Proposed Secondary Dwelling and Carport

50 Wesley St, Elanora Heights

Lachlan and Zoe Isles

General Notes

Coordination

Where applicable refer to and coordinate information contained in the architectural drawings, and the documentation of other consultants. Notify discrepancies between architectural and/or other consultant's documentation for direction prior to proceeding with the works.

Specifications and Schedules

relevant Specifications and Schedules. Written measures in accordance with the Local specifications and schedules take precedence Authority and, where applicable, Hydraulic to the extent of any discrepancy. Notify discrepancies between documents for direction prior to proceeding with the works.

Detail Drawings

Unless noted otherwise, refer to detail drawings for set-out information. Drawings at larger scales take precedence over drawings at smaller scales. Notify discrepancies for direction prior to proceeding with the works.

Execution of the works (Standards)

Execute the works in compliance with the current edition of the Building Code of Australia (as amended), current editions of relevant Australian and other applicable published Standards and the relevant requirements of Local and Statutory Authorities.

Units of measurement

Unless noted otherwise: - Dimensions are shown in millimetres; and - Levels are shown in meters

To detail

Where a notation refers to an item as "...to detail" the applicable item is to be in accordance with the relevant Architect's detail.

Materials handling and storage

Unless noted otherwise material, fixtures and fittings are to be handled, stored and installed in accordance with the Manufacturer's current written instructions.

Structure

Foundations, footings, reinforced concrete, slabs, retaining walls, framing, bracing, tiedown and other structural elements are to be designed and constructed in accordance with the Structural Engineer's details and specifications.

All construction and materials to be in accordance with Bushfire attack level requirements BAL 12.5 as per AS3959 - 2018 Construction of buildings in bushfire-prone land, Section 5 Construction Requirements for BAL - 12.5

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Hydraulics Stormwater drainage, waste water drainage, fresh water, gas supply and other hydraulic services are to be designed and constructed in accordance with the Local Authority, Statutory Authority, Hydraulic and/or Civil Works Consultant's requirements.

Erosion & Sediment Control

Where applicable refer to and coordinate with Apply erosion and sediment control or Civil Works Consultant's requirements to avoid erosion, sedimentation and/or contamination of the site, surrounds and stormwater drainage system. Apply measures to ensure that the site remains free of water and to prevent water flow over the new work . Erosion & sediment control measures are to be effective from commencement of the works (including demolition) and maintained throughout the course of the works until the site is fully stabilised.

Services (existing & proposed)

Confirm location of existing under and above-ground services and coordinate with the relevant service authority to ensure that services are handled in accordance with the relevant authorities instructions prior to commencement of demolition, excavation and/or construction works.

Levels shown are consistent with the datum and benchmarks shown on the associated detail survey. In most instances the surveyed levels will be indicated relative to Australian Height Datum. However the existing site levels and datum are to be confirmed on site with reference to the site survey documents.

Interpretation

Levels

"Provide" means to supply and install. "Required" means required by the contract documents or by the Local or Statutory Authorities. "Proprietary" means identifiable by naming the manufacturer, supplier, installer, trade name, brand name, catalogue or reference number.

Standard Abbreviations A/W Accordance with Above finished floor level AFFL AP Access Panel Awn Awning Bal Balustrade Bdv (Property) Boundary Bhd Bulkhead Building Blda Builder or building contractor Bldr CJ Control / construction joint CL Centre line COS Check / confirm on site Crs Centres Dp Downpipe D,Dr Door Dwg Drawing Eng Engineer('s) Esť Estimated Exst Existing Ext External FFL Finished floor level Finished ground level FGL FR Fire rated Fxd Fixed Gnd Ground Handrail Hr Hyd Hydraulic Instruction(s) Inst Int Internal Man Manufacturer('s) Nom Nominal NTS Not to scale O/A Overall O/H Overhead Own

Owner | Proprietor | Principal Requirement(s Relative Level (to Datum) Schd Schedule(s) Structural floor level Sliding Specification(s) Structural slab level

- Standard
- SDr Surface drainage
- SSD Sub-surface drainage TBA To be advised
- TBC To be confirmed
- TBD To be demolished
- TBR To be removed TOW Top of wall

Rea

RI

SFI

Sld

Spec

SSL

Std

- Тур Typical
- U/G Under ground Unless noted otherwise
- U/S Underside
- W,Win Window
- W/ With W/O Without

Location Plan



Source: Six Maps NSW Planning

D401 North D402 West D403 South D404 East El D901 Shado D902 Shado D903 Perspe D904 Persp



Streetscape Perspective

 General Notes	Issue for DA	Rev	Date	De
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Archited	ctural Drawings		
No.	Name	Rev	Date
D000	Cover Sheet, Title Page & Notes	В	15/11/2024
D002	BASIX Commitments	В	15/11/2024
D003	Specifications	В	15/11/2024
D004	BAL 12.5 Bushfire Specifications	В	15/11/2024
D011	Site Layout - Existing & Demolition	В	15/11/2024
D012	Site Layout & Site Analysis - Proposed	В	15/11/2024
D050	Compliance Plan	В	15/11/2024
D060	Erosion, Sediment, Stormwater Control & Waste Management Plan	В	15/11/2024
D070	Landscape Plan	В	15/11/2024
D101	Ground Floor Plan - Existing & Demolition	В	15/11/2024
D102	Ground Floor Plan - Proposed	В	15/11/2024
D301	Sections	В	15/11/2024
D302	Sections	В	15/11/2024
D401	North Elevations	В	15/11/2024
D402	West Elevations	В	15/11/2024
D403	South Elevations	В	15/11/2024
D404	East Elevations	В	15/11/2024
D901	Shadow Diagrams - 21 June_9am	В	15/11/2024
D902	Shadow Diagrams - 21 June_9am	В	15/11/2024
D903	Perspectives & Materials_1	В	15/11/2024
D904	Perspectives & Materials_2	В	15/11/2024

					-
Description	Project Issue Date	Date			
Description	20	/06/2024	15/11/	2024	
	Scale @ A3	Ву	Chk		
			BS	BS	
for DA	Project #	Drawing #	Rev		
				_	
	1271	D000		B	
		15/11/	2024 6:03:	13 PM	

BASIX Certificate

Single Dwelling

Certificate number: 1762558S

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in his certification or in the commit-have the meaning given by the document entitled TAASX Definitions' dated 100/09/2020 published by the Dopartment. This document is available at www.basix.thev.gov.au

Secretary Date of issue: Monday, 02 September 2024 To be valid, this certificate must be submitted with a development application or lodged with complying development certificate application within 3 months of the date of issue.



Project name	1271_Elanora Isles	
Street address	50 WESLEY Street ELAN	ORA HEIGHTS 2101
Local Government Area	Northern Beaches Counci	
Plan type and plan number	Deposited Plan DP32253	
Lot no.	94	
Section no.		
Project type	dwelling house (detached)	- secondary dwelling
No. of bedrooms	2	
Project score		
Water	✓ 41	Target 40
Thermal Performance	V Pass	Target Pase
Thermal Performance Energy	 ✓ Pass ✓ 73 	Target Pas Target 68

Description of project

1271_Elanora Isles 50 WESLEY Street ELANORA HEIGHTS 2101

Northern Beaches Council Deposited Plan DP32253

64.0

ertificate numbe

n/a

✓ 41

V Pass

¥ 73

-12

Target 40

Target Pass

Target 68

Target n/a

imate zone Area adjuste m².year)

Project score

ermal Perfe

Energy

aterials

Project address Project name Street address Local Government Are Plan type and plan num

Project type Project type

Site details Site area (m²) Roof area (m²) Conditioned floor area

Conditioned floor area (m²) Unconditioned floor area (m²) Total area of garden and lawn (m²) Roof area of the existing dwelling (m²) Number of bedrooms in the existing dwelling

Certificate Prepared by	
Name / Company Name: The Trustee for buckandsimple Unit Trust	
ABN (if applicable): 86106604025	

Project summary

ote	Insulation specified in this Certificate must be installed in accordance with the ABCB Housing Provisions (Part 13.2.2) of the National Construction Code.
ote	If the additional ceiling insulation listed in the table above is greater than R3.0, refer to the ABCB Housing Provisions (Part 13.2.3 (6)) of the National Construction Code.
ote	In some climate zones, insulation should be installed with due consideration of condensation and associated interaction with adjoining building materials.
ote	Thermal breaks must be installed in metal framed walls and applicable roofs in accordance with the ABCB Housing Provisions of the National Construction Code.
-	

Thermal Performance and Materia	Is commitments			Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Ceiling fans						
The applicant must install at least one ceiling	e applicant must install at least one ceiling fan in at least one daytime habitable space, such as living room.					×
The applicant must install at least one ceiling	applicant must install at least one ceiling fan in each bedroom.					~
The minimum number and diameter of ceiling fans in a daytime habitable space must be installed in accordance with the ABCB Housing Provisions (Part 13.5.2) of the National Construction Code .				~	~	~
X Department of Planning, Housing and	www.basix.nsw.gov.au	Version: 4.03 / EUCALYPTUS_03_01_0	Certificate No.: 17625	585 Mc	nday, 02 September 2024	page 6

Schedule of BASIX commitments

The commitments set out below regulate how the proposed development is to be carried out. It is a condition of any development development certificate issued, for the proposed development, that BASIX commitments be complied with.

Water Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Landscape			
The applicant must plant indigenous or low water use species of vegetation throughout 350 square metres of the site.	~	~	
Fixtures			
The applicant must install showerheads with a minimum rating of 4 star (> 4.5 but <= 6 L/min plus spray force and/or coverage tests) in all showers in the development.		~	~
The applicant must install a toilet flushing system with a minimum rating of 5 star in each toilet in the development.		~	~
The applicant must install taps with a minimum rating of 5 star in the kitchen in the development.		~	
The applicant must install basin taps with a minimum rating of 5 star in each bathroom in the development.		~	
Alternative water			
Rainwater tank			
The applicant must install a rainwater tank of at least 3000 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.	~	~	~
The applicant must configure the rainwater tank to collect rain runoff from at least 100 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam).		~	~
The applicant must connect the rainwater tank to:			
 at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.) 		 	~

	e and Materials commitm	ients			Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Glazed windows, doors and	d skylights						
The applicant must install the windows, glazed doors and shading devices described in the table below, in accordance with the specifications listed in the table. Relevant overshadowing specifications must be satisfied for each glazed window and door.						~	×
The dwelling may have 1 skylight (<0.7 square metres) which is not listed in the table.						~	~
The following requirements must also be satisfied in relation to each window and glazed door:					~	~	~
 The applicant must install table. 	I windows and glazed doors in a	ccordance with the height and v	vidth, frame and glazing types lis	ted in the	~	~	~
 Each window and glazed door must have a U-value no greater than that listed and a Solar Heat Gain Coefficient (SHGC) within the range listed. Total system U values and SHGC must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. 						~	~
 Overshadowing buildings as specified in the 'overshat 	/vegetation must be of the heigh adowing' column.	t and distance from the centre a	and the base of the window and g	glazed door,	~	~	~
	eed 3 square metres (the 3 squa	re metre limit does not include	e specifications listed in the table. the optional additional skylight of		~	~	~
0.7 square metres that doe	is not have to be listed in the tat						
0.7 square metres that doe Glazed window/door no.	Maximum height (mm)	Maximum width (mm)	Frame and glass specification	Shading (Dimensi	device on within 105	Overshadowin %)	ig
		,					ig
Glazed window/door no.		,		(Dimensional awning (a mm, 240)		%) 20 not overshador xase	
Glazed window/door no. North-East facing	Maximum height (mm)	Maximum width (mm)	specification aluminium, single glazed (U-value: <=6.5, SHGC;	(Dimensional awning (a mm, 240)	on within 10 djustable) 240) mm above b	%) 20 not overshador xase	

Show on Show on CC/CDC Certifier DA plans plans & specs Check ~ ~ ~ ~ × × **v v** system, or any ducting which is des v v entilation llowing exhaust systems in the development: I fan, open to façade; Operation control: please s ¥ ~ Kitchen: individual fan, open to façad : manual switch on/off č ~ Laundry: natural ventilation only, or no laundry; O control: n/a . Artificial lig The applicant must energied diode (LED) lamps. × × Natural lighting The applicant must install and/or skylight in the kitchen of the dwelling for natural lighting. v v v

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re applicant must install a vindow and/or skylight in 1 bathroom(s)/bile(t)) in the development for natural lighting. ther re applicant must install a fixed outdoor dothes drying line as part of the development. He applicant must install a fixed indoor or shaltered clothes drying line as part of the development.		
he applicant must install a fixed outdoor clothes drying line as part of the development.		
re applicant must install a fixed indoor or sheltered clothes drying line as part of the development.	~	

Legend	
In these comm	ments, "applicant" means the person carrying out the development.
Commitments i development a	sentified with a 🖌 in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a pplication is to be lodged for the proposed development).
Commitments i certificate / cor	sentified with a 🖌 in the "Show on CCICDC plans and specs" column must be shown in the plans and specifications accompanying the application for a construction splying development certificate for the proposed development.
Commitments i final) for the de	Sentified with a V in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate (either interim velopment may be issued.

General Notes No. Description		No. Description	Date	Project	Scale @ A3	Drawn by	Che
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commencement of works. Where a discrepancy arises, seek direction prior to proceeding with the works.	www.buckandsimple.com			Client Lachlan and Zoe Isles	Project number Drawin	5	Re
This drawing is only to be used by the stated Client in the stated location for the purpose it was created. Do not use this drawing for construction unless designated.	Issue for DA			Drawing BASIX Commitments	1271	D002	1

Thermal Performance and I	Show on DA plans	Show on CC/CDC plans & specs	Certifier check			
Do-it-yourself Method						
General features						
The dwelling must be a Class 1 dwe	illing according to the National Constr	uction Code, and must not have more t	han 2 storeys.	~	~	~
The conditioned floor area of the dw	elling must not exceed 300 square m	etres.		~	~	~
The dwelling must not contain open	mezzanine area exceeding 25 squan	a metres.		~	~	×
The dwelling must not contain third	level habitable attic room.			~	×	~
Floor, walls and ceiling/roof						
The applicant must construct the flo below.	or(s), walls, and ceiling/roof of the dw	elling in accordance with the specificati	ons listed in the table	~	¥	~
The applicant must adopt one of the ceiling/roof of the dwelling.	options listed in the tables below to a	address thermal bridging in metal frame	d floor(s), walls and	~	~	~
The applicant must show through re the tables below.	ceipts that the materials purchased fo	or construction are consistent with the s	pecifications listed in			¥
Construction	Area - m²	Additional insulation required	Options to address t bridging	hermal	Other specifications	
floor - concrete slab on ground, conventional slab.	60	nil;not specified	nil			
external wall: cavity brick; frame: no frame.	all external walls	0.50 (or 1.20 including construction);not specified	nil	wall colour: Medium (s absorptance 0.48-0.7)		
internal wall; single skin masonry; frame: no frame.	25	none	nil			
ceiling and roof - flat ceiling / flat roof, framed - metal roof, timber - H2 treated softwood.	101	ceiling: 4 (up), roof: foil backed blanket ;ceiling: fibreglass batts or roll; roof: foil backed blanket.	nil		roof colour: light (sola absorptance < 0.38); fully insulated	

Glazed window/door no.	Maximum height (mm)	Maximum width (mm)	Frame and glass specification	Shading device (Dimension within 10%)	Overshadowing
WD5	1000.00	600.00	aluminium, single glazed (U-value: <=8.5, SHGC: Undecided)	none	2-4 m high, 2-5 m away
North-West facing					
W02	2400.00	4000.00	aluminium, single glazed (U-value: <=6.5, SHGC: Undecided)	awning (fixed) 600 mm, 2400 mm above base of window or glazed door	not overshadowed
W03	1000.00	1000.00	aluminium, single glazed (U-value: <=6.5, SHGC: Undecided)	eave 2400 mm, 300 mm above head of window or glazed door	not overshadowed

General Notes and Abbreviations Refer also to the General Notes and Abbreviations where included with this drawing set.

This specification table forms a non-exhaustive list of the Standards and provisions applicable to th

works. Where an Australian Standard (AS/NZ/int) or provision of the NCC has been ommitted. superseded or replaced the contractor is to ensure all works are carried out, completed and warranted in accordance with the most current form of the standard or provision.

