

Proposed Secondary Dwelling and Carport

50 Wesley St, Elanora Heights

Lachlan and Zoe Isles

General Notes

Coordination
Where applicable refer to and coordinate information contained in the architectural drawings, and the documentation of other consultants. Notify discrepancies between architectural and/or other consultant's documentation for direction prior to proceeding with the works.

Specifications and Schedules
Where applicable refer to and coordinate with relevant Specifications and Schedules. Written specifications and schedules take precedence to the extent of any discrepancy. Notify discrepancies between documents for direction prior to proceeding with the works.

Detail Drawings
Unless noted otherwise, refer to detail drawings for set-out information. Drawings at larger scales take precedence over drawings at smaller scales. Notify discrepancies for direction prior to proceeding with the works.

Execution of the works (Standards)
Execute the works in compliance with the current edition of the Building Code of Australia (as amended), current editions of relevant Australian and other applicable published Standards and the relevant requirements of Local and Statutory Authorities.

Units of measurement
Unless noted otherwise:
- Dimensions are shown in millimetres; and
- Levels are shown in meters

To detail
Where a notation refers to an item as "...to detail" the applicable item is to be in accordance with the relevant Architect's detail.

Materials handling and storage
Unless noted otherwise material, fixtures and fittings are to be handled, stored and installed in accordance with the Manufacturer's current written instructions.

Structure
Foundations, footings, reinforced concrete, slabs, retaining walls, framing, bracing, tie-down and other structural elements are to be designed and constructed in accordance with the Structural Engineer's details and specifications.

Hydraulics
Stormwater drainage, waste water drainage, fresh water, gas supply and other hydraulic services are to be designed and constructed in accordance with the Local Authority, Statutory Authority, Hydraulic and/or Civil Works Consultant's requirements.

Erosion & Sediment Control
Apply erosion and sediment control measures in accordance with the Local Authority and, where applicable, Hydraulic or Civil Works Consultant's requirements to avoid erosion, sedimentation and/or contamination of the site, surrounds and stormwater drainage system. Apply measures to ensure that the site remains free of water and to prevent water flow over the new work. Erosion & sediment control measures are to be effective from commencement of the works (including demolition) and maintained throughout the course of the works until the site is fully stabilised.

Services (existing & proposed)
Confirm location of existing under and above-ground services and coordinate with the relevant service authority to ensure that services are handled in accordance with the relevant authorities instructions prior to commencement of demolition, excavation and/or construction works.

Levels
Levels shown are consistent with the datum and benchmarks shown on the associated detail survey. In most instances the surveyed levels will be indicated relative to Australian Height Datum. However the existing site levels and datum are to be confirmed on site with reference to the site survey documents.

Interpretation
"Provide" means to supply and install.
"Required" means required by the contract documents or by the Local or Statutory Authorities.
"Proprietary" means identifiable by naming the manufacturer, supplier, installer, trade name, brand name, catalogue or reference number.

Standard Abbreviations

A/W	Accordance with
AFFL	Above finished floor level
AP	Access Panel
Awn	Awning
Bal	Balustrade
Bdy	(Property) Boundary
Bhd	Bulkhead
Bldg	Building
Bldr	Builder or building contractor
CJ	Control / construction joint
CL	Centre line
COS	Check / confirm on site
Crs	Centres
Dp	Downpipe
D,Dr	Door
Dwg	Drawing
Eng	Engineer(s)
Est	Estimated
Exst	Existing
Ext	External
FFL	Finished floor level
FGL	Finished ground level
FR	Fire rated
Fxd	Fixed
Gnd	Ground
Hr	Handrail
Hyd	Hydraulic
Inst	Instruction(s)
Int	Internal
Man	Manufacturer(s)
Nom	Nominal
NTS	Not to scale
O/A	Overall
O/H	Overhead
Own	Owner Proprietor Principal
Req	Requirement(s)
RL	Relative Level (to Datum)
Schd	Schedule(s)
SFL	Structural floor level
Sld	Sliding
Spec	Specification(s)
SSL	Structural slab level
Std	Standard
SDr	Surface drainage
SSD	Sub-surface drainage
TBA	To be advised
TBC	To be confirmed
TBD	To be demolished
TBR	To be removed
TOW	Top of wall
Typ	Typical
U/G	Under ground
UNO	Unless noted otherwise
U/S	Underside
W,Win	Window
W/	With
W/O	Without

Location Plan



Source: Six Maps NSW Planning

Architectural Drawings

No.	Name	Rev	Date
D000	Cover Sheet, Title Page & Notes	B	15/11/2024
D002	BASIX Commitments	B	15/11/2024
D003	Specifications	B	15/11/2024
D004	BAL 12.5 Bushfire Specifications	B	15/11/2024
D011	Site Layout - Existing & Demolition	B	15/11/2024
D012	Site Layout & Site Analysis - Proposed	B	15/11/2024
D050	Compliance Plan	B	15/11/2024
D060	Erosion, Sediment, Stormwater Control & Waste Management Plan	B	15/11/2024
D070	Landscape Plan	B	15/11/2024
D101	Ground Floor Plan - Existing & Demolition	B	15/11/2024
D102	Ground Floor Plan - Proposed	B	15/11/2024
D301	Sections	B	15/11/2024
D302	Sections	B	15/11/2024
D401	North Elevations	B	15/11/2024
D402	West Elevations	B	15/11/2024
D403	South Elevations	B	15/11/2024
D404	East Elevations	B	15/11/2024
D901	Shadow Diagrams - 21 June_9am	B	15/11/2024
D902	Shadow Diagrams - 21 June_9am	B	15/11/2024
D903	Perspectives & Materials_1	B	15/11/2024
D904	Perspectives & Materials_2	B	15/11/2024



Streetscape Perspective

All construction and materials to be in accordance with Bushfire attack level requirements BAL 12.5 as per AS3959 - 2018 Construction of buildings in bushfire-prone land, Section 5 Construction Requirements for BAL - 12.5

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General Notes	Issue for DA	Rev	Date	Description	Project Issue Date	Date	Scale @ A3	By	Chk	Rev
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		B	15/11/2024	Revised issue for DA						
					1271	D000				B

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions", dated 10/09/2020 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary
Date of issue: Monday, 02 September 2024
To be valid, this certificate must be submitted with a development application or lodged with a complying development certificate application within 3 months of the date of issue.



Project summary		
Project name	1271_Elanora Isles	
Street address	50 WESLEY Street ELANORA HEIGHTS 2101	
Local Government Area	Northern Beaches Council	
Plan type and plan number	Deposited Plan DP32253	
Lot no.	94	
Section no.	-	
Project type	dwelling house (detached) - secondary dwelling	
No. of bedrooms	2	
Project score		
Water	✓ 41	Target 40
Thermal Performance	✓ Pass	Target Pass
Energy	✓ 73	Target 68
Materials	✓ -12	Target n/a

Certificate Prepared by	
Name / Company Name:	The Trustee for buckandsimple Unit Trust
ABN (if applicable):	96109604025

Description of project

Project address		Assessor details and thermal loads	
Project name	1271_Elanora Isles	Assessor number	n/a
Street address	50 WESLEY Street ELANORA HEIGHTS 2101	Certificate number	n/a
Local Government Area	Northern Beaches Council	Climate zone	n/a
Plan type and plan number	Deposited Plan DP32253	Area adjusted cooling load (MJ/m ² /year)	n/a
Lot no.	94	Area adjusted heating load (MJ/m ² /year)	n/a
Section no.	-		
Project type		Project score	
Project type	dwelling house (detached) - secondary dwelling	Water	✓ 41 Target 40
No. of bedrooms	2	Thermal Performance	✓ Pass Target Pass
Site details		Energy	✓ 73 Target 68
Site area (m ²)	700	Materials	✓ -12 Target n/a
Roof area (m ²)	101		
Conditioned floor area (m ²)	64.0		
Unconditioned floor area (m ²)	6.0		
Total area of garden and lawn (m ²)	350		
Roof area of the existing dwelling (m ²)	190		
Number of bedrooms in the existing dwelling	3		

Schedule of BASIX commitments

The commitments set out below regulate how the proposed development is to be carried out. It is a condition of any development consent granted, or complying development certificate issued, for the proposed development, that BASIX commitments be complied with.

Water Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Landscaping			
The applicant must plant indigenous or low water use species of vegetation throughout 350 square metres of the site.	✓	✓	
Fixtures			
The applicant must install showerheads with a minimum rating of 4 star (> 4.5 but <= 6 Litre plus spray force and/or coverage tests) in all showers in the development.		✓	✓
The applicant must install a toilet flushing system with a minimum rating of 5 star in each toilet in the development.		✓	✓
The applicant must install taps with a minimum rating of 5 star in the kitchen in the development.		✓	✓
The applicant must install basin taps with a minimum rating of 5 star in each bathroom in the development.		✓	✓
Alternative water			
Rainwater tank			
The applicant must install a rainwater tank of at least 3000 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.	✓	✓	✓
The applicant must configure the rainwater tank to collect rain runoff from at least 100 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam).		✓	✓
The applicant must connect the rainwater tank to:			
• at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.)		✓	✓

Thermal Performance and Materials commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Do-it-yourself Method			
General features			
The dwelling must be a Class 1 dwelling according to the National Construction Code, and must not have more than 2 storeys.	✓	✓	✓
The conditioned floor area of the dwelling must not exceed 300 square metres.	✓	✓	✓
The dwelling must not contain open mezzanine area exceeding 25 square metres.	✓	✓	✓
The dwelling must not contain third level habitable attic room.	✓	✓	✓
Floor, walls and ceiling/roof			
The applicant must construct the floor(s), walls, and ceiling/roof of the dwelling in accordance with the specifications listed in the table below.	✓	✓	✓
The applicant must adopt one of the options listed in the tables below to address thermal bridging in metal framed floor(s), walls and ceiling/roof of the dwelling.	✓	✓	✓
The applicant must show through receipts that the materials purchased for construction are consistent with the specifications listed in the tables below.	✓	✓	✓

Construction	Area - m ²	Additional insulation required	Options to address thermal bridging	Other specifications
Floor - concrete slab on ground, conventional slab	60	nil/not specified	nil	
external wall: cavity brick; frame: no frame	all external walls	0.50 (or 1.20 including construction)/not specified	nil	wall colour: Medium (solar absorptance 0.45-0.7)
external wall: single skin masonry; frame: no frame	25	none	nil	
ceiling and roof - flat ceiling / flat roof, framed - metal roof, timber - or treated softwood	101	ceiling: 4 (up); roof: foil backed blanket/ceiling: fibreglass batts or nil; roof: foil backed batts	nil	roof colour: light (solar absorptance < 0.38); ceiling area fully insulated

Note	• Insulation specified in this Certificate must be installed in accordance with the ABCB Housing Provisions (Part 13.2.2) of the National Construction Code.
Note	• If the additional ceiling insulation listed in the table above is greater than R3.0, refer to the ABCB Housing Provisions (Part 13.2.3 (8)) of the National Construction Code.
Note	• In some climate zones, insulation should be installed with due consideration of condensation and associated interaction with adjoining building materials.
Note	• Thermal breaks must be installed in metal framed walls and applicable roofs in accordance with the ABCB Housing Provisions of the National Construction Code.

Thermal Performance and Materials commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Ceiling fans			
The applicant must install at least one ceiling fan in at least one daytime habitable space, such as living room.	✓	✓	✓
The applicant must install at least one ceiling fan in each bedroom.	✓	✓	✓
• The minimum number and diameter of ceiling fans in a daytime habitable space must be installed in accordance with the ABCB Housing Provisions (Part 13.5.2) of the National Construction Code.	✓	✓	✓

Thermal Performance and Materials commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Glazed windows, doors and skylights			
The applicant must install the windows, glazed doors and shading devices described in the table below, in accordance with the specifications listed in the table. Relevant overshadowing specifications must be satisfied for each glazed window and door.	✓	✓	✓
The dwelling may have 1 skylight (<0.7 square metres) which is not listed in the table.	✓	✓	✓
The following requirements must also be satisfied in relation to each window and glazed door:			
• The applicant must install windows and glazed doors in accordance with the height and width, frame and glazing types listed in the table.	✓	✓	✓
• Each window and glazed door must have a U-value no greater than that listed and a Solar Heat Gain Coefficient (SHGC) within the range listed. Total system U values and SHGC must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions.	✓	✓	✓
• Overshadowing buildings/vegetation must be of the height and distance from the centre and the base of the window and glazed door, as specified in the 'overshadowing' column.	✓	✓	✓
The applicant must install the skylights described in the table below, in accordance with the specifications listed in the table. Total skylight area must not exceed 3 square metres (the 3 square metre limit does not include the optional additional skylight of less than 0.7 square metres that does not have to be listed in the table).	✓	✓	✓

Glazed window/door no.	Maximum height (mm)	Maximum width (mm)	Frame and glass specification	Shading device (Dimension within 10%)	Overshadowing
North-East facing					
W01	2400.00	860.00	aluminium, single glazed (U-value: <=6.5, SHGC: Undecided)	awning (adjustable) 2400 mm, 2400 mm above base of window or glazed door	not overshadowed
South-East facing					
W04	1000.00	1200.00	aluminium, single glazed (U-value: <=6.5, SHGC: Undecided)	none	2-4 m high, 2-6 m away

Glazed window/door no.	Maximum height (mm)	Maximum width (mm)	Frame and glass specification	Shading device (Dimension within 10%)	Overshadowing
North-West facing					
W02	2400.00	4000.00	aluminium, single glazed (U-value: <=6.5, SHGC: Undecided)	awning (fixed) 600 mm, 2400 mm above base of window or glazed door	not overshadowed
W03	1000.00	1000.00	aluminium, single glazed (U-value: <=6.5, SHGC: Undecided)	eave 2400 mm, 300 mm above head of window or glazed door	not overshadowed

Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Hot water			
The applicant must install the following hot water system in the development, or a system with a higher energy rating: electric heat pump with a performance of 4:1 to 4.5 STCo or better.	✓	✓	✓
Cooling system			
The living areas must not incorporate any cooling system, or any ducting which is designed to accommodate a cooling system.		✓	✓
The bedrooms must not incorporate any cooling system, or any ducting which is designed to accommodate a cooling system.		✓	✓
Heating system			
The living areas must not incorporate any heating system, or any ducting which is designed to accommodate a heating system.		✓	✓
The bedrooms must not incorporate any heating system, or any ducting which is designed to accommodate a heating system.		✓	✓
Ventilation			
The applicant must install the following exhaust systems in the development: At least 1 Bathroom: individual fan, open to façade; Operation control: please select		✓	✓
Kitchen: individual fan, open to façade; Operation control: manual switch on/off		✓	✓
Laundry: natural ventilation only, or no laundry; Operation control: n/a		✓	✓
Artificial lighting			
The applicant must ensure that a minimum of 80% of light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.		✓	✓
Natural lighting			
The applicant must install a window and/or skylight in the kitchen of the dwelling for natural lighting.	✓	✓	✓

Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
The applicant must install a window and/or skylight in 1 bathroom(s)/toilet(s) in the development for natural lighting.	✓	✓	✓
Other			
The applicant must install a fixed outdoor clothes drying line as part of the development.		✓	
The applicant must install a fixed indoor or sheltered clothes drying line as part of the development.		✓	

Legend	
In these commitments, "applicant" means the person carrying out the development.	
Commitments identified with a ✓ in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).	
Commitments identified with a ✓ in the "Show on CC/CDC plans and specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.	
Commitments identified with a ✓ in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate (either interim or final) for the development may be issued.	

General Notes
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Contact: info@buckandsimple.com
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Issue for DA

No.	Description	Date
A	Issue for DA	18/10/2024
B	Revised issue for DA	15/11/2024

Project	Proposed Secondary Dwelling and Carport		
Location	50 Wesley St, Elanora Heights		
Client	Lachlan and Zoe Isles		
Drawing	BASIX Commitments		

Scale @ A3	Drawn by	Checked by
	BS	BS
Project Issue Date	Sheet Issue Date	
20/06/2024	15/11/2024	
Project number	Drawing #	Revision
1271	D002	B

General

General Notes and Abbreviations

Refer also to the General Notes and Abbreviations where included with this drawing set.

This specification table forms a non-exhaustive list of the Standards and provisions applicable to the works.

Where an Australian Standard (AS/NZ/Int) or provision of the NCC has been committed, superseded or replaced, the contractor is to ensure all works are carried out, completed and warranted in accordance with the most current form of the standard or provision.
Where a discrepancy arises, notify the contract administrator immediately
*refer to Execution of Works.

Coordination

Where applicable refer to and coordinate information contained in the architectural drawings, and the documentation of other consultants. Notify the project administrator of any discrepancies between architectural and/or other consultant's documentation for direction prior to proceeding with the affected part of the works.

Detail Drawings

Unless noted otherwise, refer to detail drawings for set-out information. Drawings at larger scales take precedence over drawings at smaller scales to the extent of any discrepancy. Notify the project administrator of any discrepancies prior to proceeding with the affected part of the works.

Units of measurement

Unless noted otherwise:

- Dimensions are shown in millimetres; and
- Levels are shown in meters

To detail

Where a notation refers to an item as “_to detail” the applicable item is to be in accordance with the relevant Architect's detail.

Materials handling and storage

Unless noted otherwise material, fixtures and fittings are to be handled, stored and installed in accordance with the Manufacturer's current written instructions.

Erosion & Sediment Control

Apply erosion and sediment control measures in accordance with the Local Authority and, where applicable, Hydraulic or Civil Works Consultant's requirements to avoid erosion, sedimentation and/or contamination of the site, surrounds and stormwater drainage system. Apply measures to ensure that the site remains free of water and to prevent water flow over the new work. Erosion & sediment control measures are to be effective from commencement of the site works (including demolition) and maintained throughout the course of the works until the site is fully stabilised.

Services (existing & proposed)

Confirm location of existing under and above-ground services and coordinate with the relevant service authority to ensure that services are handled in accordance with the relevant authorities instructions prior to commencement of demolition, excavation and/or construction works.

Levels

Levels shown are consistent with the datum and benchmarks shown on the associated detail survey. In most instances the surveyed levels will be indicated relative to Australian Height Datum. However the existing site levels and datum are to be confirmed on site with reference to the site survey documents.

Falls

Finish surfaces typically to fall as required to facilitate effective drainage.

Interpretation

"Provide" means to supply and install.
"Required" means required by the contract documents or by the Local or Statutory Authorities.
"Proprietary" means identifiable by naming the manufacturer, supplier, installer, trade name, brand name, catalogue or reference number.

Specifications and schedules

Where a written specification and/or schedule exist and a discrepancy between documents is identified, the written documents take precedence over this document to the extent of the discrepancy. Where a discrepancy is identified notify the project administrator for direction prior to proceeding with the part of the works affected by the discrepancy.

Execution of the works (Specifications)

Execute the works in compliance with:

- The relevant deemed-to-satisfy provisions of the current edition of the NCC (Volume 2 - Class 1 and 10 buildings) (as amended at the time of execution of the works);
- Current editions of relevant Australian and other applicable published Standards; and
- The relevant requirements of Local and/or Statutory Authorities applicable to the execution of the works.

The specification of codes and standards included herein outlines the minimum acceptable standards.

Termite protection

Provide termite protection:
In accordance with the NCC 2022 (Volume 2) Part 3.4 _Termite Risk Management and to AS/NZS 3660.1 _Termite Management - New building work.
Upon completion, a durable notice must be permanently fixed to the building in a prominent location, such as a meter box or the like, indicating: The method of termite protection, the date of installation of the system, where a chemical barrier is used, its life expectancy as listed on the National Registration Authority label and the installer's or manufacturer's recommendations for the scope and frequency of future inspections for termite activity.
Provide professional certification of the termite protection measures to the principal certifying authority, confirming compliance with the relevant provisions of the NCC 2022 and Australian Standards.

