

NORTHERN BEACHES
BASED ON
WARRINGAH DCP 2011

SITE AREA:685.8 SQM

PROPOSED ROOF COVERAGE

ROOF COVERAGE AREA:259.95 SQM

LANDSCAPED AREA

TOTAL LANDSCAPED AREA:401.87 SQM

EXCL. ALL HARD SURFACES,
MINIMUM DIMENSION OF 2M58.6%

MIN. REQUIRED BY COUNCIL:40%

STORMWATER CALCULATION

HARD LANDSCAPE AREAS:302.88 SQM
(INCL. ROOF/DRIVEWAY/PATHS ETC)

SITE COVERAGE RATIO:44.16%

MAX. ALLOWABLE SITE COVERAGE
PRIOR TO O.S.D. REQUIRED:40%

PRIVATE OPEN SPACE

PRIVATE OPEN SPACE:60 SQM

MIN. REQUIRED BY COUNCIL:60 SQM
MINIMUM DIMENSION OF 5M

BUILDING ENVELOPE

PROVIDE 45 DEGREE PLANE
PROJECTED AT 5.0M HIGH ABOVE SIDE
BOUNDARY NATURAL GROUND LEVEL.

BUILDING HEIGHT RESTRICTION

MAXIMUM 8.5M RIDGE HEIGHT
MAXIMUM 7.2M CEILING HEIGHT
(F.F.L. MUST BE ACCURATE TO COMPLY)

MAXIMUM 1000 MM CUT
MAXIMUM 1000MM FILL
DEEP EDGE BEAM TO NATURAL GROUND
NO EXPOSED FILL PERMITTED

DEMOLITION REQUIREMENTS:

SITE TO BE CLEARED OF ALL EXISTING
STRUCTURES, LEVELLED AND ALL SERVICES
RELOCATED BY THE OWNER TO THE SATISFACTION
OF METRICON HOMES P/L.

BUILDING ADJACENT SEWER

SEWER PEGOUT AND DETAILS REQUIRED

SURVEYORS NOTES

A. THIS SURVEY IS SPECIFICALLY FOR CONTOUR
PURPOSES ONLY. THE BOUNDARIES OF THE SUBJECT
PROPERTY HAVE NOT BEEN INVESTIGATED AND THE
POSITION SHOWN IS APPROXIMATE ONLY.

B. AREAS AND DIMENSIONS ARE SUBJECT TO SURVEY.

C. SERVICES SHOWN HAVE BEEN DERIVED FROM VISUAL
EVIDENCE APPARENT AT THE TIME OF SURVEY. THE
RELEVANT SERVICE AUTHORITY SHALL BE CONTACTED
TO VERIFY THE EXISTENCE AND POSITION OF ALL
SERVICES PRIOR TO THE COMMENCEMENT OF ANY
CONSTRUCTION OR EXCAVATION.

D. CONTOURS ARE INDICATIVE OF SURFACE TOPOGRAPHY
ONLY. SURVEYED SPOT LEVELS ARE THE ONLY VALUES
TO BE RELIED ON FOR REDUCED LEVELS ON
PARTICULAR FEATURES.

DRAWINGS AMENDMENTS

C	04.02.20	RESITE	52H
-	---	-	---
-	---	-	---

AREA TO BE KEPT
CLEAR OF SERVICE²²
FOR PROPOSED DP 222901
BY OWNER
(9000 X 4000)

1 STOREY
BRICK RESIDENCE
TILE ROOF
"No.48"

LOCATION OF 2X3544L
GROUND RAINWATER
TANK(S) TO MEET O.S.D.
REQUIREMENTS

DEEPENED
EDGE BEAM
605MM HIGH

APPROX. LOCATION OF
BLOCK RETAINING
WALL BY METRICON
TOP R.L: 164.000
BOTTOM R.L: 163.550
(REFER TO ENGINEER'S
DETAILS)

APPROX. LOCATION OF
BELOW GROUND O.S.D.
TANK (SUBJECT TO
HYDRAULIC ASSESSMENT)

DRIVEWAY, CROSSOVER,
GRATED DRAIN AND FRONT
ENTRY PATH TO BE THE
RESPONSIBILITY OF THE
OWNER AFTER HANDOVER

PRINGLE AVENUE

DRIVEWAY GRADIENT PROFILE

SCALE - 1200

NORTH

LOT NO:
23

DEPOSITED PLAN:
222901

COUNCIL / LGA:
NORTHERN BEACHES

SLAB CLASS:
M

WIND SPEED:
N2

EXCAVATION NOTES:
50MM (+/-) TOLERANCE TO NOMINATED R.L.'S
EXCAVATE APPROX. 400MM ON R.L. 164.000
AND RETAIN FILL WITH DEEP EDGE BEAM
EXCAVATIONS ARE TO START A MINIMUM OF
1000MM FROM THE EDGE OF THE BUILDING
AND ARE TO BE BATTERED BACK TO SUIT
IT IS THE RESPONSIBILITY OF THE
OWNER TO PROVIDE A GRATED DRAIN
ACROSS GARAGE OPENINGS (IF REQUIRED)
DUE TO CONSTRUCTION OF DRIVEWAY

IMPORTANT NOTES:
SITE CUTS ARE SUBJECT TO COUNCIL APPROVAL
& NOT TO BE USED BY ANY OTHER CONTRACTORS
OTHER THAN METRICON HOMES PTY LTD

STORMWATER TO DRAIN TO
STREET VIA ON-SITE DETENTION
AND RAINWATER TANK(S)
REFER TO HYDRAULIC ENGINEER'S DETAILS

TEMPORARY SITE FENCING:
METRICON TO PROVIDE FENCING TO
ANY UNFENCED BOUNDARIES
(AS REQUIRED)

ALL WEATHER ACCESS:
METRICON TO SUPPLY UP TO 5M SUITABLE
ALL WEATHER ACCESS TO BUILDING
PLATFORM DURING CONSTRUCTION

SURVEY LEGEND

GULLY PIT

HYD HYDRANT

SIP SURFACE INLET PIT

OSIC SEWER INSPECTION COVER

SMH SEWER MANHOLE

W/M WATER METER

E/L ELECTRICITY BOX

SMH STORMWATER MANHOLE

TELSTRA PIT

SEWER LINE

VEHICLE CROSSING

SV STOP VALVE

DEEP EDGE BEAM

GM GAS METER

LP LIGHT POLE

INV INVERT

TK TOP OF KERB

KO KERB OUTLET

INTRAX SURVEY DATE: 22.01.20

CONTOUR INTERVALS: 200MM

LEVELS TO: AHD

SITE PLAN

m

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Build E, Level 4, 32 Lexington Dr, Bankham Hills NSW 2163
P.O. Box 7510, Northwest Business Park NSW 2163
Tel: 02 8887 9000 Fax: 02 8079 5901
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DOOR SCHEDULE

NO.	HEAD RL	FLOOR RL
D1	168.21	166.05
D2	168.21	166.05

WINDOW SCHEDULE

NO.	HEAD RL	SILL RL
W1	168.10	166.60
W2	168.21	167.21
W3	168.21	167.13
W4	168.30	167.16
W5	167.39	167.13
W6	167.17	165.65
W7	167.50	166.57

MRS IGNACIO
LOT 23 (NO. 46) PRINGLE AVENUE
BELROSE

JOB No: 706658

DATE: 06.11.19

DRAWN: PG

SCALE: 1200

SHEET: 1 OF 11

UBD REF: SYD 156 E13

1. ALL EROSION AND SEDIMENTATION CONTROL MEASURES, INCLUDING REVEGETATION AND STORAGE OF SOIL AND TOPSOIL, SHALL BE IMPLEMENTED TO THE STANDARDS OF THE SOIL CONSERVATION OF NSW AND INSPECTED REGULARLY BY THE SITE MANAGER.

2. ALL DRAINAGE WORKS SHALL BE CONSTRUCTED AND STABILIZED AS EARLY AS POSSIBLE DURING DEVELOPMENT.

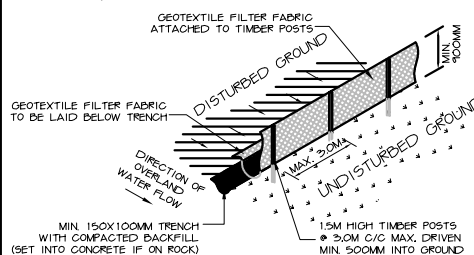
3. SEDIMENT TRAPS SHALL BE CONSTRUCTED AROUND ALL INLET PITS, CONSISTING OF 300MM WIDE X 300MM DEEP TRENCH.

4. ALL SEDIMENT BASINS AND TRAPS SHALL BE CLEANED WHEN THE STRUCTURES ARE A MAXIMUM OF 60% FULL OF SOIL MATERIALS, INCLUDING THE MAINTENANCE PERIOD

5. SOIL AND TOPSOIL STOCKPILES SHALL BE LOCATED AWAY FROM DRAINAGE LINES AND AREA WHERE WATER MAY CONCENTRATE. ALL ROADS AND FOOTPATHS TO BE SWEEPED DAILY.

6. FILTER SHALL BE CONSTRUCTED BY STRETCHING A FILTER FABRIC (PROPEX OR APPROVED EQUIVALENT BETWEEN POST AT 3.0M CENTRES. FABRIC SHALL BE BURIED 150MM ALONG ITS LOWER EDGE.

7. DUST PREVENTION MEASURES TO BE MAINTAINED AT ALL TIMES.



NOT TO SCALE

TEMPORARY SECURITY FENCING TO THE PERIMETER OF BOUNDARY WHERE REQUIRED TO PREVENT PUBLIC ACCESS ONTO SITE.

ALL GROUND LINES ARE APPROXIMATE.
EXTENT OF CUT AND FILL BATTERS
WILL BE DETERMINED ON SITE.
SEDIMENT BARRIERS ARE TO BE
CUSTOMISED SITE SPECIFIC