Where a discrepancy arises, notify the contract administrator immediately

Coordination

Where applicable refer to and coordinate information contained in the architectural drawings, and the documentation of other consultants. Notify the project administrator of any discrepancies between architectural and/or other consultant's documentation for direction prior to proceeding with the affected part

Detail Drawings Unless noted otherwise, refer to detail drawings for setout information. Drawings at larger scales take precedence over drawings at smaller scales to the extent of any discrepancy. Notify the project administrator of any discrepancies prior to proceeding with the affected part of the works.

Units of measuremen

- Dimensions are shown in millimetres; and - Levels are shown in meters

<u>Fo detail</u> Where a notation refers to an item as "...to detail" the applicable item is to be in accordance with the relevant Architect's detail.

Materials handling and storage Unless noted otherwise material, fixtures and fittings are to be handled, stored and installed in accordance with the Manufacturer's current written instructions.

Erosion & Sediment Control Apply erosion and sediment control measures in accordance with the Local Authority and, where applicable. Hydraulic or Civil Works Consultant's requirements to avoid erosion, sedimentation and/or contamination of the site, surrounds and stormwater imination of the site, surrounds and stor drainage system. Apply measures to ensure that the site remains free of water and to prevent water flow over the new work. Erosion & sediment control measures are to be effective from commencement of the site works (including demolition) and maintained throughout the course of the works until the site is fully stabilised.

Services (existing 8 proposed)

Confirm location of existing under and above-ground services and coordinate with the relevant service authority to ensure that services are handled in accordance with the relevant authorities instructions prior to commencement of demolition, excavation nd/or construction works

Levels shown are consistent with the datum and benchmarks shown on the associated detail survey. Ir most instances the surveyed levels will be indicated relative to Australian Height Datum. However the existing site levels and datum are to be confirmed on site with reference to the site survey documents.

inish surfaces typically to fall as required to facilitate effective drainaae

Interpretation "Required" means to supply and install. "Required" means required by the contract documents or by the Local or Statutory Authorities. Proprietary" means identifiable by namina the manufacturer supplier installer trade name brand ame, catalogue or reference number

Specifications and schedules

Where a written specification and/or schedule exist and a discrepancy between documents is identified the written documents take precedence over this document to the extent of the discrepancy. Where a discrepancy is identified notify the project administrator for direction prior to proceeding with the part of the works affected by the discrepancy

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xecution of the works (Specifications) Execute the works in compliance with The relevant deemed-to-satisfy provisions of the current edition of the NCC (Volume 2 - Class 1 and 10 buildings) (as amended at the time of execution of the works) - Current editions of relevant Australian and other applicable published Standards; and he relevant requirements of Local and/or Statutory Authorities applicable to the execution of the works. The specification of codes and standards included he outlines the minimum acceptable standards.

Termite protection Provide termite protection

In accordance with the NCC 2022 (Volume 2) Part 3.4 Termite Risk Management and to AS/NZS 3660. Termite Management - New building work. Upon completion, a durable notice must be permanently fixed to the building in a prominent location, such as a meter box or the like, indicating: The method of termite protection, the date of installation of the system, where a chemical barrier is used, its life expectancy as listed on the National Registration Authority label and the installer's or manufacturer's recommendations for the scope and requency of future inspections for termite activity. Provide professional certification of the termite colony. Provide professional certification of the termite protection measures to the principal certifying authority, confirming compliance with the relevant provisions of the NCC 2022 and Australian Standards

<u>Elashings and damp-proof courses</u> Flashings and damp-proof courses: To AS/NZS 2904 Damp-proof courses and flashings

<u>Fasteners</u> Steel nails: Hot-dip galvanized to AS/NZS 4680_Hot-dip galvanized (zinc) coatings on fabricated ferrous articles. Self-drilling screws: To AS 3566.1_Self-drilling screws for

the building and construction industries - General ments and mechanical propertie Metal finishes

Corrosion protection:

accordance with the NCC 2022 (Volume 2) Part 6.3 Structural Steel Members; Part 6.3.9_Corrosion Protection Preparation of metal surfaces: To AS 1627.(Various)_Metal finishing - Preparation and pretreatment of surfaces.

Zinc platina To AS 1789_Metallic and other inorganic coatings -Electroplated coatings of zinc with supplementary treatments on iron or steel, at least service condition number 2 Anoaising. To AS 1231_Aluminium and aluminium alloys - Anodic

oxidation coatings, at least class AA10. Thermoset powder coating: To AS 3715_Metal finishing -Thermoset powder coating for architectural applications of aluminium and aluminium allovs. Galvanize mild steel components (including fasteners): To AS/NZS 1214_Hot-dip galvanized coatings on threaded fasteners (ISO metric coarse thread series) (ISO 10684:2004, MOD) or AS/NZS 4680 Hot-dip galvanized (zinc) coatings on fabricated ferrous articles, as appropriate, if exposed to weather, embedded or in contact with chemically treated timber. Galvanized other components: To AS/NZS 4680 Hot-din aalvanized (zinc) coatings on abricated ferrous articl Durability requirements: To AS 2699.2_Built-in components for masonry onstruction - Connectors and accesories Steel sheetina To AS/N7S 2728 Prefinished/prepainted sheet metal products for interior/exterior building applications Performance requirements. Cold-form sections from metallic-coated steel To AS 1397 Continuous hot-dip metallic coated stee heet and strip - Coatings of zinc and zinc alloyed with aluminium and magnesium.

structures Ground slabs and footings: To AS 2870 Residential Zinc-coated or aluminium/zinc allov coated steel: To AS 1397 Continuous hot-dip metallic coated steel sheet and strip - Coatings of zinc and zinc alloyed with aluminium and magnesium, Z450 or AZ150.

Building in bushfire prone areas

Steel framing:

Provide certification that all construction methods and any required bushfire prevention measures are installed in accordance with the approvals documentation, the NSW Rural Fire Service and AS 3959 Construction of buildings in bushfire-prone areas

order to provide a suitable combination of bush fire protection measures the NSW Rural Fire Service also reauires additional construction reauirements bevond hose prescribed in AS3959 as deemed appropriate

Construction methods must comply with these requirements, including, but not limited to: NSW Rural Fire Service Addendum: Appendix 3 of Planning for bushfire provisions of A3.7 and the nominated Australian Standard clauses.

Specify all measures installed on the certification.

Demolish existing structures as shown: To AS 2601 _The demolition of structures Temporary Support: Provide temporary support for part(s) of the existing structure as required when part(s) of the works to be altered rely on work to be demolished for support. Temporary Cover: Provide temporary cover as necessary to prevent damage from the weather and

ensure that the site remains secure so as to prevent unauthorised entry. Secure Site: Prior to the commencement of demolition works ensure that the site is secure and that erosion and other environmental protection measures are in

place and operational. Asbestos: Demolition involving the removal of asbestos or materials containing asbestos fibre must only be carried out by persons licensed by Workcover NSW

and be in accordance with the National Occupational Health and Safety Commission (WorkSafe Australia) Code of practice for the safe removal of asbestos

Earthworks

To be carried out in accordance with: The requirements of the Environmental Planning & nent Act 1979; Relevant conditions of development consent; and The relevant requirements of NCC 2022 (Volume 2) H1D4 Footings and slabs H1D12 Piled footings 8 NCC 2022 (ABCB Housing Provisions) Part 3.2

_Earthworks. Excavation for drains adjacent to existing footings: To be in accordance with NCC 2022 (ABCB Housing Provisions) Part 3.3.2 & Figure 3.3.2.

Timber piled footing systems: Proprietary System designed to AS 2870_Residential slabs and footings. v-in foundations: Proprietary System designed to

AS 2159_Piling - Design and installation Structural design Foundations, footings, reinforced concrete, slabs,

retaining walls, framing, bracing, tie-down and other structural elements are to be designed and structural elements are to be designed and constructed in accordance with the Structural Engineeric details and accordance with the Structural Engineer's details and specifications and in cordance with the relevant provisions of the following structural design manuals. Site classification

To be in accordance with NCC 2022 (Volume 2) Part A6 Building Classification

Structural design manuals AS/NZS 1170.1_Structural design actions (Permanent, imposed and other actions) AS/NZS 1170.2 Structural design actions (Wind loads) or AS 4055_Wind loads for housing AS/NZS 1170.3_Structural design actions (Snow and ice actions) AS 1170.4 Structural design actions (Earthquake

actions in Australia) AS 1720.1_Timber structures AS 2870_Residential slabs and footings AS 2159 Piling - design and installation AS 2327.1 Composite structures AS 3600 Concrete structures AS 3700 Masonry Structures

_Steel structures AS 4773_Masonry in small buildings Structural desian certification Submit structural engineer's design certification, in accordance with Local Authority requirements, to the Principal Certifying Authority prior to the

commencement of works Concrete construction Concrete structures generally: To AS 3600_Concrete

slabs and footings Ready mixed supply: To AS 1379_Specification and supply of concrete Concrete construction is to comply with NCC 2022

(volume 2) Spec 3 Fire hazard properties, Part H1 Structure, AS 3600 Concrete structures

Footings and slabs Design and construct footings and slabs: In accordance with NCC 2022 (volume 2) H1D4 Footings and slabs, Schedule 5 NSW, Part 42 Footings, slabs and associated elements, Schedule 5 NSW_H1D4 Footings and slabs and AS 2870_Residential slabs and footings, AS 3600 Concrete structures and AS 2159 Pilina - Desian and installation.

neral Notes

authority of buck&simple.

prior to proceeding with the works.

onstruction unless designated.

Brick & block construction (masonry) Masonry construction: To be in accordance with NCC 2022 (Volume 2) H1D5_Masonry and to AS 3700 Masonry structures: Masonry units: To AS/NZS 4455 Masonry units. pavers. flags and segmental retaining wall units; Clay brick durability below damp-proof course: Use exposure category to AS/NZS 4456.10 Masonry units, seamental pavers and flags - Methods of segmenta pover sind nago "neincos of test_Determining resistance to salt attack Appendix A (Salt attack resistance categories). AS 4773.1_Masonry in small buildings (Design) and AS 4773.2_Masonry in small buildings (Construction)

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Wall ties Wall ties: To AS/NZS 2699.1_Built-in components for masonry construction - Wall ties; Non-seismic areas Type A; Seismic areas: Type B. Wall tile type: To be in accordance with NCC 2022 isions) Part 5.6 5.6.5 Wall tile (ABCB Ho Wall tile spacing: To NCC 2022 (ABCB Housing Provisions) Part 5.6_5.6.5 Wall tiles (b) Wall tile corrosion protection: To NCC 2022 (ABCB Housing Provisions) Part 5.6 5.6.5 Wall tiles (c)

Lintels Lintels generally: To be in accordance with NCC 2022 (ABCB Housing Provisions) Part 5.6 5.6.7 Lintels Cold-formed lintels: Proprietary cold-formed flat-based type designed to AS/NZS 4600_Cold-formed steel structures, manufactured from mild steel galvanized to AS/NZS 4680_Hot-dip galvanized (zinc) coatings on fabricated ferrous articles: Do not cut after advanizing. Steel linkels (flats and angles): To be in accordance NCC 2022 (ABCB Housing Provisions) Figure 5.6.7 _Lintel installation. manufactured from mild steel galvanized to AS/NZS 4680 Hot-dip galvanized (zinc coatinas on fabricated ferrous articles: Do not cut after

ion protection: To AS/N7S 2609 3 Built-in components for masonry construction (Lintels and shell angles (durability requirements)).

Timber & steel framed construction

Sub-floor ventilation Sub floor ventilation: To be in accordance with NCC 2022 (Volume 2) H2D5_Subfloor Ventilation & NCC 2022 (ABCB Housing Provisions) Part 6.2.1_Subfloor ventilation

Timber wall, floor and roof framing

Timber framing: To be in accordance with NCC 2022 (Volume 2) H1D6 Framing and AS 1684.4_Residential timber-framed construct (Simplified - Non-cyclonic) or AS 1720.1_Timber or framed constructio structures (Design methods). Natural durability class of heartwood: To AS 5604 Timber - Natural durability ratings. Preservative treatment: To the AS 1604 series_*Specification* for preservative treatment. Timber construction is to comply with clause (4) of NCC 2022 (Volume 2) H1D6 Framina and AS 1684.2 (Amdt 1), AS1684.3 (Amdt 1) or AS 1684.4 (Amdt 1).

Steel framing and structural steel members Steel framing: to be in accordance with NCC 2022 (Volume 2) H1D6_Framing & AS 4100_Steel structures. Steel structural members: to be in accordance with NCC 2022 (Volume 2) H1D6_Framing & AS 4100_Stee

structures. Structural steelwork: To AS 4100_Steel structures. Cold-formed steel framing: Provide a proprietary system designed to AS 3623_Domestic metal framing. Welding: To AS/NZS 1554.1_Structural steel welding Weldina of steel structures).

Floors: To AS 1684.4 Residential timber-framed construction (Simplified - Non-Cyclonic Areas) Particleboard flooring: To AS/NZS 1860.1 Particleboard flooring (Specifications) and install to AS 1860.2 Particleboard flooring (Installation). ed Fibre cement flooring: To AS/NZS 2908.2 Cellulosecement products (Flat sheets), Type A, Category 5.

Plywood flooring: To AS/NZS 2269_Plywood - Structural (Specifications), bond type A, tongue and grooved.

Roof trusses installation: To AS 4440_Installation of nailplated timber trusses. Anti-ponding boards: To AS 4200.2_Pliable building nembranes and underlays (Instal

Roof and wall claddina

Roof tiling To be in accordance with NCC 2022 (Volume 2) H2D6 _Roof and wall cladding and AS 2049_Roof tiles. Roof tile installation: To AS 2050_Installation of roofing tiles.

Metal roof sheetina To be in accordance with the NCC 2022 (Volume 2) H1D7_Roof and wall cladding. Metal roofing design and installation: To AS 1562.1 _Design and installation of sheet roof and wall cladding

Roof plumbing To be in accordance with NCC 2022 (Volume 2) H2D6 Roof and wall cladding and AS/NZS 3500.3 Plumbing and drainage (Stormwater drainage). Metal rainwater goods and accessories: To AS/NZS 2179.1 Specifications for rainwater goods, accessories and fasteners (Metal shape or sheet rainwater goods, and metal accessories and fasteners) PVC rainwater goods and accessories: To AS1273 _Unplasticized PVC (UPVC) downpipe and fittings fo

Eaves & soffits Lores o solins Uning is to comply with NCC 2022 (ABCB Housing Provisions) Part_7.5.5 Eaves and soffit linings and AS/NZS 2908.2 Cellulose-cement products (Flat sheets) or ISO 8336_Fibre-cement flat sheets - Product

specification and test methods.

Nall cladding o be in accordance with NCC 2022 (Volume 2) H2D6 _Roof and wall cladding Hardboard cladding: To AS/NZS 1859.4 Reconstituted wood-based panels - Specifications (Wet-processed

Fibre cement cladding: To AS/NZS 2908.2_Cellulose cement products (Flat sheets), Type A, Category 3. Metal cladding design and installation: To AS 1562. Desian and installation of metal roof and wall cladding

ised polyvinyl chloride (uPVC) sheet: To AS/NZS 4256.4_Plastic roof and wall cladding materials (Unplasticised polyvinyl chloride (uPVC) wall cladding

Glass fibre reinforced polyester (GRP) sheet: To AS/NZS 4256.3_Plastic roof and wall cladding materials (Glass fibre reinforced polyester (GRP)).

Polycarbonate: To AS/NZS 4256.5 Plastic roof and wall Ladding materials (Polycorbonate). Installation of plastic claddings: To AS/NZS 1562.3 _Design and installation of sheet roof and wall cladding

(Plastic). Finderic). Fimber cladding to comply with NCC 2022 (Volume 2)

NCC 2022 (Volume 2) H2D6_Roof and wall cladding & NCC 2022 (ABCB Housing Provisions) Part 7.5_Timber and composite wall cladding

Insulation and sarking Cellulosic fibre (loose fill): To AS/NZS 4859.1 Thermal insulation materials for buildings (General criteria and technical provisions), Section 5. Mineral wool blankets and cut pieces: To AS/NZS 4859.1, Section 8.