Flashings and damp-proof courses

Flashings and damp-proof courses: To AS/NZS 2904 _Damp-proof courses and flashings

Fasteners

Steel nails: Hot-dip galvanized to AS/NZS 4680 _Hot-dip galvanized (zinc) coatings on fabricated ferrous articles.
Self-drilling screws: To AS 3566.1 _Self-drilling screws for the building and construction industries - General requirements and mechanical properties

Metal finishes

Corrosion protection:
In accordance with the NCC 2022 (Volume 2) _Part 6.3 Structural Steel Members; Part 6.3.9 _Corrosion Protection.
Preparation of metal surfaces: To AS 1627 (Various) _Metal finishing - Preparation and pretreatment of surfaces.
Zinc plating: To AS 1789 _Metallic and other inorganic coatings - Electroplated coatings of zinc with supplementary treatments on iron or steel, at least service condition number 2.
Anodising: To AS 1231 _Aluminium and aluminium alloys - Anodic oxidation coatings, at least class AA10.
Thermoset powder coating: To AS 3715 _Metal finishing - Thermoset powder coating for architectural applications of aluminium and aluminium alloys.
Galvanize mild steel components (including fasteners): To AS/NZS 1214 _Hot-dip galvanized coatings on threaded fasteners (ISO metric coarse thread series) (ISO 10684:2004, MOD) or AS/NZS 4680 _Hot-dip galvanized (zinc) coatings on fabricated ferrous articles, as appropriate, if exposed to weather, embedded in masonry or in contact with chemically treated timber.
Galvanized other components: To AS/NZS 4680 _Hot-dip galvanized (zinc) coatings on fabricated ferrous articles.
Durability requirements: To AS 2699.2 _Built-in components for masonry construction - Connectors and accessories

Steel sheeting: To AS/NZS 2728 _Prefinished/prepainted sheet metal products for interior/exterior or building applications - Performance requirements.
Cold-form sections from metallic-coated steel: To AS 1397 _Continuous hot-dip metallic coated steel sheet and strip - Coatings of zinc and zinc alloyed with aluminium and magnesium.
Steel framing: Zinc-coated or aluminium/zinc alloy coated steel: To AS 1397 _Continuous hot-dip metallic coated steel sheet and strip - Coatings of zinc and zinc alloyed with aluminium and magnesium, Z450 or AZ150.

Building in bushfire prone areas

Provide certification that **all construction methods** and any required bushfire prevention measures are installed in accordance with the approvals documentation, the NSW Rural Fire Service and AS 3959 _Construction of buildings in bushfire-prone areas.
In order to provide a suitable combination of bush fire protection measures the NSW Rural Fire Service also requires additional construction requirements beyond those prescribed in AS3959 as deemed appropriate.

Brick & block construction (masonry)
Masonry construction: To be in accordance with NCC 2022 (Volume 2) H1D5 _Masonry and to AS 3700 _Masonry structures;
Masonry units: To AS/NZS 4455 _Masonry units, pavers, flags and segmental retaining wall units;
Clay brick durability below damp-proof-course: Use exposure category to AS/NZS 4456.10 _Masonry units, segmental pavers and flags - Methods of test - Determining resistance to salt attack
Appendix A (Salt attack resistance categories).
AS 4773.1 _Masonry in small buildings (Design) and AS 4773.2 _Masonry in small buildings (Construction)

Specify all measures installed on the certification.

Demolition

Demolish existing structures as shown: To AS 2601 _The demolition of structures
Temporary Support: Provide temporary support for part(s) of the existing structure as required where part(s) of the works to be altered rely on work to be demolished for support.
Temporary Cover: Provide temporary cover as necessary to prevent damage from the weather and ensure that the site remains secure so as to prevent unauthorised entry.
Secure Site: Prior to the commencement of demolition works ensure that the site is secure and that erosion and other environmental protection measures are in place and operational.
Asbestos: Demolition involving the removal of asbestos or materials containing asbestos fibre must only be carried out by persons licensed by Workcover NSW and be in accordance with the National Occupational Health and Safety Commission (WorkSafe Australia), Code of practice for the safe removal of asbestos.

Earthworks

To be carried out in accordance with:

- The requirements of the Environmental Planning & Assessment Act 1979;
- Relevant conditions of development consent; and
- The relevant requirements of NCC 2022 (Volume 2) H1D4 _Footings and slabs, H1D12 _Piled footings & NCC 2022 (ABCB Housing Provisions) Part 3.2 _Earthworks.

Excavation for drains adjacent to existing footings: To be in accordance with NCC 2022 (ABCB Housing Provisions) Part 3.3.2 & Figure 3.3.2.

Piling

Timber piled footing systems: Proprietary System designed to AS 2870 _Residential slabs and footings.
Screw-in foundations: Proprietary System designed to AS 2159 _Piling - Design and installation.

Structural design

Foundations, footings, reinforced concrete, slabs, retaining walls, framing, bracing, tie-down and other structural elements are to be designed and constructed in accordance with the Structural Engineer's details and specifications and in accordance with the relevant provisions of the following structural design manuals.

- AS 1684.4 _Residential timber-framed construction (Simplified - Non-cyclonic) or AS 1720.1 _Timber structures (Design methods).
- Natural durability class of heartwood: To AS 5604 _Timber - Natural durability ratings. Preservative treatment: To the AS 1604 series. _Specification for preservative treatment.
- Timber construction is to comply with clause (4) of NCC 2022 (Volume 2) H1D6 _Framing and AS 1684.2 (Amdt 1), AS1684.3 (Amdt 1) or AS 1684.4 (Amdt 1).

Site classification

To be in accordance with NCC 2022 (Volume 2) Part A6 _Building Classification

Structural design manuals

AS/NZS 1170.1 _Structural design actions (Permanent, imposed and other actions)
AS/NZS 1170.2 _Structural design actions (Wind loads) or AS 4055 _Wind loads for housing
AS/NZS 1170.3 _Structural design actions (Snow and ice actions)
AS 1170.4 _Structural design actions (Earthquake actions in Australia)
AS 1720.1 _Timber structures
AS 2870 _Residential slabs and footings
AS 2159 _Piling - design and installation
AS 2327.1 _Composite structures
AS 3600 _Concrete structures
AS 3700 _Masonry Structures
AS 4100 _Steel structures
AS 4773 _Masonry in small buildings

Structural design certification

Submit structural engineer's design certification, in accordance with Local Authority requirements, to the Principal Certifying Authority prior to the commencement of works.

Concrete construction

Concrete structures generally: To AS 3600 _Concrete structures
Ground slabs and footings: To AS 2870 _Residential slabs and footings
Ready mixed supply: To AS 1379 _Specification and supply of concrete
Concrete construction is to comply with NCC 2022 (volume 2) Spec 3 Fire hazard properties, Part H1 Structure, AS 3600 _Concrete structures

Footings and slabs

Design and construct footings and slabs: In accordance with NCC 2022 (volume 2) H1D4 _Footings and slabs, Schedule 5 NSW _Part 4.2 Footings, slabs and associated elements, Schedule 5 NSW _H1D4 Footings and slabs and AS 2870 _Residential slabs and footings, AS 3600 _Concrete structures and AS 2159 _Piling - Design and installation.

Brick & block construction (masonry)

Masonry construction: To be in accordance with NCC 2022 (Volume 2) H1D5 _Masonry and to AS 3700 _Masonry structures;
Masonry units: To AS/NZS 4455 _Masonry units, pavers, flags and segmental retaining wall units;
Clay brick durability below damp-proof-course: Use exposure category to AS/NZS 4456.10 _Masonry units, segmental pavers and flags - Methods of test - Determining resistance to salt attack
Appendix A (Salt attack resistance categories).
AS 4773.1 _Masonry in small buildings (Design) and AS 4773.2 _Masonry in small buildings (Construction)

Wall ties

Wall ties: To AS/NZS 2699.1 _Built-in components for masonry construction - Wall ties; Non-seismic areas: Type A; Seismic areas: Type B.
Wall tile type: To be in accordance with NCC 2022 (ABCB Housing Provisions) Part 5.6, 5.6.5 Wall files
Wall file spacing: To NCC 2022 (ABCB Housing Provisions) Part 5.6, 5.6.5 Wall files (b)
Wall file corrosion protection: To NCC 2022 (ABCB Housing Provisions) Part 5.6 _5.6.5 Wall files (c)

Lintels

Lintels generally: To be in accordance with NCC 2022 (ABCB Housing Provisions) Part 5.6, 5.6.7 Lintels
Cold-formed lintels: Proprietary cold-formed flat-based type designed to AS/NZS 4600 _Cold-formed steel structures, manufactured from mild steel galvanized to AS/NZS 4680 _Hot-dip galvanized (zinc) coatings on fabricated ferrous articles; Do not cut after galvanizing.
Steel lintels (flats and angles): To be in accordance with NCC 2022 (ABCB Housing Provisions) Figure 5.6.7 _Lintel installation, manufactured from mild steel galvanized to AS/NZS 4680 _Hot-dip galvanized (zinc) coatings on fabricated ferrous articles; Do not cut after galvanizing.
Lintel corrosion protection: To AS/NZS 2699.3 _Built-in components for masonry construction (Lintels and shelf angles (durability requirements)).

Timber & steel framed construction

Sub-floor ventilation
Sub floor ventilation: To be in accordance with NCC 2022 (Volume 2) H2D5 _Subfloor Ventilation & NCC 2022 (ABCB Housing Provisions) Part 6.2.1 _Subfloor ventilation

Timber wall, floor and roof framing

Timber framing: To be in accordance with NCC 2022 (Volume 2) H1D6 _Framing and AS 1684.4 _Residential timber-framed construction (Simplified - Non-cyclonic) or AS 1720.1 _Timber structures (Design methods).
Natural durability class of heartwood: To AS 5604 _Timber - Natural durability ratings.
Preservative treatment: To the AS 1604 series. _Specification for preservative treatment.
Timber construction is to comply with clause (4) of NCC 2022 (Volume 2) H1D6 _Framing and AS 1684.2 (Amdt 1), AS1684.3 (Amdt 1) or AS 1684.4 (Amdt 1).

Steel framing and structural steel members

Steel framing: to be in accordance with NCC 2022 (Volume 2) H1D6 _Framing & AS 4100 _Steel structures.
Steel structural members: to be in accordance with NCC 2022 (Volume 2) H1D6 _Framing & AS 4100 _Steel structures.
Structural steelwork: To AS 4100 _Steel structures.
Cold-formed steel framing: Provide a proprietary system designed to AS 3623 _Domestic metal framing.
Welding: To AS/NZS 1554.1 _Structural steel welding (Welding of steel structures).

Floors

Floors: To AS 1684.4 _Residential timber-framed construction (Simplified - Non-Cyclonic Areas)
Particleboard flooring: To AS/NZS 1860.1 _Particleboard flooring (Specifications) and install to AS 1860.2 _Particleboard flooring (Installation).
Compressed Fibre cement flooring: To AS/NZS 2908.2 _Cellulose-cement products (Flat sheets), Type A, Category 5.
Plywood flooring: To AS/NZS 2269 _Plywood - Structural (Specifications), bond type A, tongue and grooved.

Roof trusses

Roof trusses installation: To AS 4440 _Installation of nail-plated timber trusses.
Anti-ponding boards: To AS 4200.2 _Pliable building membranes and underlays (Installation).

Roof and wall cladding

Roof tiling
To be in accordance with NCC 2022 (Volume 2) H2D6 _Roof and wall cladding and AS 2049 _Roof tiles.
Roof tile installation: To AS 2050 _Installation of roofing tiles.

Metal roof sheathing

To be in accordance with the NCC 2022 (Volume 2) H1D7 _Roof and wall cladding.
Metal roofing design and installation: To AS 1562.1 _Design and installation of sheet roof and wall cladding (Metal).

Roof plumbing

To be in accordance with NCC 2022 (Volume 2) H2D6 _Roof and wall cladding and AS/NZS 3500.3 _Plumbing and drainage (Stormwater drainage).
Metal rainwater goods and accessories: To AS/NZS 2179.1 _Specifications for rainwater goods, accessories and fasteners (Metal shape or sheet rainwater goods, and metal accessories and fasteners)
PVC rainwater goods and accessories: To AS1273 _Unplasticized PVC (UPVC) downpipe and fittings for rainwater

Eaves & soffits

Lining is to comply with NCC 2022 (ABCB Housing Provisions) Part _7.5.5 Eaves and soffit linings and AS/NZS 2908.2 _Cellulose-cement products (Flat sheets) or ISO 8336 _Fibre-cement flat sheets - Product specification and test methods.

Wall cladding

To be in accordance with NCC 2022 (Volume 2) H2D6 _Roof and wall cladding
Hardboard cladding: To AS/NZS 1859.4 _Reconstituted wood-based panels - Specifications (Wet-processed fibreboard).
Fibre cement cladding: To AS/NZS 2908.2 _Cellulose-cement products (Flat sheets), Type A, Category 3
Metal cladding design and installation: To AS 1562.1 _Design and installation of metal roof and wall cladding (Metal).
Unplasticised polyvinyl chloride (uPVC) sheet: To AS/NZS 4256.4 _Plastic roof and wall cladding materials (Unplasticised polyvinyl chloride (uPVC) wall cladding boards).
Glass fibre reinforced polyester (GRP) sheet: To AS/NZS 4256.3 _Plastic roof and wall cladding materials (Glass fibre reinforced polyester (GRP)).
Polycarbonate: To AS/NZS 4256.5 _Plastic roof and wall cladding materials (Polycarbonate).
Installation of plastic claddings: To AS/NZS 1562.3 _Design and installation of sheet roof and wall cladding (Plastic).
Timber cladding to comply with NCC 2022 (Volume 2) NCC 2022 (Volume 2) H2D6 _Roof and wall cladding & NCC 2022 (ABCB Housing Provisions) Part 7.5 _Timber and composite wall cladding

Insulation and sarking

Cellulosic fibre (loose fill): To AS/NZS 4859.1 _Thermal insulation materials for buildings (General criteria and technical provisions), Section 5.
Mineral wool blankets and cut pieces: To AS/NZS 4859.1, Section 8.
Polystyrene (extruded rigid cellular sheets): To AS 1366.4 _Rigid cellular plastics sheets for thermal insulation (Rigid cellular polystyrene - Extruded (RC/PSE))
Polystyrene (moulded rigid cellular sheets): To AS 1366.3 _Rigid cellular plastics sheets for thermal insulation (Rigid cellular polystyrene - Moulded (RC/PS - M)).
Reflective insulation: To AS/NZS 4859.1, Section 9.
Wool: To AS/NZS 4859.1, Section 6
Sarking material: To AS/NZS 4200.1 _Pliable building membranes and underlays (Materials).
Installation of bulk thermal insulation: To AS 3999 _Bulk thermal insulation - Installation.
Sarking material: To AS/NZS 4200.2 _Pliable building membranes and underlays (Installation).

Windows and doors

Glazing to be in accordance with NCC 2022 (Volume 2) H2D7 _Glazing.
Glass Selection and installation: To AS 1288 _Glass in buildings - Selection and installation.
Timber doorsets, frames and jamb linings: To AS 2688 _Timber and composite doors.
Security screen doors and windows grilles: To AS 5039 _Security screen doors and security window grilles.
Window selection and installation: To AS 2047 _Windows and external glazed doors in buildings.
Doorset installation: To AS 2688.
Garage doors: To AS/NZS 4505 _Garage doors and other large access doors.
Provide certification from a licensed installer that window framing and glazing is installed in accordance with the relevant standards.

Lining

Plasterboard: To AS/NZS 2588 _Gypsum plasterboard.
Plasterboard installation: To AS/NZS 2589 _Gypsum linings - Application and finishing Level 4 finish.
Fibre cement: To AS/NZS 2908.2 _Cellulose-cement products (Flat sheets), Type B, Category 2.
Fibrous plaster products: To AS 2185 _Fibrous plaster products.

Fire safety

Fire separation
To be in accordance with NCC 2022 (Volume 2) Part H3 Fire safety; H3D3.
Fire separation of external walls; H3D4 _Fire protection of separating walls and floors; H3D5 _Fire separation of garage-top-dwellings
Fire separation - Roof lights: NCC 2022 (ABCB Housing Provisions) 9.2.10 _Roof lights
Refer to architectural details of fire separation methods.

Flashing

Flashing to wall openings are to comply with NCC 2022 (ABCB Housing Provisions) 7.5.6 _Flashings to wall openings and AS/NZS 2904 _Damp-proof courses and flashings.

Smoke alarms

To be in accordance with NCC 2022 (Volume 2) H3D6 _Smoke alarms and evacuation lighting, AS 3786 _Smoke alarms using scattered light, transmitted light or ionization, and the Manufacturer's instructions. Where consumer mains power is supplied smoke alarms must be connected to mains power. For Class 1A buildings smoke alarms must be installed on every storey. In storeys containing bedrooms smoke alarms are to be located on or near the ceiling:

- In every corridor or hallway associated with a bedroom, or
- If there is no corridor or hallway, between the part of the building containing the bedroom and the remainder of the building.

On storeys not containing bedrooms a smoke alarm must be provided and should be located along the path of travel people will most likely take to evacuate the building.
Provide certification from a Licensed electrical contractor certifying that the alarm system has been installed in accordance with the relevant standards.

All smoke alarms to be interlinked.

Heating appliances

To be in accordance with NCC 2022 (Volume 2) H7D5 _Heating appliances, fireplaces, chimneys and flues, and AS 2918 _Domestic solid fuel burning appliances - installation

Health and amenity

Wet areas

Refer to "Waterproofing"

Room heights

To be in accordance with NCC 2022 (Volume 2) H4D4 _Room heights;
Ceiling heights are to comply with NCC 2022 (ABCB Housing Provisions) 10.3.1 _Height of rooms and other spaces

Kitchen, sanitary and washing facilities

To be in accordance with NCC 2022 (Volume 2) H4D5 _Facilities.

Natural and artificial light

To be in accordance with NCC 2022 (Volume 2) H4D6 _Light

Ventilation

To be in accordance with NCC 2022 (Volume 2) H4D7 _Ventilation
Natural Ventilation: NCC 2022 (ABCB Housing Provisions) Part 10.6 Ventilation
Mechanical Ventilation: NCC 2022 (Volume 2) H4P5 _Ventilation & AS 1668.2 _The use of ventilation and airconditioning in buildings (Mechanical ventilation in buildings)

Sound insulation

To be in accordance with NCC 2022 (Volume 2) H4D8 _Sound insulation.
Refer to architectural details of sound insulation measures

Safe movement and access

Stair construction
To be in accordance with NCC 2022 (Volume 2) H5D2 _Stairway and ramp construction.
Stair construction must comply with the provisions of the NCC 2022 (ABCB Housing Provisions) 11.2.2 _Stairway construction, treads min 240mm nosing to nosing; risers 115mm - 190mm; slope relationship (2R+G); handrail height 865mm above nosing; open treads maximum gap between treads is 125mm.

Balustrades

To be in accordance with NCC 2022 (Volume 2) H5D3 _Barriers and handrails.
Balustrade construction must comply with the provisions of the NCC 2022 (ABCB Housing Provisions) 11.3.3 _Barriers to prevent falls.
Balustrade height 1m above finished floor surface. Where ground height exceeds 4m from floor level of the deck / balcony balustrades must be vertical / non-climbable between 150mm and 760mm above deck level.

Block and tile finishes

Ceramic tiling: Follow the guidance provided by AS 3958.1 _Ceramic tiles (Guide to the installation of ceramic tiles) and AS 3958.2 _Ceramic tiles (Guide to the selection of a ceramic tiling system).
Adhesives: To AS 2358 _Adhesives - For fixing ceramic tiles.

Waterproofing

To be in accordance with NCC 2022 (Volume 2) H2D8 _External waterproofing & H4D2 _Wet areas; AS 3740 _Waterproofing of domestic wet areas & AS 4654.2 _Waterproofing membranes for external above-ground use (Design and installation)
Provide certification from a licensed installer certifying that the waterproofing is installed in accordance with the relevant standards.

