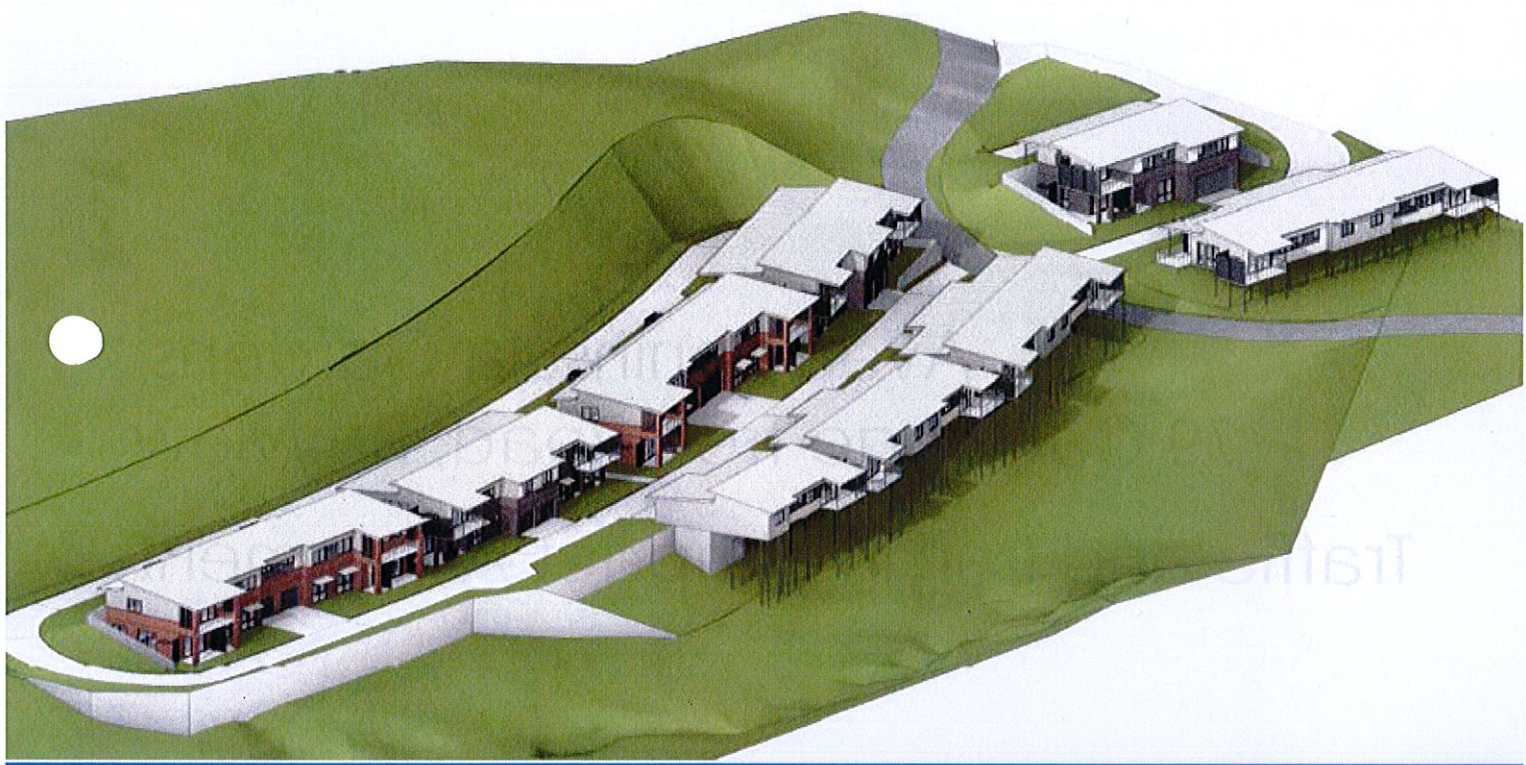


AVO  
Group



# Aveo Peninsula Gardens, 79 Cabbage Tree Road, Bayview Traffic and Parking Impact Assessment

Author	Reviewer	Approved	Checked	Drawn	Issue
<i>[Signature]</i>					

Prepared for:  
**Aveo Group**

15 February 2018

The Transport Planning Partnership



# Aveo Peninsula Gardens, 79 Cabbage Tree Road, Bayview Traffic and Parking Impact Assessment

Client: Aveo Group

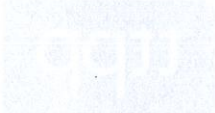
Version: Final

Date: 15 February 2018

TTPP Reference: 17316

## Quality Record

Version	Date	Prepared by	Reviewed by	Approved by	Signature
Final	15/02/18	Jessica Szeto	Wayne Johnson	Wayne Johnson	



## Table of Contents

1	Introduction .....	1
1.1	Overview .....	1
1.2	Report Structure .....	1
2	Existing Conditions .....	2
2.1	Site Description .....	2
2.2	Abutting Road Network .....	2
2.3	Public Transport .....	3
2.4	Pedestrian and Cycling Facilities .....	4
3	Proposed Development .....	6
3.1	Proposal Description .....	6
3.2	Proposed Vehicle Access Arrangements .....	7
3.3	Proposed Refuse Collection Facilities .....	7
3.4	Internal Site Layout Plan .....	7
4	Car Parking Assessment .....	9
4.1	Car Parking Requirement .....	9
5	Traffic Assessment .....	10
5.1	Traffic Generation .....	10
6	Conclusion .....	11

