIVE VEGETATION. WHERE DUST IS CREATED AS A RESULT WORKS AND/OR SOIL EXPOSURE, THE BARE SOIL AREAS MUST BE WATERED, DURING AND/OR AT THE END OF EACH DAY TO LAY THE DUST. EARTH MOVING ACTIVITIES SHOULD BE AVOIDED WHERE WINDS ARE SUFFICIENTLY STRONG ENOUGH TO RAISE VISIBLE DUST.

EROSION & SEDIMENT CONTROLS

APPROPRIATE EROSION AND SEDIMENT CONTROLS MUST BE IMPLEMENTED ON ALL SITES THAT INVOLVE SOIL DISTURBANCE. THE MEASURES MUST BE IN PLACE PRIOR TO THE COMMENCEMENT OF WORK. THOSE CONTROLS ARE TO BE MONITORED AND MAINTAINED IN ORDER TO SERVE THEIR INTENDED FUNCTION FOR THE DURATION OF THE WORKS OR UNTIL SUCH TIME AS THE SITE IS FULLY STABILISED. IF ANY CONTROLS ARE DAMAGED OR BECOME INEFFECTIVE DURING THE COURSE OF THE WORKS THEY ARE TO BE REINSTATED OR REPLACED IMMEDIATELY. SUFFICIENT ACCESS TO THESE CONTROLS MUST BE PROVIDED IN CASE OF THE NEED TO REPAIR.

SEDIMENT TRAPS

WHERE A SEDIMENT FENCE IS NOT USED APPROPRIATE SEDIMENT TRAPS SHOULD BE LOCATED AT ALL POINTS WHERE STORMWATER LEAVES THE CONSTRUCTION SITE OR LEAVES THE GUTTER AND ENTERS THE DRAINAGE SYSTEM. A COMMON TECHNIQUE IS THE GRAVEL SAUSAGE.

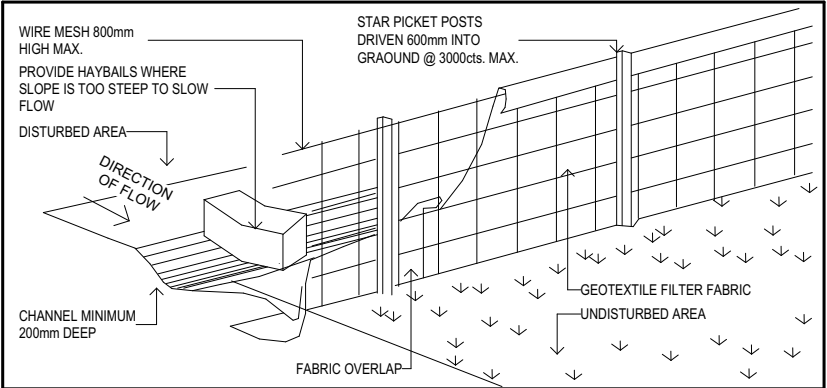
DIVERSION CHANNELS

A DIVERSION CHANNEL IS AN EXCAVATED EARTH DITCH OR PATH. THESE STRUCTURES ARE USED TO INTERCEPT AND DIRECT RUN-OFF TO A DESIRED LOCATION WHERE POSSIBLE. ALL STORMWATER RUN-OFF FLOWING ONTO DISTURBED AREAS, INCLUDING STOCKPILES, MUST BE INTERCEPTED, DIVERTED AND/OR SAFELY DISPOSED OF. THIS CAN BE ACHIEVED BY CONSTRUCTING A TEMPORARY EARTH BANK AROUND THE UPSLOPE EXTENT OF THE CONSTRUCTION SITE WHERE THE DIVERSION DOES NOT AFFECT THE NEIGHBOURING PROPERTIES.