Floor coatings and coverings

Carpeting: To AS/NZS 2455.1 _Textile floor coverings - Installation practice (General).
Resilient finishes: To AS 1884 _Floor coverings - Resilient sheet and tiles - Installation practices.

Painting

Painting generally: Follow the guidance provided by AS/NZS 2311 _Guide to the painting of buildings, AS 2312.1 Guide to the protection of structural steel against atmospheric corrosion by the use of protective coatings (Paint coatings).
Preparation
Prepare surfaces to be painted in accordance with the Manufacturer's recommendations to suit the selected paint system, the type of substrate and its condition.

Timber fixtures

Hardboard: To AS/NZS 1859.4 Reconstituted wood-based panels - Specifications (Wet-processed fibreboard).
Particleboard: To AS/NZS 1859.1 Reconstituted wood-based panels - Specifications (Particleboard).

Medium density fibreboard: To AS/NZS 1859.2

_Reconstituted wood-based panels - Specifications (Dry-processed fibreboard).
Decorative overlaid wood panels: To AS/NZS 1859.3 _Reconstituted woodbased panels (Decorative overlaid wood panels).
High-pressure decorative laminate sheets: To AS/NZS 2924.1 _High pressure decorative laminates - Sheets and their resin-embedding resins (Classification and specifications).
Domestic kitchen, bathroom, and other joinery
Domestic kitchen, bathroom, and other joinery
Cabinetry to AS 4386.
Cabinetry in the built-in environment - Commercial and domestic.

Hydraulic (plumbing) installations

Stormwater drainage, waste water drainage, fresh water, gas supply and other hydraulic services are to be designed and constructed in accordance with the Local Authority, Statutory Authority, Hydraulic and/or Civil Works Consultant's requirements. Where a discrepancy arises the hydraulic consultant's, local or statutory authority's requirements take precedence over the following standards to the extent of the discrepancy.
Plumbing and drainage products: To SA MP52 _Manual of authorization procedures for plumbing and drainage products and AS/NZS 3718 _Water supply - Top ware; Must have a WaterMark product certification.
Stormwater: To AS/NZS 3500.3 _Plumbing and Drainage (Stormwater drainage).
Wastewater: To AS/NZS 3500.2 _Plumbing and Drainage (Sanitary plumbing and drainage).
Waterless composting toilets: To AS/NZS 1546.2 _On-site domestic wastewater treatment units (Waterless composting toilets).
On-site domestic wastewater treatment units: To AS 1546.3 _On-site domestic wastewater treatment units (Secondary treatment systems).
Septic systems: To AS/NZS 1546.1 _On-site domestic wastewater treatment units (Septic tanks).
Effluent disposal: To AS/NZS 1547 _On-site domestic wastewater management.
Freshwater: To AS/NZS 3500.1 _Plumbing and Drainage (Water services) and AS/NZS 3500.4 _Plumbing and Drainage (Heated water services).
Copper pipe: To AS 4809 _Copper pipe and fittings - Installation and commissioning.
Rainwater tanks installation: To AS/NZS 3500.1 _Polyethylene tanks: To AS/NZS 4766 _Rotationally moulded buried, partially buried and non-buried storage tanks for water and chemicals.
Gas: To AS/NZS 5601.1 _Gas installations (General installations).

Gutters & downpipes: To be in accordance with NCC 2022 (Volume 2) H2D6 _Roof

BUSHFIRE ATTACK LEVEL REQUIREMENTS BAL 12.5 AS PER AS3959 - 2009 & APPENDIX 3: PLANNING FOR BUSHFIRE PROTECTION 2010.

GENERAL:

5.1 – General

A building assessed in Section 2 as being BAL—12.5 shall comply with Section 3 and Clauses 5.2 to 5.8.

Any element of construction or system that satisfies the test criteria of AS 1530.8.1 may be used in lieu of the applicable requirements contained in Clauses 5.2 to 5.8 (see Clause 3.8).

NOTE: BAL—12.5 is primarily concerned with protection from ember attack and radiant heat up to and including 12.5 kW/m² where the site is less than 100 m from the source of bushfire attack.

SUB FLOOR:

5.2 – Subfloor supports

(NSW Variation – via PIBP Addendum 3)

This Standard does not provide construction requirements for subfloor supports where the subfloor space is enclosed with—

- a wall that complies with Clause 5.4, except that sarking is not required where specified in Clause 5.4.1(c); or
- a mesh or perforated sheet with a maximum aperture of 2 mm, made of corrosion-resistant steel, bronze or aluminium; or
- a combination of items (a) and (b) above.

Where the subfloor space is unenclosed, the support posts, columns, stumps, piers and poles shall be—

- of non-combustible material; or
- of bushfire-resisting timber (see Appendix F); or
- a combination of items (i) and (ii) above.

NOTE: This requirement applies to the principal building only and not to verandas, decks, steps, ramps and landings (see Clause 5.7).

C5.2 Ideally, storage of combustible materials beneath a floor at this BAL would not occur and, on this assumption, there is no requirement to enclose the subfloor space or to protect the subfloor supports, or the bearers, joists and flooring from bushfire attack; however, should combustible materials be stored, it is recommended the area be protected as materials stored in the subfloor space may be ignited by embers and cause an impact to the building.

FLOORS:

5.3.1 Concrete slabs on ground

This Standard does not provide construction requirements for concrete slabs on the ground.

5.3.2 Elevated floors

(NSW Variation – via PIBP Addendum 3)

5.3.2.1 Enclosed subfloor space

This Standard does not provide construction requirements for elevated floors, including bearers, joists and flooring, where the subfloor space is enclosed with—

- a wall that complies with Clause 5.4, except that sarking is not required where specified in Clause 5.4.1(c); or
- a mesh or perforated sheet with a maximum aperture of 2 mm, made of corrosion-resistant steel, bronze or aluminium; or
- a combination of items (a) and (b) above.

5.3.2.2 Unenclosed subfloor space

Where the subfloor space is unenclosed, the bearers, joists and flooring, less than 400 mm above finished ground level, shall be one of the following:

(a) Materials that comply with the following:

(i) Bearers and joists shall be—

(A) non-combustible; or

(B) bushfire-resisting timber (see Appendix F); or

(C) a combination of items (A) and (B) above.

(ii) Flooring shall be—

(A) non-combustible; or

(B) bushfire-resisting timber (see Appendix F); or

(C) timber (other than bushfire-resisting timber), particleboard or plywood flooring where the underside is lined with sarking-type material or mineral wool insulation; or

(D) a combination of any of items (A), (B) or (C) above or

(E) system complying with AS 1530.8.1

This Standard does not provide construction requirements for elements of elevated floors, including bearers, joists and flooring, if the underside of the element is 400 mm or more above finished ground level.

EXTERNAL WALLS:

5.4.1 Walls

The exposed components of an external wall that are less than 400 mm from the ground or less than 400 mm above decks, carport roofs, awnings and similar elements or fittings having an angle less than 18 degrees to the horizontal and extending more than 110 mm in width from the wall (see Figure D3, Appendix D) shall be:

Non-combustible material.

NOTE: Examples include, but are not limited to, the following (with a minimum of 90 mm in thickness):

(a) full masonry or masonry veneer walls with an outer leaf of clay, concrete, calcium silicate or natural stone.

(b) Precast or in situ walls of concrete or aerated concrete.

(c) Earth wall including mud brick.

or

(d) Timber logs of a species with a density of 680 kg/m³ or greater at a 12 percent moisture content; of a minimum nominal overall thickness of 90 mm and a minimum thickness of 70 mm (see Clause 3.11); and gauge planed or

(e) Cladding that is fixed externally to a timber-framed or a steel-framed wall and is—

non-combustible material; or

(ii) fibre-cement a minimum of 6 mm in thickness; or

(iii) bushfire-resisting timber (see Appendix F); or

(iv) a timber species as specified in Paragraph E1, Appendix E; or

(v) a combination of any of items (i), (ii), (iii) or (iv) above or

(f) A combination of any of items (a), (b) or (c) above.

This Standard does not provide construction requirements for the exposed components of an external wall that are 400 mm or more from the ground or 400 mm or more above decks, carport roofs, awnings and similar elements or fittings having an angle less than 18 degrees to the horizontal and extending more than 110 mm in width from the wall (see Figure D3, Appendix D).

5.4.2 Joists

All joints in the external surface material of walls shall be covered, sealed, overlapped, backed or butt-jointed to prevent gaps narrower than 3 mm.

5.4.3 Vents and weepholes

Vents and weepholes in external walls shall be screened with a mesh with a maximum aperture of 2 mm, made of corrosion-resistant steel, bronze or aluminium, except where the vents and weepholes have an aperture less than 3 mm (see Clause 3.6), or are located in an external wall of a subfloor space.

EXTERNAL GLAZED ELEMENTS AND

ASSEMBLIES AND EXTERNAL DOORS:

5.5.1 Bushfire shutters

Where fitted, bushfire shutters shall comply with Clause 3.7 and be made from—

(a) non-combustible material; or

(b) a timber species as specified in Paragraph E1, Appendix E; or

(c) bushfire-resisting timber (see Appendix F); or

(d) a combination of any of items (a), (b) or (c) above.

5.5.1A Screens for windows and doors

Where fitted, screens for windows and doors shall have a mesh or perforated sheet with a maximum aperture of 2 mm, made of corrosion-resistant steel, bronze or aluminium. Gaps between the perimeter of the screen assembly and the building element to which it is fitted shall not exceed 3 mm.

The frame supporting the mesh or perforated sheet shall be made from—

(a) metal; or

(b) bushfire-resisting timber (see Appendix F); or

(c) a timber species as specified in Paragraph E2, Appendix E.

5.5.2 Windows

Window assemblies shall comply with one of the following:

(a) They shall be completely protected by a bushfire shutter that complies with Clause 5.5.1 or

(b) They shall be completely protected externally by screens that comply with Clause 5.5.1A; or

(c) They shall comply with the following:

(i) For window assemblies less than 400 mm from the ground or less than 400 mm above decks, carport roofs, awnings and similar elements or fittings having an angle less than 18 degrees to the horizontal and extending more than 110 mm in width from the window frame (see Figure D3, Appendix D), window frames and window joinery shall be made from:

(A) Bushfire-resisting timber (see Appendix F); or

(B) A timber species as specified in Paragraph E2, Appendix E; or

(C) Metal; or

(D) Metal-reinforced PVC-U. The reinforcing members shall be made from aluminium, stainless steel, or corrosion-resistant steel and the frame and sash shall satisfy the design load, performance and structural strength of the member.

Externally fitted hardware that supports the sash in its functions of opening and closing shall be metal.

(iii) Where glazing is less than 400 mm from the ground or less than 400 mm above decks, carport roofs, awnings and similar elements or fittings having an angle less than 18 degrees to the horizontal and extending more than 110 mm in width from the window frame (see Figure D3, Appendix D), the glazing shall be Grade A safety glass minimum 4 mm, or glass blocks with no restriction on glazing methods.

NOTE: Where double glazed units are used the above requirements apply to the external face of the window assembly only.

(iv) Where glazing is other than that specified in item (iii) above, annealed glass may be used. The operable portions of windows shall be screened internally or externally with screens that comply with Clause 5.5.1A.

5.5.2.1

C5.5.2 Screening of operable portions of all BALs is required in all BALs to prevent the entry of embers to the building when the window is open. Screening of the operable and fixed portions of some windows is required in some BALs to reduce the effects of radiant heat on some types of glass.

If the screening is required to reduce the effects of radiant heat on the glass, the screening has to be external so that the glass in the operable portion of the window will be “protected” when it is shut. If the screening is required only to prevent the entry of embers, the screening may be fitted externally or internally.

5.5.2.2

C5.5.2 Screening of operable portions of all windows is required in all BALs to prevent the entry of embers to the building when the window is open. Screening of the operable and fixed portions of some windows is required in some BALs to reduce the effects of radiant heat on some types of glass.

If the screening is required to reduce the effects of radiant heat on the glass, the screening has to be external so that the glass in the operable portion of the window will be “protected” when it is shut. If the screening is required only to prevent the entry of embers, the screening may be fitted externally or internally.

5.5.3 Doors—Side-hung external doors

(including French doors, panel fold and bi-fold doors)

Side-hung external doors, including French doors, panel fold and bi-fold doors, shall comply with one of the following:

(a) Doors and door frames shall be protected by bushfire shutters that comply with Clause 5.5.1 or

(b) Doors and door frames shall be protected externally by screens that comply with Clause 5.5.1A or

(c) Doors and door frames shall comply with the following:

(i) Doors shall be

(A) non-combustible; or

(B) a solid timber, laminated timber or reconstituted timber door, having a minimum thickness of 35 mm for the first 400 mm above the threshold; or

(C) a door, including a hollow core door, protected externally by a screen that complies with Clause 5.5.1A; or

(D) a fully framed glazed door, where the framing is made from materials specified for bushfire shutters (see Clause 5.5.1), or from a timber species as specified in Paragraph E2, Appendix E.

(ii) Where doors incorporate glazing, the glazing shall comply with the glazing requirements for windows.

(iii) Doors shall be light-fitting to the door frame and to an abutting door, if applicable.

(iv) Where any part of the door frame is less than 400 mm from the ground or less than 400 mm above decks, carport roofs, awnings and similar elements or fittings having an angle less than 18 degrees to the horizontal and extending more than 110 mm in width from the door (see Figure D3, Appendix D), that part of the door frame shall be made from:

(A) Bushfire-resisting timber (see Appendix F) or

(B) A timber species as specified in Paragraph E2, Appendix E; or

(C) Metal; or

(D) Metal-reinforced PVC-U. The reinforcing members shall be made from aluminium, stainless steel, or corrosion-resistant steel and the door assembly shall satisfy the design load, performance and structural strength of the member.

(v) Weather strips, draught excluders or draught seals shall be installed at the base of side-hung external doors.

5.5.4 Doors—Sliding doors

Sliding doors shall comply with one of the following:

(a) They shall be completely protected by a bushfire shutter that complies with Clause 5.5.1 or

(b) They shall be completely protected externally by screens that comply with Clause 5.5.1A; or

(c) Any glazing incorporated in sliding doors shall be Grade A safety glass complying with AS 1288.

(ii) Both the door frame supporting the sliding door and the framing surrounding any glazing shall be made from:

(A) Bushfire-resisting timber (see Appendix F) or

(B) A timber species as specified in Paragraph E2, Appendix E; or

(C) Metal; or

(D) Metal-reinforced PVC-U. The reinforcing members shall be made from aluminium, stainless steel, or corrosion-resistant steel and the frame and the sash shall satisfy the design load, performance and structural strength of the member.

(iii) There is no requirement to screen the operable part of the sliding door. However, if screened, the screens shall comply with Clause 5.5.1A.

NOTE: The construction of manufactured sliding doors should prevent the entry of embers when the door is closed. There is no requirement to provide screens to the operable part of these doors as it is assumed that a sliding door will be closed if occupants are not present during a bushfire event. Screens of materials other than those specified may not resist ember attack.

(iv) Sliding doors shall be light-fitting in the frames.

5.5.5 Doors—Vehicle access doors (garage doors)

The following apply to vehicle access doors:

(a) The lower portion of a vehicle access door that is within 400 mm of the ground when the door is closed (see Figure D4, Appendix D) shall be made from—

(i) non-combustible material; or

(ii) bushfire-resisting timber (see Appendix F); or

(iii) fibre-cement sheet, a minimum of 6 mm in thickness; or

(iv) a timber species as specified in Paragraph E1, Appendix E; or

(v) a combination of any of items (i), (ii), (iii) or (iv) above.

(b) Panel lift, tilt doors or side-hung doors shall be fitted with suitable weather strips, draught excluders, draught seals or guide tracks, as appropriate to the door type, with a maximum gap no greater than 3 mm.

(c) Roller doors shall have guide tracks with a maximum gap no greater than 3 mm and shall be fitted with a nylon brush that is in contact with the door (see Figure D4, Appendix D).

(d) Vehicle access doors shall not include ventilation slots.

ROOFS (Including—penetrations, eaves,

fascias & gables and gutters & downpipes):

5.6.1 General

The following apply to all types of roofs and roofing systems:

(a) Roof tiles, roof sheets and roof-covering accessories shall be non-combustible.

(b) The fascia and roof junction shall be sealed, to prevent openings greater than 3 mm, either by the use of tobacco and eaves linings or by sealing between the top of the wall and the underside of the roof and between the rafters at the line of the wall.

(c) Roof ventilation openings, such as gable and roof vents, shall be fitted with ember guards made of non-combustible material or a mesh or perforated sheet with a maximum aperture of 2 mm, made of corrosion-resistant steel, bronze or aluminium.

5.6.2 Tiled roofs

Tiled roofs shall be fully sarked. The sarking shall—

(a) be located on top of the roof framing, except that the roof battens may be fixed above the sarking;

(b) cover the entire roof area including ridges and hips; and

(c) extend into gutters and valleys.

5.6.3 Sheet roofs

Sheet roofs shall—

(a) be fully sarked in accordance with Clause 5.6.2, except that foil-backed insulation blankets may be installed over the battens; and

(b) have any gaps greater than 3 mm (such as under corrugations or ribs of sheet roofing and between roof components) sealed at the fascia or wall line and at valleys, hips and ridges by—

(i) a mesh or perforated sheet with a maximum aperture of 2 mm, made of corrosion-resistant steel, bronze or aluminium; or

(ii) mineral wool; or

(iii) other non-combustible material; or

(iv) a combination of any of items (i), (ii) or (iii) above.

5.6.3.1

C5.6.3 Sarking is used as a secondary form of ember protection for the roof space to account for minor gaps that may develop in sheet roofing

5.6.3.2

C5.6.3 Sarking is used as a secondary form of ember protection for the roof space to account for minor gaps that may develop in sheet roofing

5.6.4 Veranda, carport and awning roofs

The following apply to veranda, carport and awning roofs:

(a) A veranda, carport or awning roof forming part of the main roof space (see Figure D1(a), Appendix D) shall meet all the requirements for the main roof, as specified in Clauses 5.6.1, 5.6.2, 5.6.3, 5.6.5 and 5.6.6.

(b) A veranda, carport or awning roof separated from the main roof space by an external wall (see Figures D1(b) and D1(c), Appendix D) complying with Clause 5.4 shall have a non-combustible roof covering

NOTE: There is no requirement to line the underside of a veranda, carport or awning roof that is separated from the main roof space.

5.6.5 Roof penetrations

The following apply to roof penetrations:

(a) Roof penetrations, including roof lights, roof ventilators, roof-mounted evaporative cooling units, aenals, vent pipes and supports for solar collectors, shall be adequately sealed at the roof to prevent gaps greater than 3 mm. The material used to seal the penetration shall be non-combustible.

(b) Openings in vented roof lights, roof ventilators or vent pipes shall be fitted with ember guards made from a mesh or perforated sheet with a maximum aperture of 2 mm, made of corrosion-resistant steel, bronze or aluminium.

This requirement does not apply to the exhaust flues of heating or cooking devices with closed combustion chambers.

In the case of gas appliance flues, ember guards shall not be fitted.

NOTE: Gasifiers are required to provide a metal flue pipe above the roof and terminate with a certified gas flow coil complying with AS4566. Advice may be obtained from State gas technical regulators.

(c) All overhead glazing shall be Grade A safety glass complying with AS 1288.

(d) Glazed elements in roof lights and skylights may be of polymer provided a Grade A safety glass diffuser, complying with AS 1288, is installed under the glazing. Where glazing is an insulating glazing unit (IGU), Grade A toughened safety glass minimum 4 mm thickness, shall be used in the outer pane of the IGU.

(e) Flashing elements of tubular skylights may be of a fire-retardant material, provided the roof integrity is maintained by an under-flashing of a material having a flammability index no greater than 5.