## Figures

Figure 2.1: Locality Map .....	2
Figure 2.2: Existing Vehicle Access .....	3
Figure 2.3: Site Proximity to Public Transport Facilities .....	4
Figure 2.4: Existing Cycle Map .....	5
Figure 3.1: Proposed Site Layout Plan .....	6
Figure 3.2: Proposed Internal Service Road Layout .....	8

## APPENDICES

- A. ARCHITECTURAL LAYOUT PLANS
- B. SWEEP PATH ANALYSIS



# 1 Introduction

## 1.1 Overview

This traffic and parking impact assessment report relates to the proposed expansion of the existing seniors living development at 79 Cabbage Tree Road, Bayview, also known as 'Peninsula Gardens'. The development proposal seeks to provide an additional 25 independent living units within the existing Peninsula Gardens site.

A Development Application (DA) is to be lodged with Northern Beaches Council (Council) seeking approval for the proposed development.

The Transport Planning Partnership (TPPP) has prepared this report on behalf of Aveo Group to accompany the DA.

## 1.2 Report Structure

The report assesses the traffic and parking implications of the proposed development and is set out as follows:

- Chapter 2 discusses the existing conditions including a description of the subject site
- Chapter 3 provides a brief description of the proposed development
- Chapter 4 assesses the proposed on-site parking provision and internal layout
- Chapter 5 examines the traffic generation and its impact
- Chapter 6 presents the conclusions of the assessment.



## 2 Existing Conditions

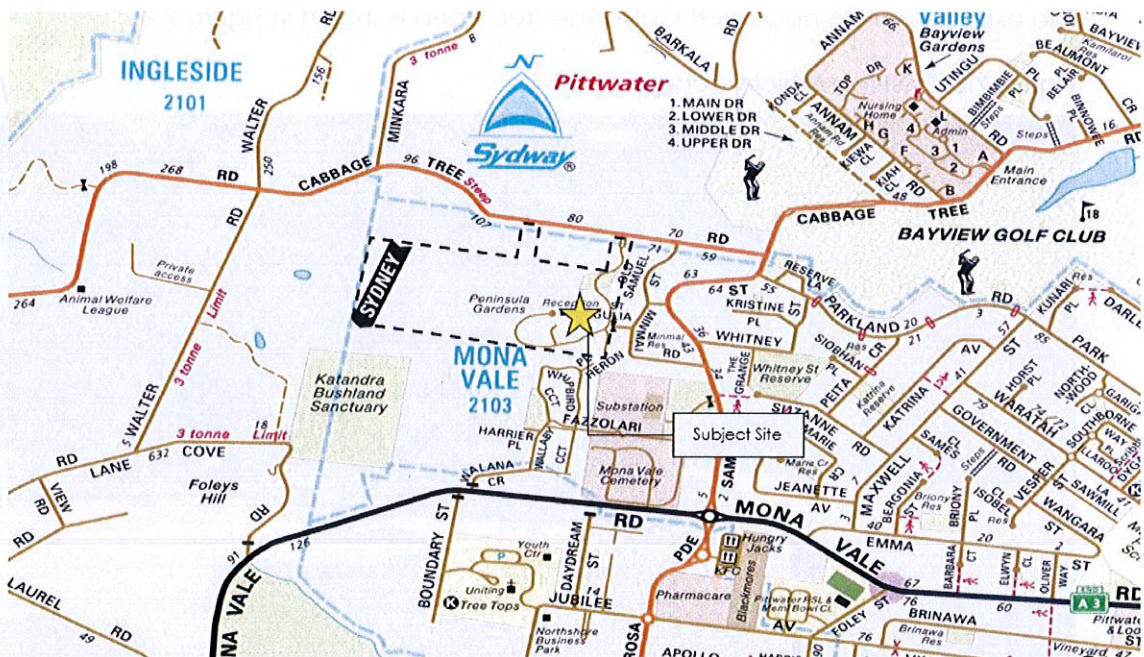
### 2.1 Site Description

The subject site is located at 79 Cabbage Tree Road, Bayview, and falls within the local government area of the Northern Beaches Council (formerly Pittwater Council). The site is currently situated within Peninsula Gardens, which offers independent living units (ILUs)/Villas and serviced apartments and associated car parking.

Access to Peninsula Gardens is currently provided off Cabbage Tree Road to the north of the site, with parking provided in separate garages and at-grade off the internal service roads. Land surrounding the site predominately comprises low to medium density residential uses and bushland.

The subject site and its surrounds are shown in Figure 2.1.

**Figure 2.1: Locality Map**



Source: Street directory Australia <http://www.street-directory.com.au/>

### 2.2 Abutting Road Network

The site fronts Cabbage Tree Road to the north, which provides connectivity to the internal service roads for access to the existing residential dwellings and associated car parking. These roads are described below.