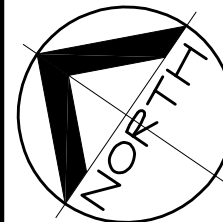
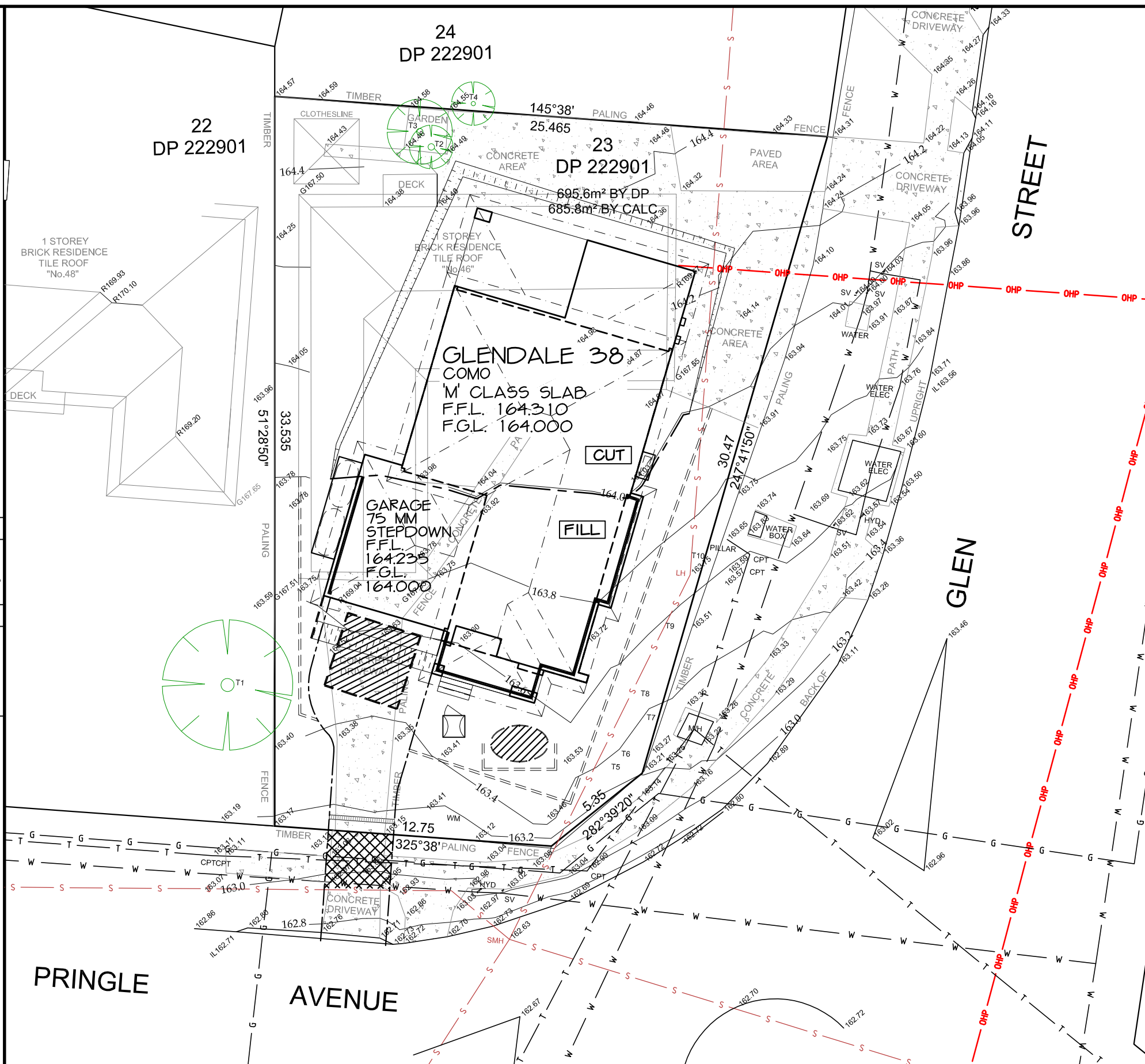
SEDIMENT = = = = =
FENCE

WASTE
STORAGE AREA

MATERIAL
STORAGE AREA

PORTABLE
TOILET

ALL WEATHER
ACCESS POSITION



LOT NO: 23	
DEPOSITED PLAN: 222901	
COUNCIL / LGA: NORTHERN BEACHES	
SLAB CLASS:	M
WIND SPEED:	N2

EROSION & SEDIMENT CONTROL PLAN

CONSTRUCTION PLAN

TEMPORARY FENCING:
BUILDER TO PROVIDE FENCING TO ANY UNFENCED BOUNDARIES (LOCAL AUTH. BY-LAW)

ALL WEATHER ACCESS:
METRICON TO SUPPLY UP TO 5M SUITABLE
ALL WEATHER ACCESS TO BUILDING
PLATFORM DURING CONSTRUCTION

INTRAX SURVEY DATE: 22.01.20

CONTOUR INTERVALS: 200 MM

LEVELS TO: AHD



m
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LOT 23 (NO. 46) PRINGLE AVENUE
BELROSE

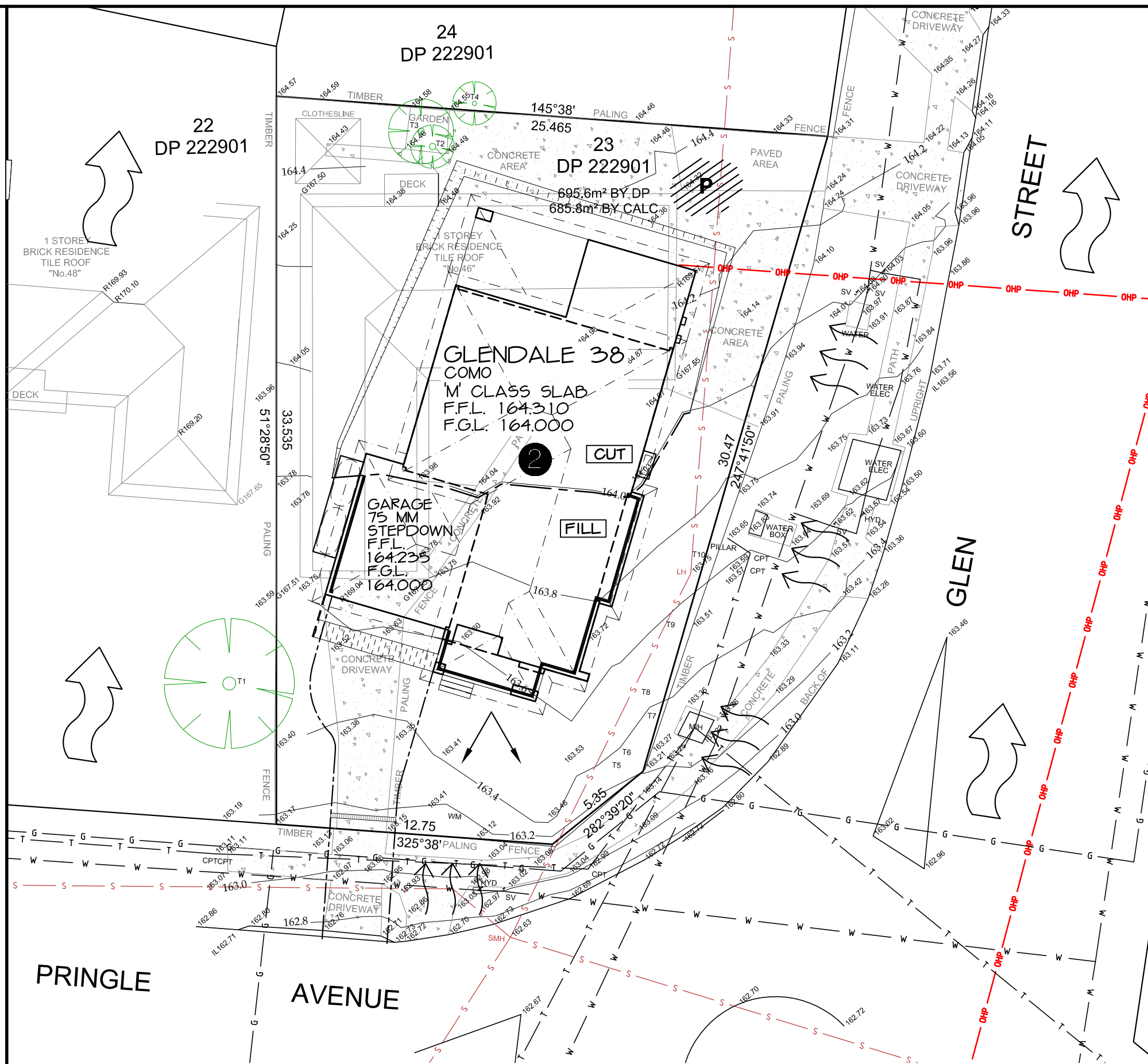
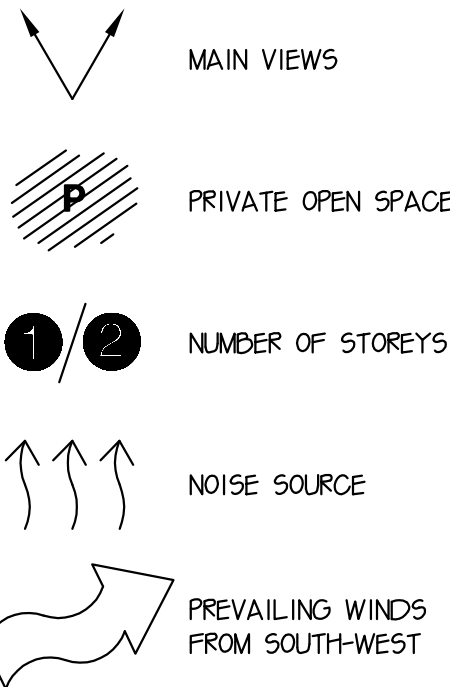
JOB No: 706658

DATE: 06.11.19	DRAWN: PG/CYO
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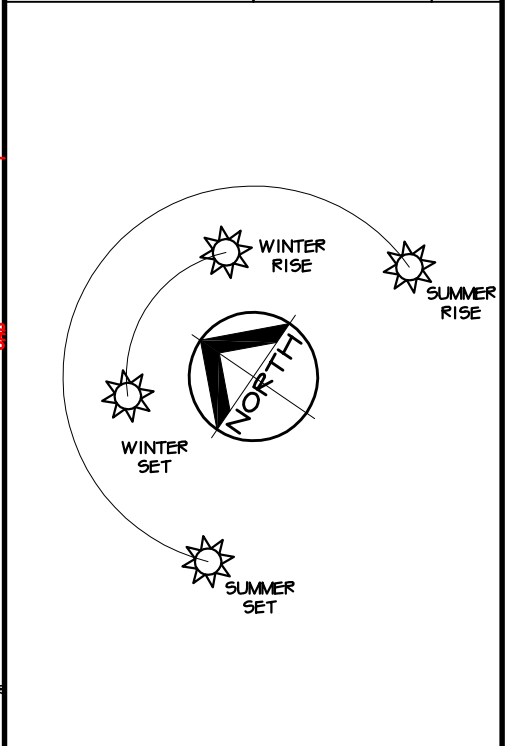
SCALE: 1:200	SHEET: 1A OF 11
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UBD REF: SYD 156 E13