(f) Evaporative cooling units shall be fitted with non-combustible butterfly closers as close as practicable to the roof level or the unit shall be fitted with non-combustible covers with a mesh or perforated sheet with a maximum aperture of 2 mm, made of corrosion-resistant steel, bronze or aluminium.

(g) Vent pipes made from PVC are permitted.

5.6.6 Eaves linings, fascias and gables

The following apply to eaves linings, fascias and gables:

(a) Gables shall comply with Clause 5.4.

(b) Eaves penetrations shall be protected the same as for roof penetrations, as specified in Clause 5.6.5.

(c) Eaves ventilation openings greater than 3 mm shall be fitted with ember guards made of non-combustible material or a mesh or perforated sheet with a maximum aperture of 2 mm, made of corrosion-resistant steel, bronze or aluminium.

(d) Joints in eaves linings, fascias and gables may be sealed with plastic joining strips or timber storm moulds.

This Standard does not provide construction requirements for fascias, bargeboards and eaves linings.

5.6.7 Gutters and downpipes

This Standard does not provide material requirements for—

(a) gutters, with the exception of box gutters; and

(b) downpipes.

If installed, gutter and valley leaf guards shall be non-combustible.

Box gutters shall be non-combustible and flashed at the junction with the roof with non-combustible material.

(NSW Variation – via PIBP)

Gutter and valley guards are required by PIBP

VERANDAS, DECKS, STEPS AND LANDINGS:

5.7.1 General

Decking may be sarked.

There is no requirement to enclose the subfloor spaces of verandas, decks, steps, ramps or landings.

C5.7.1 Spaced decking is nominally spaced at 3 mm (in accordance with standard industry practice); however, due to the nature of timber decking with seasonal changes in moisture content, that spacing may range from 0–5 mm during service. The preferred dimension for gaps is 3 mm (which is in line with other ‘permissible gaps’) in other parts of this Standard. It should be noted that recent research studies have shown that gaps at 5 mm spacing afford opportunity for embers to become lodged in between timbers, which may contribute to a fire. Larger gap spacings of 10 mm may preclude this from happening but such a spacing regime may not be practical for a timber deck.

5.7.2 Enclosed subfloor spaces of verandas, decks, steps, ramps and landings

(NSW Variation – via PIBP Addendum 3)

5.7.2.1 Materials to enclose a subfloor space

The subfloor spaces of verandas, decks, steps, ramps and landings are deemed to be ‘enclosed’ when—

(a) the material used to enclose the subfloor space complies with Clause 5.4, except that sarking is not required where specified in Clause 7.4.1(c); and

(b) all openings greater than 3 mm are screened with a mesh or perforated sheet with a maximum aperture of 2 mm, made of corrosion-resistant steel, bronze or aluminium.

5.7.2.2 Supports

This Standard does not provide construction requirements for support posts, columns, stumps, stringers, piers and poles.

5.7.2.3 Framing

This Standard does not provide construction requirements for the framing of verandas, decks, ramps or landings (i.e., bearers and joists).

5.7.2.4 Decking, stair treads and the trafficable surfaces of ramps and landings

(NSW Variation – via PIBP Addendum 3)

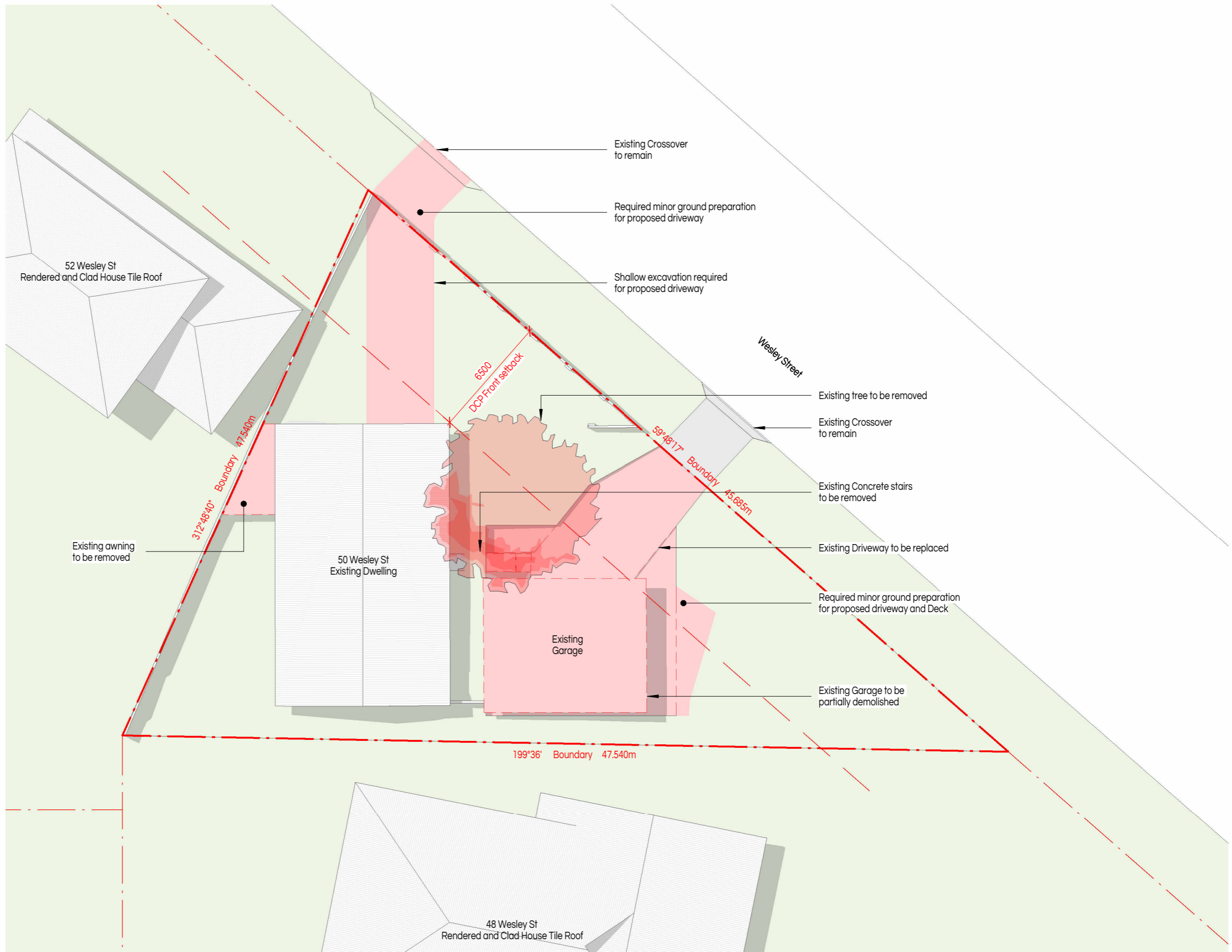
Decking, stair treads and the trafficable surfaces of ramps and landings shall be—

(a) of non-combustible material; or

(b) of bushfire-resisting timber (see Appendix F); or

(c) a combination of items (a) and (b) above.

(d) 5.7.3 Unenclosed subfloor spaces of verandas, decks, steps, ramps and landings



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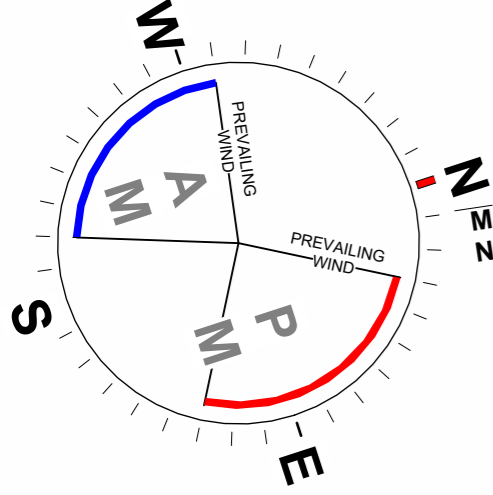
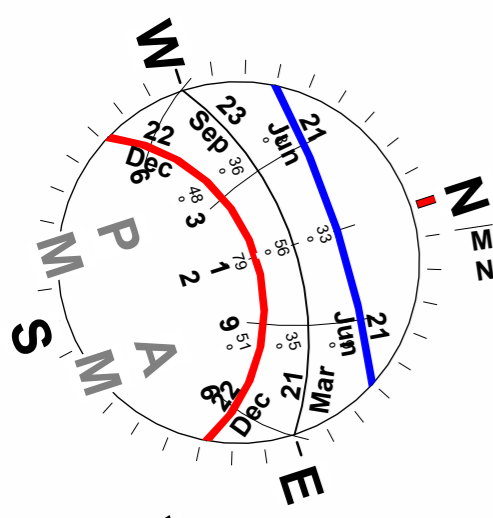
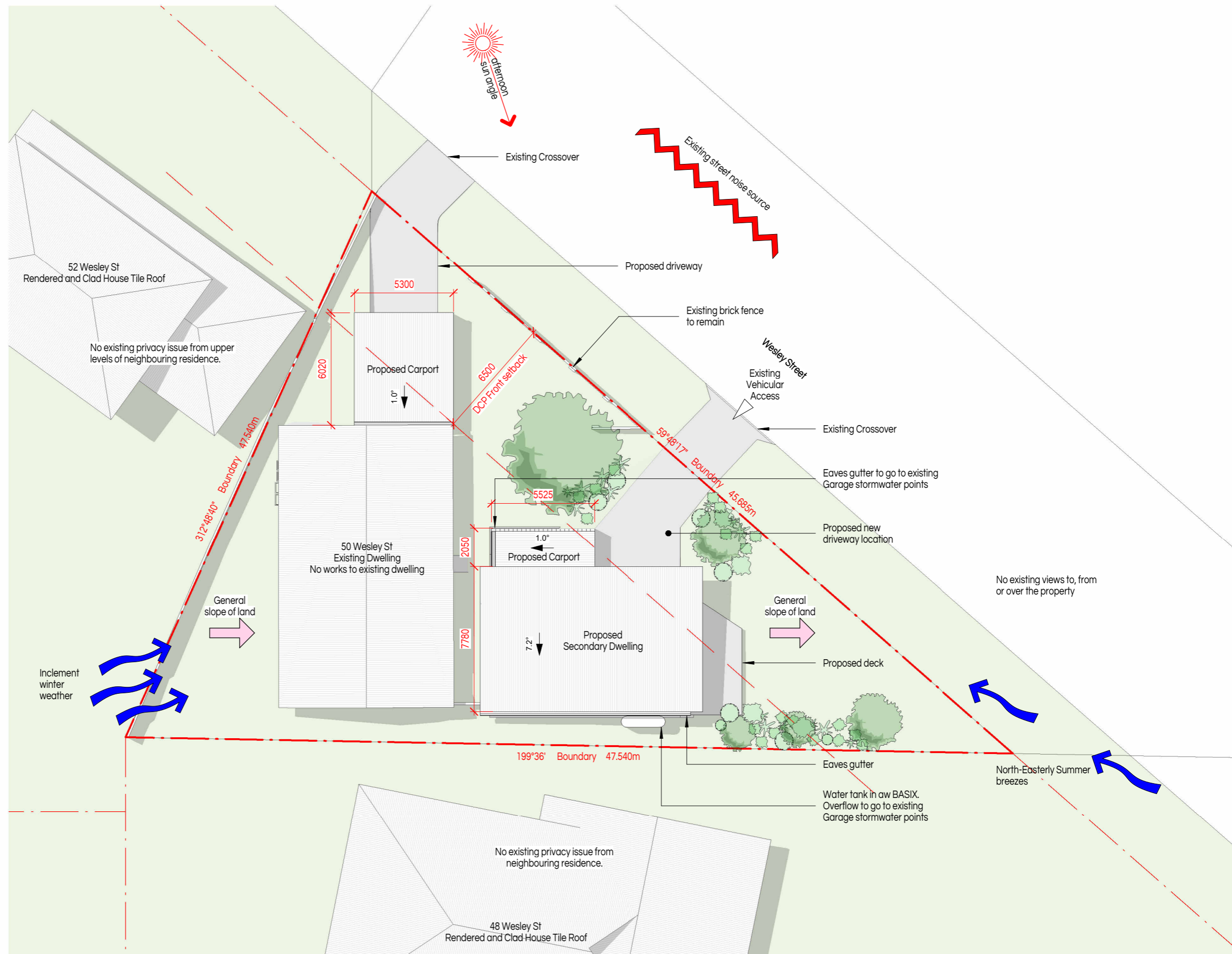
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Issue for DA

No.	Description	Date
A	Issue for DA	18/10/2024
B	Revised issue for DA	15/11/2024

Project	Proposed Secondary Dwelling and Carport
Location	50 Wesley St, Elanora Heights
Client	Lachlan and Zoe Isles
Drawing	Site Layout - Existing & Demolition

Scale @ A3	1 : 200	Drawn by	BS	Checked by	BS
Project Issue Date	20/06/2024	Sheet Issue Date	15/11/2024		
Project number	1271	Drawing #	D011	Revision	B



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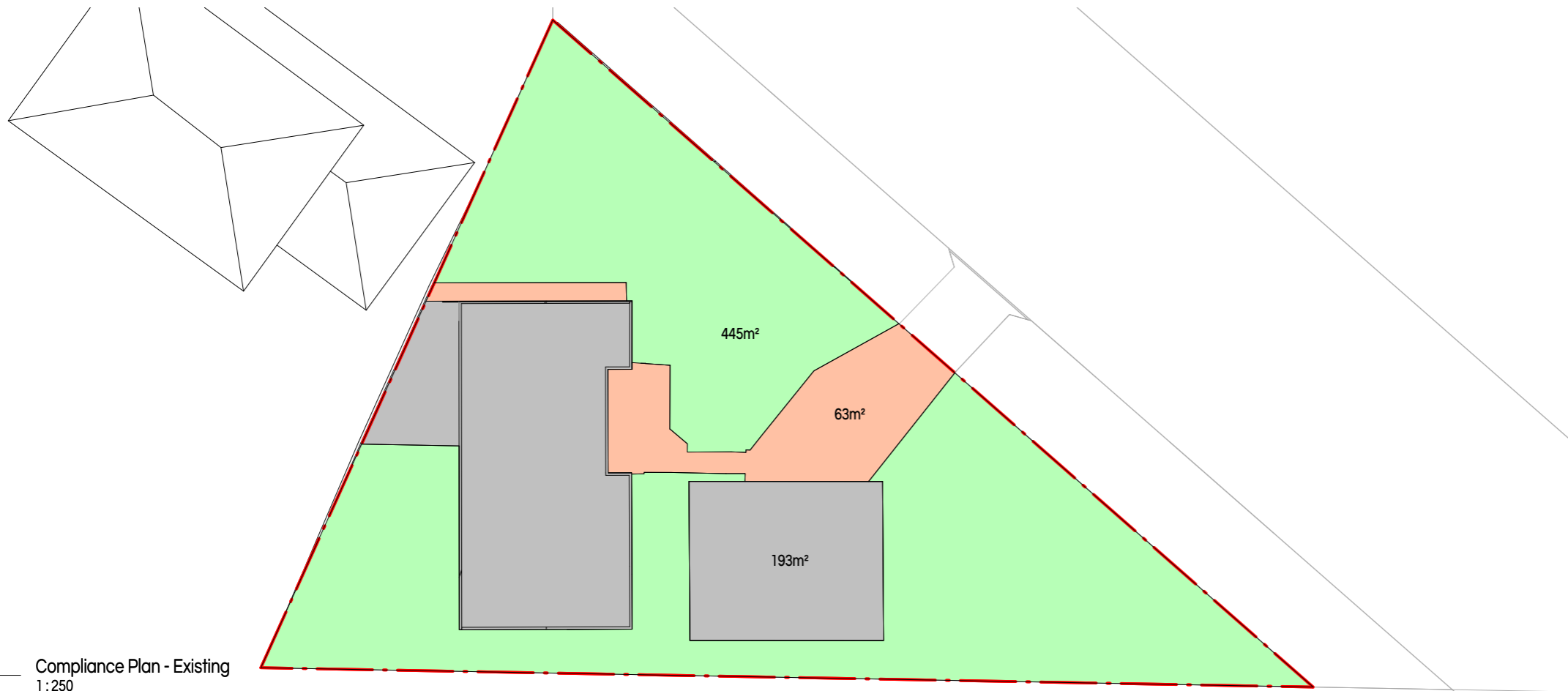
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Issue for DA

No.	Description	Date
A	Issue for DA	18/10/2024
B	Revised issue for DA	15/11/2024

Project	Proposed Secondary Dwelling and Carport
Location	50 Wesley St, Elanora Heights
Client	Lachlan and Zoe Isles
Drawing	Site Layout & Site Analysis - Proposed

Scale @ A3	As indicated	Drawn by	BS	Checked by	BS
Project Issue Date	20/06/2024	Sheet Issue Date	15/11/2024		
Project number	1271	Drawing #	D012	Revision	B



1 Compliance Plan - Existing
1:250



2 Compliance Plan - Proposed
1:250

Legend	Existing	Proposed	Revised
Soft Landscaping	445 m ² = 63%	377 m ² = 54%	
Impervious Landscaping	63 m ² = 9%	94 m ² = 13%	
Site Coverage	193 m ² = 28%	230 m ² = 33%	
Site Area	701 m ²	701 m ²	
Private open space		104 m ²	8
Impervious area for outdoor recreation		42 m ² = 6%	
Pittwater DCP - Total landscaped area shall be 60% (420 m ²)		54%	5
		6%	6
		60% = Total	6

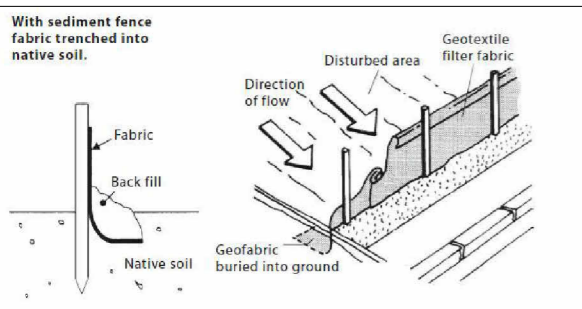
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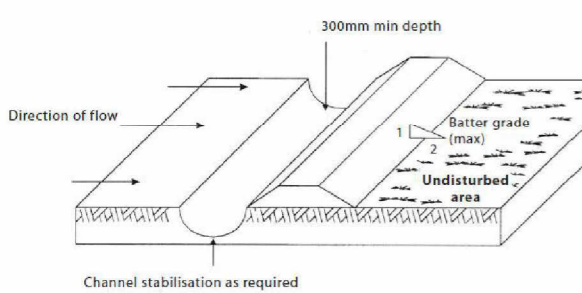
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	Project Proposed Secondary Dwelling and Carport Location 50 Wesley St, Elanora Heights Client Lachlan and Zoe Isles Drawing Compliance Plan		

Scale @ A3	Drawn by	Checked by
As indicated	BS	BS
Project Issue Date	Sheet Issue Date	
20/06/2024	15/11/2024	
Project number	Drawing #	Revision
1271	D050	B

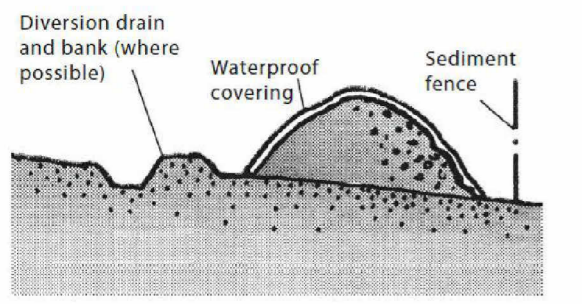
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As indicated	BS	BS
Project Issue Date	Sheet Issue Date	
20/06/2024	15/11/2024	
Project number	Drawing #	Revision
1271	D050	B