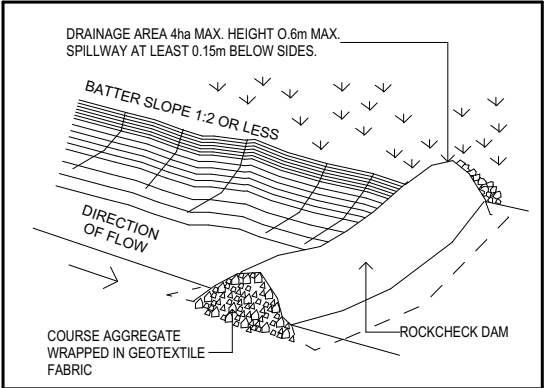
VEHICLE MOVEMENTS

TO LIMIT DISTURBANCE TO THE SITE AND TRACKING OF MATERIAL ONTO THE STREET ALL VEHICLES AND PLANT EQUIPMENT ARE TO USE A SINGLE ENTRY/EXIT POINT UNLESS COUNCIL HAS APPROVED ALTERNATIVE ARRANGEMENTS. ACCESS POINTS AND PARKING AREAS ARE TO BE STABILISED WITH COMPACTED SUB-GRADE ASAP AFTER THEIR FORMATION. IF SPILLAGE DOES OCCUR IT IS TO BE CONTAINED IMMEDIATELY AND CAREFULLY REMOVED. THE AREA AFFECTED IS TO BE RESTORED TO A STANDARD EQUAL TO OR BETTER THAN ITS PREVIOUS CONDITION. ALL VEHICLES ARE TO BE WASHED PRIOR TO EXISTING THE SITE. THIS SERVES THE PURPOSE OF REMOVING SITE MATERIAL ON THE VEHICLE AND PREVENTS IT FROM BEING DEPOSITED ON THE ROAD NETWORK ADJACENT TO THE SITE AND THUS, THE STORMWATER SYSTEM. NO VEHICLE ASSOCIATED WITH THE WORK IS TO BE PARKED ON A FOOTPATH OR PUBLIC RESERVE. ALL VEHICLES VISITING THE SITE DURING DEMOLITION, EXCAVATION AND/OR CONSTRUCTION WORKS, ARE TO COMPLY WITH THE PARKING REQUIREMENTS IN THAT AREA.

EROSION & SEDIMENT CONTROL / WASTE MANAGEMENT PLAN



TYPICAL SEDIMENT FENCE - nts

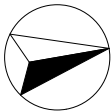


TYPICAL DIVERSION CHANNEL - nts

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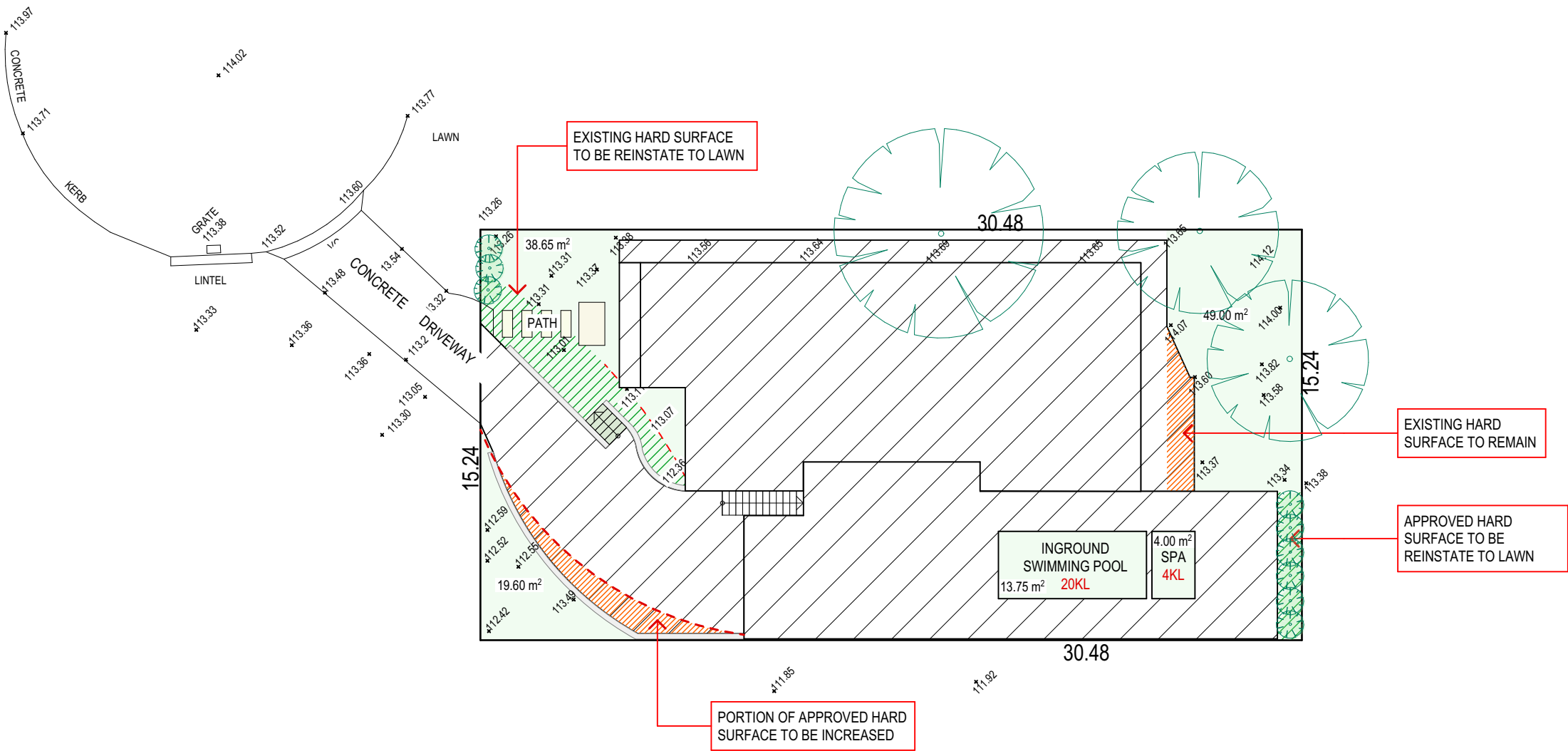
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1124/23