LEGEND



LOT NO: 23	
DEPOSITED PLAN: 222901	
COUNCIL / LGA: NORTHERN BEACHES	
SLAB CLASS:	M
WIND SPEED:	N2



SITE ANALYSIS PLAN

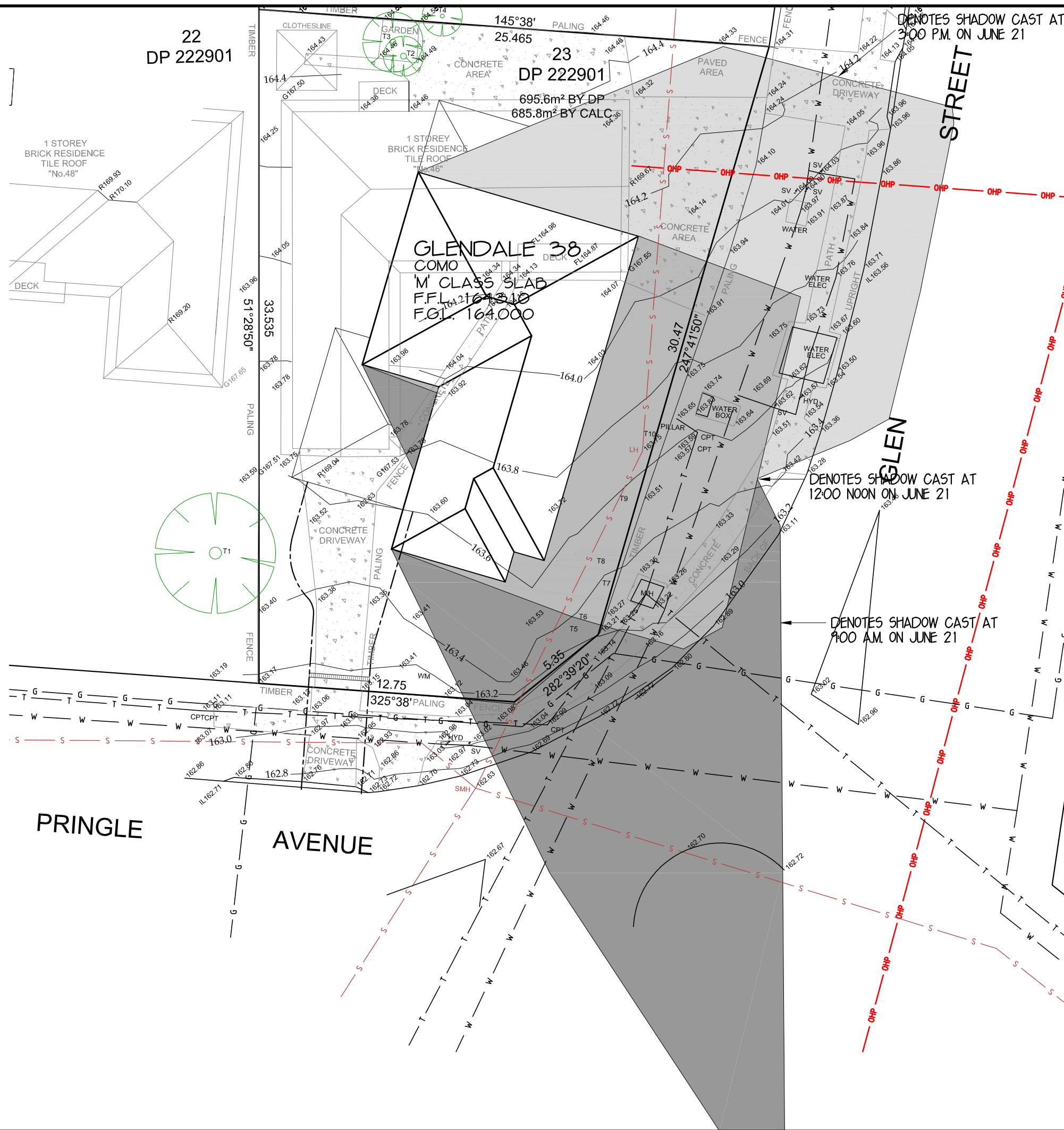
TEMPORARY FENCING: BUILDER TO PROVIDE FENCING TO ANY UNFENCED BOUNDARIES (LOCAL AUTH. BYLAW)
ALL WEATHER ACCESS: METRICON TO SUPPLY UP TO 5M SUITABLE ALL WEATHER ACCESS TO BUILDING PLATFORM DURING CONSTRUCTION
INTRAX SURVEY DATE: 22.01.20
CONTOUR INTERVALS: 200MM
LEVELS TO: AHD

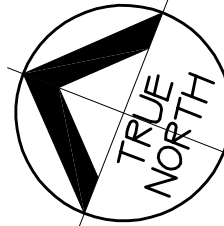
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LOT 23 (NO. 46) PRINGLE AVENUE
BELROSE

JOB No. 706658	
DATE: 06.11.19	DRAWN: PG/CYO
SCALE: 1:200	SHEET: 1B OF 11
UBD REF: SYD 156 E13	





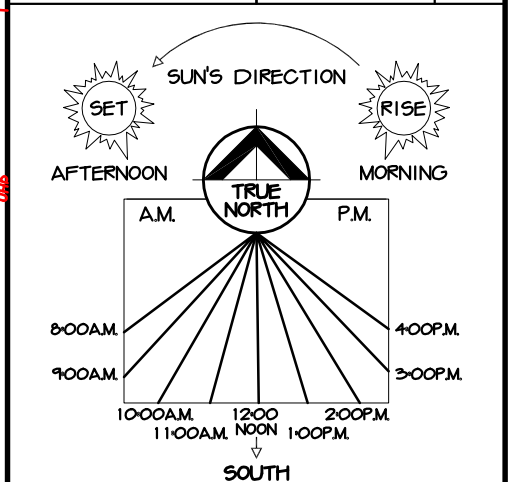
LOT NO:
23

DEPOSITED PLAN:
222901

COUNCIL / LGA:
NORTHERN BEACHES

SLAB CLASS:
M

WIND SPEED:
N2



NOTE: PICTORIAL REPRESENTATION ONLY. NOT TO BE USED AS TRUE NORTH POINT FOR THIS JOB

SHADOW LOCATION	TIME OF DAY
	9:00 A.M. JUNE 21
	12:00 NOON JUNE 21
	3:00 P.M. JUNE 21

TIME	SHADOW LENGTH RATIO (METRES)	ALTITUDE (DEGREES)	AZIMUTH (DEGREES)
8:00 AM	5.82	9.76	53.12
9:00 AM	2.91	18.96	42.59
10:00 AM	2.02	26.33	30.01
11:00 AM	1.66	31.14	15.3
12:00 PM	1.56	32.72	359.19
1:00 PM	1.68	30.8	343.16
2:00 PM	2.08	25.7	328.65
3:00 PM	3.06	18.11	316.28
4:00 PM	6.48	8.77	305.94

INTRAX SURVEY DATE: 220120

CONTOUR INTERVALS: 200MM

LEVELS TO: AHD

SHADOW DIAGRAM @ JUNE 21



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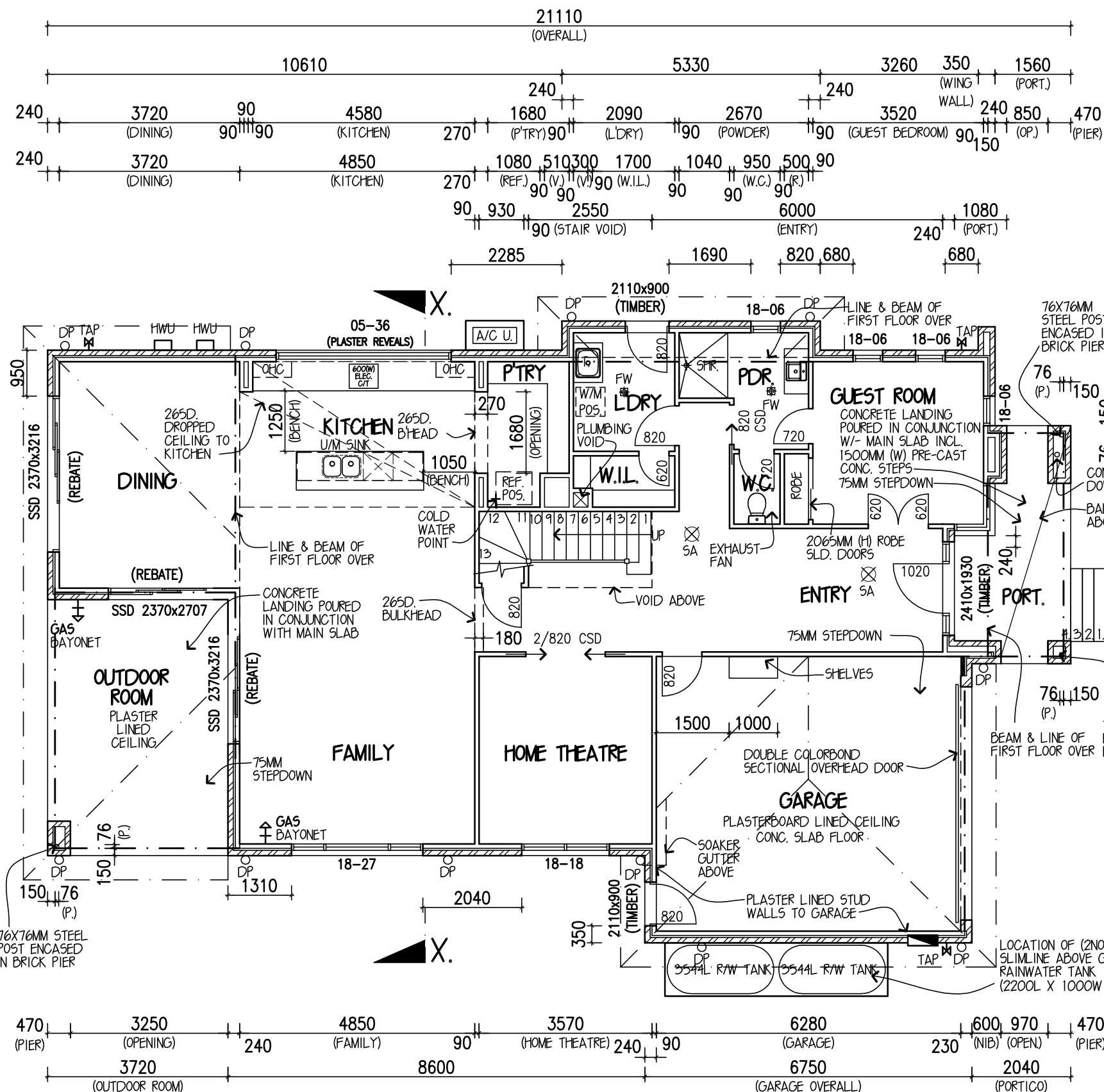
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MRS IGNACIO
LOT 23 (NO. 46) PRINGLE AVENUE
BELROSE

JOB No: 706658	
DATE: 06.11.19	DRAWN: PG/CYO
SCALE: 1:200	SHEET: 10 OF 11
UBD REF: SYD 156 E13	

PROVIDE 2340MM (H) INTERNAL DOORS
THROUGHOUT OF DOUBLE STOREY HOME
UNLESS OTHERWISE NOTED
(EXCLUDES SLIDING ROBE DOORS)



SYMBOL LEGEND

- DP DOWNPIPE
90mm ROUND PVC
- DP DOWNPIPE
100x50mm RECT. C/BOND
- DP+SPR DOWNPIPE
WITH SPREADER
- RWH DOWNPIPE
WITH RAINWATER HEAD
- EXHAUST FAN.
INSTALLED AS PER B.C.A. 3.8.5.
& TO COMPLY WITH A.S.1668.2.