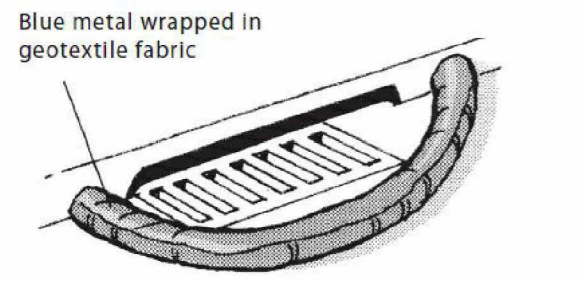
Detail 1 - Sediment Control Fence



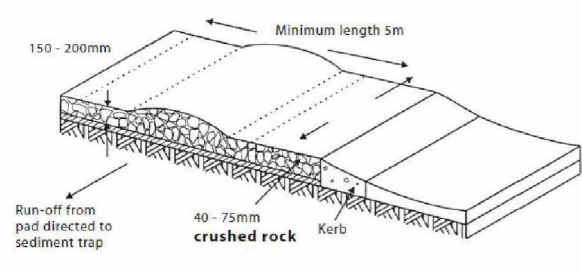
Detail 3 - Diversion Drain



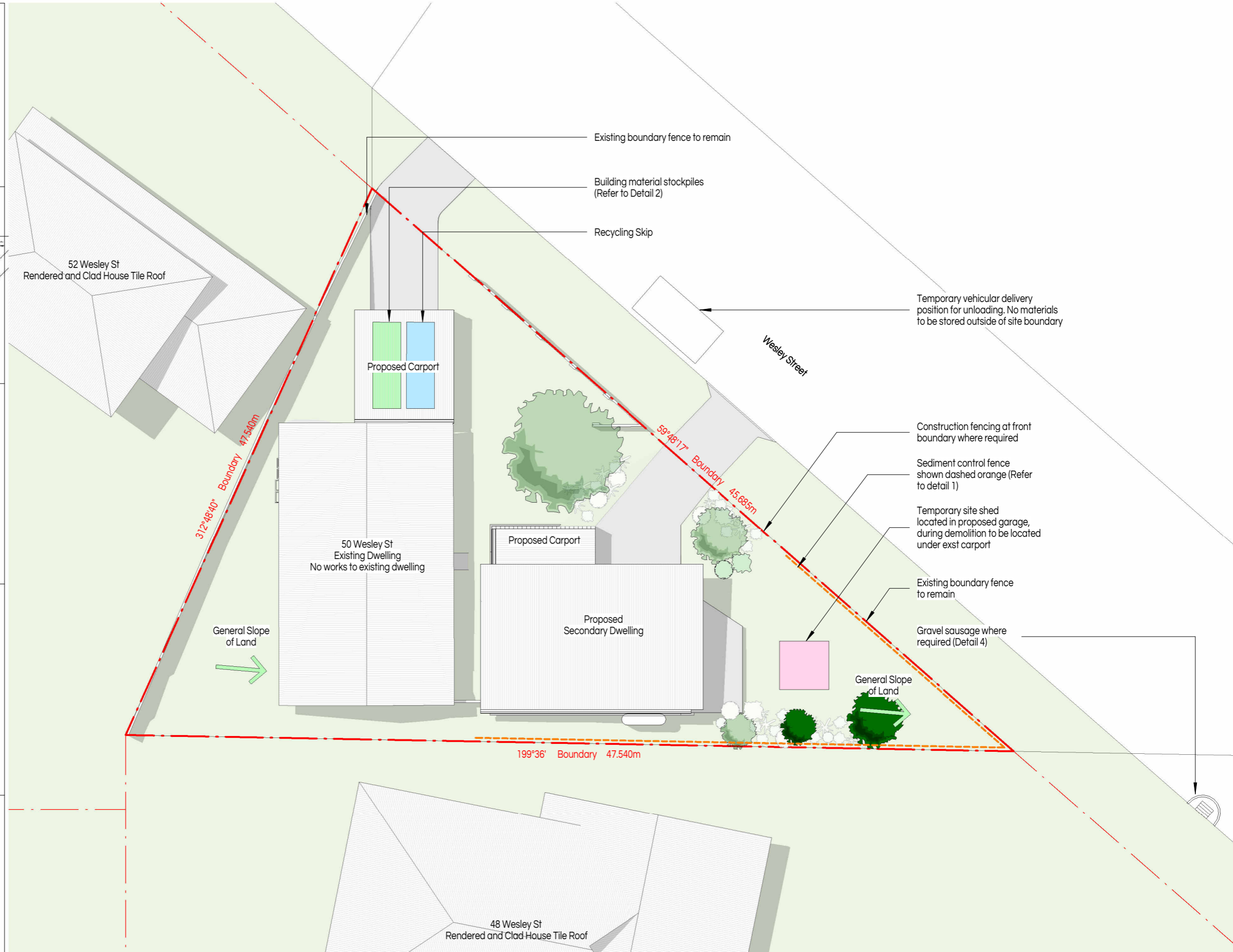
Detail 2 - Building Material Stockpiles



Detail 4 - Gravel Sausage to be used if there is any evidence of untreated runoff entering nearby stormwater inlets during construction



Detail 5 - Stabilised Channel



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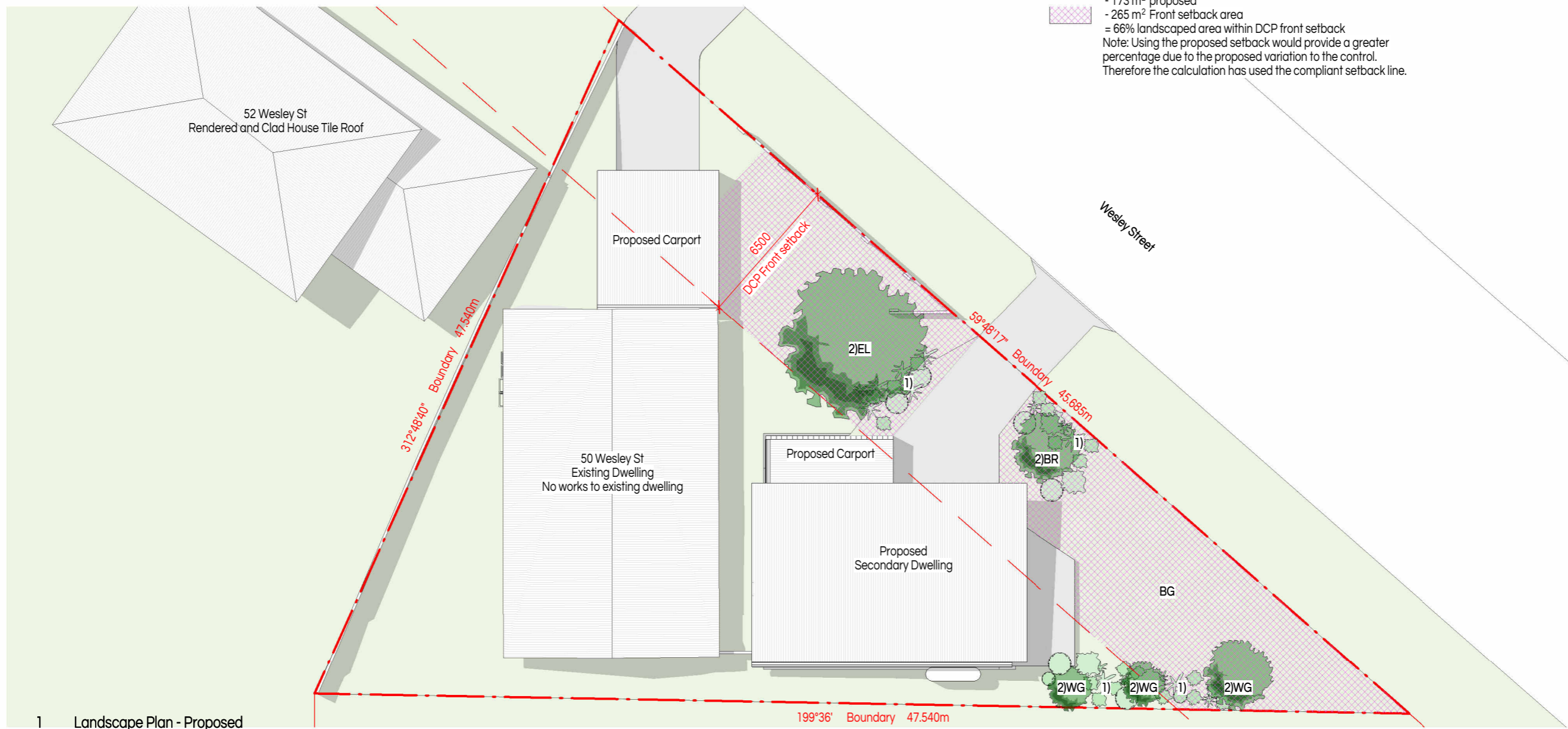
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 Issue for DA

No.	Description	Date
A	Issue for DA	18/10/2024
B	Revised issue for DA	15/11/2024

Project	Proposed Secondary Dwelling and Carport	
Location	50 Wesley St, Elanora Heights	
Client	Lachlan and Zoe Isles	
Drawing	Erosion, Sediment, Stormwater Control & Waste Management Plan	

Scale @ A3	1 : 200	Drawn by	BS	Checked by	BS
Project Issue Date	20/06/2024	Sheet Issue Date	15/11/2024		
Project number	1271	Drawing #	D060	Revision	B

Pitwater Council DCP C1.7 - Landscaping within front setback
 - 173 m² proposed
 - 265 m² Front setback area
 = 66% landscaped area within DCP front setback
 Note: Using the proposed setback would provide a greater percentage due to the proposed variation to the control. Therefore the calculation has used the compliant setback line.



1 Landscape Plan - Proposed
1:200

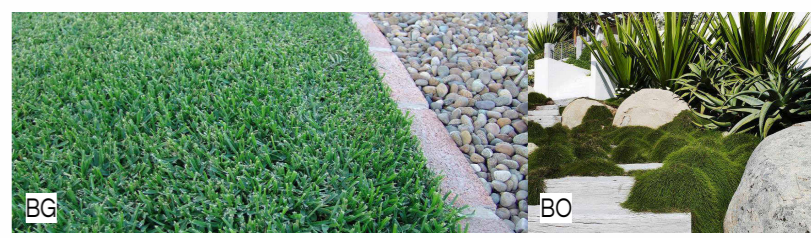
Proposed Species List & application.
 Where suitable Australian plant species in a/w Native Plant Species Guide - Narrabeen Ward are to be utilised.

Notes:
 All planted areas to be mulched with 100mm layer of leaf litter.
 Trees above 300mm to be staked for 12 month establishment period.
 Drip irrigation system to be installed connected to water storage tank.

- 1) Shrubs:**
 CA Carissa Desert Star
 CO Correa nummulariifolia
 FF Actinotus Helianthi (Flannel Flower)
 RO Rosmarinus officinalis (Rosemary)
 XA Xanthorrhoea spp. (Grass Tree)

- 2) Trees:**
 BR Banksia robur (Swamp Banksia)
 EL Eucalyptus lansdowneana
 WG Tristaniopsis Laurina (Water Gum)

- 3) Lawn:**
 BG Buffalo Grass
 BO Natural Boulders



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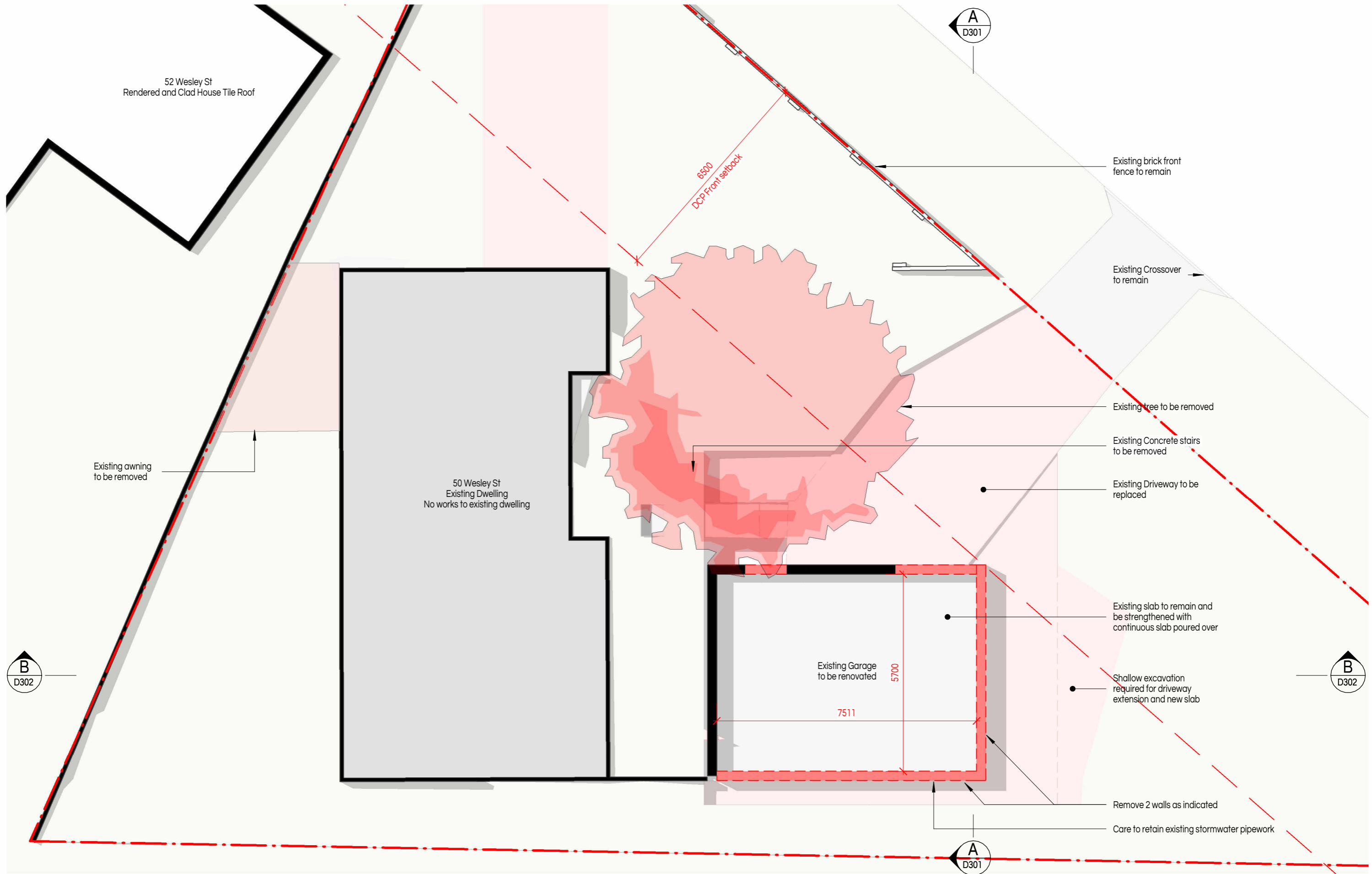
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 Issue for DA

No.	Description	Date
A	Issue for DA	18/10/2024
B	Revised issue for DA	15/11/2024

Project	Proposed Secondary Dwelling and Carport
Location	50 Wesley St, Elanora Heights
Client	Lachlan and Zoe Isles
Drawing	Landscape Plan

Scale @ A3	As indicated	Drawn by	BS	Checked by	BS
Project Issue Date	20/06/2024	Sheet Issue Date	15/11/2024		
Project number	1271	Drawing #	D070	Revision	B



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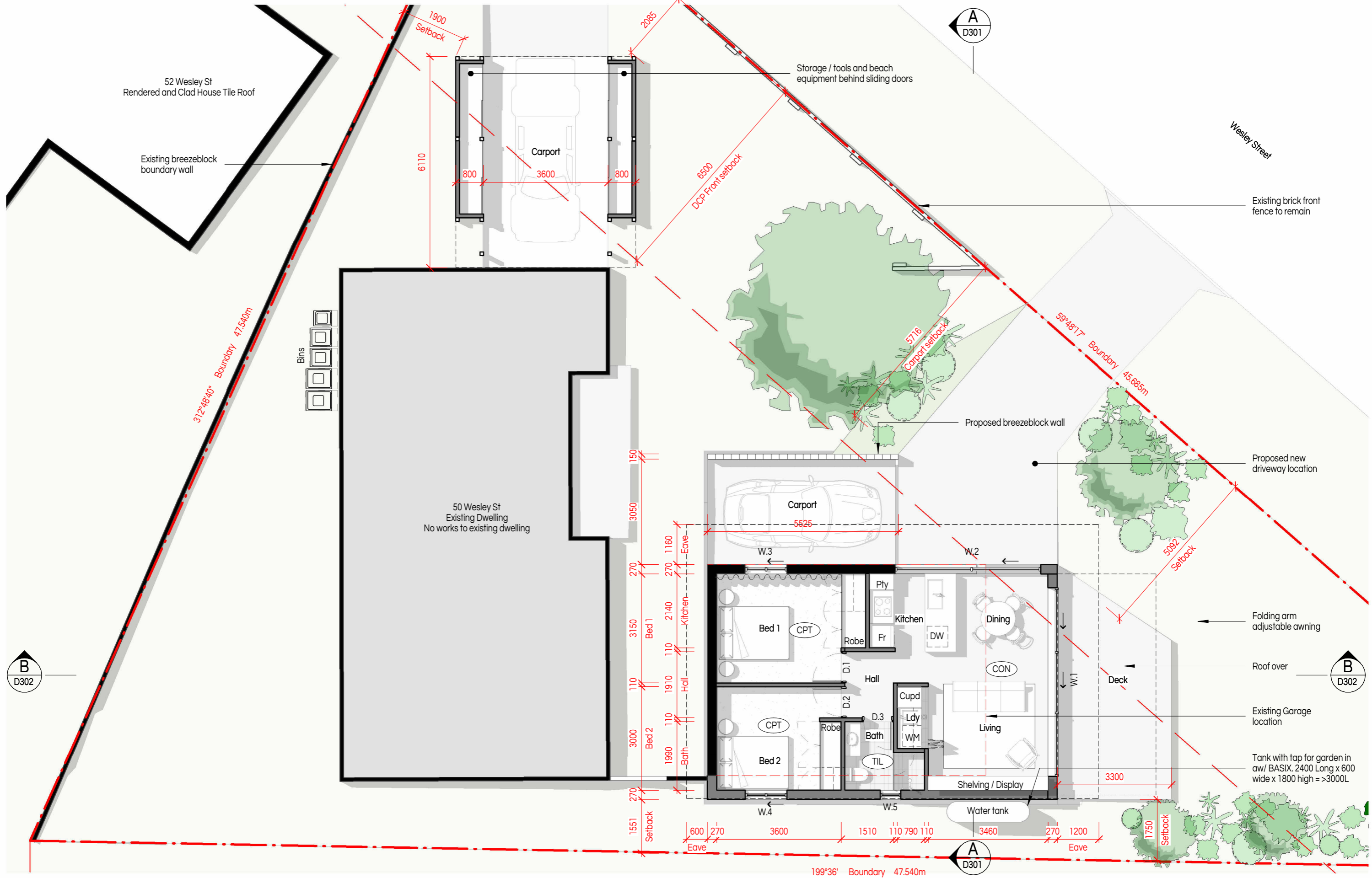
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Issue for DA

No.	Description	Date
A	Issue for DA	18/10/2024
B	Revised issue for DA	15/11/2024

Project	Proposed Secondary Dwelling and Carport
Location	50 Wesley St, Elanora Heights
Client	Lachlan and Zoe Isles
Drawing	Ground Floor Plan - Existing & Demolition

Scale @ A3	1 : 100	Drawn by	BS	Checked by	BS
Project Issue Date	20/06/2024	Sheet Issue Date	15/11/2024		
Project number	1271	Drawing #	D101	Revision	B