## Cabbage Tree Road

Cabbage Tree Road functions as a two-way collector road, generally aligned in an east-west direction. It has a posted speed limit of 50/km, with unrestricted kerbside car parking on either side of the road. The road travels along the northern perimeter of the site and provides access to Peninsula Gardens. The road generally services residential traffic and provides connectivity between Circada Glen Road/Chiltem Road and Samuel Street, which both lead towards Mona Vale Road, to the south of the site.

## Peninsula Gardens – Internal Service Road

This road is unnamed and provides access to/from residential dwellings within Peninsula Gardens. As indicated above, access to the internal service road is provided off Cabbage Tree Road. All turning movements are permitted via the vehicle access point off Cabbage Tree Road, with entry and exit movements separated via a central median island. The road has a posted speed limit of 10km/h with indented at-grade car parking spaces provided off the road.

The existing vehicle access off Cabbage Tree Road is shown in Figure 2.2.

**Figure 2.2: Existing Vehicle Access**

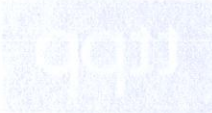


*Photo captured on Sunday, 22 October 2017*

## 2.3 Public Transport

Limited public transport facilities are currently provided within the vicinity of the site. Within a 500m catchment radius of the site, there are currently six (6) existing bus stops



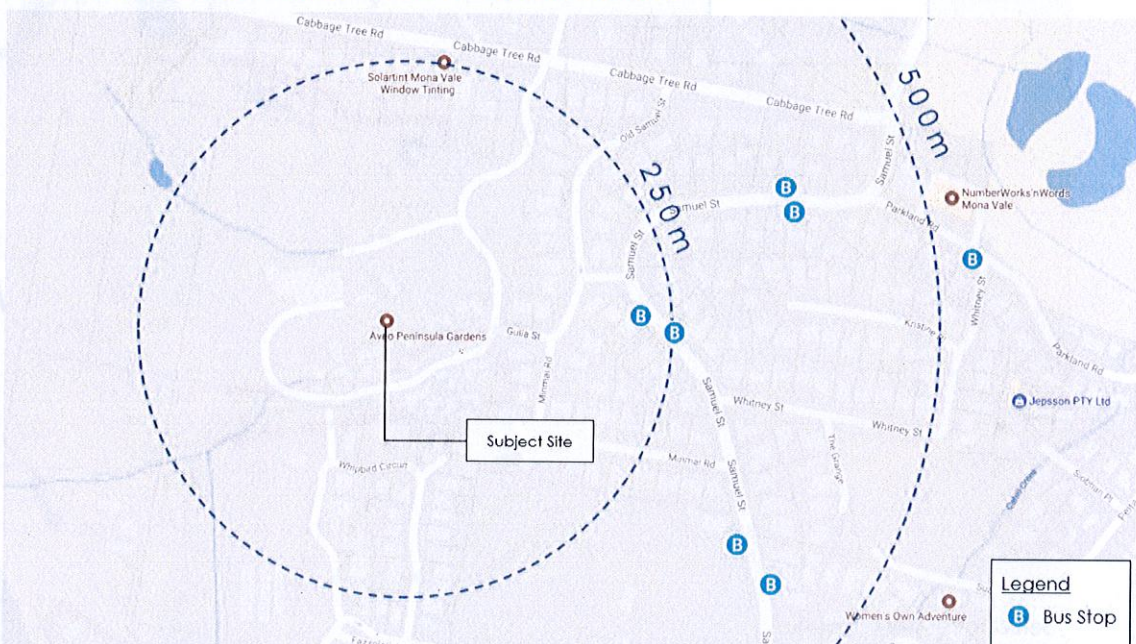


located along Samuel Street, which generally service bus route 182 and additional special school services. It is noted bus route L85 has now been replaced by route 185 Mona Vale to City-Wynyard via Warriewood (effective on 26 November 2017). Stopping patterns have also changed and bus route 185 no longer travels towards Waratah Street, Parkland Road or Samuel Street.

As such, only bus route 182 is available to the public along Samuel Street, which provides connectivity between Mona Vale to Narrabeen via Warriewood Valley and Elanora Heights. This bus service will operate every hour Monday to Saturday.

The site proximity to existing public transport facilities is presented in Figure 2.3.

**Figure 2.3: Site Proximity to Public Transport Facilities**



Basemap Source: Google Maps Australia, accessed online on 17/11/17

## 2.4 Pedestrian and Cycling Facilities

Limited pedestrian and cycle facilities are provided within the vicinity of the site, although it is noted that pedestrian and cycle activity was observed to be low.