- ⊗ GARDEN TAP
- ⊕ GAS BAYONET
- + COLD WATER POINT
- FW FLOOR WASTE
- ELEC. METERBOX
600x600 RECESSED
- A/C U. AIR COND. UNIT
- MH MANHOLE
FOR CEILING ACCESS

- ⊗ SMOKE ALARM
APPROX. POSITION INSTALLED AS PER
N.C.C. 3.7.2. & TO COMPLY WITH AS 3786.
SMOKE ALARMS TO BE INTERCONNECTED
- AJ ARTICULATION JOINT
WHERE ARTICULATION JOINTS ARE NOT SHOWN
REFER TO STRUCTURAL ENGINEER'S DETAILS
- LOAD BEARING WALL
- 70mm STUD WALL
- 120mm STUD WALL

AREAS:	GARAGE:	38.91 SQM
GRD FLR:	156.93 SQM	PORTICO: 9.71 SQM
FIRST FLR:	134.61 SQM	OUTDOOR: 19.64 SQM
	BALCONY:	6.60 SQM
SUBTOTAL:	291.54 SQM	TOTAL: 366.40 SQM
		31.38 SQM

DESIGN: GLENDALE 38
FACADE: COMO
Ceiling: 25, L
GARAGE: DOUBLE
LOCATION: F
GROUND FLOOR PLAN
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LOT 23 (NO.46) PRINGLE AVENUE
BELROSE

JOB No: 706658	DATE: 06.11.2019
FC DATE: DD.MM.YYYY	MST VER: 10.04.2018
SCALE: 1:100 ON A3 SHEET	REVISION: D
DRAWN: PG	CHECK: NMU
SHEET: 2 of 11	

PROVIDE 2340MM (H) INTERNAL DOORS
THROUGHOUT OF DOUBLE STOREY HOME
UNLESS OTHERWISE NOTED
(EXCLUDES SLIDING ROBE DOORS)

SYMBOL LEGEND

DP	DOWNPIPE	LOAD BEARING WALL
○	90mm ROUND PVC	
DP	DOWNPIPE	70mm STUD WALL
□	100x50mm RECT. c/BOND	120mm STUD WALL
DP+SPR	DOWNPIPE WITH SPREADER	
RWH	DOWNPIPE WITH RAINWATER HEAD	SMOKE ALARM
⊕	GARDEN TAP	APPROX. POSITION INSTALLED AS PER N.C.C. 3.7.2. & TO COMPLY WITH AS 3786. SMOKE ALARMS TO BE INTERCONNECTED
⊕	GAS BAYONET	
+	COLD WATER POINT	EXHAUST FAN.
FW	FLOOR WASTE	INSTALLED AS PER B.C.A. 3.8.5. & TO COMPLY WITH A.S.1668.2.
■	ELEC. METERBOX 600x600 RECESSED	
ACU	AIR COND. UNIT	
MH	MANHOLE FOR CEILING ACCESS	
AJ	ARTICULATION JOINT	WHERE ARTICULATION JOINTS ARE NOT SHOWN REFER TO STRUCTURAL ENGINEER'S DETAILS

FRAMING LEGEND

LOAD BEARING WALL
70mm STUD WALL
120mm STUD WALL

SMOKE ALARM
APPROX. POSITION INSTALLED
AS PER N.C.C. 3.7.2. & TO
COMPLY WITH AS 3786. SMOKE
ALARMS TO BE INTERCONNECTED

EXHAUST FAN.
INSTALLED AS PER B.C.A. 3.8.5.
& TO COMPLY WITH A.S.1668.2.

INSTALLED AS PER B.C.A. 3.8.5.
& TO COMPLY WITH A.S.1668.2.

INSTALLED AS PER B.C.A. 3.8.5.
& TO COMPLY WITH A.S.1668.2.

INSTALLED AS PER B.C.A. 3.8.5.
& TO COMPLY WITH A.S.1668.2.

WHERE ARTICULATION JOINTS ARE NOT SHOWN
REFER TO STRUCTURAL ENGINEER'S DETAILS

DESIGN: **GLENDALDE 38**

FACADE: **COMO** CEILING: 25, L

GARAGE: **DOUBLE** LOCATION: F

FIRST FLOOR PLAN

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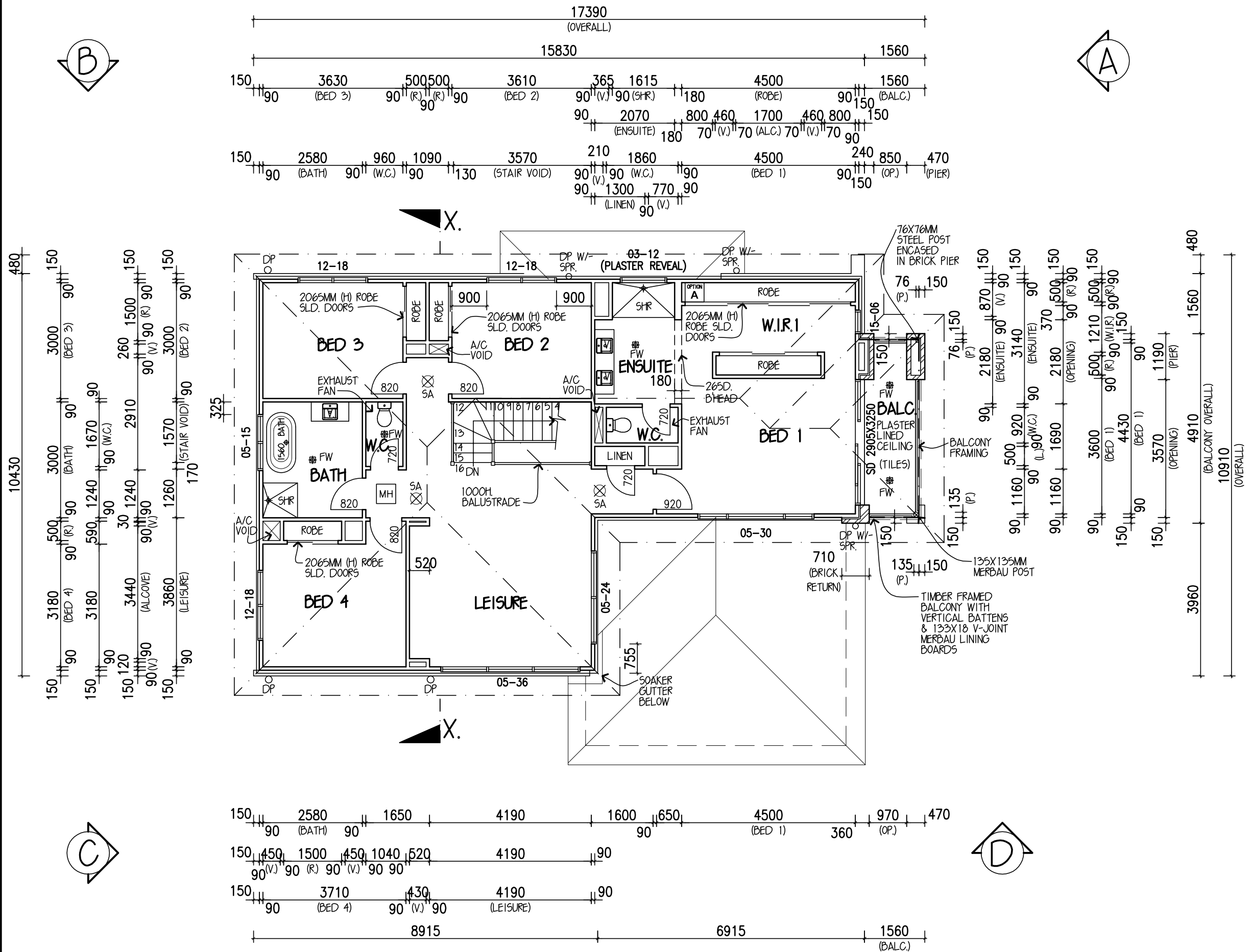
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LOT 23 (NO.46) PRINGLE AVENUE
BELROSE

JOB No: **706658** DATE: **06.11.2019**

FC DATE: **DD.MM.YYYY** MST VER: **10.04.2018**

SCALE: **1:100 ON A3 SHEET** REVISION: **D**

DRAWN: **PG** CHECK: **NMU** SHEET: **3 of 11**



PROVIDE RENDERED EPS CLADDING TO FIRST FLOOR ELEVATIONS (UNLESS NOTED OTHERWISE) REFER TO DETAIL: S-TYP-CLAD-06

PROVIDE SELECTED FACE BRICKWORK TO ALL ELEVATIONS (UNLESS NOTED OTHERWISE)