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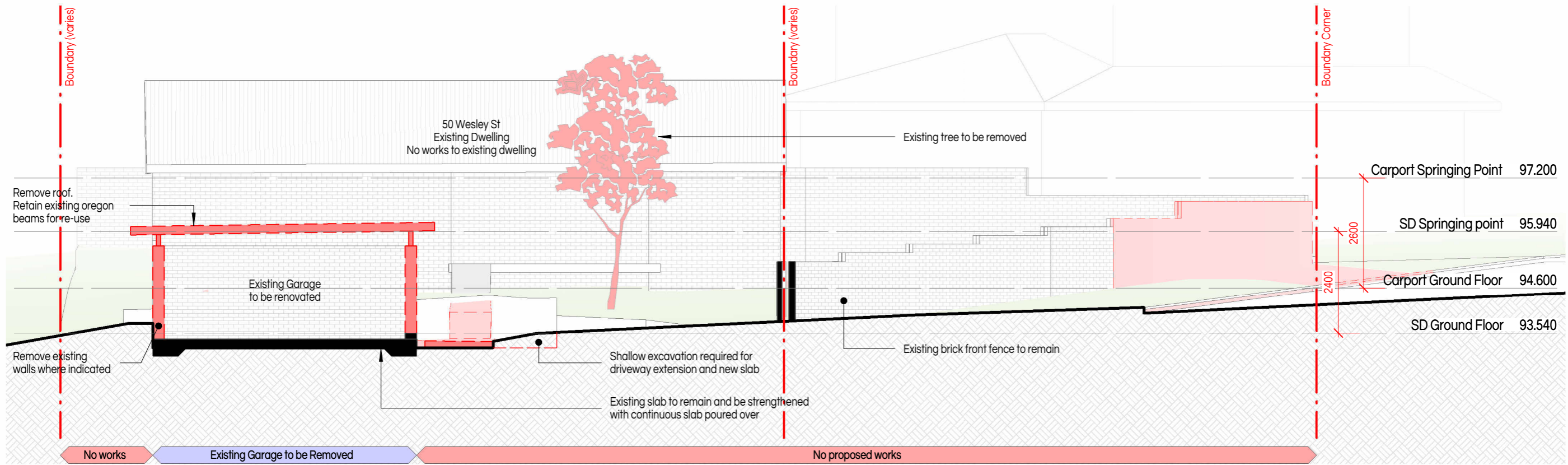
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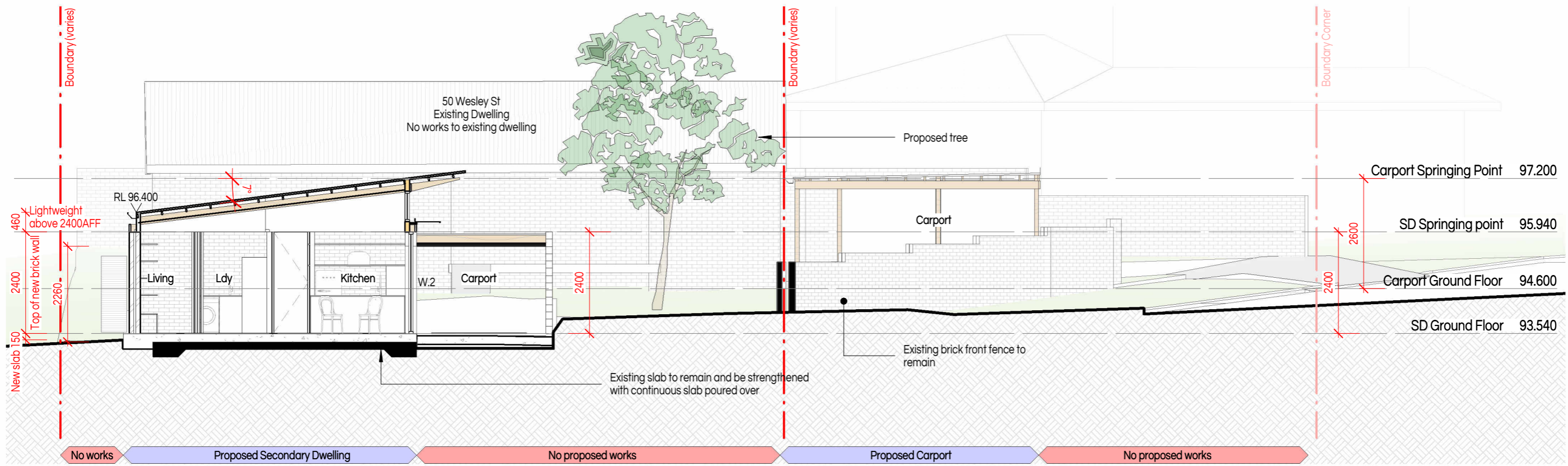
No.	Description	Date
A	Issue for DA	18/10/2024
B	Revised issue for DA	15/11/2024

Project	Proposed Secondary Dwelling and Carport
Location	50 Wesley St, Elanora Heights
Client	Lachlan and Zoe Isles
Drawing	Ground Floor Plan - Proposed

Scale @ A3	1 : 100	Drawn by	BS	Checked by	BS
Project Issue Date	20/06/2024	Sheet Issue Date	15/11/2024		
Project number	1271	Drawing #	D102	Revision	B



A1 Section A - Existing
1:100



A Section A - Proposed
1:100

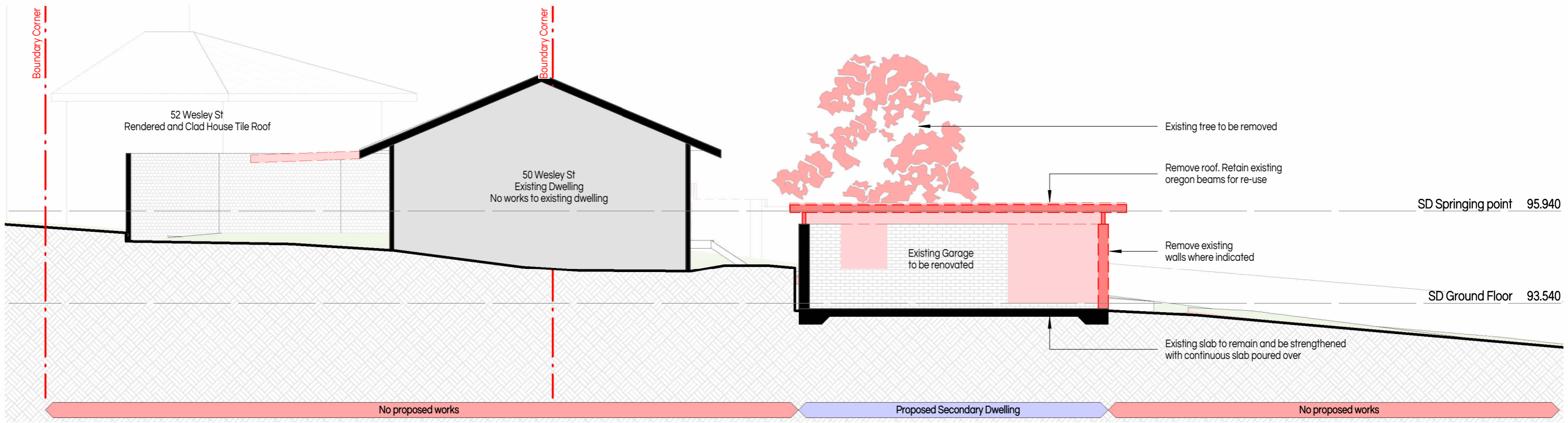
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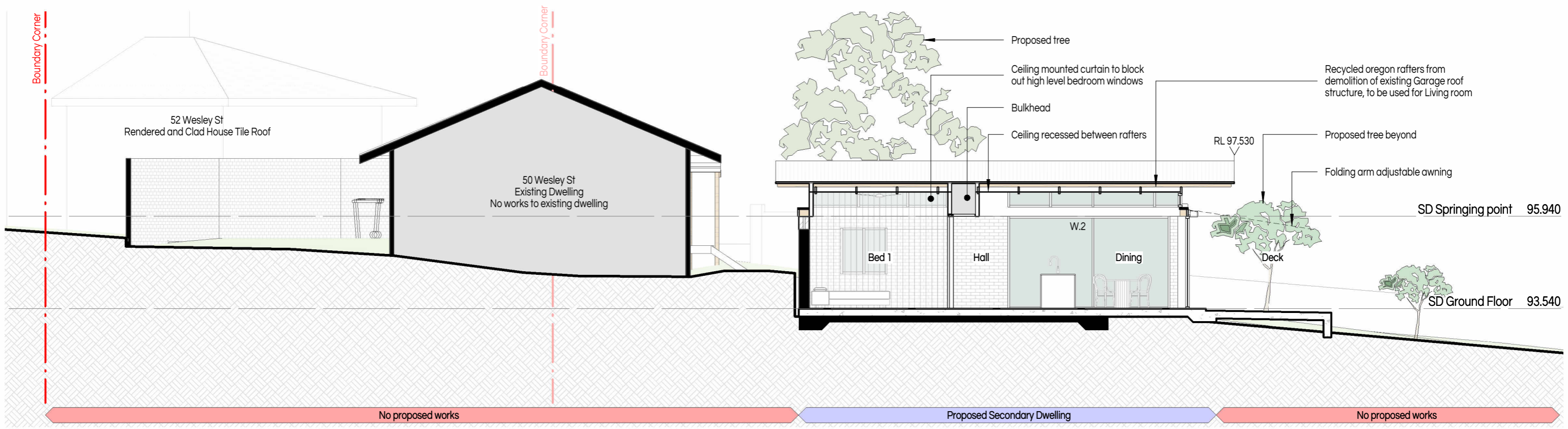
No.	Description	Date
A	Issue for DA	18/10/2024
B	Revised issue for DA	15/11/2024

Project Proposed Secondary Dwelling and Carport	
Location 50 Wesley St, Elanora Heights	
Client Lachlan and Zoe Isles	
Drawing Sections	

Scale @ A3 1:100	Drawn by BS	Checked by BS
Project Issue Date 20/06/2024	Sheet Issue Date 15/11/2024	
Project number 1271	Drawing # D301	Revision B



B1 Section B - Existing
1:100



B Section B - Proposed
1:100

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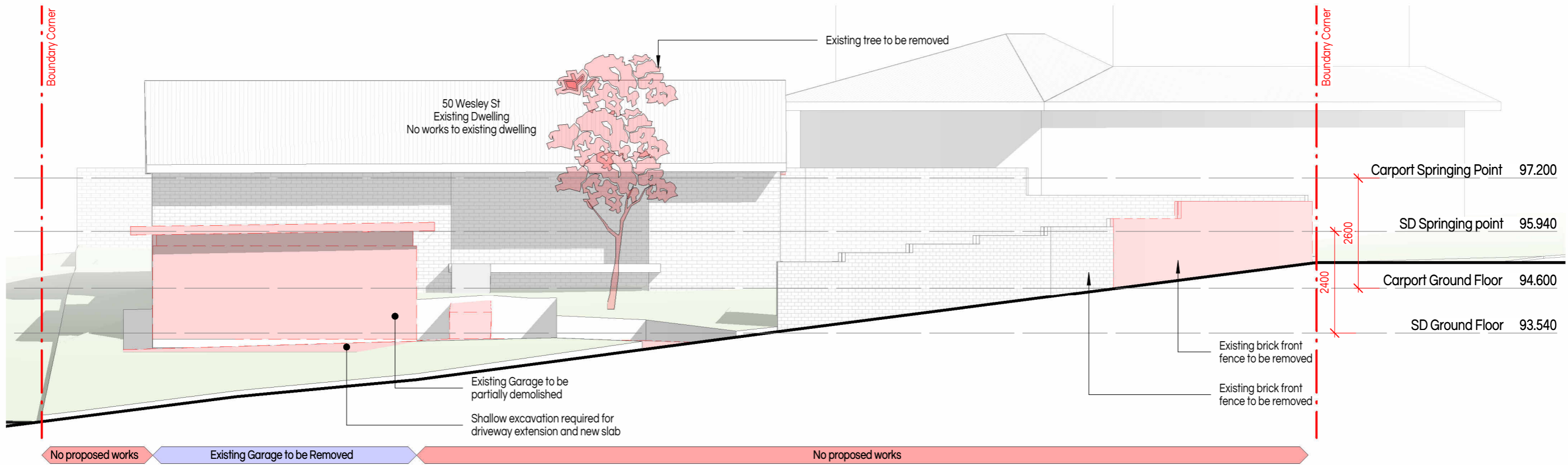
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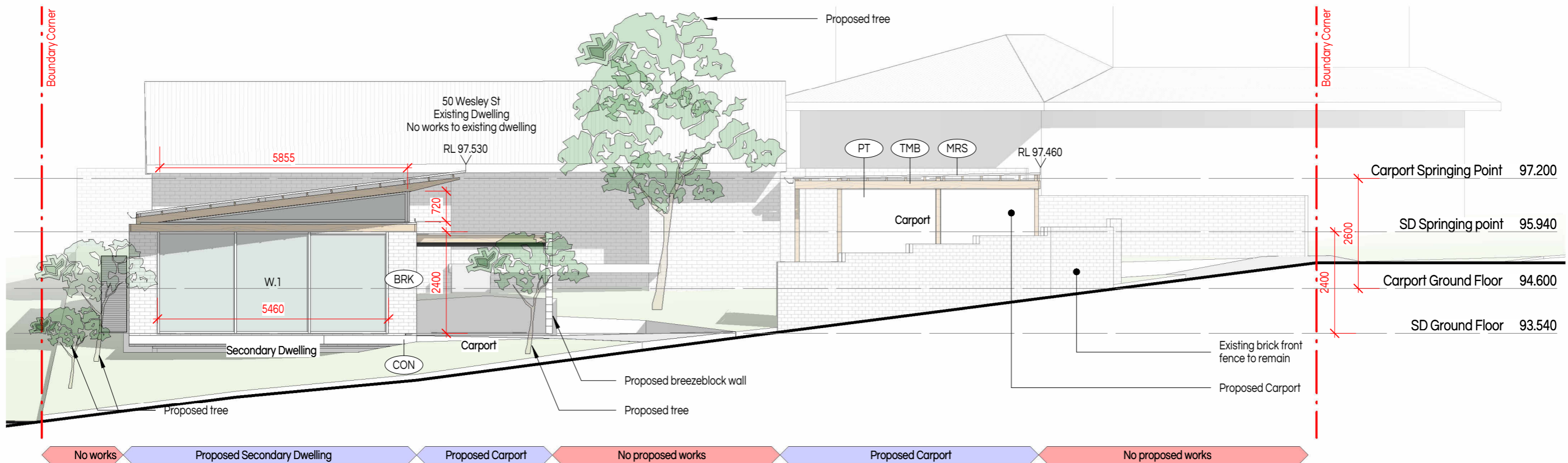
No.	Description	Date
A	Issue for DA	18/10/2024
B	Revised issue for DA	15/11/2024

Project Proposed Secondary Dwelling and Carport
Location 50 Wesley St, Elanora Heights
Client Lachlan and Zoe Isles
Drawing Sections

Scale @ A3 1:100	Drawn by BS	Checked by BS
Project Issue Date 20/06/2024	Sheet Issue Date 15/11/2024	
Project number 1271	Drawing # D302	Revision B



2 Elevation - Existing North
1:100



1 Elevation - Proposed North
1:100

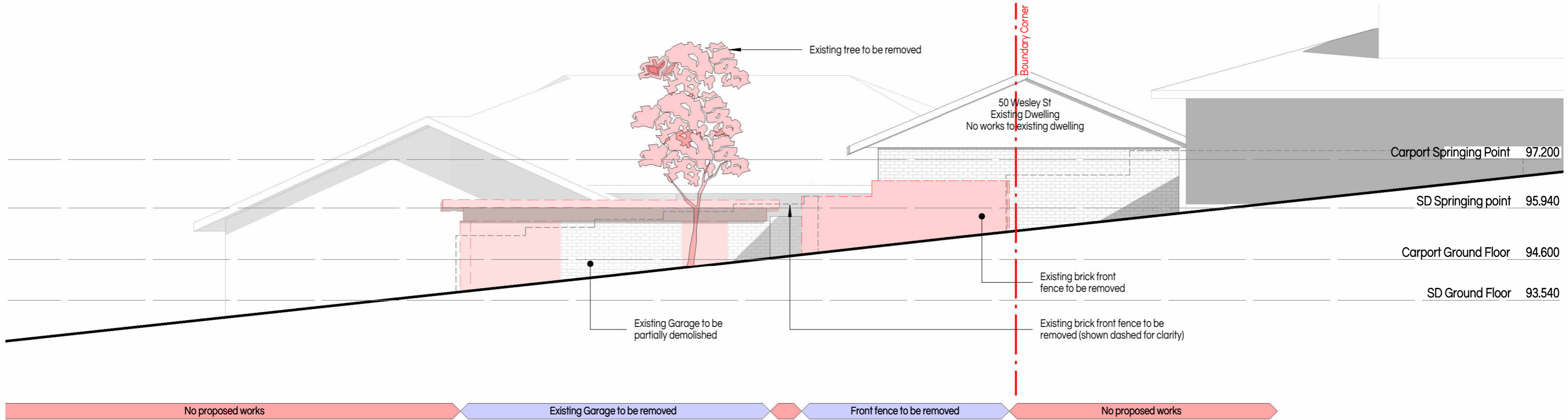
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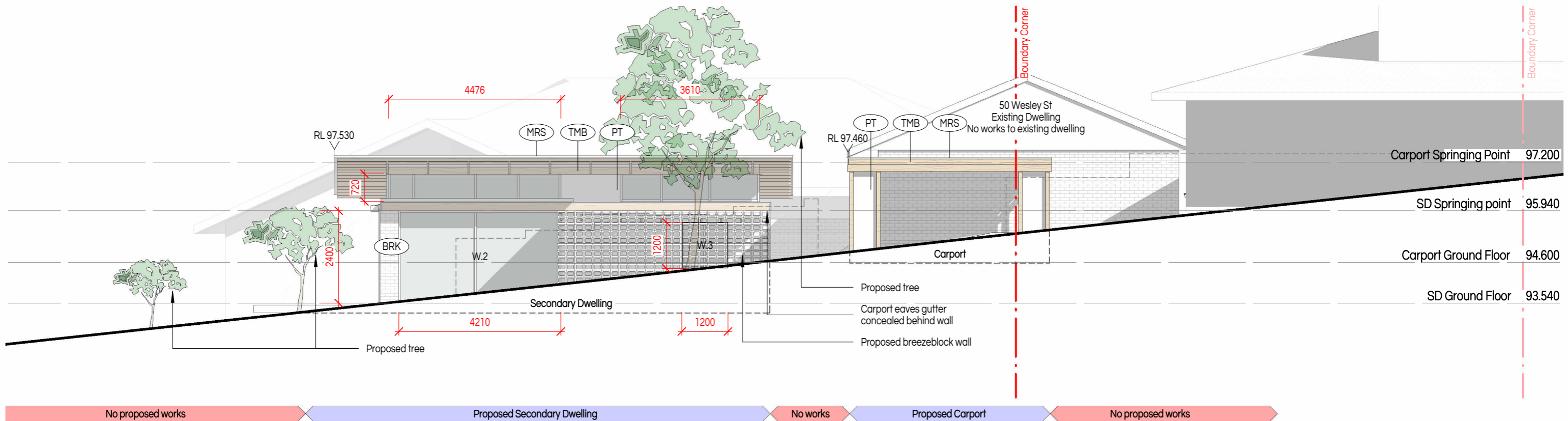
No.	Description	Date
A	Issue for DA	18/10/2024
B	Revised issue for DA	15/11/2024

Project Proposed Secondary Dwelling and Carport
Location 50 Wesley St, Elanora Heights
Client Lachlan and Zoe Isles
Drawing North Elevations