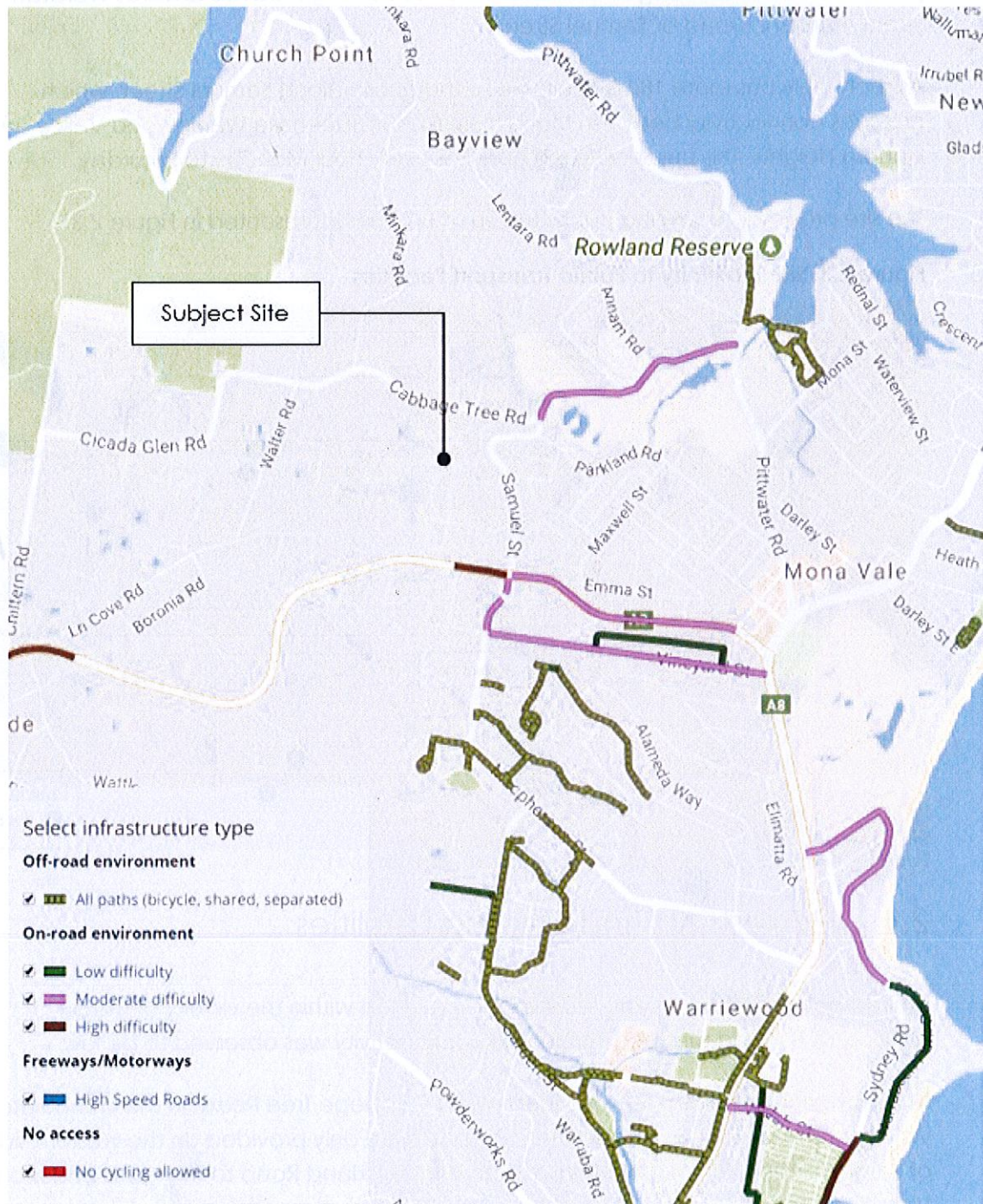
No pedestrian footpaths are provided along Cabbage Tree Road. In the immediate vicinity of the subject site, pedestrian footpaths are only provided on the western side of Samuel Street, which provides passage onto Parkland Road to the north and Mona Vale Road to the south.

In addition to this, there are no dedicated cycleways currently provided within the vicinity of the site. The nearest cycle route is provided along Mona Vale Road and



Cabbage Tree Road, north of Samuel Street. An extract of the existing cycle routes within the vicinity of the site are shown in Figure 2.4.

**Figure 2.4: Existing Cycle Map**



Source: Roads and Maritime Services, Cycleway Finder V2 (last updated 08/11/17)



### 3 Proposed Development

#### 3.1 Proposal Description

It is proposed to introduce 25 two-bedroom independent living units (ILUs) with associated car parking within the existing Peninsula Gardens site at 79 Cabbage Tree Road, Bayview. As part of this, new internal roads would be provided to connect with the wider Peninsula Gardens site and associated facilities.

In addition to this, separate garage car parking spaces would be provided for each apartment, with shared at-grade visitor car parking provided off the internal service roads containing three (3) visitor car parking spaces, plus six (6) separate visitor car parking spaces dedicated for Unit Type 4A and 5A (ILU 1, 2, 5 and 6).

The proposed site layout plan is shown in Figure 3.1, with full architectural layout plans provided in Appendix A.

**Figure 3.1: Proposed Site Layout Plan**



Source: Aveo Group

## 3.2 Proposed Vehicle Access Arrangements

Vehicle access to the proposed development will continue to be provided off the existing driveway off Cabbage Tree Road. As part of the proposed works, it is not expected that any modifications to the existing driveway will be carried out.

## 3.3 Proposed Refuse Collection Facilities

Bin storage areas will be provided at-grade off the internal service roads. During refuse collection days, the building manager will relocate these bins on the kerbside for refuse collection. A private waste contractor using a 6.4m small rigid vehicle or smaller would be used to conduct waste collection activities.