DENOTES WINDOWS/DOORS WITH 4MM OBSCURE DECOR SATIN GLAZING

SYMBOL LEGEND



RECESSED ELECTRICITY METER BOX

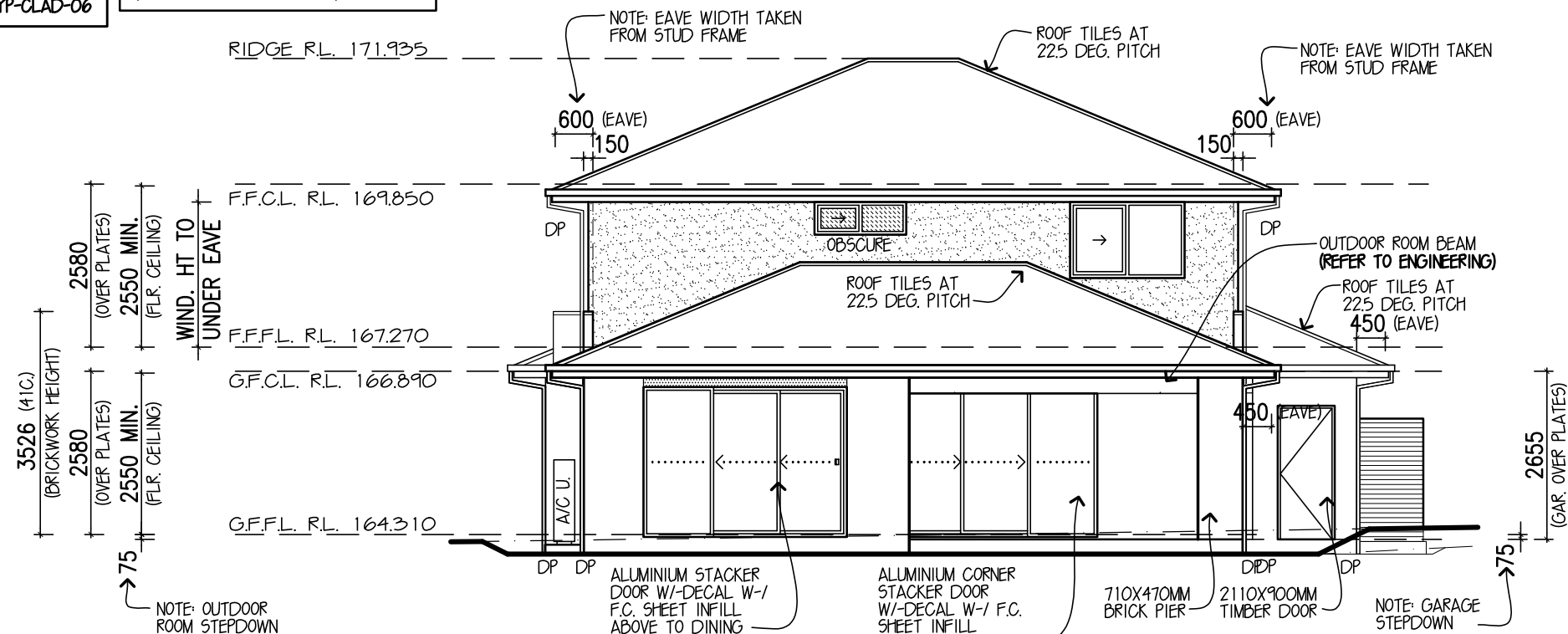


DOWNPIPE W/- RAINWATER HEAD

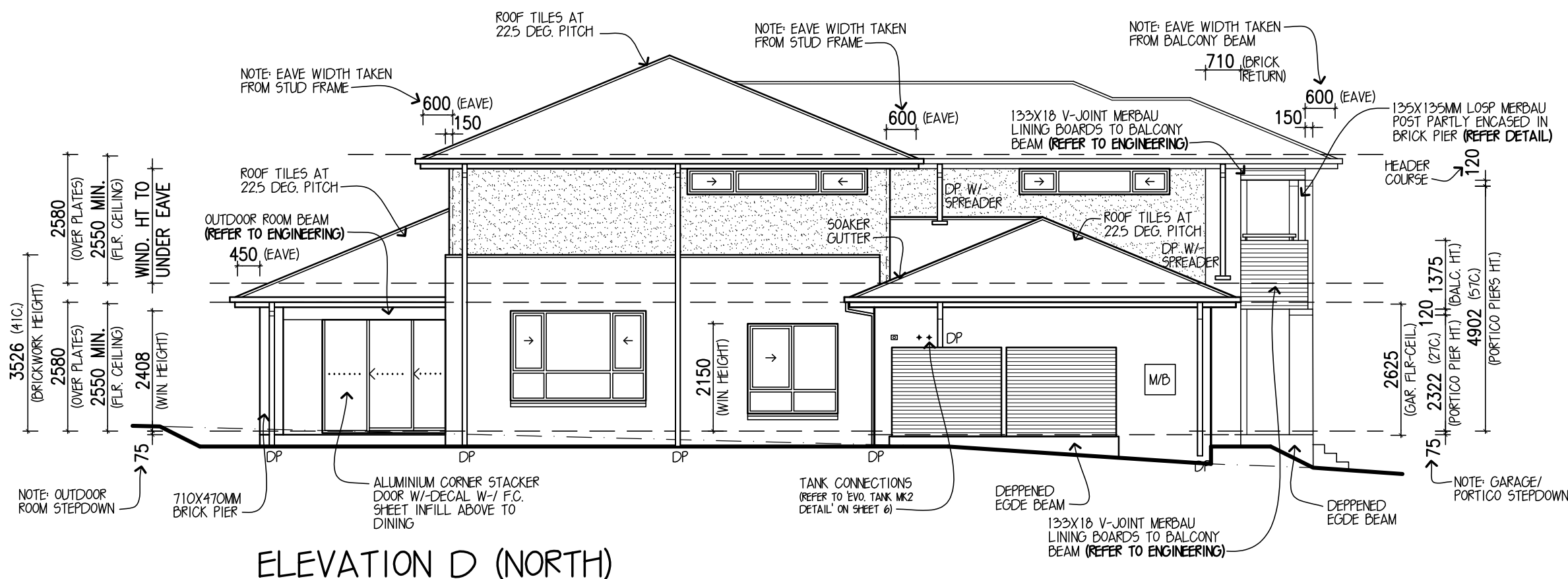


ROTATING ROOF VENTILATOR

ARTICULATION JOINT WHERE ARTICULATION JOINTS ARE NOT SHOWN REFER TO STRUCTURAL ENGINEER'S DETAILS



ELEVATION C (EAST)



ELEVATION D (NORTH)

DESIGN: **GLENDAL 38**

FACADE: **COMO** CEILING: **25, L**

GARAGE: **DOUBLE** LOCATION: **F**

ELEVATIONS

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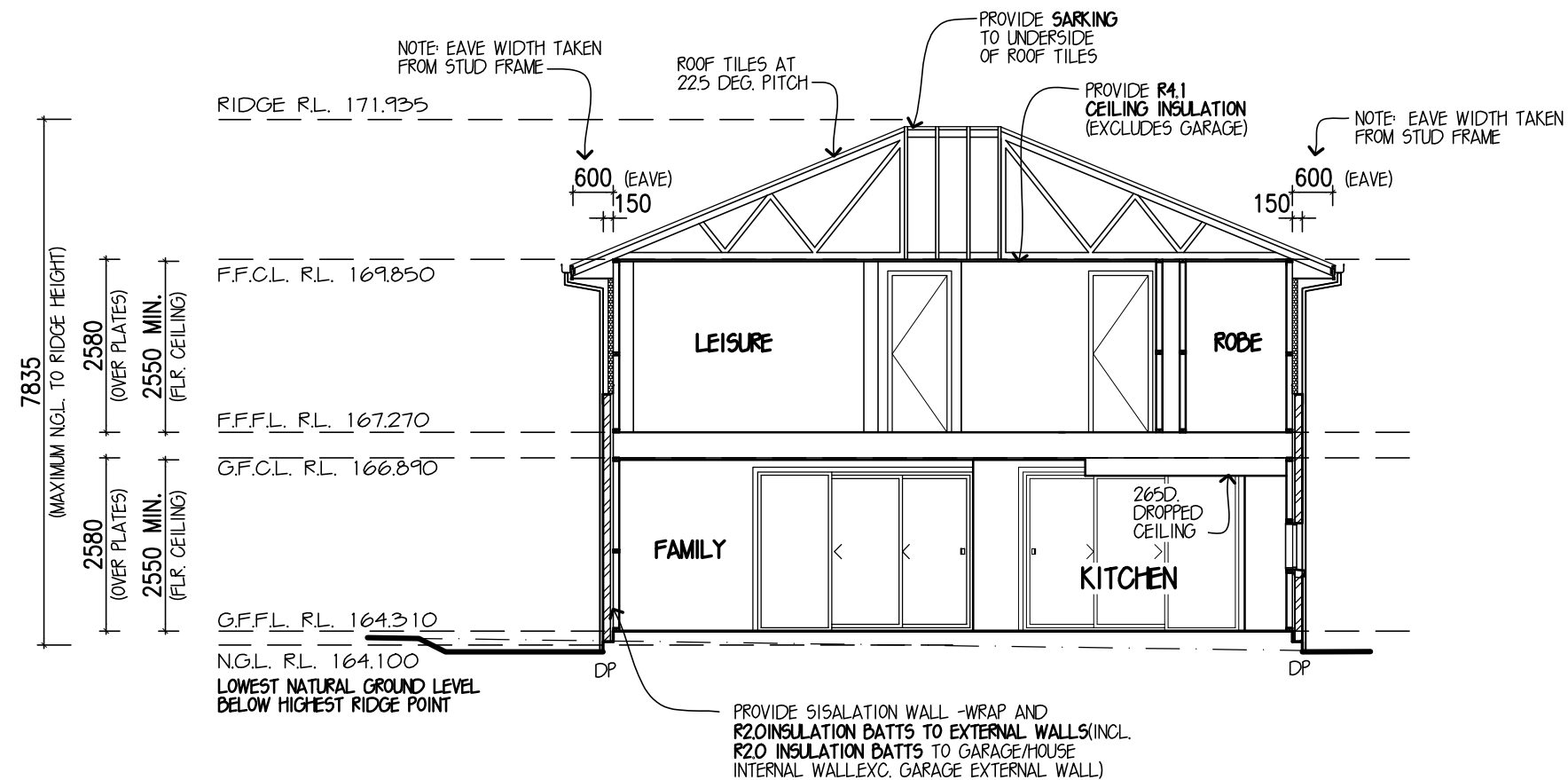
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BELROSE

JOB No: **706658** DATE: **06.11.2019**

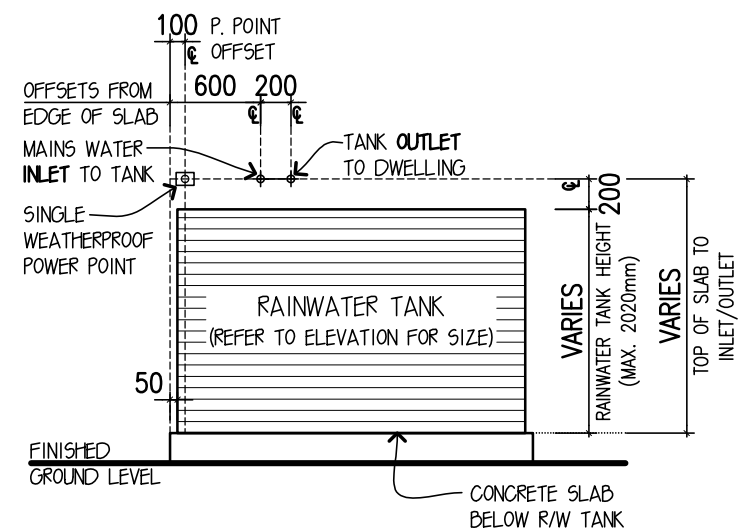
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DRAWN: **PG** CHECK: **NMU** SHEET: **5 of 11**



SECTION X-X



ROUGH-IN POSITIONING
(NOT TO SCALE)

'EVOLUTION' MK2 TANK DETAIL
(NOT SUITABLE FOR TANKS EXCEEDING 2020MM HIGH)

DESIGN: **GLENDAL 38**

FACADE: **COMO** CEILING: **25, L**

GARAGE: **DOUBLE** LOCATION: **F**

SECTION

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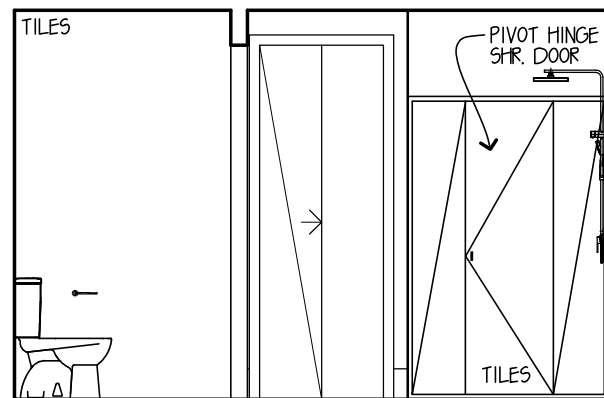
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LOT 23 (NO.46) PRINGLE AVENUE
BELROSE

JOB No: **706658** DATE: **06.11.2019**

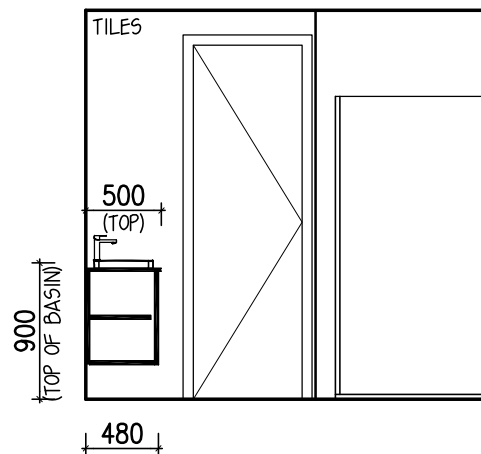
FC DATE: **DD.MM.YYYY** MST VER: **10.04.2018**

SCALE: **1:100 ON A3 SHEET** REVISION: **D**

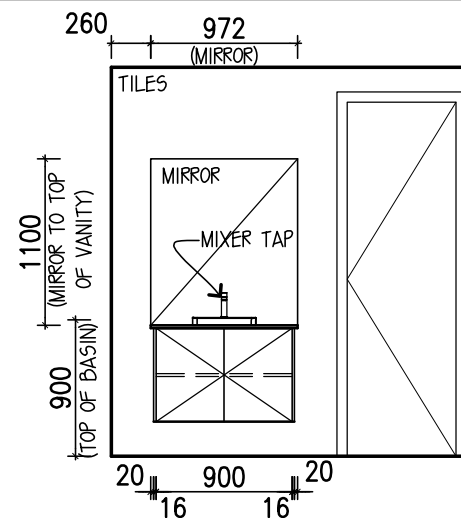
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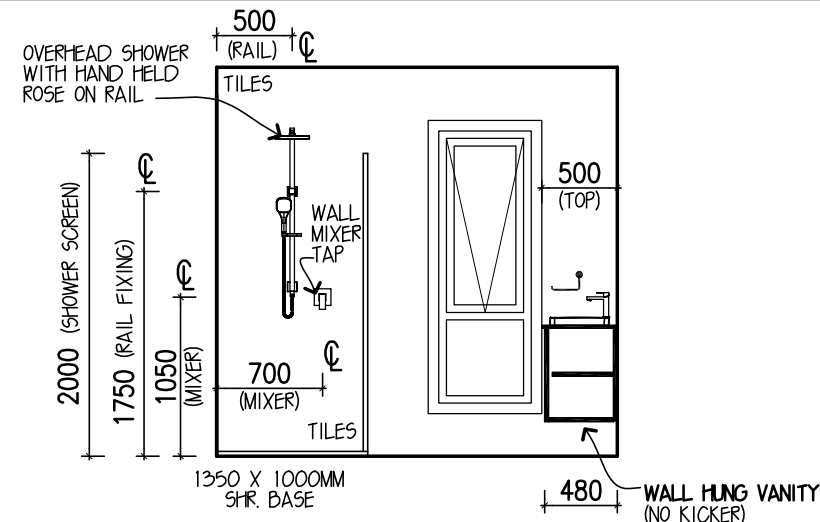
ELEVATION A
POWDER