Scale @ A3 1:100	Drawn by BS	Checked by BS
Project Issue Date 20/06/2024	Sheet Issue Date 15/11/2024	
Project number 1271	Drawing # D401	Revision B



1 West Elevation - Existing
1:100



2 West Elevation - Proposed
1:100

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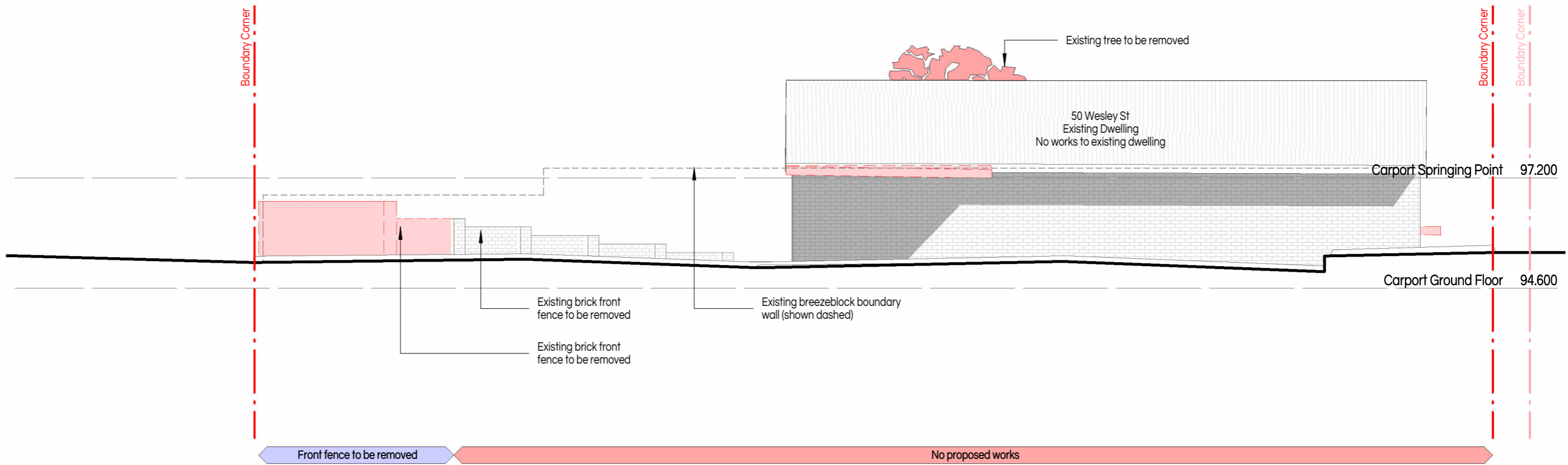
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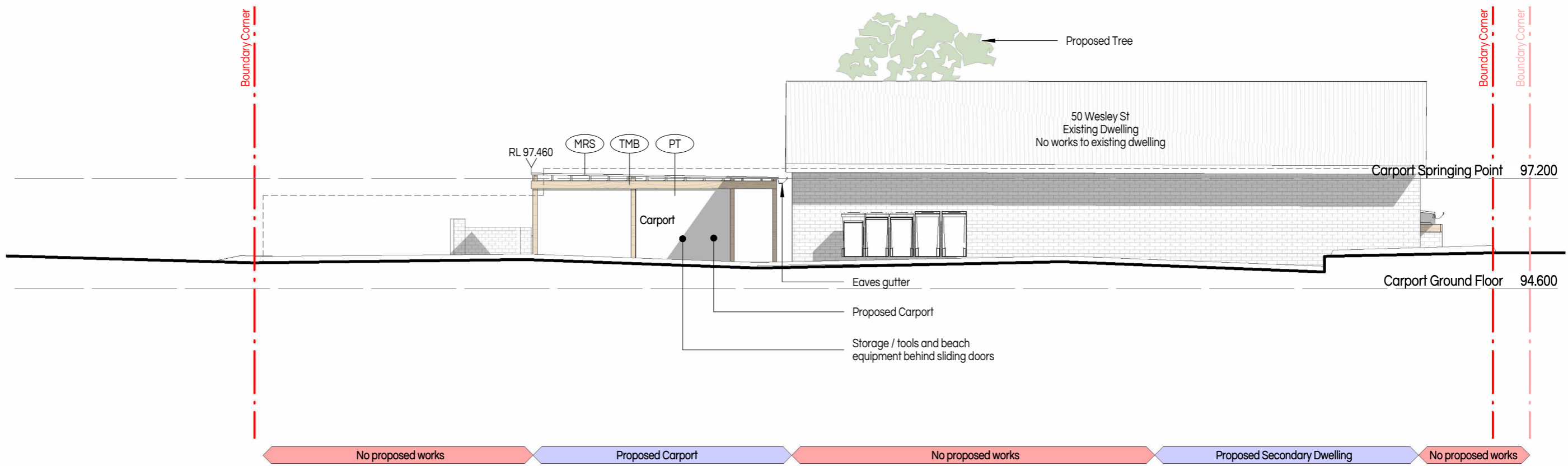
No.	Description	Date
A	Issue for DA	18/10/2024
B	Revised issue for DA	15/11/2024

Project Proposed Secondary Dwelling and Carport	
Location 50 Wesley St, Elanora Heights	
Client Lachlan and Zoe Isles	
Drawing West Elevations	

Scale @ A3 1:100	Drawn by BS	Checked by BS
Project Issue Date 20/06/2024	Sheet Issue Date 15/11/2024	
Project number 1271	Drawing # D402	Revision B



1 South Elevation - Existing
D403 1:100



2 South Elevation - Proposed
1:100

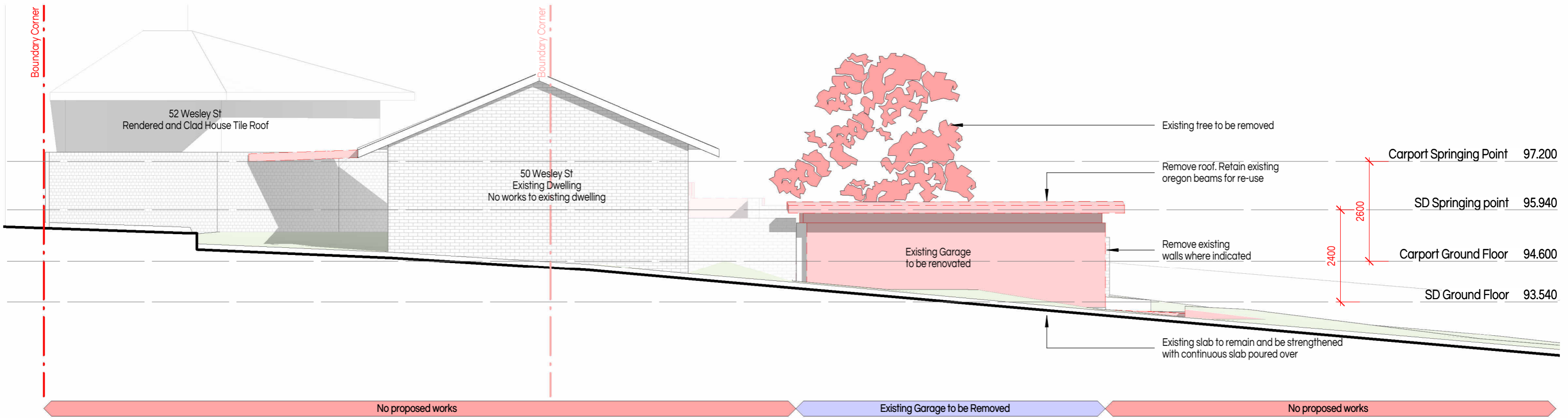
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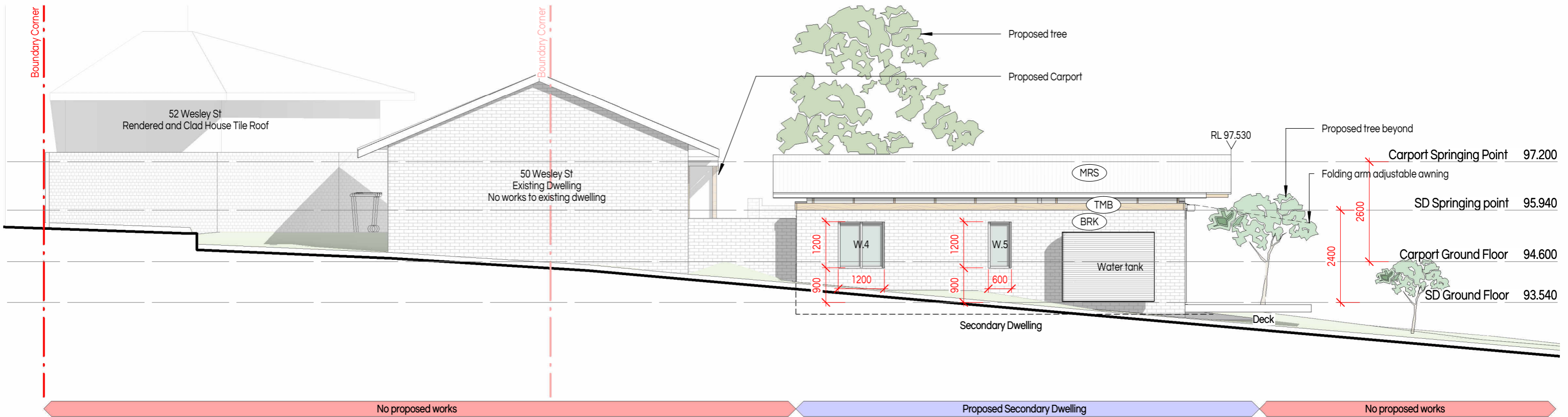
No.	Description	Date
A	Issue for DA	18/10/2024
B	Revised issue for DA	15/11/2024

<p>Project Proposed Secondary Dwelling and Carport</p> <p>Location 50 Wesley St, Elanora Heights</p> <p>Client Lachlan and Zoe Isles</p> <p>Drawing South Elevations</p>

<p>Scale @ A3 1:100</p> <p>Project Issue Date 20/06/2024</p> <p>Project number 1271</p>	<p>Drawn by BS</p> <p>Sheet Issue Date 15/11/2024</p> <p>Drawing # D403</p>	<p>Checked by BS</p> <p>Revision B</p>
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1 Elevation - Existing East
1:100



2 Elevation - Proposed East
1:100

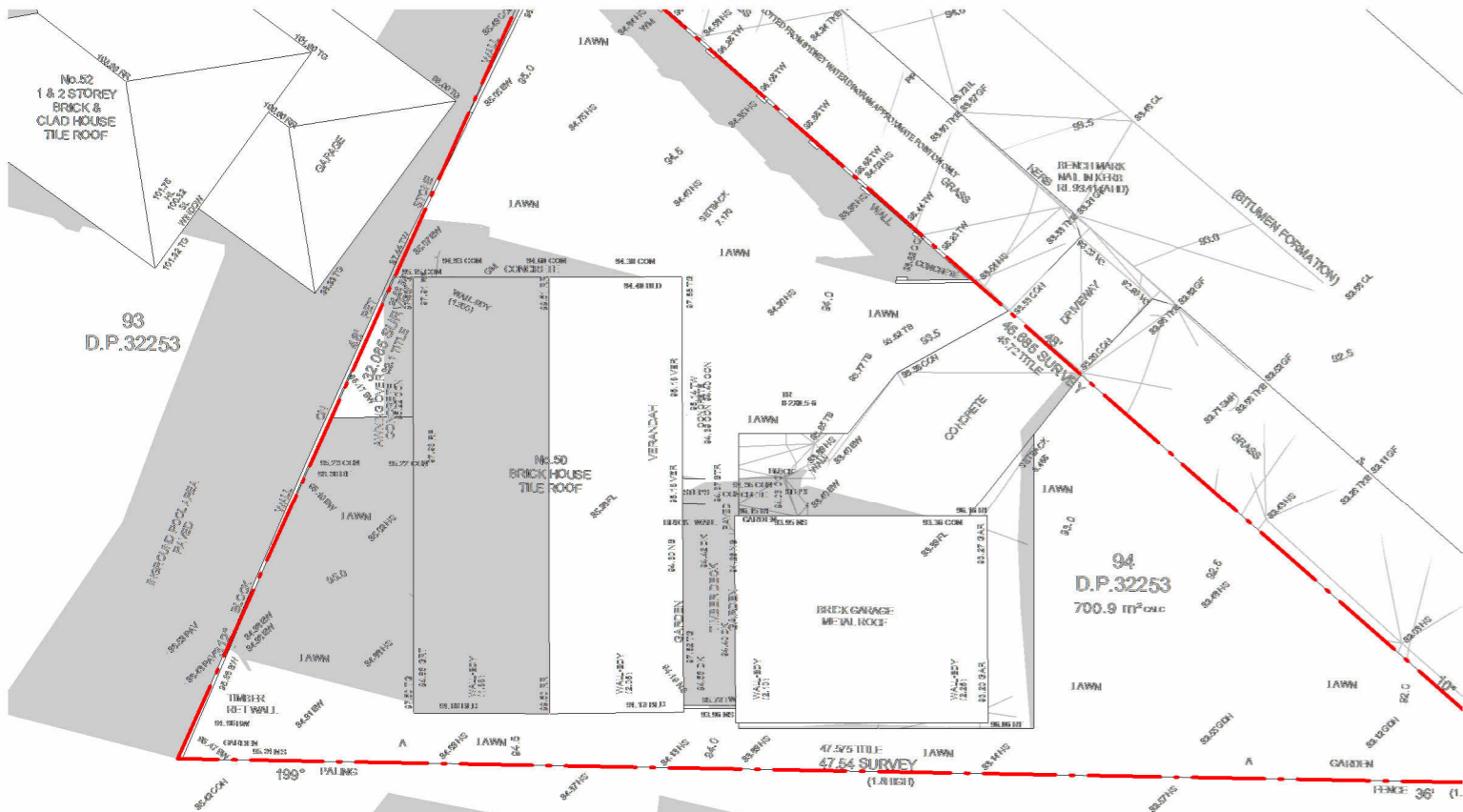
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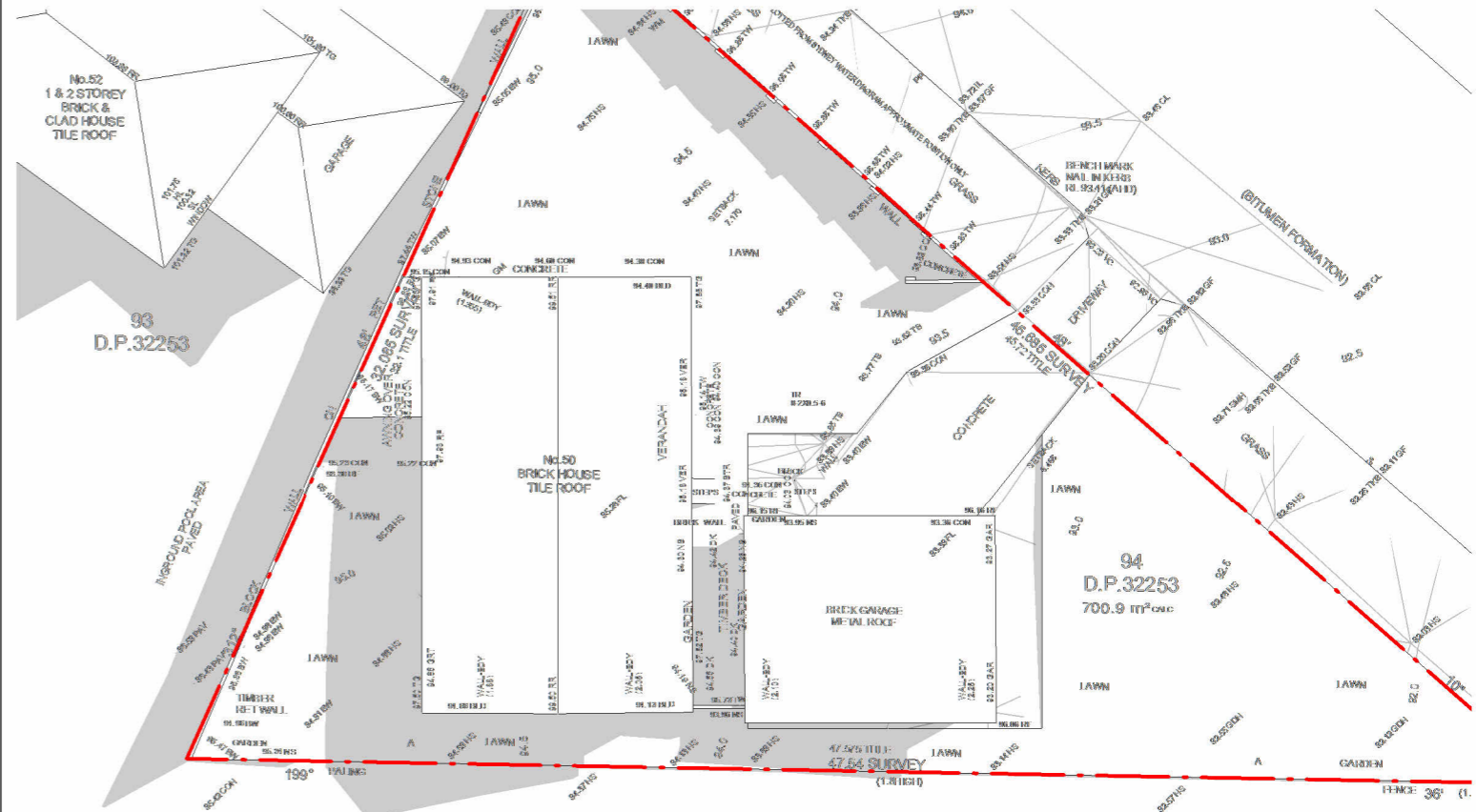
No.	Description	Date
A	Issue for DA	18/10/2024
B	Revised issue for DA	15/11/2024

Project Proposed Secondary Dwelling and Carport
Location 50 Wesley St, Elanora Heights
Client Lachlan and Zoe Isles
Drawing East Elevations