Polystyrene (extruded rigid cellular sheets): To AS 1366.4 _Rigid cellular plastics sheets for thermal insula [Rigid cellular polystyrene - Extruded (RC/PSE)]. Polystyrene (moulded rigid cellular sheets): To AS 1366.3 Rigid cellular plastics sheets for thermal insulation d cellular polystyrene - Moulded (RC/PS - M)). active insulation: To AS/NZS 4859.1, Section 9 Wool: To AS/NZS 4859.1, Section 6. Sarking material: To AS/NZS 4200.1 Pliable building membranes and underlays (Materials) nstallation of bulk thermal insulation: To AS 3999. Bulk thermal insulation - Installation. Sarking material: To AS/NZS 4200.2_Pliable building membranes and underlays (Installation)

Windows and doors Glazing to be in accordance with NCC 2022 (Volume 2) H2D7 Glazina. Glass Selection and installation: To AS 1288_Glass in buildings - Selection and installation. Timber doorsets, frames and jamb linings: To AS 2688 limber and composite doors. Security screen doors and windows grilles: To AS 5039 _Security screen doors and security window grilles. Window selection and installation: To AS 2047_Windows and external glazed doors in buildings. Doorset installation: To AS 2688. Garage doors: To AS/NZS 4505 Garage doors and other large access doors. vide certification from a licensed installer that window aming and glazing is installed in accordance with the relevant standards.

Lining Plasterboard: To AS/NZS 2588_Gypsum plasterboard. Plasterboard installation: To AS/NZS 2589_Gy linings - Application and finishing Level 4 finish. Gypsum Fibre cement: To AS/NZS 2908.2 Cellulose-cement products (Flat sheets), Type B. Category 2, Fibrous plaster products: To AS 2185 Fibrous plaster products.

Fire safety

flashinas

Smoke alarms

the building.

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Issue for DA

<u>Fire separation</u> To be in accordance with NCC 2022 (Volume 2) Part H3 Fire safety: H3D3_ Fire separation of external walls; H3D4_Fire protection of

separating walls and floors: H3D5 Fire separation of garage-top-dwellings garage-top-dwellings Fire separation - Roof lights: NCC 2022 (ABCB Housing Provisions) 9.2.10. Roof lights Refer to architectural details of fire separation methods.

Elusting Flashing to wall openings are to comply with NCC 2022 (ABCB Housing Provisions) 7.5.6_Flashings to wall openings and AS/NZS 2904_Damp-proof courses and

o be in accordance with NCC 2022 (Volume 2) H3D6

Smoke alarms usina scattered light, transmitted light or

onization and the Manufacturer's instructions. Where

consumer mains power is supplied smoke alarms mus be connected to mains power. For Class 1A buildings smoke alarms must be installed on every storey. In

storevs containing bedrooms smoke glarms are to be

- If there is no corridor or hallway, between the part of the

building containing the bedroom and the remainder of

vav associated with a bedroom.

No Description

Issue for DA

Revised issue for DA

located on or near the ceiling:

In every corridor or hallw

Smoke alarms and evacuation liahtina, AS 3786

Test electrical installations: To AS/NZS 3017_Electrical installations - Verification by inspection and testing. Test telecommunications cabling: To AS/NZS 3086 and the recommendations of SA HB29. Test the cable link performance in accordance with the recommendations of SA HB29 at the maximum frequency and data rate or the cable class, and the cable category. Certify compliance with AS/NZS 3086.

Test television and audio systems: To AS/NZS 1367 Coaxial cable and optical fibre systems for the RE Cuban cabe and optical inter systems for interver distribution of digital television, radio and in-house analog television signals in single and multiple dwelling installations. Test the complete television and audio system. Certify compliance with AS/NZS 1367.

Mechanical installations

Medium density fibreboard: To AS/NZS 1859.2

On storeys not containing bedrooms a smoke alarm must

travel people will most likely take to evacuate the building.

Provide certification from a Licensed electrical contractor

To be in accordance with NCC 2022 (Volume 2) H7D5 — Heating appliances, fireplaces, chimneys and flues, and AS 2918_Domestic solid fuel burning appliances -

o be in accordance with NCC 2022 (Volume 2) H4D4_

Ceiling heights are to comply with NCC 2022 (ABCB

Housing Provisions) 10.3.1 Height of rooms and other

<u>Kitchen, sanitary and washing facilities</u> To be in accordance with NCC 2022 (Volume 2) H4D5

<u>Natural and artificial light</u> To be in accordance with NCC 2022 (Volume 2) H4D6

be in accordance with NCC 2022 (Volume 2) H4D7

Natural Ventilation: NCC 2022 (ABCB Housing Provisions)

Mechanical Ventilation: NCC 2022 (Volume 2) H4P5 _Ventilation & AS 1668.2_The use of ventilation and airconditioning in buildings (Mechanical ventilation in

To be in accordance with NCC 2022 (Volume 2) H4D8

To be in accordance with NCC 2022 (Volume 2) H5D2

min 240mm nosing to nosing; risers 115mm - 190mm;

slope relationship (2R+G): handrail height 865mm above

To be in accordance with NCC 2022 (Volume 2) H5D3

Barriers and handrails. Balustrade construction must comply with the provisions of the NCC 2022 (ABCB Housing Provisions) 11.3.3 Barriers to prevent falls.

Balustrade height 1m above finished floor surface. Where

around height exceeds 4m from floor level of the deck /

onv balusters must be vertical / non-climbable

n 150mm and 760mm above deck level

Ceramic tilina: Follow the auidance provided by AS

3958.1_Ceramic tiles (Guide to the installation of ceramic tiles) and AS 3958.2_Ceramic tiles (Guide to the selection

of a ceramic tiling system). Adhesives: To AS 2358_Adhesives - For fixing ceramic

To be in accordance with NCC 2022 (Volume 2) H2D8

External waterproofing & H4D2 Wet greas: AS 3740

_waterproofing of contestic were died of A 4004.2 Waterproofing membranes for external above-ground use (Design and installation) Provide certification from a licensed installer certifying

that the waterproofing is installed in accordance with the

Floor coatings and coverings Carpeting: To AS/NZS 2455.1_Textile floor coverings -

Resilient finishes: To AS 1884 Floor coverings - Resilient

Painting generally: Follow the auidance provided by

ASI/NZS 2311_Guide to the pointing of buildings, AS 2312.1 Guide to the protection of structural steel gainst atmospheric corrosion by the use of protective coatings

are surfaces to be painted in accordance with the

Manufacturer's recomendations to suit the selected pain system, the type of substrate and its condition.

Hardboard: To AS/NZS 1859 4 Reconstituted woodased panels - Specifications (Wet-processe fibreboard). Particleboard: To AS/NZS 1859.1 Reconstituted wood-

based panels - Specifications (Particleboard)

Waterproofing of domestic wet greas & AS 4654.2

ing; open treads maximum gap between treads is

_Stairway and ramp construction. Stair construction must comply with the provisions of the NCC 2022 (ABCB Housing Provisions) 11.2.2_Stairway construction, treads

Refer to architectural details of sound insulation

certifying that the glarm systeme has been installed in

nce with the relevant standards

All smoke alarms to be interlinked

Heating appliances

Health and amenity

fer to "Waterproofina

Wet areas

Room heights

Room heiahts:

Facilities

Liaht

Ventilation

buildings)

Sound insulation

Sound insulation.

Stair construction

125

Balustrades

Block and tile finishes

Waterproofing

elevant standards

Paintina

(Paint coatinas). Preparation

Timber fixtures

Installation practice (General).

sheet and tiles - Installation practices

Safe movement and access

Part 10.6 Ventilation

be provided and should be located along the path of

_Reconstituted wood-based panels - Specifications (Dry-processed fibreboard).

Decorative overlaid wood panels: To AS/NZS 1859.3

2924.1_High pressure decorative laminates - Sheets made from thermosetting resins (Classification and

ssure decorative laminate sheets: To AS/NZS

Reconstituted woodbased panels (Decorative

Domestic kitchen bathroom and other joinen

assemblies: To AS 4386_Cabinetry in the built-in environment - Commercial and domestic.

Stormwater drainage, waste water drainage, fresh water, gas supply and other hydraulic services are t

Civil Works Consultant's requirements. Where a

statutory authority's requirements take preceder over the following standards to the extent of the

Plumbing and drainage products: To SA MP52

Stormwater: To AS/N7S 3500.3 Plumbing and

Drainage (Stormwater drainage). Wastewater: To AS/NZS 3500.2_Plumbing and

site domestic wastewater treatment units (Wat

Drainage (Sanitary plumbing and drainage). Waterless composting toilets: To AS/NZS 1546.2_On-

546.3_On-site domestic wastewater treatment units

Septic systems: To AS/NZS 1546.1 On-site domestic

wastewater treatment units (Septic tanks). Effluent disposal: To AS/NZS 1547_On-site domestic

wastewater management. Freshwater: To AS/NZS 3500.1 Plumbing and

Drainage (Water services) and AS/NZS 3500.4

Plumbing and Drainage (Heated water services)

Copper pipe: To AS 4809_Copper pipe and fittings

Installation and commissioning. Rainwater tanks installation: To AS/NZS 3500.1.

Polvethylene tanks: To AS/N7S 4766 Rotational

moulded buried, partially buried and non-buried storage tanks for water and chemicals.

Gas: To AS/NZS 5601.1 Gas installations (General

To be in accordance with NCC 2022 (Volume 2) H2D6 _Roof and wall cladding & AS/NZS 3500.3_Plumbing

and drainage (Stormwater drainage).

Where a discrepancy arrises the electrical consultant's, local or statutory authority's

standards to the extent of the discrepancy

requirements take precedence over the following

Electrical installation: To AS/NZS 3018 Electrical

Circuit breakers: To AS/NZS 3947.2_Low voltage

Electrical accessories: To AS/NZS 3100 Approval and

switchgear and controlgear (Circuit-breakers)

test specification - General requirements for

equipment. Luminaries: To AS 3137_Approval and test

specification - Luminaries (lighting fittings). Smoke detectors: Refer to "Fire Safetv. Smoke

Switchboards: To AS/NZS 3439.1 Low-voltag

switchgear and controlgear assemblies_Type-tested and partially type-tested assemblies, or AS/NZS

3439.3 Low-voltage switchgear and controlgear

Particular requirements ..., as appropriate. Telecommunications accessories: To AS/CA S008

Requirements for customer cabling products.

pands - Design, manufacture and performance of outdoor terrestrial television antennas Telecommunications installation: To AS/CA S009

Installation requirements for customer cabling

Wiring Rules), and the recommendations of SA HB29

Communications Cabling Manual, Module 2: Communications Cabling Handbook. Small office/home office installations: To AS/CA S009

and AS/NZS 3086 Telecommunications installations

Integrated communications cabling systems for small

office/home office premises, and in accordance wit the recommendations of SA HB29.

Coaxial cable and optical fibre systems for the RF

distribution of digital television radio and in-house

ecommendations of Digital Broadcasting Australia

Smoke detection installation and testing: To AS 1670.1

50 Wesley St, Elanora Heights

Lachlan and Zoe Isles

Specifications

Television and audio systems: To AS/NZS 1367

analog television signals in single and multiple dwelling installations, and conforming to the

Fire detection, warning, control and inter

systems - System design, installation, and commissioning (Fire), in accordance with the

detectors to mains power

Date

18/10/202

15/11/202

requirements of the NCC 2022. Connect smoke

estic wastewater treatment units: To AS

_Manual of authorization procedures for plumbing and drainage products and AS/NZS 3718_Water supply - Tap ware; Must have a WaterMark product

be designed and constructed in accordance with the

Local Authority, Statutory Authority, Hydraulic and/or

discrepancy arises the hydraulic consultant's local or

Hydraulic (plumbing) installations

overlaid wood panels)

specifications).

discrepancy.

certification.

installations)

Gutters & downpipes:

Electrical installations

mposting toilets).

(Secondary treatment systems).

Mechanical ventilation: To AS 1668.2_The use of ventilation and airconditioning in buildings (Mechanica entilation in buildings) - Grade 2 amenity. Refrigeration systems: To AS1677 Refrigerating systems, and the recommendations of SA HB40.1 (The Australian Refrigeration and Air Conditioning Code of Good Practice - Reduction of Emissions of Fluorocarbon Refrigerants in Commercial and Industrial Refrigeration and Airconditioning Applications) and HB40.2 (... in Residential Airconditioning Applications HB40.2 (... in Residential Airconditioning Applications) (II Non-ducted airconditioners: To AS/NZS 3823.1.1 Performance of electrical appliances - Airconditioner and heat numps (Non-ducted airconditioners and heat

pumps - Testing and rating for performance). Ducted airconditioners: To AS/NZS 3823.1.2 _Performance of electrical appliances - Aircond and heat pumps (Ducted airconditioners and air-to-air heat pumps - Testing and rating for performance) and AS/NZS 3823.2 Performance of electrical appliances Air conditioners and heat pumps (Energy labelling and minimum energy performance standards (MEPS reauirements)

Filters: Washable panel type with minimum average efficiency to AS 1324.2 Air filters for use in gene ventilation and airconditioning (Methods of test) Refrigeration pipes: To AS/NZS 1571_Copper -Seamless tubes for airconditioning and refrigeration Condensate drains: Provide trapped > DN 20 condensate drains to AS/NZS 3666 1 Air-handling and water systems of buildings - Microbial control (Design, nstallation and commissionina)

Elexible Ductwork: To AS 4254 1 Ductwork for airhandling systems in buildings (Flexible duct). Rigid Ductwork: To AS 4254.2_Ductwork for air-handling systems in buildings (Rigid duct). Insulation and sealing: To NCC 2022 (ABCB Housing Provisions) 13.7.2 Insulation of services

External works

Fences and external walls Steel posts: Galvanize to AS/NZS 4680 Hot-dip galvanized (zinc) costings on fabricate doc ______ galvanized (zinc) costings on fabricated ferrous articles. Brick fences: Follow the guidance given in Clay Brick and Paver Institute Technical Notes 21A (The Design of Freestanding Clay-Brick Walls) and 21B(Brick Beam

Garden Fences

Swimming pool safety fencing / barriers To be in accordance with the Swimming Pools Act 1992 and AS 1926.1_Swimming pool safety (Safety barriers for swimming pools) & AS 1926.2 Swimming pool safety (Location of safety barriers for swimming pools). Refer to architectural details of swimming pool fencing.

Pavina

Hot-mixed pavina: Place and compact asphaltic concrete paving over the prepared base course t 2734_Asphalt (hot-mixed) paving - Guide to good course to AS practice.

Unit paving Standard: To AS/NZS 4455.2_Masonry units, pavers, flags and segmental retaining wall units Pavers and flags). n-situ concrete paving: To AS 1379_Specification and

supply of concrete

Television antenna: To AS 1417 Receiving antennas for radio and television in the VHF and UHF broadcas

> Proposed Secondary Dwelling and Carport 1:100 BS niect Issue Date oot Issue Da 20/06/2024 15/11/2024 piect number Drawina 127 В D003

BUSHFIRE ATTACK LEVEL REQUIREMENTS BAL 12.5 AS PER AS3959 - 2009 & APPENDIX 3: PLANNING FOR BUSHFIRE PROTECTION 2010.

Roof venti

5.6.2 Tiled roofs

Appendix D] sha 5.6.5 and 5.6.6.

5.6.5 Roof penetration

steel bronze or alum

ombustion chambers

ROOFS (Including— penetrations, eaves, fascias & gables and gutters & downpipes)

5.6.1 General
 The following apply to all types of roofs and roofing systems:
 (a) Roof likes, roof sheets and roof-covering accessories shall be non-combustible.
 (b) The roofwall junction shall be sealed, to prevent openings greater than 3 mm, either by the use
 of fascia and eaves linings or by sealing between the top of the wall and the underside of the roof and

Tiled roofs shall be fully sarked. The sarking shall— (a) be located on top of the roof framing, except that the roof battens may be fixed above the

cover the entire roof area including ridges and hips; and

sronze or autrimium, or mineral wool; or other non-combustible material; or a combination of any of Items (i), (ii) or (iii) above.

n the case of gas appliance flues, ember guards shall not be fitted.

nium. Vent pipes made from PVC are permitted.

5.6.7 Gutters and downpipes This Standard does not provide material requirements for— (a) gutters, with the exception of box gutters; and (b) downprines.

material. (NSW Variation – via PfBP) Gutter and valley guards are required by PfBP

Box gutters shall be non-

Roof ventilation openings, such as gable and roof vents, shall be fitted with ember guards made combustble material or a mesh or perforated sheet with a maximum and the more guards made

roofs shall-be fully sarked in accordance with Clause 5.6.2, except that foil-backed insulation blankets may

talled over the battens; and have any gaps greater than 3 mm (such as under corrugations or ribs of sheet roofing and en roof components) sealed at the fascia or wall line and at valleys, hips and ndges by— a mesh or perforated sheet with a maximum aperture of 2 mm, made of corrosion-resistant bronze or aluminium; or

C5.6.3 Sarking is used as a secondary form of ember protection for the roof space to account for minor

 5.6.4
 Veranda, carport and awning roofs

 The following apply to veranda, carport and awning roofs:
 (a)

 (a)
 A veranda, carport or awning roof forming part of the main roof space [see Figure D1(a).