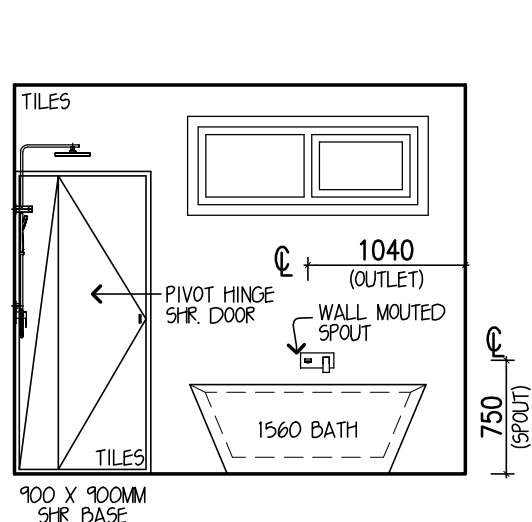
ELEVATION B



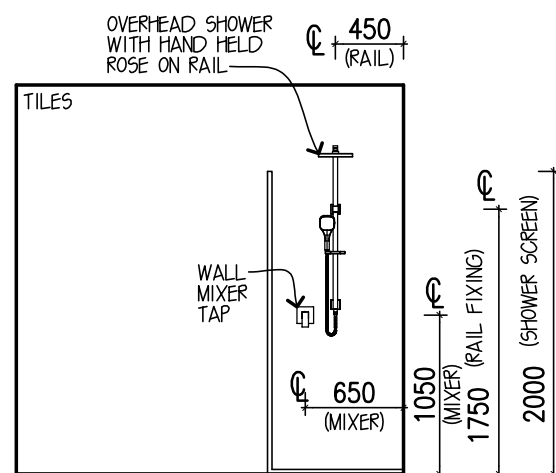
ELEVATION C



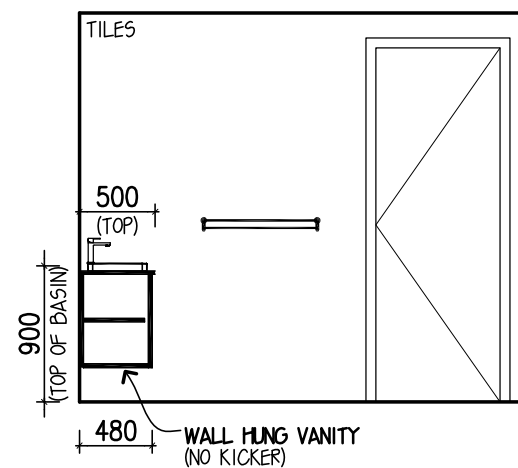
ELEVATION D



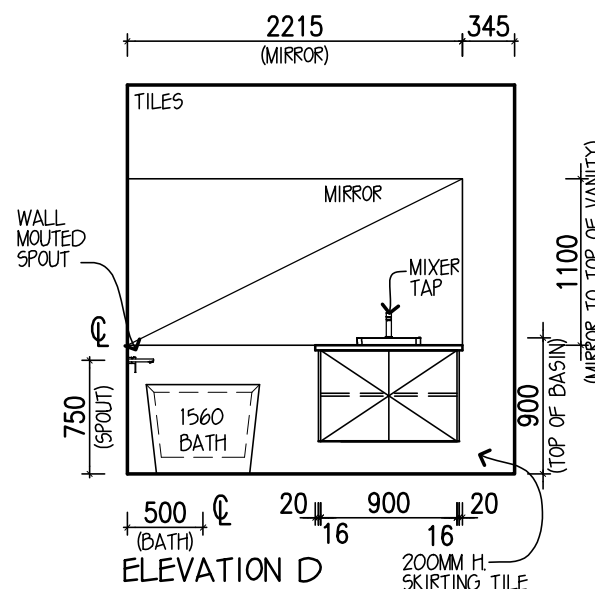
ELEVATION A
BATH



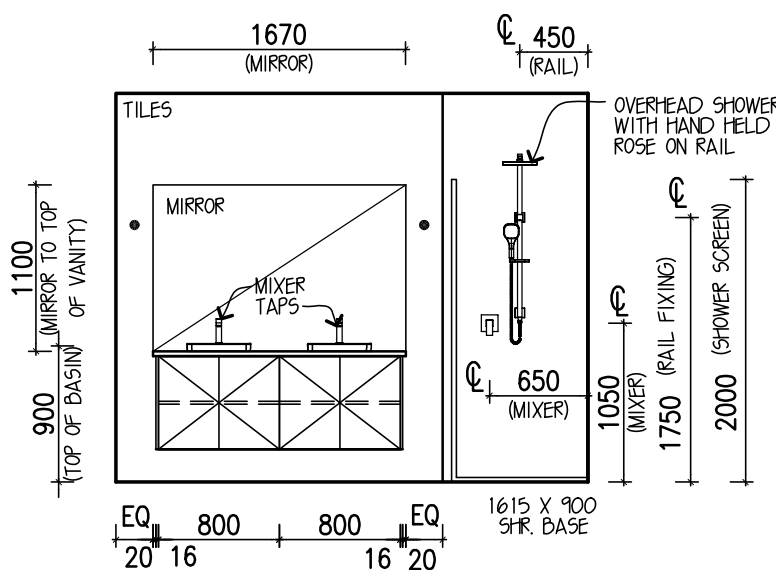
ELEVATION B



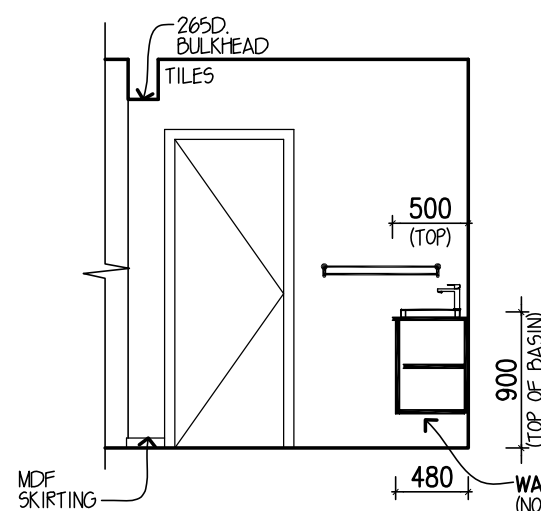
ELEVATION C



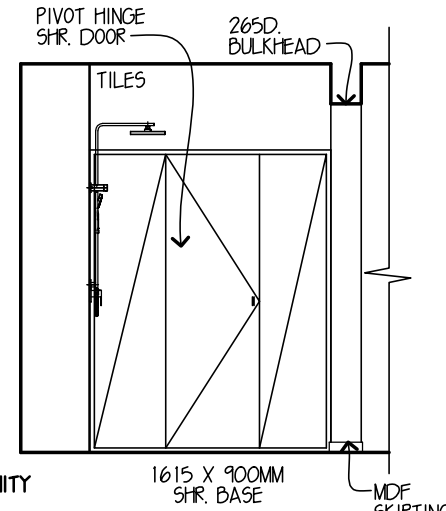
ELEVATION D



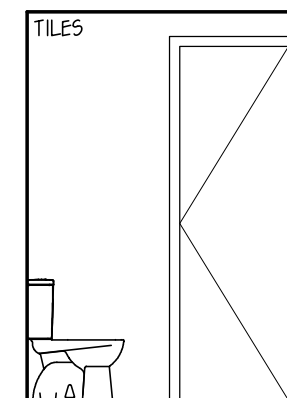
ELEVATION A
ENSUITE



ELEVATION B



ELEVATION D



ELEVATION D
W.C. (ENSUITE)

NOTE: ADDITIONAL BLOCKING PROVIDED INSIDE WALL BEHIND ACCESSORIES (REFER TO O-TYP-BLOC-01)

BATHROOM ACCESSORIES LEGEND

TOILET RING (700MM ABOVE FFL)	—	SGL TOWEL RAIL (760)
SGL ROBE HOOK (1700MM ABOVE FFL)	•	SGL TOWEL RAIL (900)
SOAP HOLDER (1200MM ABOVE FFL)	—	DBL TOWEL RAIL (760)
TOWEL RING (1200MM ABOVE FFL)	—	DBL TOWEL RAIL (900)
GLASS SHELF (1200MM ABOVE FFL)	---	ALL TOWEL RAILS (1200MM ABOVE FFL)

DESIGN: **GLENDAL 38**

FACADE: **COMO** CEILING: **25, L**

GARAGE: **DOUBLE** LOCATION: **F**

INTERNALS

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BY METRICON

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P.O. Box 7510, Norwest Business Park NSW 2153
Tel: 02 8887 9000 Fax: 02 8079 5901
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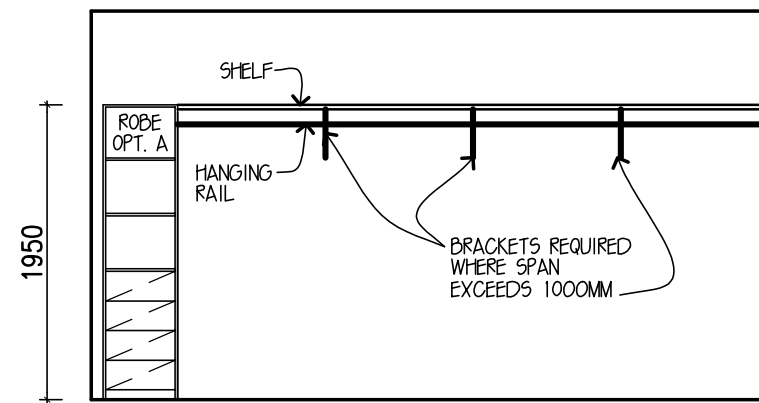
OWNER: **MRS IGNACIO**
LOT 23 (NO.46) PRINGLE AVENUE
BELROSE

JOB No: **706658** DATE: **06.11.2019**

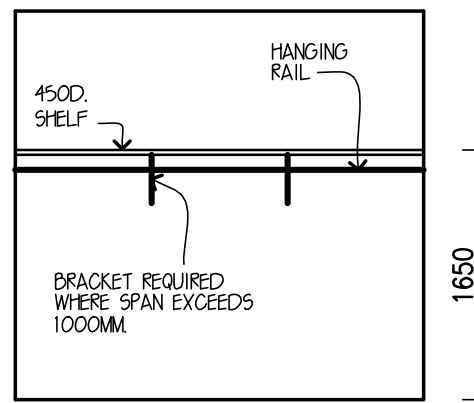
FC DATE: **DD.MM.YYYY** MST VER: **10.04.2018**