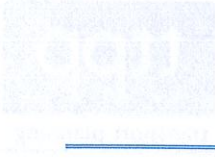
In addition to this, it is not envisaged that any loading activities would be required based on the anticipated servicing requirements of self-contained senior housing developments. However, if required, visitor car parking will be made available off the internal service roads for any loading activities.

## 3.4 Internal Site Layout Plan

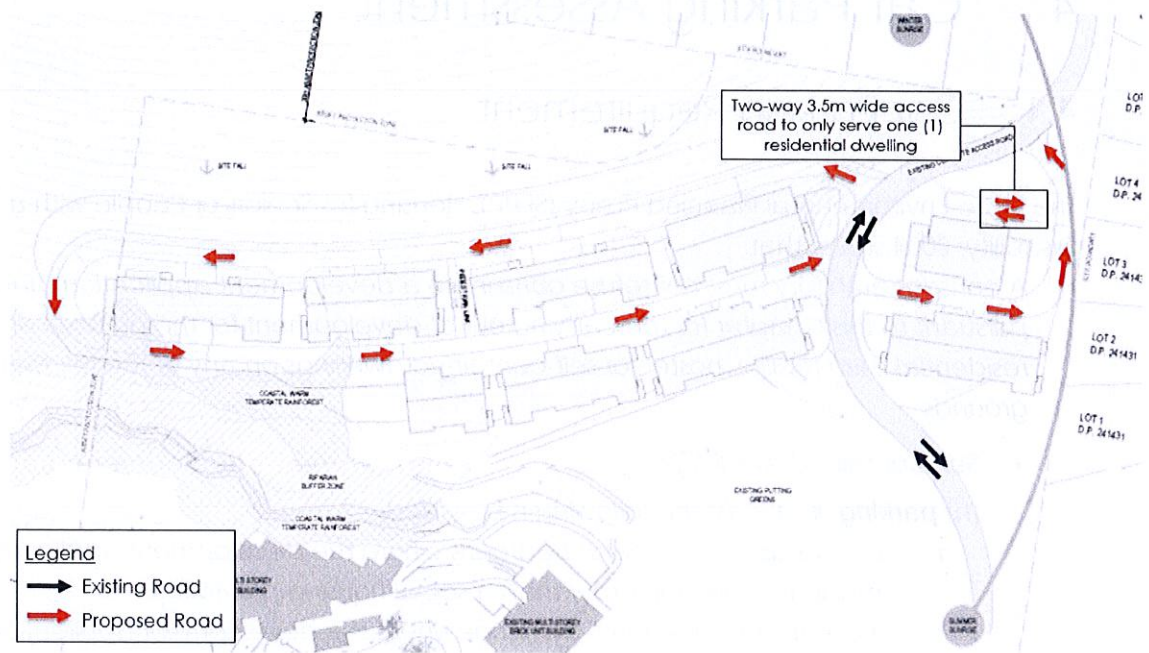
As indicated above, internal service roads will be provided to service the proposed development. These service roads have been designed as one-way roads, with a minimum road width of 3.5m, to connect with the existing two-way internal service road within the Peninsula Gardens site.

The proposed internal service road layout is provided in Figure 3.2, where the arrows indicate the direction of travel.





**Figure 3.2: Proposed Internal Service Road Layout**



Basemap Source: Jackson Teece Architects

Swept path analysis has been conducted to assess the proposed internal site layout arrangements using a 6.4m small rigid truck. The swept path analysis indicates appropriate vehicle accessibility within the internal service roads to accommodate vehicles up to and including a 6.4m small rigid vehicle. The swept path analysis is provided in Appendix B for reference.

## 4 Car Parking Assessment

### 4.1 Car Parking Requirement

The State Environmental Planning Policy (SEPP), Housing for Seniors or People with a Disability, 2004 states that:

- *A consent authority must not refuse consent to a development application made pursuant to this Chapter for the carrying out of development for the purpose of a residential care facility, hostels or self-contained dwellings on any of the following grounds*
  - *Self-contained dwellings*
    - (h) **parking:** *if at least the following is provided:*
      - i. *0.5 car spaces for each bedroom where the development application is made by a person other than a social housing provider, or*
      - ii. *1 car space for each 5 dwellings where the development application is made by, or is made by a person jointly with, a social housing provider*

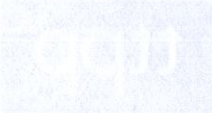
As such, the proposed development would require at least 25 car parking spaces based on the proposed provision of 50 bedrooms (25 x 2-bedroom ILUs).

It is proposed to provide a total of 35 residential car parking spaces within private enclosed garage spaces, with nine (9) visitor car parking spaces, which complies with the car parking requirements as set out in the SEPP (Housing for Seniors or People with a Disability) 2004.

The enclosed garage car parking spaces have been designed in accordance with Pittwater Development Control Plan (DCP) 2014 requirements. The Pittwater DCP 2014 requires a minimum 3.0m wide by 6.0m long internal garage space, with a minimum 2.4m wide entry for a single vehicle. For two adjacent vehicles, a minimum dimension of 5.7m wide by 6.0m long internal garage space, with a minimum 2.4m wide entry per vehicle is required.