 Appendix D1 shall meet all the requirements for the main roof, as specified in Clauses 5.6.1, 5.6.2, 5.6.3,

5.0.5 and 5.0.6. (b) A veranda, carport or awning roof separated from the main roof space by an external wall [see Figures D1(b) and D1(c), Appendix D] complying with Clause 5.4 shall have a non-combustible roof

5.6.5 Roof penetrations The following apply to roof penetrations: (a) Roof penetrations, including roof lights, roof ventilators, roof-mounled evaporative cooling units, aerials, vent pipes and supports for solar collectors, shall be adequately sealed at the roof to prevent gaps greater than 3 mm. The material used to seal the penetration shall be non-combustible. (b) Openings in vented roof lights, roof ventilators or vent pipes shall be fitted with ember guards made from a mesh or perforated sheet with a maximum aperture of 2 mm, made of corrosion-resistant

t does not apply to the exhaust flues of heating or cooking devices with closed

NOTE: Gastitlers are required to provide a metal flue pipe above the roof and terminate with a certified gas flue cowil complying with AS4566. Advice may be obtained from State gas technical regulators. (a) All overhead gazing shall be Grade A safety glass complying with AS 1288.

(a) run orienteeu guzzing sinai ue viside A saterg gass complying with AS 1288. Glazed elements in roof lights and skylights may be of polymer provided a Grade A safety glass diffuser, complying with AS 1288, is installed under the glazing. Where glazing is an insulating glazing unit (IGU), Grade A toughened safety glass minimum 4 mm thickness, shall be used in the outer pane.

Flashing elements of tubular skylights may be of a fire-retardant material, provided the roof

Integrity is manifered by an under-flashing of a material having a flammability index no greater than 5. (f) Evaporative cooling units shall be fitted with non-combustible butterfly closers as close as variacicable to the roof level or the unit shall be fitted with non-combustible covers with a mesh or berforeted sheet with a maximum aperture of 2 mm, made of corrosion-resistant steel, bronze or

 5.6.6
 Eaves linings, fascias and gables

 The following apply to eaves linings, fascias and gables:
 (a)
 Gables shall comply with Clause 5.4.
 (b)
 Eaves penetrations, shall be protected the same as for roof penetrations, as specified in Clause

Eaves ventilation openings greater than 3 mm shall be fitted with ember guards made of mbustible material or a mesh or perforated sheet with a maximum aperture of 2 mm, made of

noulds. his Standard does not provide construction requirements for fascias, bargeboards and eaves linings.

downpipes. alled, gutter and valley leaf guards shall be non-combustible. alleds, gutter and valley leaf guards shall be non-combustible inflers shall be non-combustible and flashed at the junction with the roof with non-combustible

C5.7.1 Spaced decking is nominally spaced at 3 mm (in accordance with standard industry practice);

Ca.7.1 spaced decking is notifinary spaced at s min (in accordance win) standard industly pracue), however, due to the nature of timber decking with seasonal changes in moisture ondient, that spacing may range from 0–5 mm during service. The preferred dimension for gaps is 3 mm (which is in line with other 'permissible gaps') in other parts of this Standard. It should be noted that recent research studies have shown that gaps at 5 mm spacing afford opportunity for embers to become lodged in between timbers, which may contribute to a fire. Larger gap spacings of 10 mm may preclude this from happening but such a spacing regime may not be practical for a timber deck.

5.7.2 Enclosed subfloor spaces of verandas, decks, steps, ramps and landings (NSW Variation – via PfBP Addendum 3)

5.7.2.1 Materials to enclose a subfloor space The subfloor spaces of verandas, decks, steps, ramps and landings are deemed to be 'enclosed' — the material used to enclose the subfloor space complies with Clause 5.4, except that sarking is (a) use interior associated a enclose use duration gatalectic compares mini-clause 0.9, except that saming is not required where specified in Clause 7.4.1(c); and (b) all openings greater than 3 mm are screened with a mesh or perforated sheet with a maximum aperture of 2 mm, made of concrosion-resistant steel, bronze or aluminium.

5.7.2.2 Supports This Standard does not provide construction requirements for support posts, columns, stumps, stringers, piers and poles.

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enclose the subfloor spaces of verandas, decks, steps, ramps or landings

corrosion-resistant steel, bronze or aluminium. Joints in eaves linings, fascias and gables may be sealed with plastic joining strips or timber storm

covering. NOTE: There is no requirement to line the underside of a veranda, carport or awning roof that is separated from the main roof space.

5.7.2.3 Framino

5732 Framino

This Slandard does not provide construction requirements for the framing of verandas, decks, ramps or landings (i.e., bearers and joists).

ecking, stair treads and the traincade subtacks of ramps and notings shall be — 1) of non-combustble material; or of bushfire-resisting timber (see Appendix F); or a combination of Items (a) and (b) above. 1) 5.7.3 Unenclosed subfloor spaces of verandas, decks, steps, ramps and landings (NSW Variation – via PHBP Addendum 3)

5.7.2.4 Decking, stair treads and the trafficable surfaces of ramps and landings (NSW Variation – via PfBP Addendum 3)

Decking stair treads and the trafficable surfaces of ramps and

5.7.3.1 Supports Support posts, columns, stumps, stringers, piers and poles shall be-

Framing of verandas, decks, ramps or landings (i.e., bearers and joists) shall be— (a) of non-combustible material; or (b) of bushtire-tesisting timber (see Appendix F); or (c) a combination of Items (a) and (b) above.

5.7.3.3 Decking, stair treads and the trafficable surfaces of ramps and landing

Decking, stair treads and the trafficable surfaces of ramps and landings shall be-

Those parts of the handrails and balustrades less than 125 mm from any glazing or any combustible wall

upply pipes shall be metal

Where any part of a garage, carport, veranda or similar roofed structure is attached to, or shares

a common roof space with, a building required to comply with this Standard, the entire garage,

veranda or similar roofed structure shall comply with the construction req

construction with the masonry leaf of not less

32 CONSTRUCTION REQUIREMENTS FOR SPECIFIC STRUCTURES

carport, veranda or similar roofed structure shall comply with the construction requirements of this Standard, as applicable to the subject building.
 b) Alternatively, the structure shall be separated from the subject building by a wall that extends to the underside of a non-combustible roof covering, and that complies with one of the following: The wall shall have an FRL of not less than 600/6016 for loadbearing walls and 2160/60 for non-bachearing walls when tested from the attached structure side and shall have openings protected are follows:

as follows: (i) Docrways—by FRL -/60/30 self-closing fire doors. (ii) Windows—by FRL -/60/- fire windows permanently fixed in the closed position. (iii) Other openings—by construction with an FRL not less than -/60/-. NOTE: Control and construction joints, subloch verts, weepholes and penetrations for pipes and conduits n eed not comply with the above [Item (iii)] or The wall shall be of masonry, earth wall or masonry-veneer construction with the masonry leaf of not than 90 mm in thickness and shall have openings protected as follows: (iv) Docoways—by FRL -/60/30 self-closing fire doors. (v) Windows—by FRL -/60/- fire windows permanently fixed in the closed position. (vi) Other openings—by construction with an FRL not less than -/60/-. NOTE: Control and construction joints, subloch verts, weepholes and penetrations for pipes and conduits need not comply with the above [Item (iii)].

conduits need not comply with the above [Item (iii)]: **3.2.2** Garages and carports below the subject building Where a garage or carport is below a building required to comply with this Standard, it shall comply with the construction requirements of this Standard, as applicable to the subject building. Alternatively, any constructions spearating the garage or carport (including walls and flooring systems) from the remainder of the building shall comply with one of the following: (a) The separating construction shall have an FRL of not less than 6006/06 for loadbearing construction and UR0/07 for non-loadbearing construction when tested from the garage or carport side and shall have openings protected in accordance with the following: (i) Dooneys—by—60/30 self-closing fire doors. (iii) Other openings—by construction with an FRL not less than -60/4. A Control and construction joints, sublicor vents, weepholes and penetrations for pipes and conduits need not comply with the above [Item (iii)], or (b) Where part or all of the separating construction is a wall, the wall need not comply with tem above, provided the walls of masoriny, earth wall or masonry-veneor construction with the following: (c) both the separating construction is a wall, the wall need not comply with tem (a) above, provided the walls of the separating construction is a wall, the wall need not comply with tem (b) of not less than 90 mm in thickness and the wall has openings protected in accordance with the following:

Locurery—our -round self-cosing inter doors. Windows—by -foll-/ fire windows permanently fixed in the closed position. Other openings—by construction with an FRL not less than -r60/-. Control and construction joints, subhor vents, weepholes and penetrations for pipes and s need not comply with the above [Item (iii)].

any garage, carport, or similar roofed structure is not attached to a building required to comply is Standard, the entire garage, carport, or similar roofed structure on the subject allotment shall

where any garage, carport, or similar roofed structure is not attached to a building required to comply with this Standard, the entire garage, carport, or similar roofed structure on the subject alloftment shall comply with the construction requirements of this Standard.
 Alternatively, the adjacent structure shall be separated from the subject building by one of the following:

 A distance of not less than 6 m from the building required to comply with this Standard.
 A wall that extends to the underside of a non-combusible roof covering and has an FRL of not less than 6 m from the building required to comply with this Standard.
 A wall that extends to the underside of a non-combusible roof covering and has an FRL of not less than 6 m from the wall shall be protected in accordance with the following:

 Doorways—by FRL -600.² fire windows permanently fixed in the closed position.
 Windows—by FRL -600.² fire windows permanently fixed in the closed position.
 Other opening3—by construction with an FRL not less than -606.
 NOTE: Control and construction with the masony leaf of not less than 30 mm in thickness. Any openings in the wall shall be protected in accordance with the following:
 Doorways—by FRL -600.² setting for doors.
 Doorways—by FRL -600.³ setting for doors.
 Doorways—by FRL -600.³ setting for doors.
 Doorways—by FRL -600.⁴ fire windows permanently fixed in the closed position.
 Other openings—by construction with the fall owning.
 Doorways—by FRL -600.⁴ fire windows permanently fixed in the closed p

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Ing: Doorways—by -/60/30 self-closing fire doors.

3.2.3 Adjacent structures

with this S

No Description

A Issue for DA

B Revised issue for DA

Those parts of the handrails and balustrades that are 125 mm or more from the building have no

of non-combustible material; or of bushfire-resisting timber (see Appendix F); or a combination of Items (a) and (b) above.

of non-combustible material; or of bushfire-resisting timber (see Appendix F); or a combination of Items (a) and (b) above.

of non-combustible material; or bushfire-resisting timber (see Appendix F); or a combination of Items (a) and (b) above.

5.7.4 Balustrades, handrails or other barrier

WATER AND GAS SUPPLIES::

5.8 WATER AND GAS SUPPLY PIPES

3.2.1 Attached structures

GENERAL

5.1 – General A building asses sed in Section 2 as being BAL-12.5 shall comply with Section 3 and Clauses 5.2

to 5.8. Any element of construction or system that satisfies the test criteria of AS 1530.8.1 may be used in lieu of the applicable requirements contained in Clauses 5.2 to 5.8 (see Clause 3.8). NOTE: BAL—12.5 is primarily concerned with protection from ember attack and radiant heat up to and including 12.5 kW/m2 where the site is less than 100 m from the source of bushfire attack

SUB FLOOR:

5.2 - Subfloor supports (NSW Variation - via PfBP Addendum 3) This Standard does not provide construction requirements for subfloor supports where the subfloor space is enclosed with sed withspace is enclosed with— (a) a wall that complies with Clause 5.4, except that sarking is not required where specified in Clause 5.4. (c) or

a mesh or perforated sheet with a maximum aperture of 2 mm, made of corrosion-resistant

(b) a mesh or perforated sheet with a maximum aperture of 2 mm, made of corrosion-resistant steet, bronze or aluminium, or (c) a combination of limes (a) and (b) above. Where the subfloor space is unenclosed, the support posts, columns, stumps, piers and poles shall

of non-combustible material; or of bushfire-resisting timber (see Appendix F); or a combination of items (i) and (ii) above. NOTE: This requirement applies to the principal building only and not to verandas, decks, steps, ramps and landings (see Clause 5.7). C52. Ideally, storage of combustible materials beneath a floor at this BAL would not occur and, on this assumption, there is no requirement to enclose the subfloor space or to protect the subfloor supports, or the bearers, isolas and floar dirack, however, should combustible materials stored, it is recommended the area be protected as materials stored in the subfloor space may be ignited by embers and cause an impact to the building.

FLOORS:

5.3.1 Concrete slabs on ground The Checked Area not inrovide construction requirements for concrete slabs on the ground.

5.3.2 Elevated floors (NSW Variation – via PfBP Addendum 3)

5.3.2.1 Enclosed subfloor space This Standard does not provide construction requirements for elevated floors, including bearers, joists

This clanual does not prove consultant requirements on several closes, including bears, pos-and flooring, where the subfloor space is enclosed with— (a) a wall that complies with Clause 5.4; except that sarking is not required where specified in Clause 5.4.1(c);or (b) a mesh or perforated sheet with a maximum aperture of 2 mm, made of corrosion-resistant

steel, bronze or aluminium; or (c) a combination of Items (a) and (b) above.

Solution of the subfloor space
 Where the subfloor space is unenclosed, the bearers, joists and flooring, less than 400 mm above
 finished ground level, shall be one of the following:
 (a) Materials that comply with the following:
 (b) Bearers and joists shall be—
 (c) non-combustible; or
 (c) a combustible; or
 (c) a combustible or
 (c) a

- istible or
- (A) (B) (C)
- bushfire-resisting timber (see Appendix F); or timber (other than bushfire-resisting timber), p timber (other than bushfire-resisting timber), particleboard or plywood flooring where the ide is lined with sarking-type material or mineral wool insulation; or a combination of any of Items (A), (B) or (C) above or
- (D) (b) This St system complying with AS 1530.8.1

This Standard does not provide construction requirements for elements of elevated floors, including bearers, joists and flooring, if the underside of the element is 400 mm or more above finished ground

EXTERNAL WALLS

The exposed components of an external wall that are less than 400 mm from the ground or less than 400 mm above decks, carport roofs, awnings and similar elements or fittings having an angle less than 16 degrees to the horizontal and extending more than 110 mm in width from the wall (see Figure D3, Appendix D) shall be.

Appendix U) shall be: Non-combustible material. NOTE:Examples include, but are not limited to, the following (with a minimum of 90 mm in thickness); (a) full masonry or masonry veneer walls with an outer leaf of day, concrete, calcium silicate or

I stone. Precast or in situ walls of concrete or aerated concrete. Earth wall including mud brick.

Timber logs of a species with a density of 680 kg/m3 or greater at a 12 percent moisture t, of a minimum nominal overall thickness of 90 mm and a minimum thickness of 70 mm (see content; of a minimum nominal overall thickness or so that a time. Clause 3.11); and gauge planed. or (e) Cladding that is fixed externally to a timber-framed or a steel-framed wall and is—

(e) Cladding that is fixed externally to a timber-framed or a steel-framed wall and is— non-combustible material; or frame in thickness; or fill bushfrer-essisting timber (see Appendix F); or (ii) bushfrer-essisting timber (see Appendix F); or (v) a timber species as specified in Paragraph E1, Appendix E; or (v) a combination of any of Items (i), (i), (ii) or (iv) above. or (f) A combination of any of Items (a), (b) or (c) above. This Standard des not provide construction requirements for the exposed components of an external wall that are 400 mm or more from the ground or 400 mm or more baove decks, carport roofs, awnings and similar elements or fittings having an angle less than 18 degrees to the horizontal and extending more than 110 mm in width from the wall (see Figure D3, Appendix D).

5.4.2 Joints All joints in the external surface material of walls shall be covered, sealed, overlapped, backed or butt-jointed to prevent gaps greater than 3 mm.