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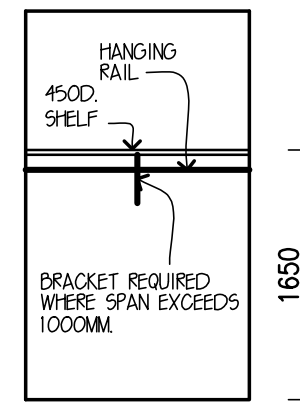
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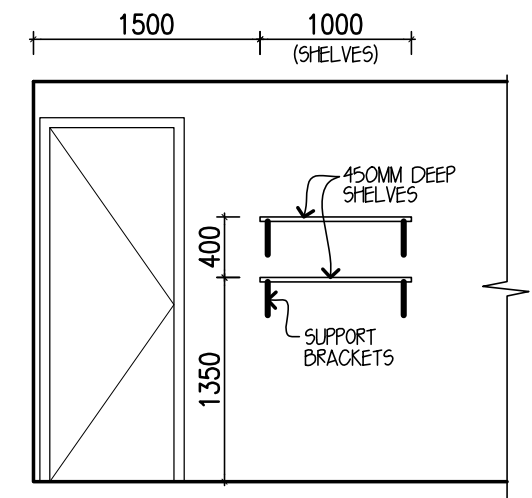
ELEVATION D
W.I.R.1



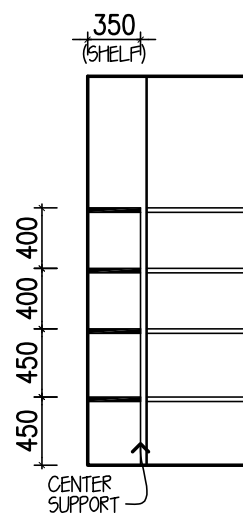
ELEVATION B



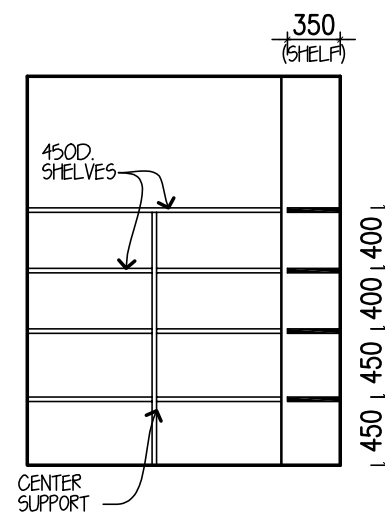
BED'S 2, 3 & 4
ROBE



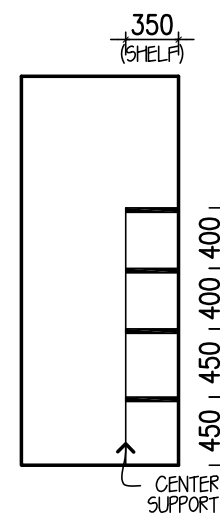
ELEVATION D
GARAGE



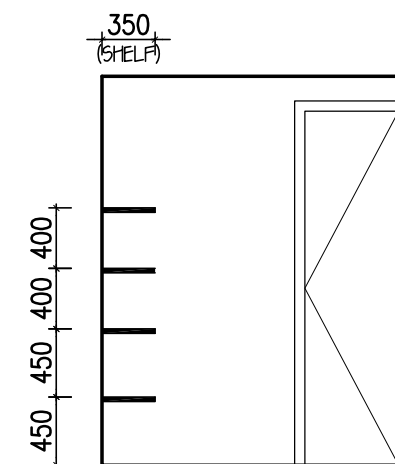
ELEVATION A
W.I.L.



ELEVATION B



ELEVATION C



ELEVATION D

DESIGN: **GLENDAL 38**
FACADE: **COMO** CEILING: **25, L**
GARAGE: **DOUBLE** LOCATION: **F**

INTERNALS

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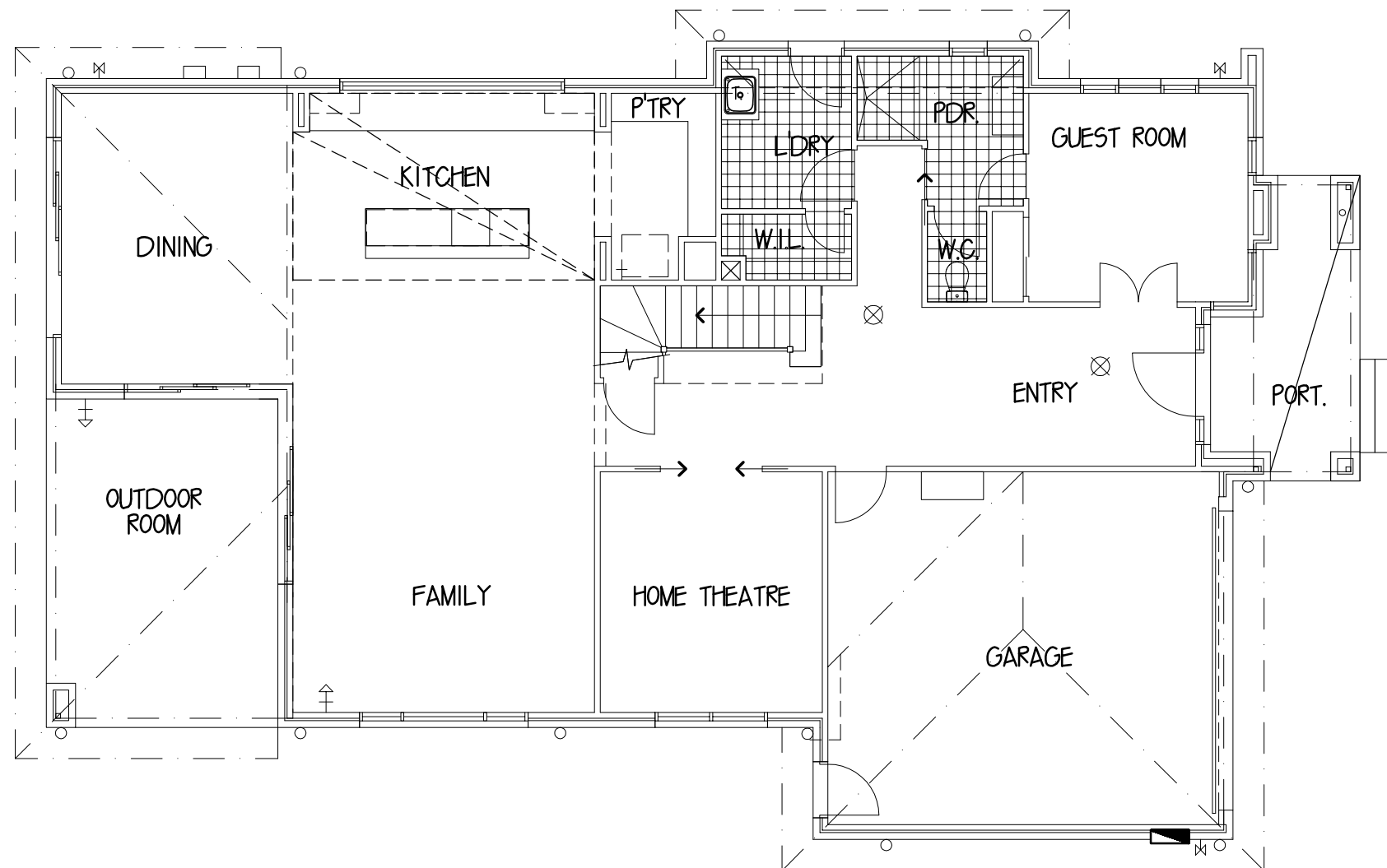
OWNER: **MRS IGNACIO**
LOT 23 (NO.46) PRINGLE AVENUE
BELROSE