Thus, the proposed parking provision complies with the minimum car parking requirements as set above. In addition to this, the car park and associated elements are proposed to be designed in accordance with the design requirements set out in the relevant Australian Standards and/or Pittwater DCP requirements.





## 5 Traffic Assessment

### 5.1 Traffic Generation

Traffic generation rates for the proposed development have been estimated based on the RMS Guide to Traffic Generating Developments (Guide) and updated traffic surveys (TDT 2013/04a). The RMS Guide suggests that seniors housing developments typically generate traffic at the following rates:

- Weekday daily vehicle trips 2.1 vehicle trips per dwelling
- Weekday peak hour vehicle trips 0.4 trips per dwelling

On that basis, the proposed provision of 25 seniors living apartments (ILUs) would likely generate a total trip generation of 53 vehicle trips per day and 10 vehicle trips in the peak hour. This equates to a frequency of one vehicle every six minutes in the peak hour, which is low and considered negligible.

Thus, the traffic impacts associated with the seniors housing development (i.e. 10 vehicle movements in the peak hour) is expected to be minimal and could not be expected to result in any operational or safety issues in the surrounding road network.

## 6 Conclusion

This report examines the traffic and parking implications of the proposed development at 79 Cabbage Tree Road, Bayview. The key findings of this report are presented below.

- The proposed development involves the introduction of 25 seniors housing apartments (ILU) within the existing Peninsula Gardens site at 79 Cabbage Tree Road, Bayview.
- The proposed development requires as least 25 car parking spaces in accordance with SEPP (Housing for Seniors and People with Disabilities) 2004. It is proposed to comply with the minimum car parking requirements.
- It is proposed to provide a total of 44 car parking spaces, which complies with the SEPP (Housing for Seniors and People with Disabilities) 2004 car parking requirements.
- It is proposed to provide separate garage car parking spaces for each residential apartment, containing a total of 35 residential car parking spaces.
- Nine (9) visitor car parking spaces would be provided to serve the proposed development, with three (3) shared at-grade visitor car parking spaces off the internal service roads and six (6) visitor car parking spaces solely dedicated for Unit Types 4A and 5A.
- The proposed development is expected to generate 53 vehicle trips per day and 10 vehicle trips in the peak hour. This equates to a frequency of one vehicle every six minutes in the peak hour, which is low and considered negligible.

Overall, the proposed development of 25 seniors housing apartments (ILU) within the existing Peninsula Gardens site is not expected to result in any noticeable impacts on the surrounding road network, nor result in any operational or safety issues.

Thus, the proposed development is considered acceptable from a traffic and parking perspective.



# Appendix A

## Architectural Layout Plans



# AVEO PENINSULA GARDENS

79 CABBAGE TREE ROAD, BAYVIEW, NSW, 2104

## Drawing Package

### ARCHITECTURAL DRAWING LIST

SHEET NO.	SHEET NAME
DA-001	COVER SHEET
DA-002	SURVEY
DA-003	AERIAL PHOTO
DA-004	SITE ANALYSIS
DA-005	SITE DEMOLITION PLAN
DA-006	MASTERPLAN
DA-007	LOWER GROUND LEVEL
DA-008	GROUND LEVEL
DA-110	INDEPENDENT LIVING UNIT - TYPE 1A (ATTACHED) - PLANS
DA-111	INDEPENDENT LIVING UNIT - TYPE 1A (ATTACHED) - ELEVATIONS AND SECTIONS
DA-115	INDEPENDENT LIVING UNIT - TYPE 1B (ATTACHED) - PLANS, ELEVATIONS AND SECTIONS
DA-120	INDEPENDENT LIVING UNIT - TYPE 2A - PLANS, ELEVATIONS AND SECTIONS
DA-125	INDEPENDENT LIVING UNIT - TYPE 2A (ATTACHED) - PLANS, ELEVATIONS AND SECTIONS
DA-130	INDEPENDENT LIVING UNIT - TYPE 3A - PLANS, ELEVATIONS AND SECTIONS
DA-140	INDEPENDENT LIVING UNIT - TYPE 4A (ATTACHED) - PLANS
DA-141	INDEPENDENT LIVING UNIT - TYPE 4A (ATTACHED) - ELEVATIONS AND SECTIONS
DA-150	INDEPENDENT LIVING UNIT - TYPE 5A (ATTACHED) - PLANS
DA-151	INDEPENDENT LIVING UNIT - TYPE 5A (ATTACHED) - ELEVATIONS AND SECTIONS
DA-200	EXTERNAL MATERIALITY
DA-300	ELEVATIONS
DA-301	ELEVATIONS AND SECTIONS
DA-600	SHADOW DIAGRAMS - 21 MAR
DA-601	SHADOW DIAGRAMS - 21 JUN
DA-602	SHADOW DIAGRAMS - 21 SEP
DA-603	SHADOW DIAGRAMS - 21 DEC



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**D.A. ISSUE**

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CLIENT: **AVEO GROUP PTY LTD**

DRAWING COVER SHEET

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DECEMBER 2017	NTS	IW
PROJECT No. <b>2017032</b>	DRAWING No. <b>DA-001</b>	ISSUE <b>4</b>