5.4.3 Vents and weepholes Vents and weepholes in external walls shall be screened with a mesh with a maximum aperture of 2 mm, made of corrosion-resistant steel, bronze or aluminium, except where the vents and weepholes have an aperture less than 3 mm (see Clause 3.6), or are located in an external wall of a subfloor

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EXTERNAL GLAZED ELEMENTS AND ASSEMBLIES AND EXTERNAL DOORS

- 5.5.1 Bushfire shutters Where fitted, bushfire shutters shall comply with Clause 3.7 and be made from—
- nee, boshnie Statie Statie compy wint Cause Strandoe main non-combustible material; or a timber species as specified in Paragraph E1, Appendix E; or bushfire-resisting timber (see Appendix F); or a combination of any of Items (a), (b) or (c) above.

5.5.1A Screens for windows and doors Where fitted, screens for windows and doors shall have a mesh or perforated sheet with a maximum aperture of 2 mm, made of corrosion-resistant steel, brorize or aluminium. Gaps between the perimeter of the screen assembly and the building element to which it is titled shall not exceed 3 mm. The frame supporting the mesh or perforated sheet shall be made from— (a) meter for

- metal; or bushfire-resisting timber (see Appendix F); or a timber species as specified in Paragraph E2, Appendix E.

- 5.5.2
 Windows

 Window assemblies shall comply with one of the following:
 (a)

 (a)
 They shall be completely protected by a bushfire shutter that complies with Clause 5.5.1, or

 (b)
 They shall be completely protected externally by screens that comply with Clause 5.5.1A, or
- They shall be comply with the following: For window assemblies less than 400 mm from the ground or less than 400 mm above decks,
- ort roofs, awnings and similar elements or fittings having an angle less than 18 degrees to the zontal and extending more than 110 mm in width from the window frame (see Figure D3, Appendix
- window frames and window joinery shall be made from: Bushfire-resisting timber (see Appendix F). or A timber species as specified in Paragraph E2, Appendix E. or

Metal or r ced PVC-U. The reinforcing members shall be made from aluminium, stainless steel, or

corrosion-resistant steel and the frame and sash shall satisfy the design load, performance and structural strength of the

Externally fitled hardware that supports the sash in its functions of opening and closing shall be

metal. (iii) Where glazing is less than 400 mm from the ground or less than 400 mm above decks, carport roofs, awnings and similar elements or fittings having an angle less than 18 degrees to the horizontal and extending more than 110 mm in with from the window frame (see Figure 20, Appendic JD), the glazing shall be Grade A safety glass minimum 4 mm, or glass blocks with no restriction on glazing methods.

NOTE: Where double glazed units are used the above requirements apply to the external face of the

w assembly only. Where glazing is other than that specified in Item (iii) above, annealed glass may be used. penable portions of windows shall be screened internally or externally with screens that comply

C5.5.2 Screening of openable portions of all windows is required in all BALs to prevent the entry of embers to the building when the window is open. Screening of the openable and fixed portions of some windows is required in some BALs to reduce the effects of radiant heat on some types of glass. wincours a required in solide order to request the vineous of nodum new for solite types or glass. If the screening is required to reduce the effects of radiant head on the glass, the screening has to be external so that the glass in the openable portion of the window will be "protected" when it is shut. If the screening is required only to prevent the entry of embers, the screening may be fitted externally or

5.5.3 Doors—Side-hung external doors (including French doors, panel fold and bi fold doors) Side-hung external doors, including French doors, panel fold and bi-fold doors, shall comply with one of the following:

lowing: Doors and door frames shall be protected by bushfire shutters that comply with Clause 5.5.1.or Doors and door frames shall be protected externally by screens that comply with Clause

 5.5.1A or

 (c)
 Doors and door frames shall comply with the following:

 (i)
 Doors shall be-

 (A)
 non-combustible; or

 (B)
 a solid timber, laminated timber or reconstituted timber door, having a minimum thickness of 35 mm for the first 400 mm above the threshold; or

a door, including a hollow core door, protected externally by a screen that complies with Clause (C) a 5.5 1A or

a, or a fully framed glazed door, where the framing is made from materials specified for bushfire

shutters (see Clause 5.5.1), or from a timber species as specified in Paragraph E2, Appendix E. (ii) Where doors incorporate glazing, the glazing shall comply with the glazing requirements for is. Doors shall be tight-fitting to the door frame and to an abutting door, if applicable

(iv) Where any part of the door frame is as the door interms in a original during in oppricately. (iv) Where any part of the door frame is less than 400 mm from the ground or less than 400 mm above decks, caport roofs, awnings and similar elements or fittings having an angle less than 18 degrees to the horizontal and extending more than 110 mm in width from the door (see Figure D3, Appendix D), that part of the door frame shall be made from: (iv) Building registing throw from the control to the figure D3.

Bushfire-resisting timber (see Appendix F) or A timber species as specified in Paragraph E2, Appendix E.or

Metal or
 Metal reinforced PVC-U. The reinforcing members shall be made from aluminium, stainless
steel, or consoin-resistant steel and the door assembly shall satisfy the design load, performance and
structural strength of the member.
 Weather strips, draught excluders or draught seals shall be installed at the base of side-hung
structural strength.

5.5.4 Doors—Sliding doors Sliding doors shall comply with one of the following: (a) They shall be completely protected by a bushfire shutter that complex with Clause 5.5.1. or They shall be completely protected externally by screens that comply with Clause 5.5.1A or

thall be completely protected externant or source and compary time source of the sourc

VERANDAS, DECKS, STEPS AND LANDINGS: 5.7.1 General Decking may be spaced.

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Bushfire-resisting timber (see Appendix F) or A timber species as specified in Paragraph E2, Appendix E. or

(b) A timber species as specified in P adjught 22, Appendix E. of (C) Metal or (D) Metal-reinforced PVC-U. The reinforcing members shall be made from aluminium, stainless steel, or corrosion-resistant steel and the frame and the sash shall satisfy the design load, performance and structural strength of the member. (iii) There is no requirement to screen the openable part of the sliding door. However, if screened, the screens shall comply with Clause 5.5.1A. NOTE: The construction of manufactured sliding doors should prevent the entry of embers when the door is closed. There is no requirement to provide screens to the openable part of these doors as it is assumed that a sliding door will be closed if occupants are not present during a bushtire event. Screens of materials other than those specified may not resist ember attack. (iv) Sliding doors shall be tight-fitting in the frames.

greater than 3 mm. (c) Roller doors shall have guide tracks with a maximum gap no greater than 3 mm and shall be fitted with a nylon brush that is in contact with the door (see Figure D4, Appendix D). (d) Vehicle access doors shall not include ventilation slote

prior to proceeding with the works.

onstruction unless designated.

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(v) County cores and to get many a new heat- **5.5.5** Doors – Vehicle access doors (grange doors) The following apply to vehicle access doors starge doors) (a) The lower portion of a vehicle access door that is within 400 mm of the ground when the door is closed (see figure D4, Appendix D) shall be made from— (i) bushtime resisting thrower (see Appendix F); or (ii) bushtime resisting thrower (see Appendix F); or (iii) close there species as specified in Paragraph E1, Appendix E; or (v) a timber species as specified in Paragraph E1, Appendix E; or (v) a combination of any of terms (i), (ii), (iii) or (iv) above. (b) Panel III; till doors or side-hung doors shall be fitted with suitable weather strips, draught excluders, draught seals or guide tracks, as appropriate to the door type, with a maximum gap no greater than 3 mm.

greater than 3 mm

3.3 EXTERNAL MOULDINGS Unless otherwise required in Sections 4 to 9, combustible external mouldings, jointing strips, trims and sealants may be used for decorative purposes or to cover joints between sheeting material.

3.4 HIGHER LEVELS OF CONSTRUCTION

3.4 mighter LEVELS OF COMSTRUCTION Construction requirements specified for a particular Bushfire Attack Level (BAL) shall be acceptable for a lower level. For example, if the site has been assessed at BAL—12.6, BAL—12.5 construction is required; however any element or combination of elements contained BAL—19, BAL—29, BAL—40 and BAL—72 levels of construction may be used to satisfy this Standard.

3.5 REDUCTION IN CONSTRUCTION REQUIREMENTS DUE TO SHIELDING

The construction requirements for the next lower PAL than that determined for the site may be applied to an elevation of the building where the elevation is not exposed to the source of bushfire attack. An elevation is determed to be not exposed to the source of bushfire attack if all of the straight lines between that elevation and the source of bushfire attack are obstructed by another part of the building (see

Figure 3.1). The construction requirements for a shielded elevation shall be not less than that required for BAL--12.5, except where the exposed elevations have been determined as BAL--LOW.

Figure 3.1).

still apply.

3.9 GLAZING

3.6 VENTS, WEEPHOLES AND GAPS Where a circular probe of 3 mm diameter is capable of being passed through external vents, weepholes or gaps, the vents, weepholes and gaps shall be screened as specified in Sections 3, 5, 6, 7, 8 and 9, except for weepholes from the frames of windows and glazed doors. To determine the maximum aperture size of screening material, it shall not be possible to pass a circular probe of 2 mm diameter through the aperture. Gaps between doors and the door jambs, heads or sills (thresholds) shall be as shown in Figure 3.2. Alternatively, gaps shall be protected by draught excluders.

C3.6 Weepholes from the frames of windows and glazed doors and those gaps between doors and door jambs, heads or sills (thresholds) that may exceed 3 mm (see Figure 3.2) are exempt from screening because they do not provide a direct passage for embers to the interior of the building or building eavily.

3.7 BUSHFIRE SHUTTERS

ire shutters shall— be fixed to the building and be non-removable; when in the closed position, have no gap greater than 3 mm between the shutter and the wall, If or the head of the second postant, have no gap greater than 5 min between the shater and the wait, be readily manually operable from either inside or outside; protect the enfire window assembly or door assembly, consist of materials specified in Clauses 5.5.1, 6.5.1, 7.5.1, 8.5.1 and 9.5.1 for the relevant BAL;

by determine the second sec

3.8 TESTING TO AS 1530.8

Where any material, element of construction or system satisfies the test criteria of either AS 1530.8.1, for BAL-12.5, BAL-19, BAL-29 and BAL-40 or AS 1530.8.2 for BAL-FZ, it satisfies the

no bnit - 12.2, bnit - 13, bnit - 23 and bnit - 40 in Al 13.00 c.t. to bnit - 12, in sease are requirements of that BAL. Where any material, element of construction or system satisfies the test criteria without screening for ember protection, the requirements of this Standard for screening of openable parts of windows shall

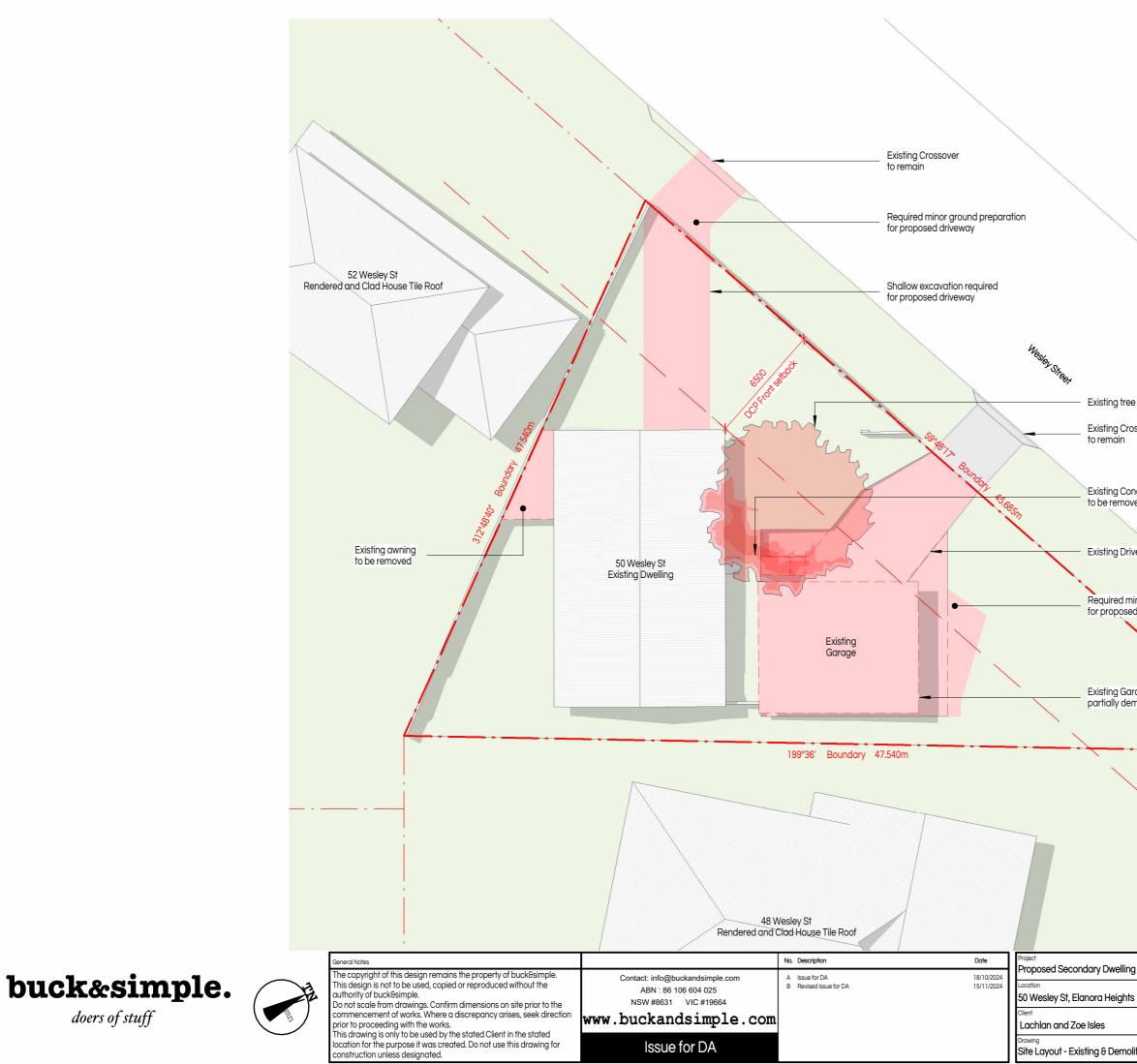
3.9 GLACING Glazing requirements shall be in accordance with Sections 5 to 9 of this Standard. NOTE: Where double-glazed units are used, the glazing requirements provided in this Standard apply to the actment face of the window assembly only. See AS 1288 for an explanation of the terminologies used to describe various types of glass in this Standard

Where sarking is required in Sections 5 to 9, it shall have a flammability index of not more than 5 when tested to A5 1530.2.

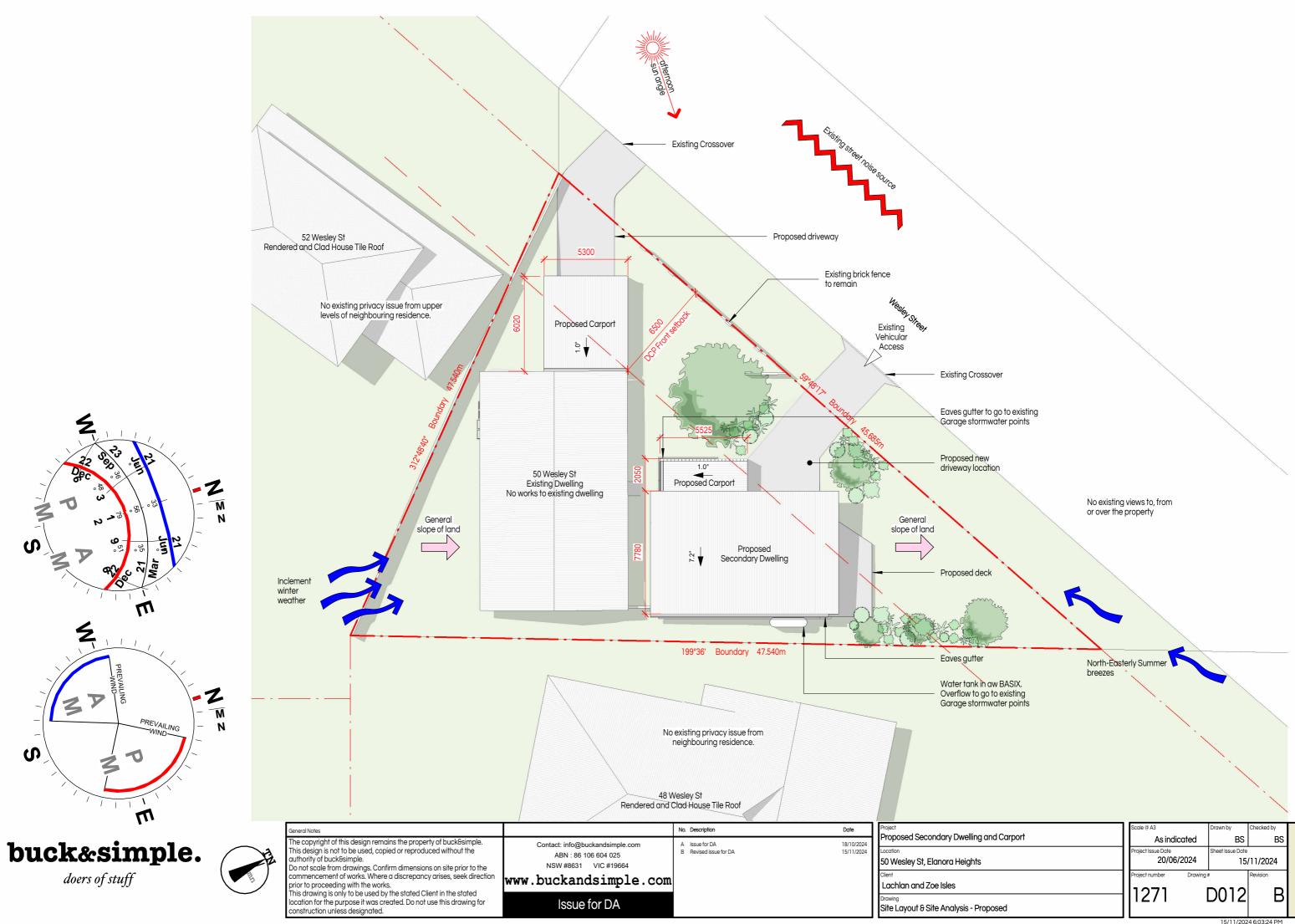
3.11 TIMBER LOG WALLS Where the thickness of a timber log wall is specified in Sections 5, 6 and 7, two criteria are nominated

The nominal overall thickness is the overall thickness of the wall. The minimum thickness is the thickness of the wall at the interface of two logs in the wall. (c) The interface of two logs in the wall working as the interface of two logs in the wall For most log profiles, the thickness of the log at the interface with an adjacent log is less than the overall thickness of the wall.