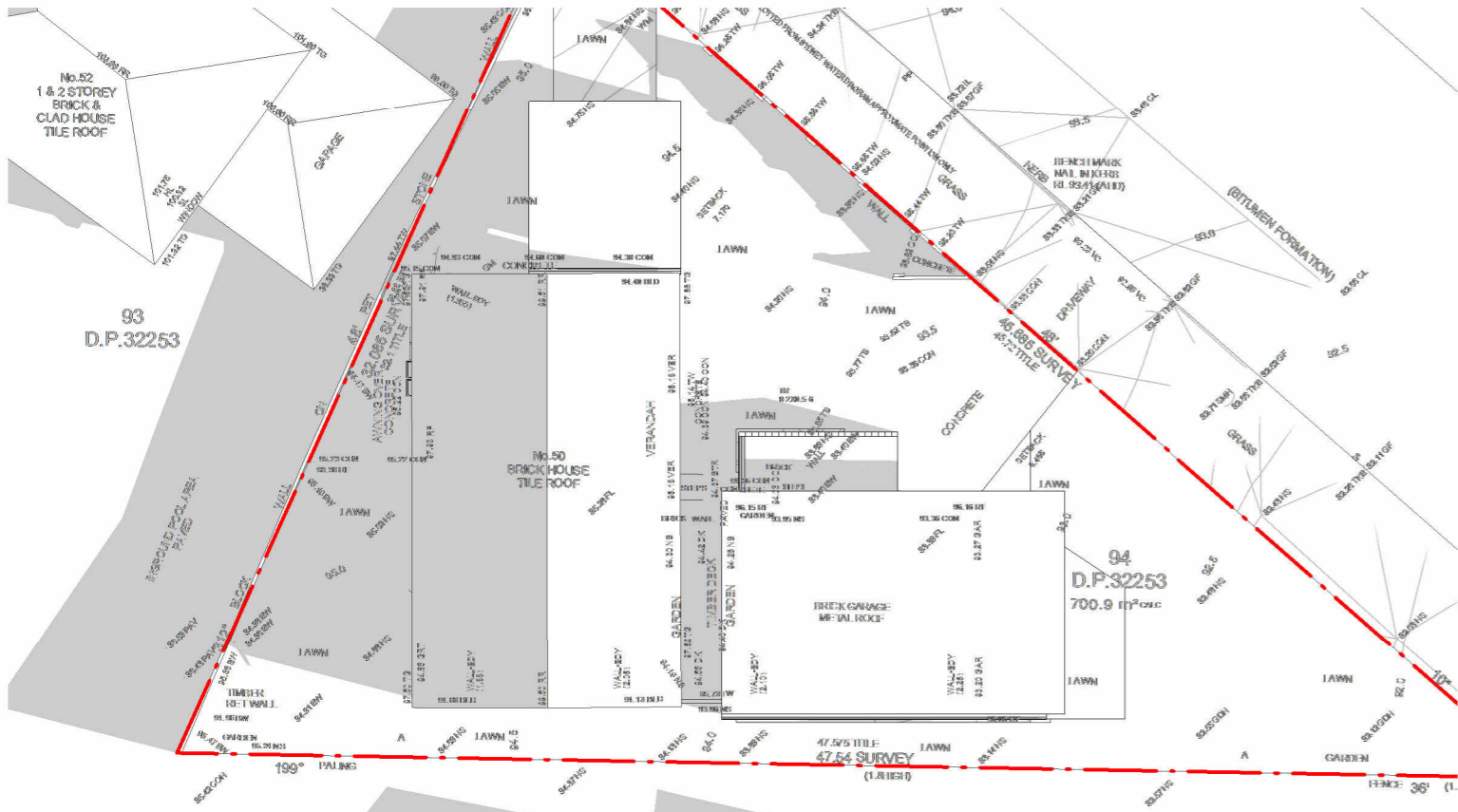
Scale @ A3 1:100	Drawn by BS	Checked by BS
Project Issue Date 20/06/2024	Sheet Issue Date 15/11/2024	
Project number 1271	Drawing # D404	Revision B



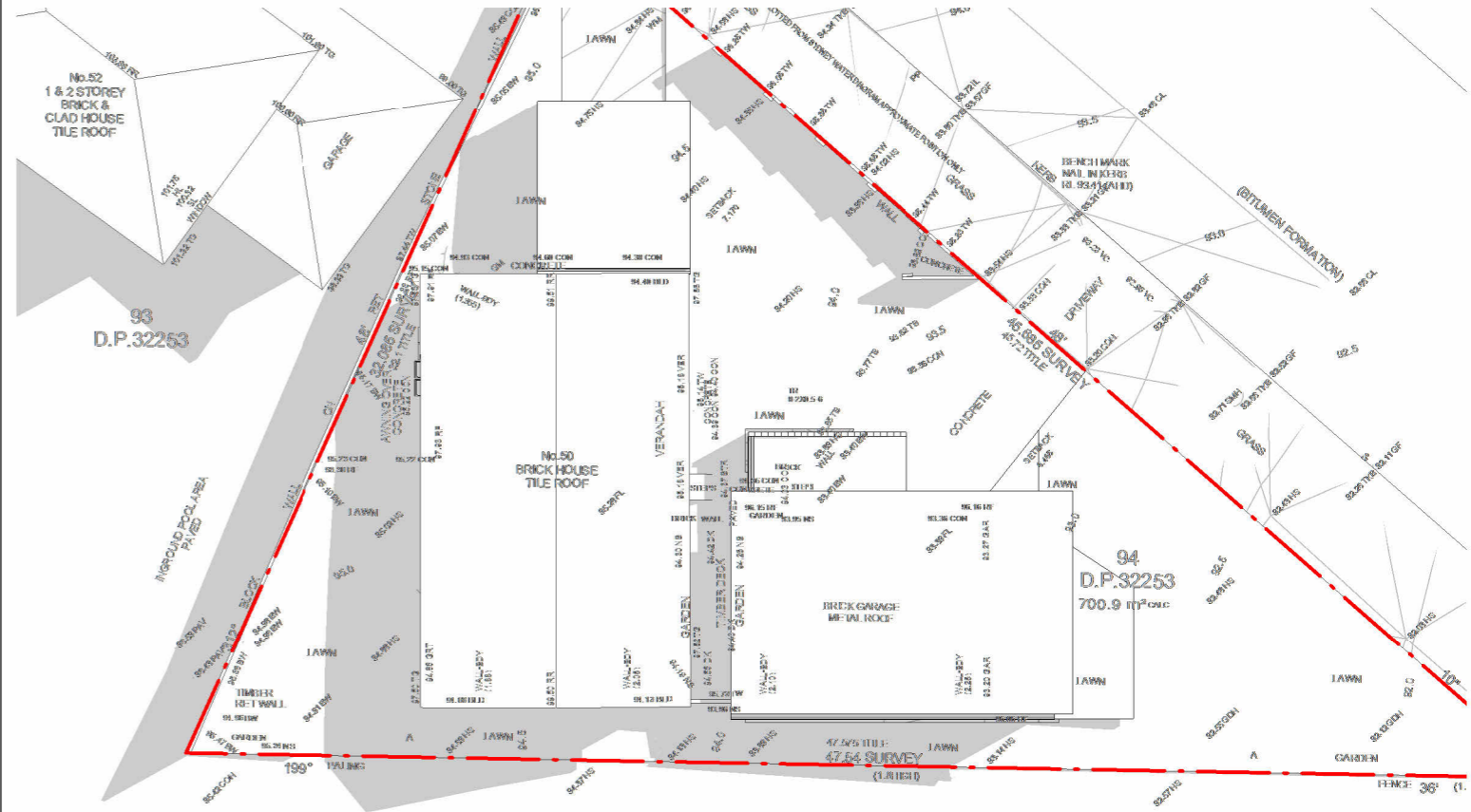
1 Shadow Diagram - Existing 21 June 9am
1:250



2 Shadow Diagram - Existing 21 June 12pm
1:250



3 Shadow Diagram - Proposed 21 June 9am
1:250



4 Shadow Diagram - Proposed 21 June 12pm
1:250

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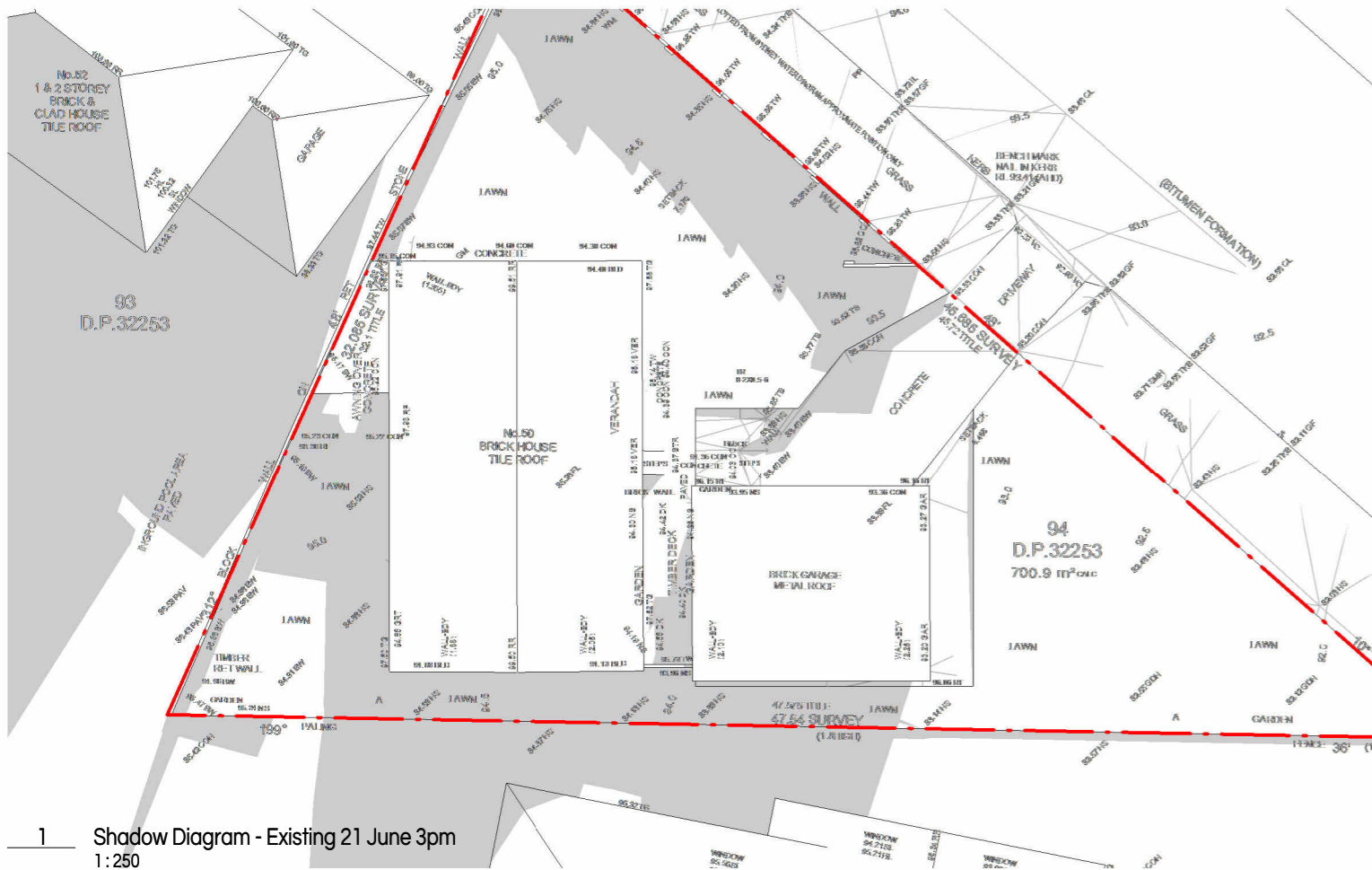
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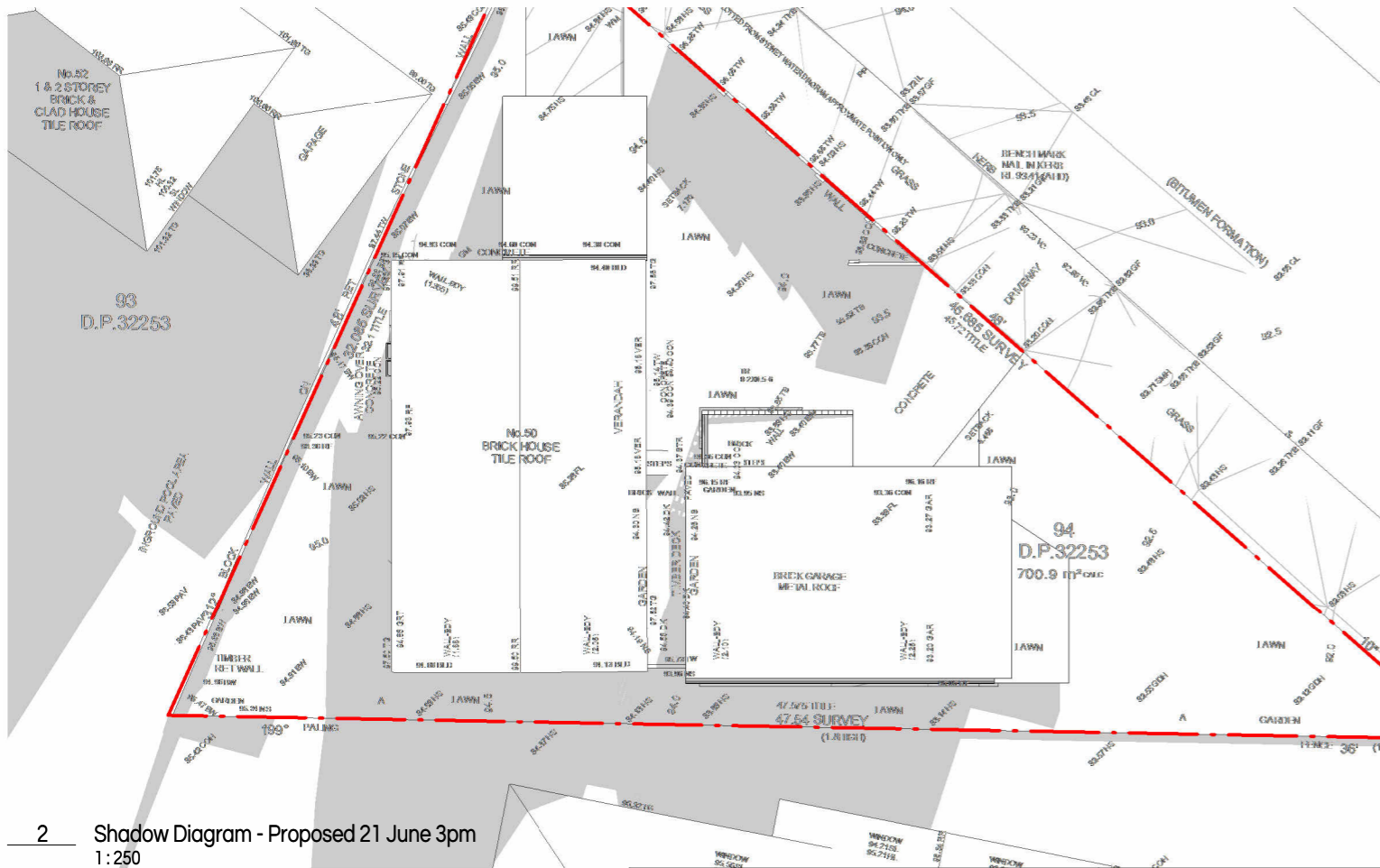
No.	Description	Date
A	Issue for DA	18/10/2024
B	Revised issue for DA	15/11/2024

Project Proposed Secondary Dwelling and Carport	
Location 50 Wesley St, Elanora Heights	
Client Lachlan and Zoe Isles	
Drawing Shadow Diagrams - 21 June_9am	

Scale @ A3 1:250	Drawn by BS	Checked by BS
Project Issue Date 20/06/2024	Sheet Issue Date 15/11/2024	
Project number 1271	Drawing # D901	Revision B

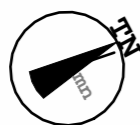


1 Shadow Diagram - Existing 21 June 3pm
1:250



2 Shadow Diagram - Proposed 21 June 3pm
1:250

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Issue for DA

No.	Description	Date
A	Issue for DA	18/10/2024
B	Revised issue for DA	15/11/2024

Project Proposed Secondary Dwelling and Carport	
Location 50 Wesley St, Elanora Heights	
Client Lachlan and Zoe Isles	
Drawing Shadow Diagrams - 21 June_9am	

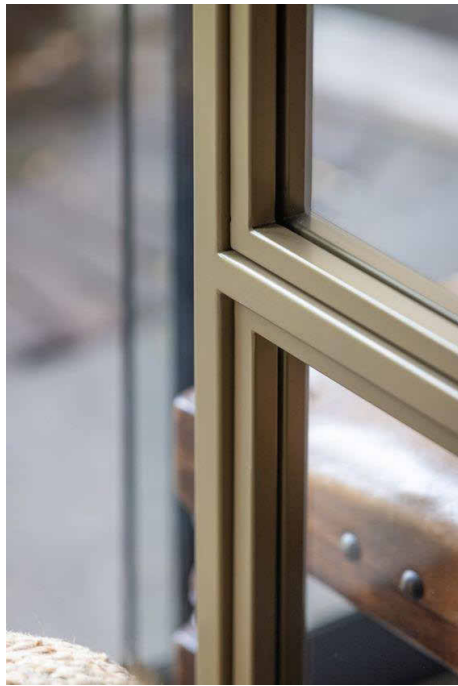
Scale @ A3 1:250	Drawn by BS	Checked by BS
Project Issue Date 20/06/2024	Sheet Issue Date 15/11/2024	
Project number 1271	Drawing # D902	Revision B



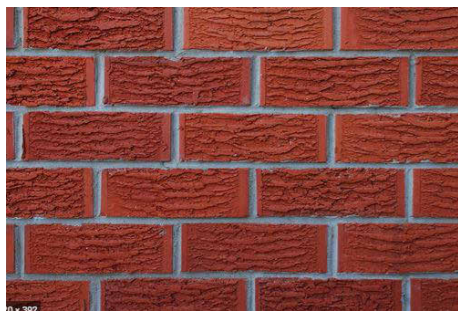
MRS - Colourbond roof, flashings and rainwater goods. "Paperbark" or similar



TMB - Natural timber exposed beams, rafters and purlins. "Spotted Gum" or similar



MET - Aluminium framed windows "Powdercoat Anotec Mid Bronze Duralloy" or similar



BRK - Exposed brickwork walls to match existing



All construction and materials to be in accordance with Bushfire attack level requirements BAL 12.5 as per AS3959 - 2018 Construction of buildings in bushfire-prone land, Section 5 Construction Requirements for BAL - 12.5

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No.	Description	Date
A	Issue for DA	18/10/2024
B	Revised issue for DA	15/11/2024

Project Proposed Secondary Dwelling and Carport	
Location 50 Wesley St, Elanora Heights	
Client Lachlan and Zoe Isles	
Drawing Perspectives & Materials_1	

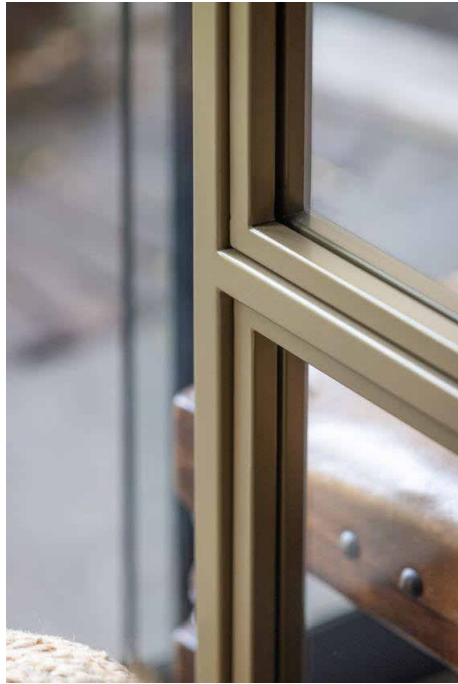
Scale @ A3 1 : 100	Drawn by BS	Checked by BS
Project Issue Date 20/06/2024	Sheet Issue Date 15/11/2024	
Project number 1271	Drawing # D903	Revision B



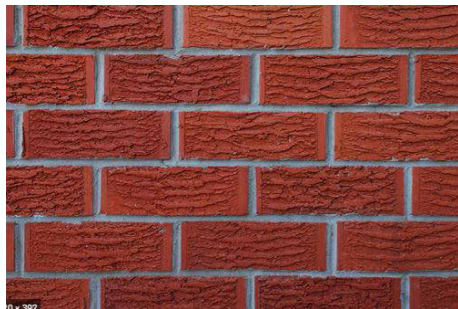
MRS - Colourbond roof, flashings and rainwater goods. "Paperbark" or similar



TMB - Natural timber exposed beams, rafters and purlins. "Spotted Gum" or similar



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No.	Description	Date
A	Issue for DA	18/10/2024
B	Revised issue for DA	15/11/2024

Project	
Proposed Secondary Dwelling and Carport	
Location	
50 Wesley St, Elanora Heights	
Client	
Lachlan and Zoe Isles	
Drawing	
Perspectives & Materials_2	

Scale @ A3	1 : 100	Drawn by	BS	Checked by	BS
Project Issue Date	20/06/2024	Sheet Issue Date	15/11/2024		
Project number	1271	Drawing #	D904	Revision	B