PROJECT  
**AVEO PENINSULA GARDENS**  
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3	03/01/2018	AW	ISSUED FOR A
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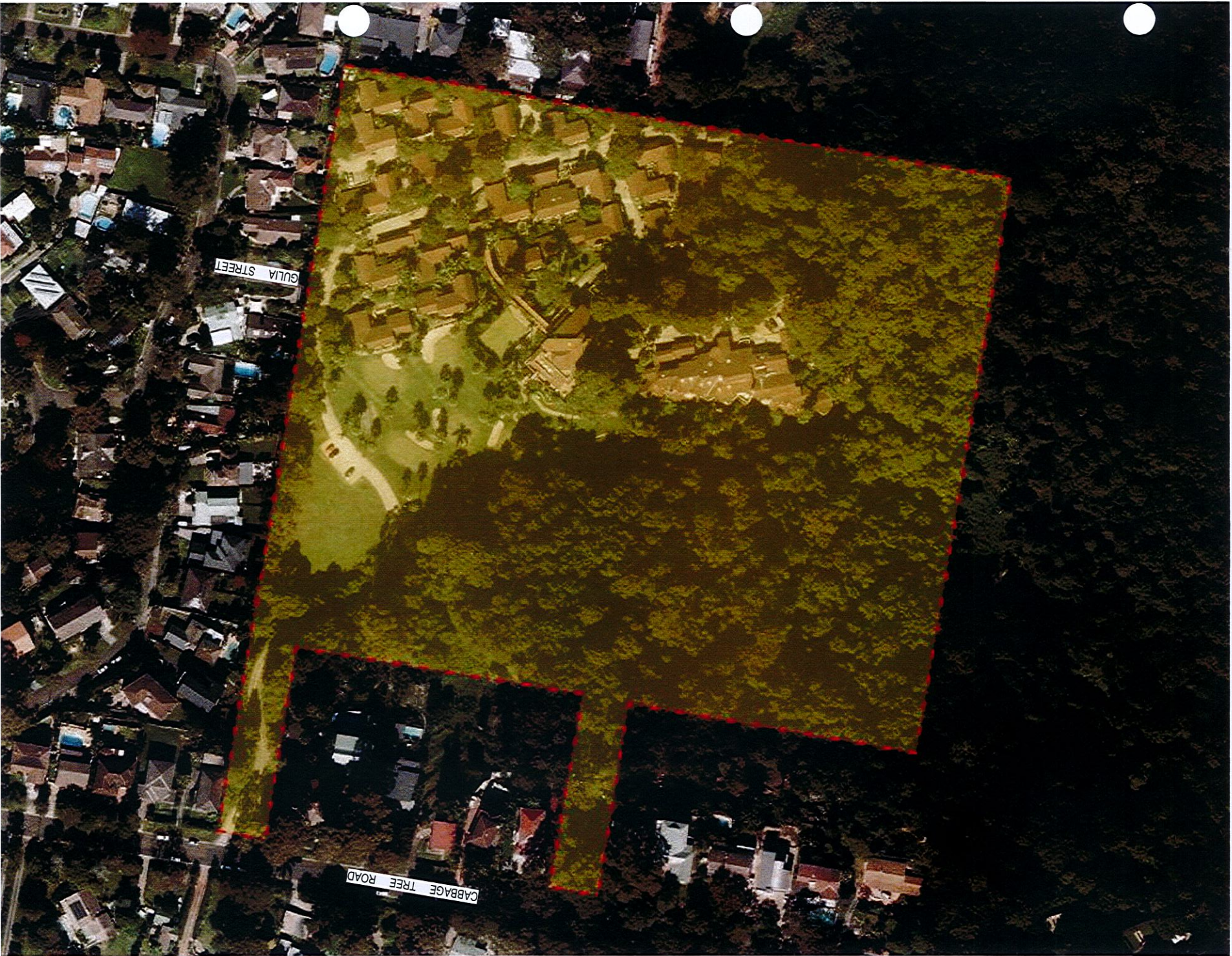
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DRAWING No: DA-002  
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BAYVIEW, NSW, 2104

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3	ISSUED FOR A.	15/11/2018
4	ISSUED FOR A.	15/11/2018

LEGEND

EXEMPT OF WORKS SHOWN HATCHED



DRAWING SITE DEMOLITION PLAN

CLIENT AVEO GROUP PTY LTD

RM TM

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PROJECT NO. 2017032 A DA-005