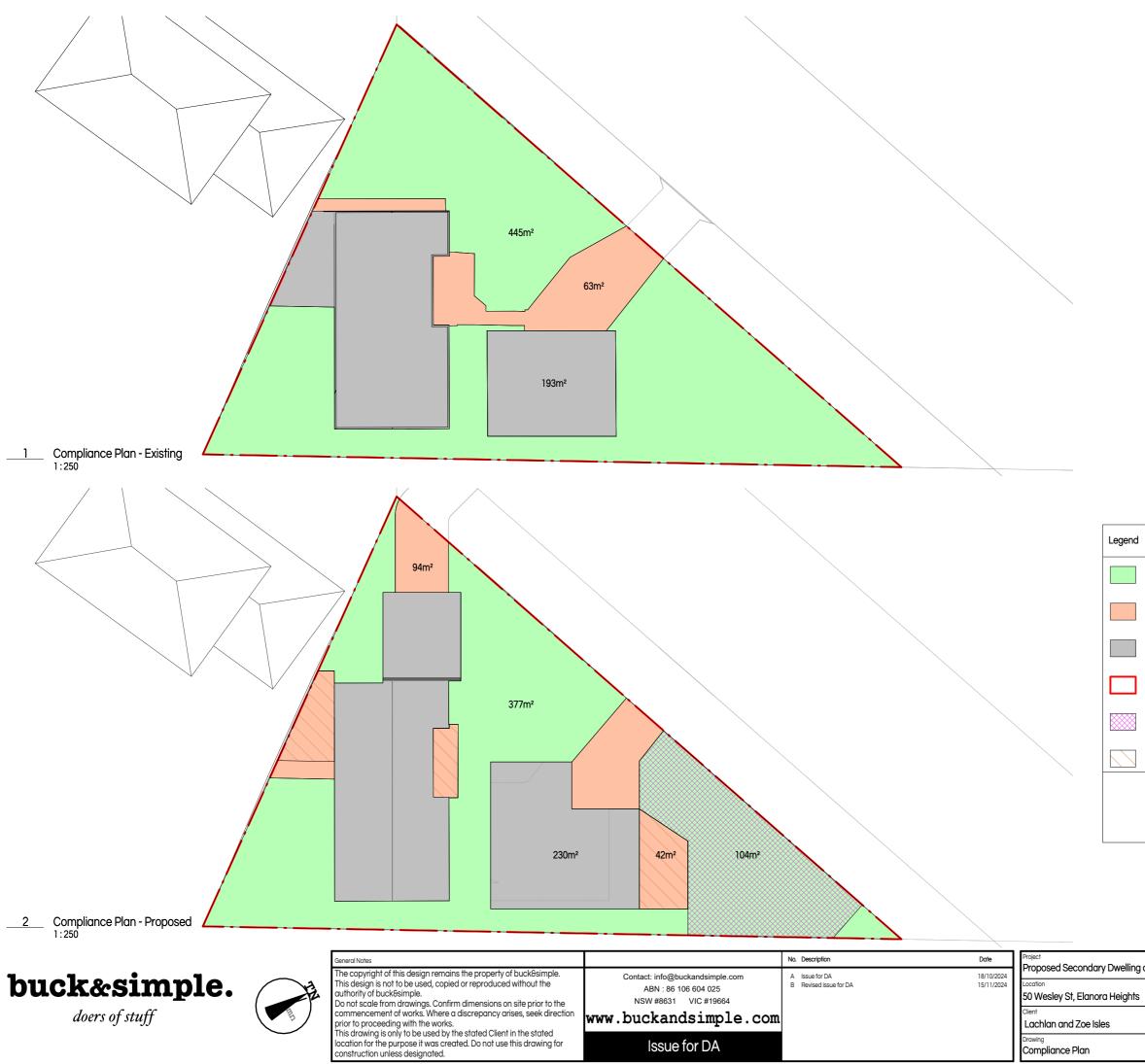
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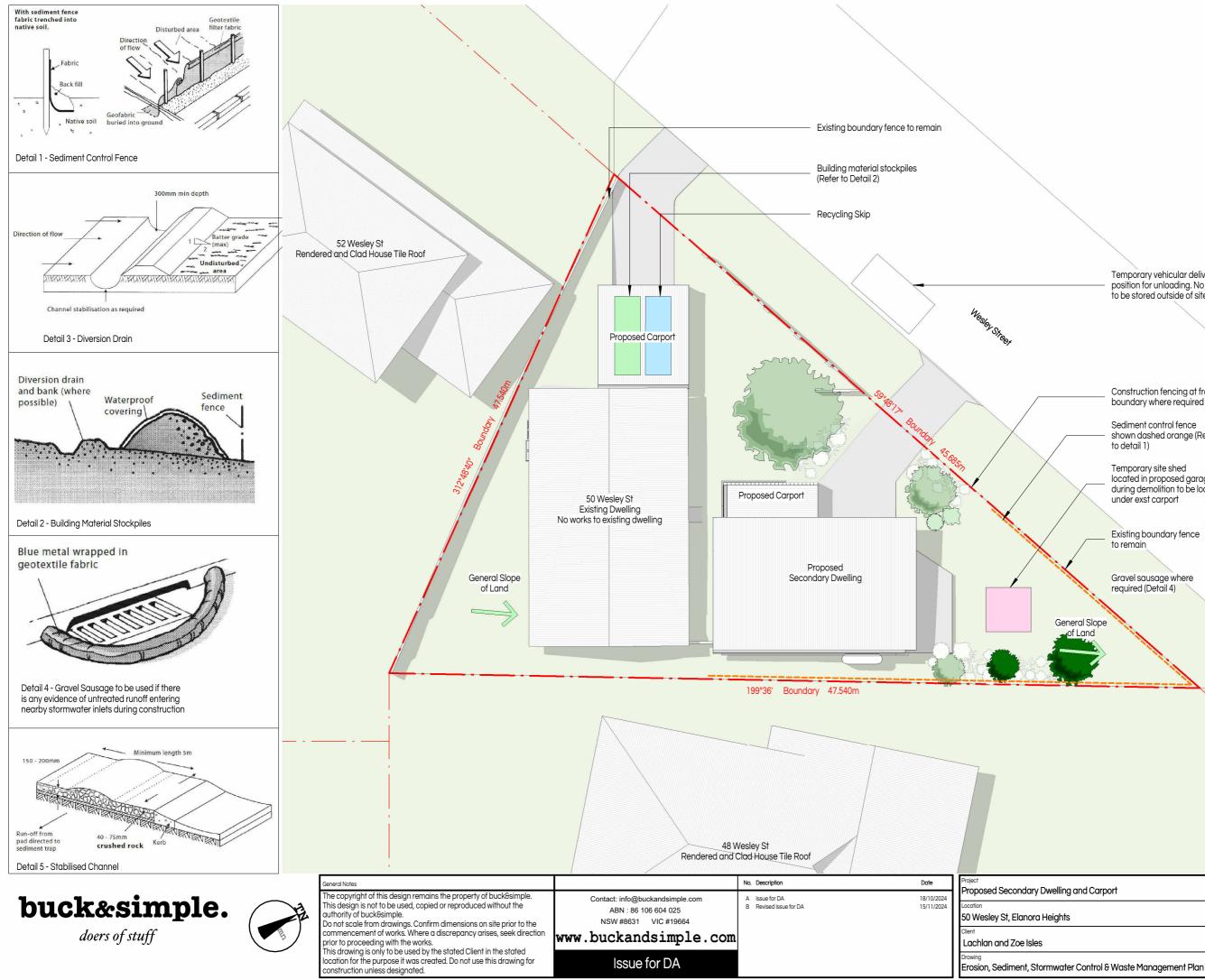
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	Existing	Proposed	Re
Soft Landscaping	445 m ² = 63%	377 m² = 54%	
Impervious Landscaping	63 m² = 9%	94 m² = 13%	
Site Coverage	193 m² = 28%	230 m ² = 33%	
Site Area	701 m ²	701 m ²	
Private open space		104 m ²	8
Impervious area for outdoor recreation		42 m² = 6%	
		54%	5
Pittwater DCP - Total landscaped area		6%	6
shall be 60% (420 m ²)		60% = Total	6

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Compliance Plan



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	to be stored outside of site bou	ndary		
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	Construction fencing at front			
	boundary where required	\sim		
	Sediment control fence			
	shown dashed orange (Refer		\mathbf{i}	
	to detail 1)			
	Temporary site shed			
	located in proposed aaraae.			
X	during demolition to be located under exst carport	1		
	Existing boundary fence to remain			
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	Gravel sausage where required (Detail 4)			
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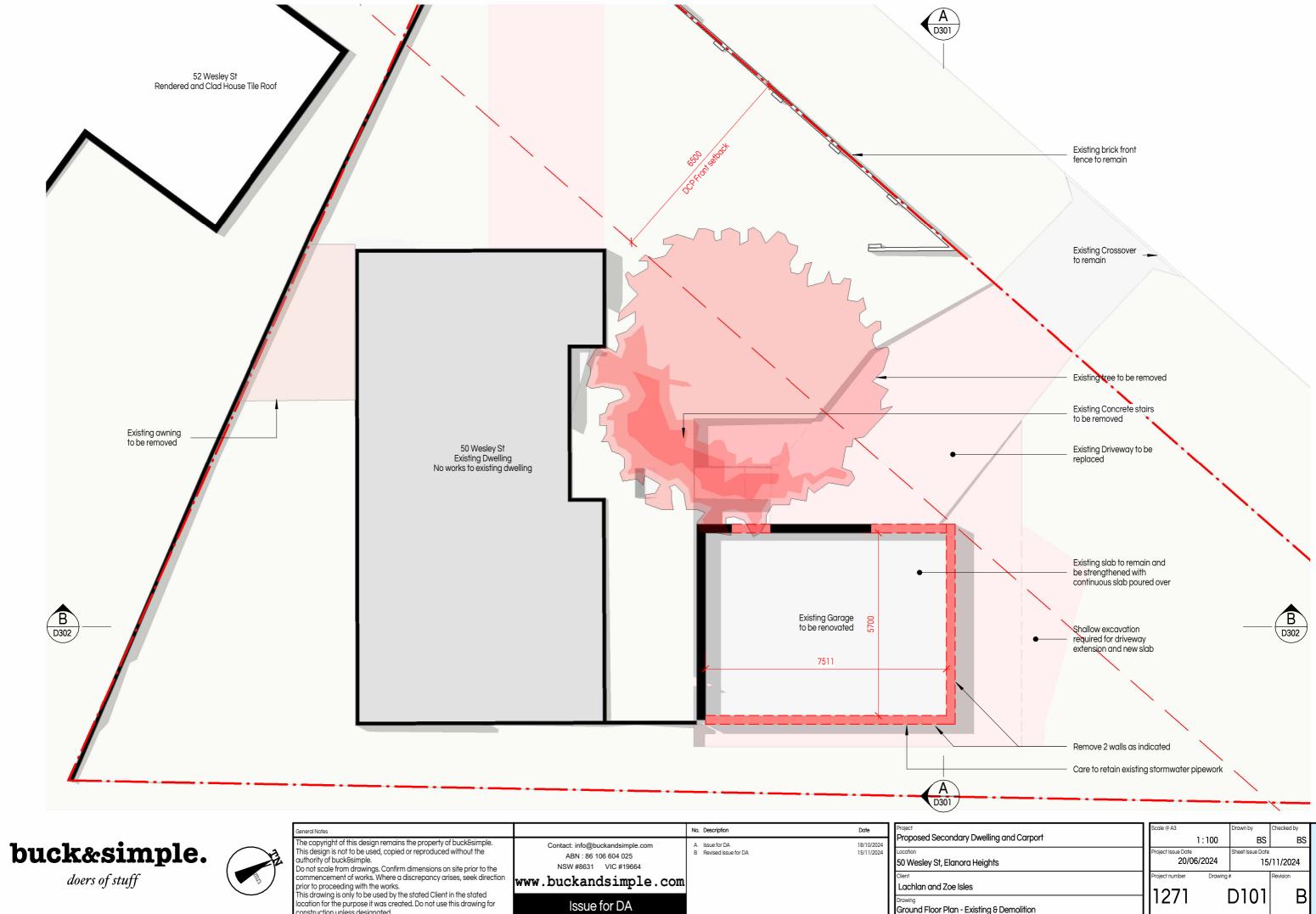