JOB No: **706658** DATE: **06.11.2019**

FC DATE: **DD.MM.YYYY** MST VER: **10.04.2018**

SCALE: **1:50 ON A3 SHEET** REVISION: **D**

DRAWN: **PG** CHECK: **NMU** SHEET: **9 of 11**



FLOOR COVERINGS LEGEND



WET AREA FLOOR TILING
TOTAL AREA: 13.54 SQM



TIMBER FLOOR AREAS
TOTAL AREA: 0 SQM



CARPET FLOOR AREAS
TOTAL AREA: 26.61 SQM



TILED FLOOR AREAS
TOTAL AREA: 91.07 SQM

DESIGN: **GLENDALE 38**

FACADE: **COMO**

CEILING: 25, L

GARAGE: **DOUBLE**

LOCATION: F

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OWNER: **MRS IGNACIO**
LOT 23 (NO.46) PRINGLE AVENUE
BELROSE

GROUND FLOOR FLOOR COVERINGS

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JOB No: **706658**

DATE: **06.11.2019**

FC DATE: **DD.MM.YYYY**

MST VER: **10.04.2018**

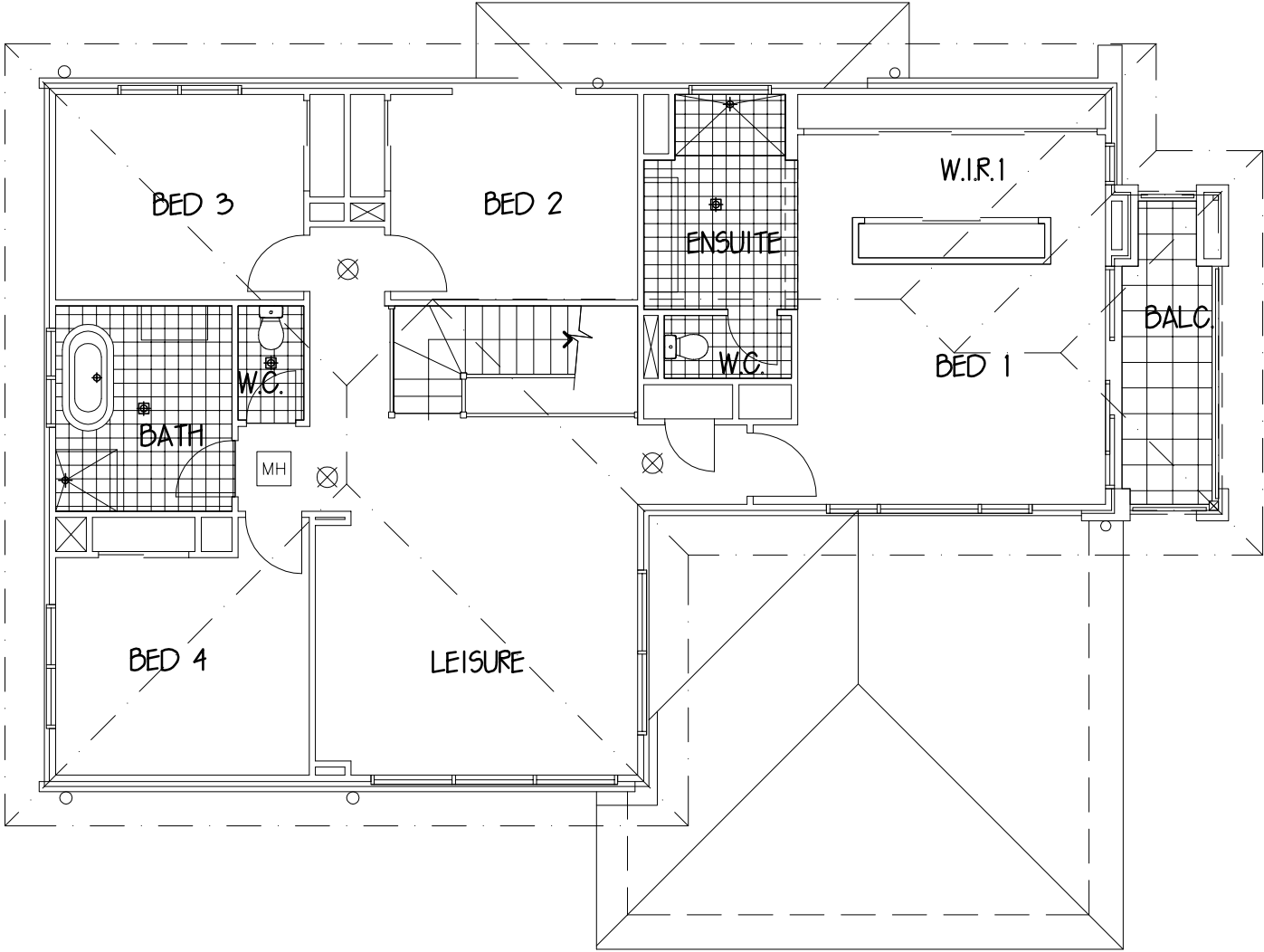
SCALE: **1:100 ON A3 SHEET**

REVISION: **D**

DRAWN: **PG**

CHECK: **NMU**

SHEET: **10 of 11**



FLOOR COVERINGS LEGEND



WET AREA FLOOR TILING
TOTAL AREA: 17.65 SQM



TIMBER FLOOR AREAS
TOTAL AREA: 0 SQM



CARPET FLOOR AREAS (EXCL. STAIRS)
TOTAL AREA: 95.94 SQM



CARPET FLOOR AREAS (ONLY STAIR)
TOTAL AREA: 7.87 SQM



BALCONY TILED FLOOR AREAS
TOTAL AREA: 5.40 SQM

DESIGN: GLENDALE 38

FACADE: COMO CEILING: 25, L

GARAGE: DOUBLE LOCATION: F

FIRST FLOOR
FLOOR COVERINGS

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OWNER: MRS IGNACIO
LOT 23 (NO.46) PRINGLE AVENUE
BELROSE

JOB No: 706658 DATE: 06.11.2019

FC DATE: DD.MM.YYYY MST VER: 10.04.2018

SCALE: 1:100 ON A3 SHEET REVISION: D

DRAWN: PG CHECK: NMU SHEET: 11 of 11



EXISTING TREES TO BE RETAINED

TREES TO BE REMOVED

LANDSCAPED AREA:
Total Landscaped Area : 417.02 Sqm
Excl. All Hard Surfaces : 60.8 %
Min. dimension of 2m
Min Required By Council : 40 %

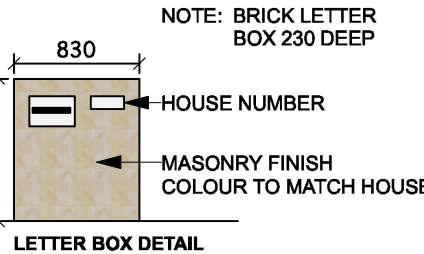
LEGEND

UNCOLOURED, PLAIN CONCRETE
TURF AREAS
GARDEN BEDS / MULCHED PATHWAYS
PROPOSED RESIDENCE
AS SELECTED TILES
TIMBER GARDEN EDGING

MAINTENANCE SCHEDULE

MONTH	MOWING EDGING BLOWING	FERTILISING	CHECK IRRIGATION	HAND WEED REMOVAL	PRUNING CLIPPING	WEED SPRAY	WATERING IRRIGATION	PLANT REPLACEMENT
DEC	W	M	M	W	M	M	D	M
JAN	W	M	M	W	M	M	D	M
FEB	W	M	M	W	M	M	D	M
MAR	F	M	M	F	M	M	D	M
APR	F	M	M	F	M	M	D	M
MAY	F	M	M	F	M	M	2ND DAY	M
JUN	M	M	M	M	M	M	2ND DAY	M
JUL	M	M	M	M	M	M	2ND DAY	M
AUG	M	M	M	M	M	M	2ND DAY	M
SEP	M	M	M	M	M	M	D	M
OCT	F	M	M	F	M	M	D	M
NOV	F	M	M	F	M	M	D	M
W-	W-WEEKLY		F-FORTNIGHT		M-MONTHLY		2ND-DAY - EVERY SECOND DAY	

Area to be kept clear of services
for proposed pool by Owner
(9000 x 4000)



LETTER BOX DETAIL

75mm Depth Mulched Pathways

- Camellia sasanqua 6
- Approx. location of below ground O.S.D. tank (subject to hydraulic assessment)
- Hymenosporum flavum 1
- Lomandra 'Tanika' 23

- 1
- 23

- 1
- 23

- 1
- 23

PRINGLE AVENUE

GENERAL NOTES
All work to be carried out in accordance with the Building Code of Australia, all Local and State Government Ordinances, relevant Australian Standards, Local Authorities Regulations and all other relevant Authorities concerned.
All structural work and site drainage to be subject to Engineer's details or certification where required by Council. This shall include r.c. slabs and footings, r.c. and steel beams & columns, wind bracing to AS 1170 and AS4055, and/or rods or bolts, tie downs, fixings etc., driveway slabs and drainage to Council's satisfaction. All timbers to be in accordance with SAA Timber Structure Code AS1720 and SAA Timber Framing Code AS 1684. All work to be carried out in a professional and workman- shiplike manner according to the plans and specification.
NOTE:
Do not scale off the drawings unless otherwise stated and use figured dimensions in preference.
All dimensions are to be checked and verified on site before the commencement of any work, all dimensions and levels are subject to final survey and set-out.
No responsibility will be accepted by SiteDesign for any variations in design, builder's method of construction or materials used, deviation from specification without permission or accepted work practices resulting in inferior construction. Localise and protect all services prior to construction.
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Project METRICON - MRS IGNACIO RESIDENCE
Address LOT 23 (NO.46) PRINGLE AVENUE BELROSE
Drawing Title DA LANDSCAPE PLAN

MRS IGNACIO
Client

Scale 1:200@A3

Drawing No. 706658

GLEN STREET

1 Cupaniopsis anacardioides

Clothes line

Existing rear and side fence to be retained

33 Dianella caerulea

21 Callistemon viminalis 'Little John'

PROPOSED DWELLING
+RL164.31

GARAGE
+RL164.235

RL164.235

TURF

BOUNDARY 12.75

Letter Box

Driveway, crossover and front entry path to be the responsibility of the owner after handover



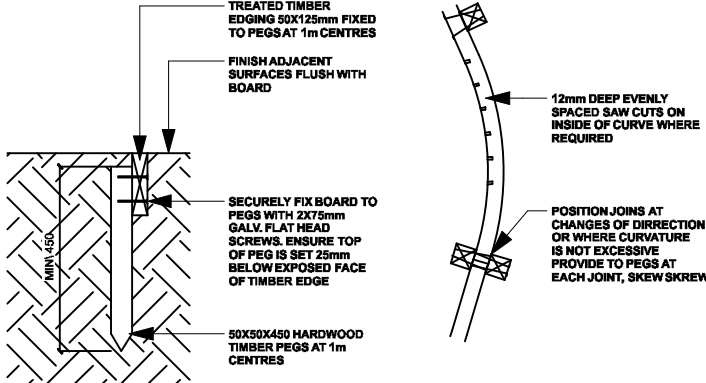
Cupaniopsis anacardioides
Tuckeroo



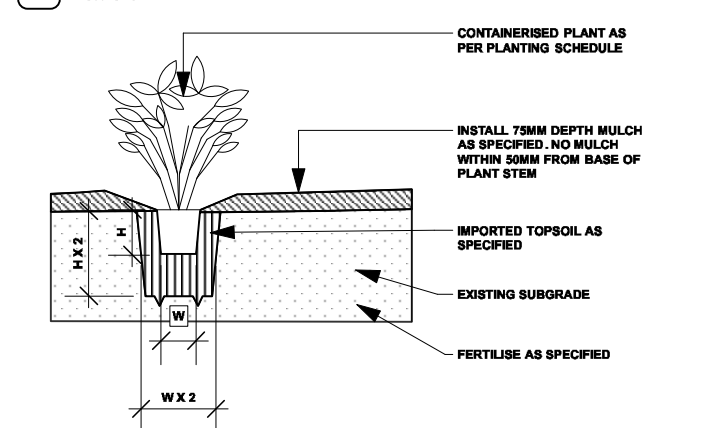
Hymenosporum flavum
Native frangipani



Callistemon viminalis
'Little John'



TREATED PINE TIMBER EDGE



INDIVIDUAL PLANTING

PLANT SCHEDULE

ID	Qty	Common Name	Botanical Name	Scheduled Size	Mature Height	Mature Spread
Trees						
CAAna	1	Tuckeroo	Cupaniopsis anacardioides	45L	8 m	3.5 - 6m
Hym-fl	1	Native frangipani	Hymenosporum flavum	45L	8 m	2.5m
Shrubs						
Cal-vim-lj	21	Weeping Bottlebrush	Callistemon viminalis 'Little John'	200mm	0.9 - 1.5m	0.9 - 1.2m
Cam-sas	6	Sasanqua Camellia	Camellia sasanqua	200mm	1.5-4m	1.5-4m
Grasses						
Dia-cae	33	Blue Flax-lily	Dianella caerulea	150mm	0.4m	0.6m
lom-ta	23	Fine-leaved mat rush	Lomandra 'Tanika'	150mm	0.5m	0.6m
Total	85					

A 20/11/19 ISSUE FOR APPROVAL
ISSUE DATE COMMENT

AMENDMENTS

Page
L-01 A

ROOF TILE



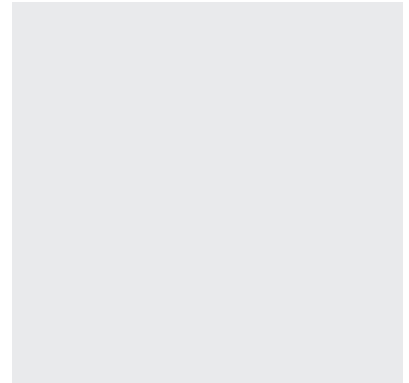
BRISTLE CLASSIC COAL

GUTTER / FASCIA



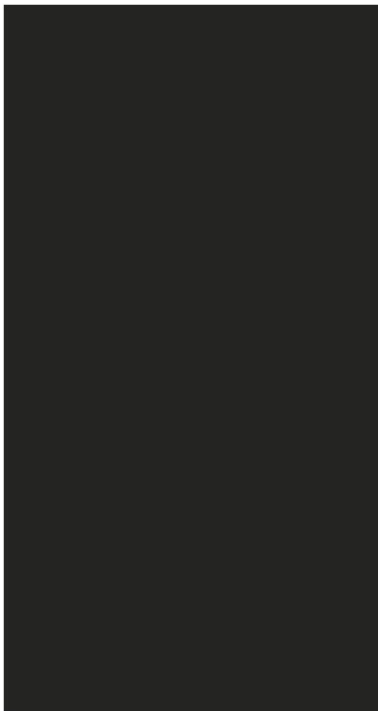
COLORBOND MONUMENT

EAVES / LINING



DULUX WHITE ON WHITE

ALUMINIUM FRAMES



COLORBOND MONUMENT

BRICKS



AUSTRAL WILDERNESS
BLACKBUTT

CLADDING



DULUX ENDLESS DUSK

GARAGE



ENTRY DOOR / TIMBER
POST & LINING



CABOTS JARRAH