CHECKED BY:
JJ

DRAWING No:
MOD.08



LANDSCAPE CONCEPT PLAN

CALCULATIONS		
SITE AREA		464.40m ²
EXISTING LANDSCAPED AREA	<div></div>	141.47m ²
APPROVED LANDSCAPED AREA	<div></div>	125m ²
PROPOSED NEW LANDSCAPED AREA	<div></div>	22.60m ²
TOTAL LANDSCAPED AREA	<div></div>	125m ²
HARD SURFACE AREA TO BE RETAINED	<div></div>	
NEW HARD SURFACE AREA	<div></div>	
TOTAL HARD SURFACE AREA	<div></div>	295.58m ²

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TRUE NORTH:

NOTES (E & OE)

- All structures including stormwater & drainage to engineer's details.
- Do not obtain dimensions by scaling drawings.
- All dimensions are to be checked on site prior to starting work.
- These drawings are to be read in conjunction with all other consultant's drawings and specifications.
- All workmanship & materials shall be in accordance with the requirements of current editions including amendments of the National Construction Code, relevant Australian Standards & local council requirements.
- New materials are to be used throughout unless otherwise noted.
- Concrete footings, slab, structural beams or any other structural members are to be designed by a practicing engineer.

JJ Drafting

Division of JJ DRAFTING AUSTRALIA PTY LTD

26/90 Mona Vale Road, Mona Vale, NSW, 2103

PO Box 687, Dee Why, NSW, 2099

Mob. 0414 717 541 | Email. jjdraft@tpg.com.au

www.jjdrafting.com.au

ACN 651 693 346

REV:	DATE:	DESCRIPTION:
A	23.03.23	SECTION 4.55 UPDATED
B	31.03.23	SECTION 4.55 UPDATED

MODIFICATION DRAWINGS TO APPROVED ALTERATIONS AND ADDITIONS
16 Stephen Street - Beacon Hill NSW 2100

CLIENT:
Bernie Zicat

DRAWING TITLE:
LANDSCAPED AREA CALCULATION PLAN

DATE: February/23	DRAWN BY: LB	SCALE: 1:200 @ A3
JOB No: 1124/23	CHECKED BY: JJ	DRAWING No: MOD.09