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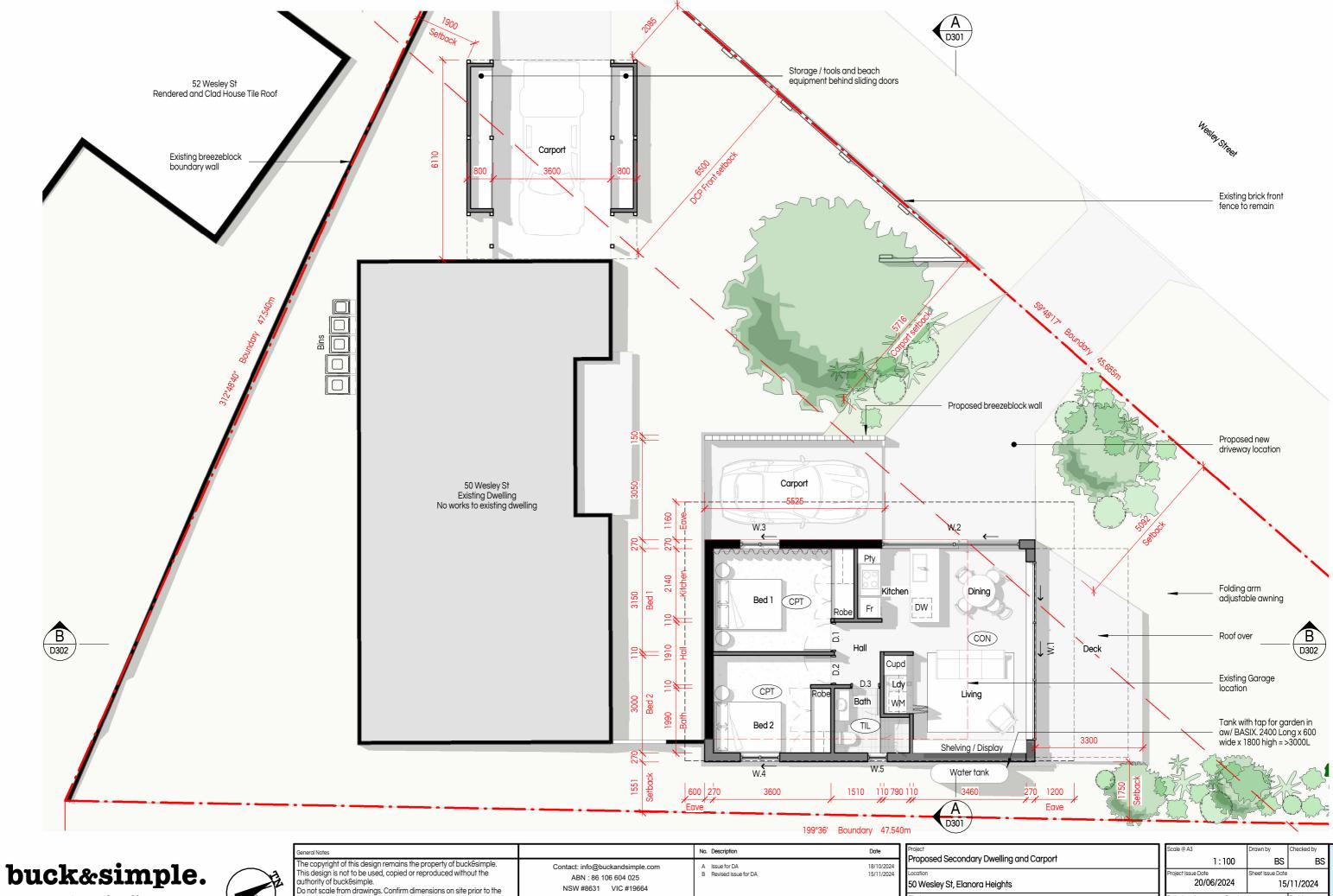
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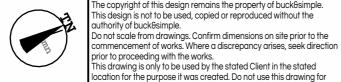
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Do not scale from drawings. Confirm dimensions on site prior to the	Contact: info@buckandsimple.com ABN : 86 106 604 025 NSW #8631 VIC #19664 www.buckandsimple.com	A issue for DA B Revised issue for DA	18/10/2024 15/11/2024	Proposed Secondary Dwelling and Location 50 Wesley St, Elanora Heights Client Lachlan and Zoe Isles
location for the purpose it was created. Do not use this drawing for construction unless designated.	Issue for DA			Drawing Ground Floor Plan - Existing & Dem



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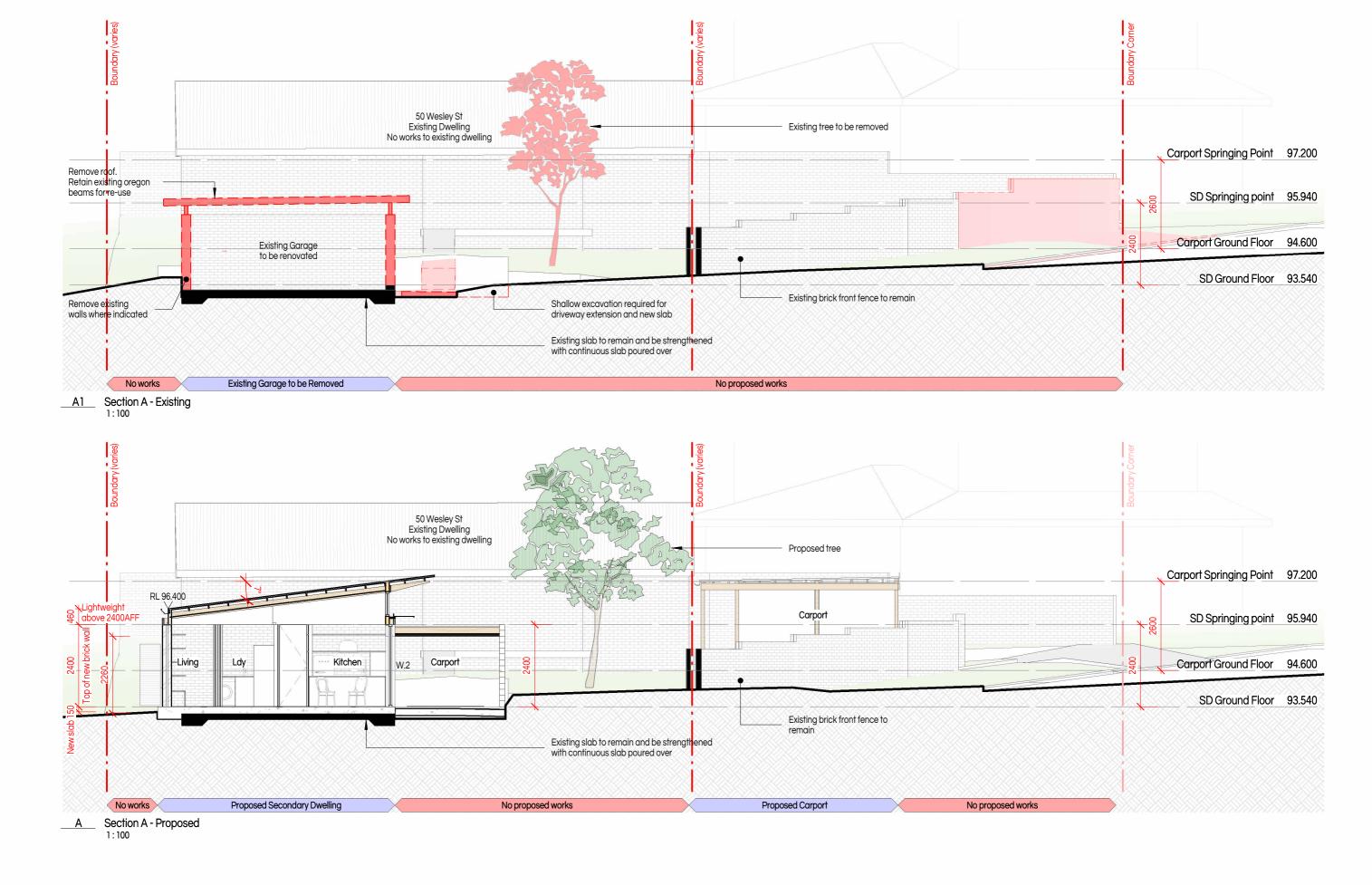
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Lachlan and Zoe Isles

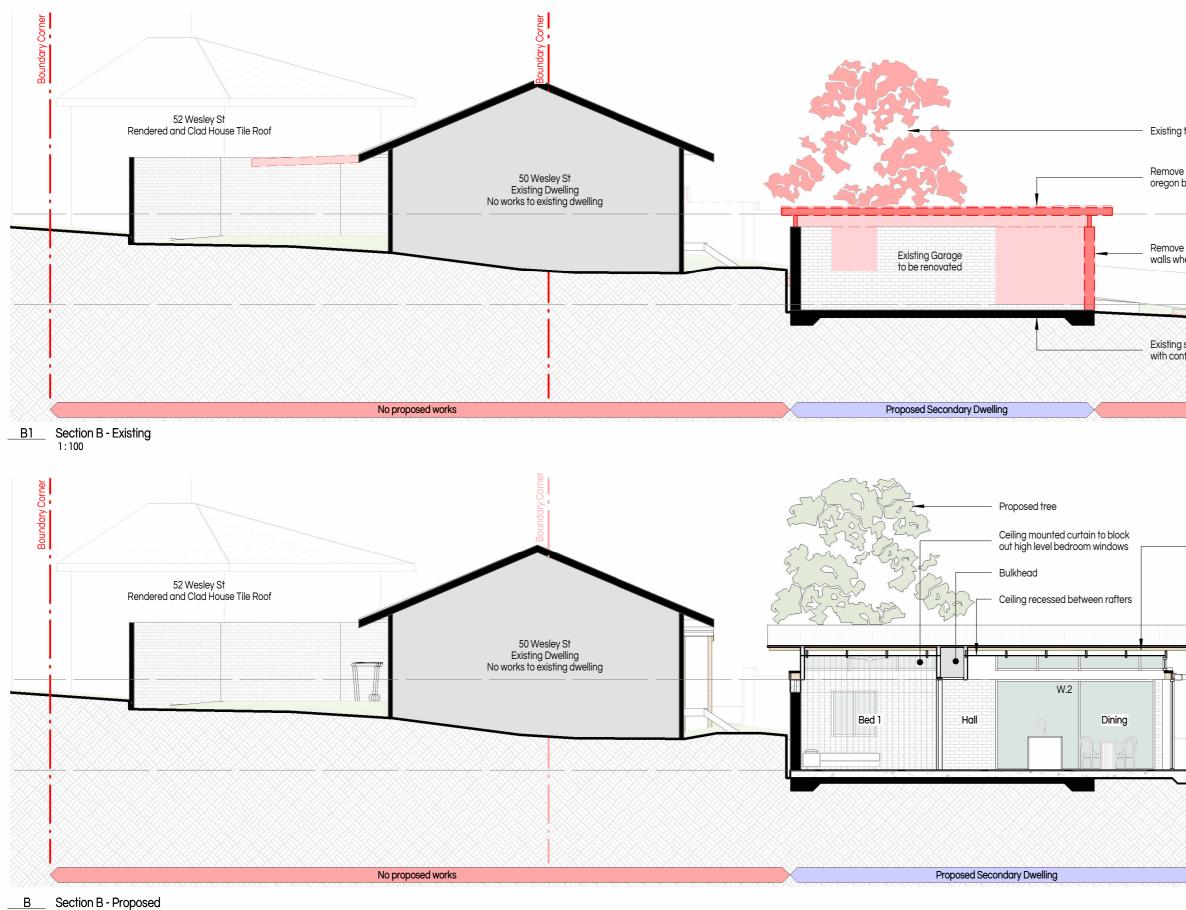
Ground Floor Plan - Proposed

Drawing #

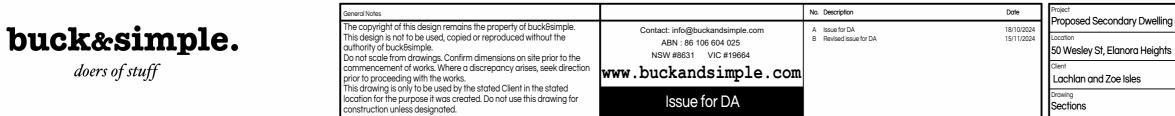


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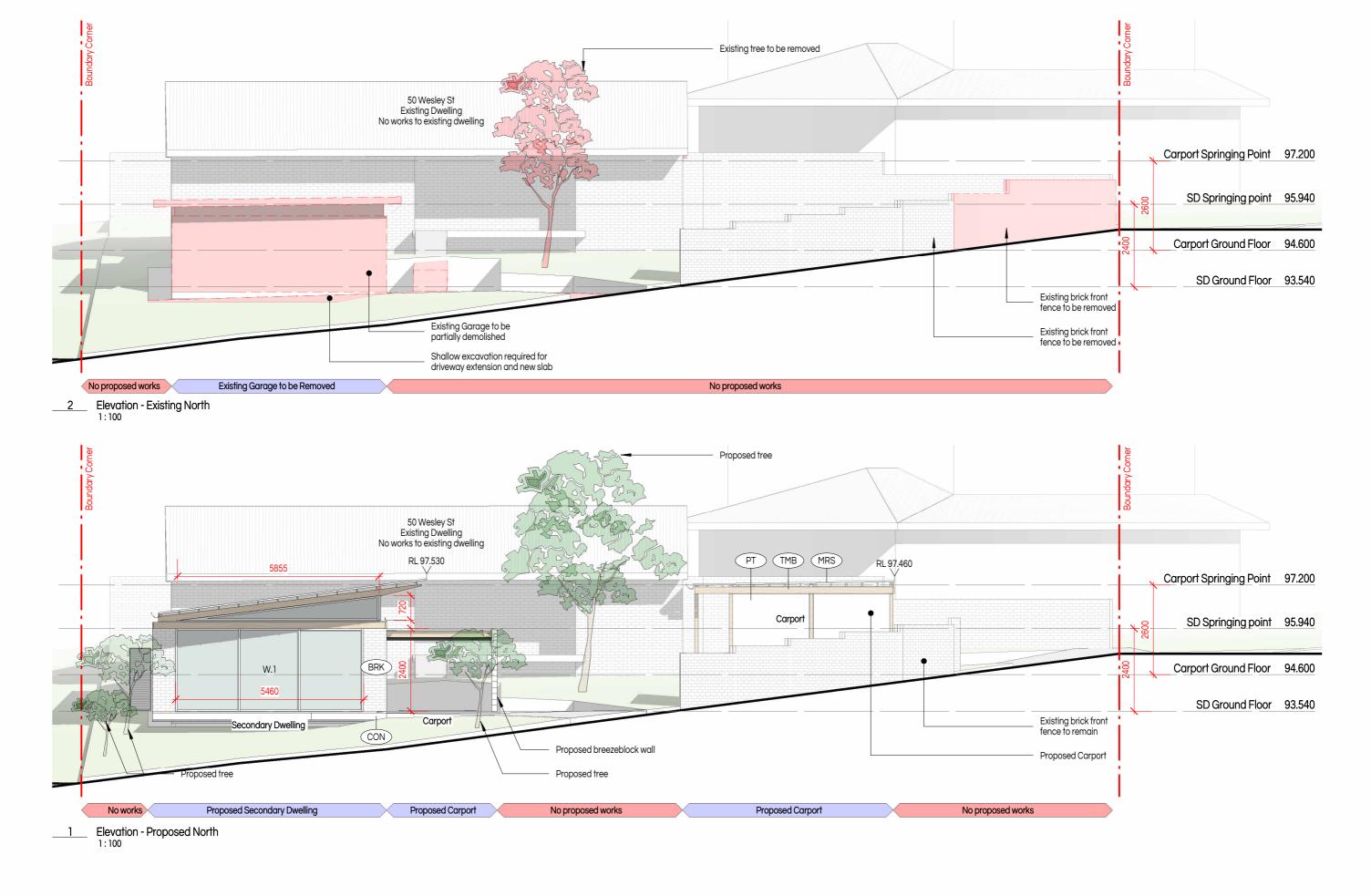
Existing tree to be removed

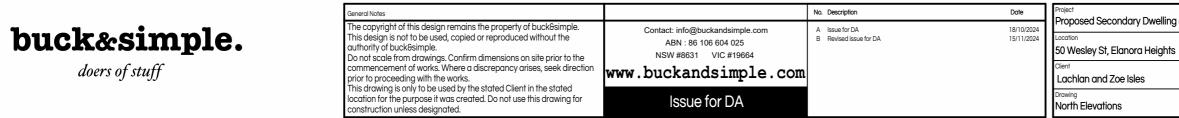
Remove roof. Retain existing oregon beams for re-use

SD Springing point 95.940

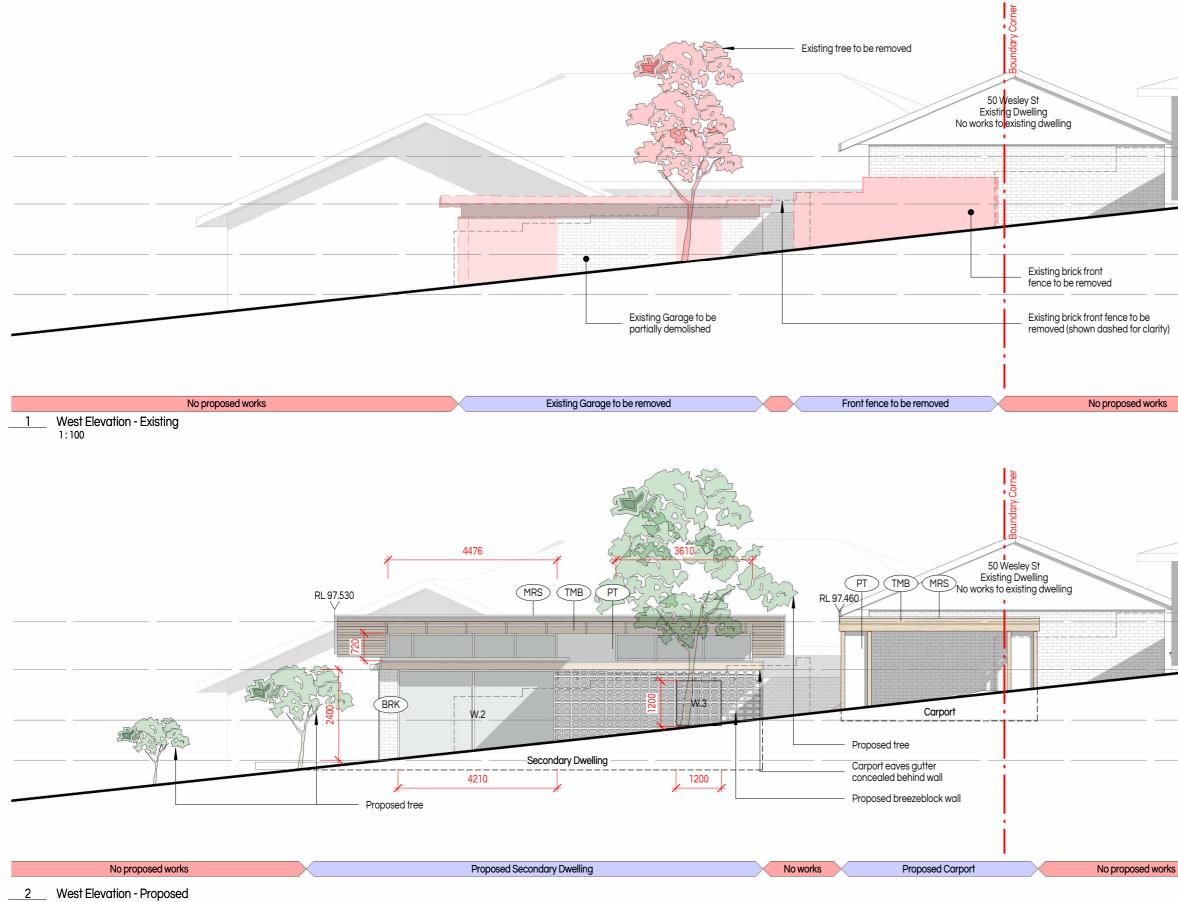
Remove existing walls where indicated SD Ground Floor 93.540 Existing slab to remain and be strengthened with continuous slab poured over No proposed works Recycled oregon rafters from demolition of existing Garage roof structure, to be used for Living room Proposed tree beyond RL 97.530 Folding arm adjustable awning SD Springing point 95.940 Deck SD Ground Floor 93.540 No proposed works

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West Elevation - Proposed

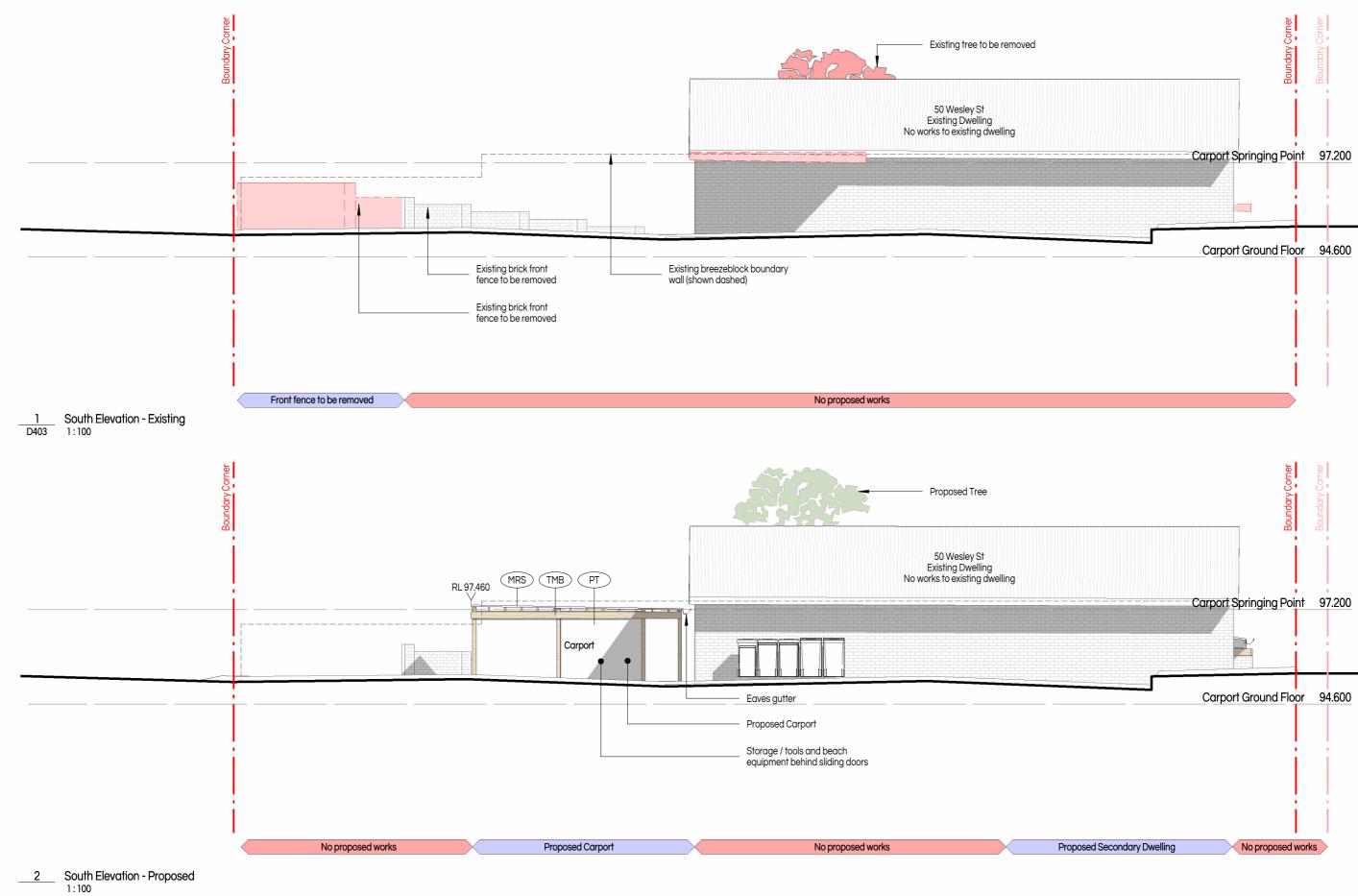


 Carport Springing Point 	97.200
 SD Springing point	95.940

- Carport Ground Floor 94.600
 - SD Ground Floor 93.540

	Boundary Corner
Carport Springing Point	97.200
SD Springing point	95.940
Carport Ground Floor	94.600
SD Ground Floor	93.540
	X

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				Client
prior to proceeding with the works.	www.buckandsimple.com			Lachlan and Zoe Isles
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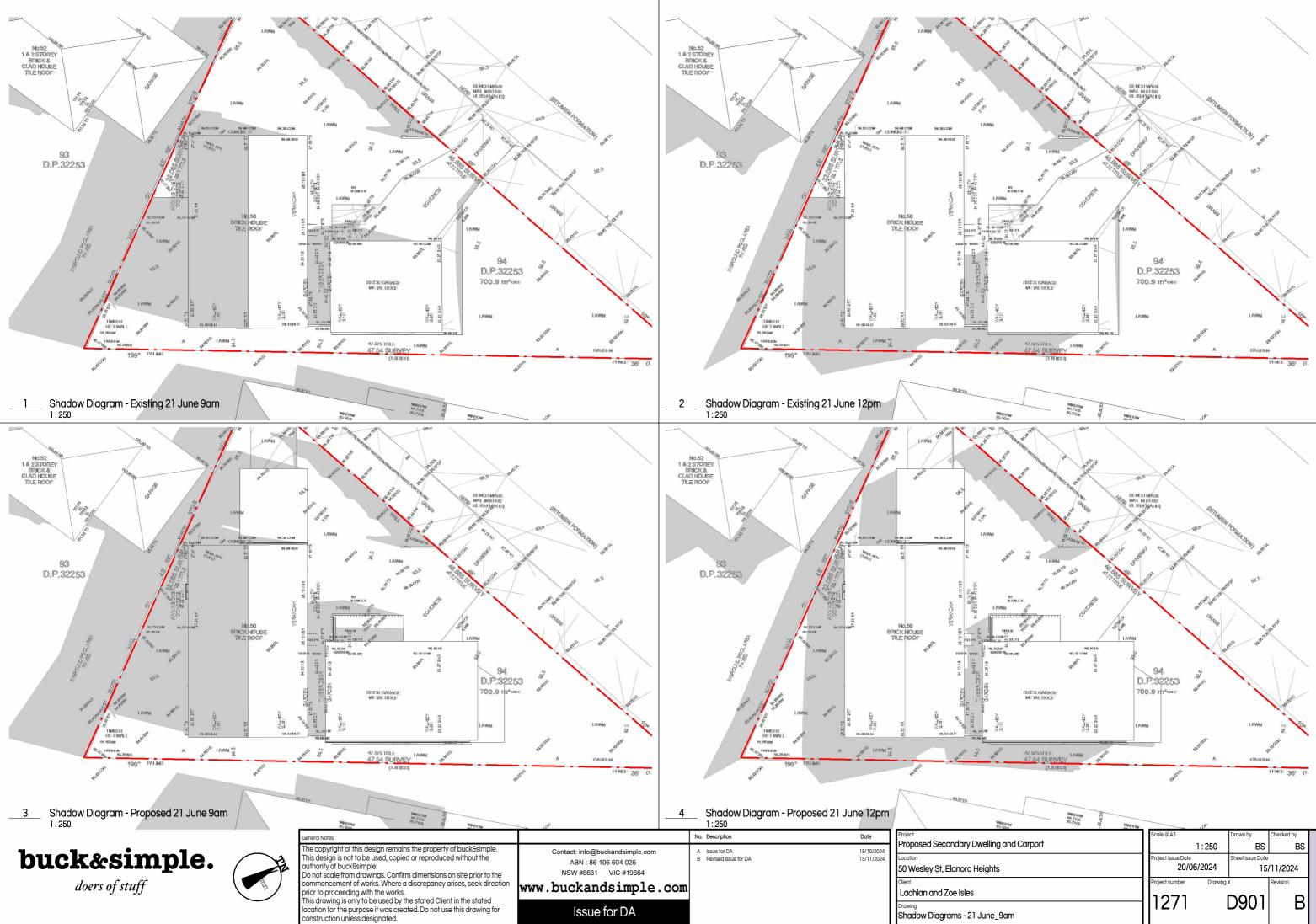


Elevation - Proposed East ____2

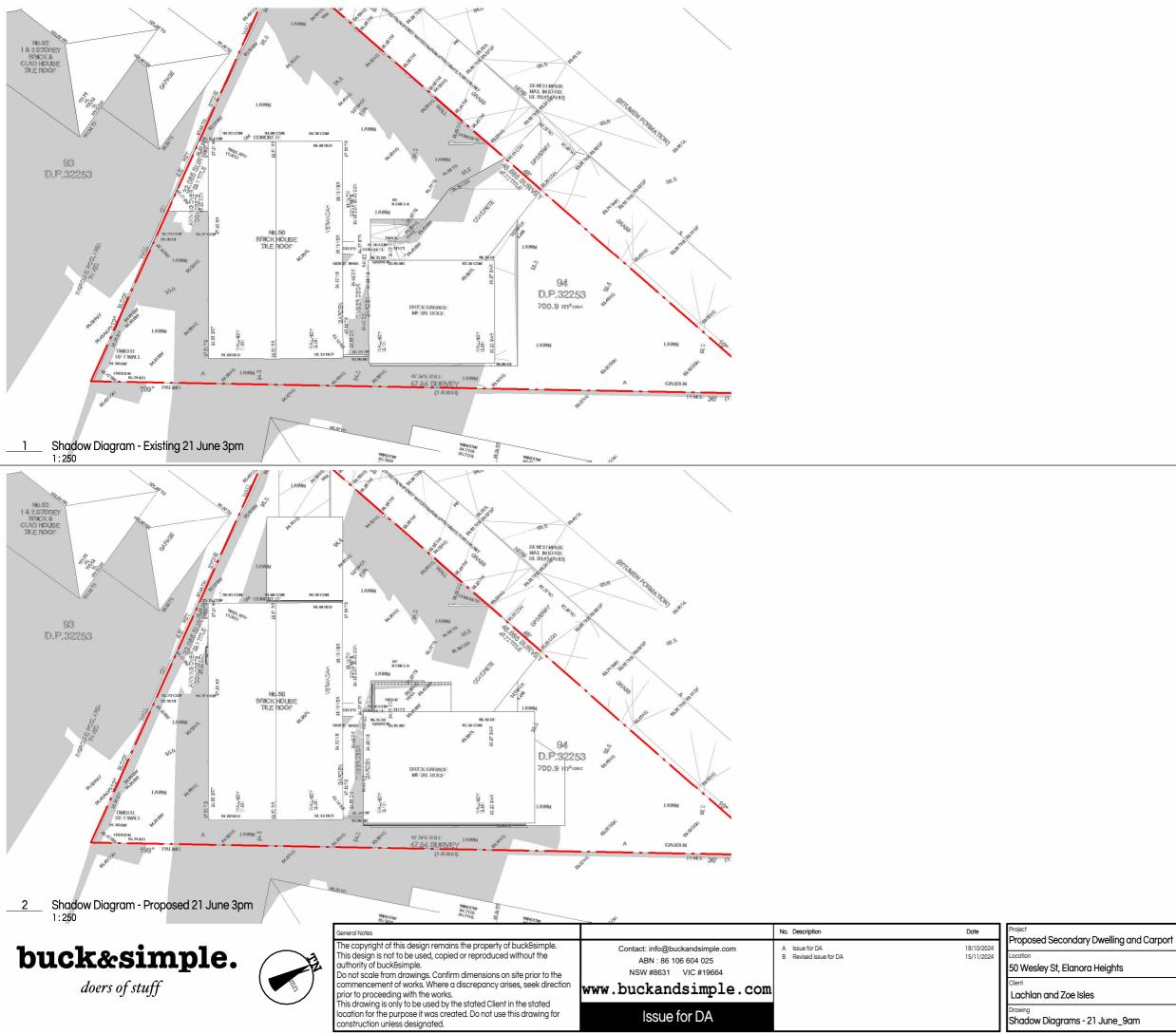
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buck&simple. doers of stuff	The copyright of this design remains the property of buck&simple. This design is not to be used, copied or reproduced without the authority of buck&simple. Do not scale from drawings. Confirm dimensions on site prior to the commencement of works. Where a discrepancy arises, seek direction prior to proceeding with the works. This drawing is only to be used by the stated Client in the stated location for the purpose it was created. Do not use this drawing for construction unless designated.	Contact: info@buckandsimple.com ABN : 86 106 604 025 NSW #8631 VIC #19664 www.buckandsimple.com Issue for DA	A Issue for DA B Revised issue for DA		Proposed Secondary Dwelling and Location 50 Wesley St, Elanora Heights Client Lachlan and Zoe Isles Drawing East Elevations

e roof. Retain existing beams for re-use			Carport Springing Point	97.200
		2600	SD Springing point	95.940
e existing here indicated	2400		Carport Ground Floor	94.600
			SD Ground Floor	93.540
slab to remain and be stre	ngthened			

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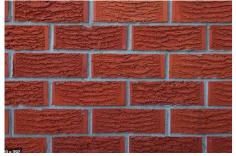
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MRS - Colourbond roof, flashings and rainwater goods. "Paperbark" or similar

TMB - Natural timber exposed beams, rafters and purlins. "Spotted Gum" or similar

MET - Aluminium framed windows "Powdercoat Anotec Mid Bronse Duralloy" or similar

BRK - Exposed brickwork walls to match existing





General Notes		No. Description	Date	Project Proposed Secondary Dwelling and Carport
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commencement of works. Where a discrepancy arises, seek direction prior to proceeding with the works.	www.buckandsimple.com			Client Lachlan and Zoe Isles
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All construction and materials to be in accordance with Bushfire attack level requirements **BAL 12.5** as per AS3959 - 2018 Construction of buildings in bushfire-prone land, Section 5 Construction Requirements for BAL - 12.5

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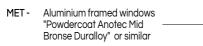






MRS - Colourbond roof, flashings and rainwater goods. "Paperbark" or similar

TMB - Natural timber exposed beams, rafters and purlins. "Spotted Gum" or similar



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General Notes		No. Description	Date	Project
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	www.buckandsimple.com			^{Client} Lachlan and Zoe Isles
	Issue for DA			Drawing Perspectives & Materials_2



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All construction and materials to be in accordance with Bushfire attack level requirements **BAL 12.5** as per AS3959 - 2018 Construction of buildings in bushfire-prone land, Section 5 Construction Requirements for BAL - 12.5

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