PROJECT 79 CABPAGE TREE ROAD BAYVIEW NSW 2104

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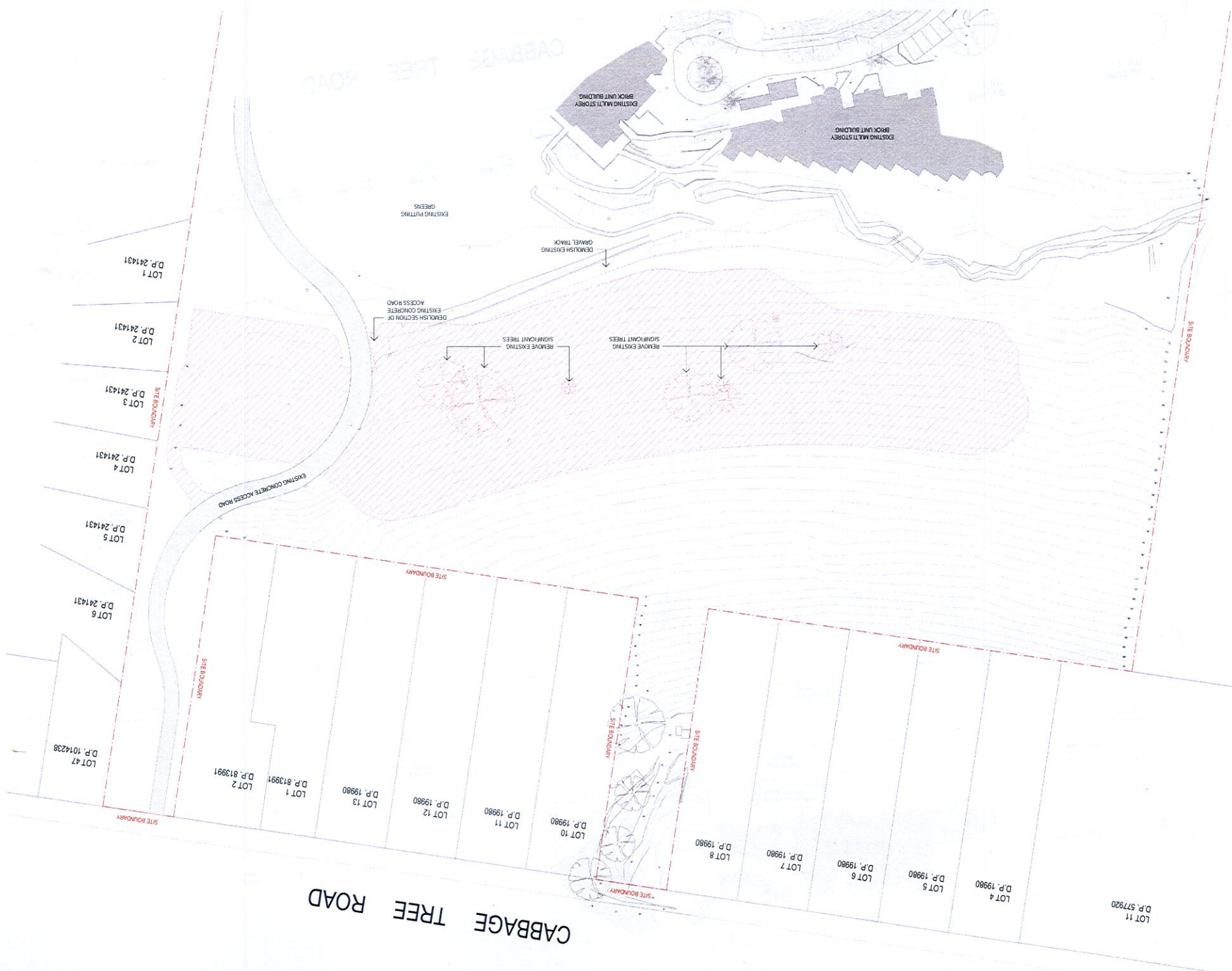
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3	REVISED FOR D.A.	RW	11/02/18
4	ISSUED FOR D.A.	RW	08/02/18

**LEGEND**

EX	EXISTING
SWP	STORMWATER PIT (TO CIVIL ENGS DETAILS)
[Yellow Box]	UNIT TYPE 1A
[Orange Box]	UNIT TYPE 1B
[Light Blue Box]	UNIT TYPE 2A
[Red Box]	UNIT TYPE 3A
[Dark Blue Box]	UNIT TYPE 4A
[Light Blue Box]	UNIT TYPE 5A

**AREA SCHEDULE:**

DEVELOPMENT SITE AREA	71413m <sup>2</sup>
GFA	16,357m <sup>2</sup>
FSR	0.221
SITE COVERAGE	4,125m <sup>2</sup>
LANDSCAPE AREA	41,500m <sup>2</sup>
DEEP SOIL AREA	41,400m <sup>2</sup>
PROPOSED BUILDING HEIGHT EXCEEDING MAXIMUM BUILDING HEIGHT (8.5m)	ILU 10 10.35m
	ILU 11 & ILU 12 9.416m
	ILU 13 & ILU 14 9.627m

500m on original

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PROJECT: AVEO PENINSULA GARDENS  
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3	ISSUED FOR A	RW	21/02/2018
4	ISSUED FOR A	RW	04/03/2018

**LEGEND**

EX	EXISTING
SWP	STORMWATER PIT (TO CIVIL ENGS DETAILS)
[Yellow Box]	UNIT TYPE 1A
[Orange Box]	UNIT TYPE 1B
[Light Green Box]	UNIT TYPE 2A
[Light Blue Box]	UNIT TYPE 3A
[Dark Blue Box]	UNIT TYPE 4A
[Light Blue Box]	UNIT TYPE 5A



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DRAWING: LOWER GROUND LEVEL

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 BAYVIEW, NSW, 2104

744 Hunter Street  
 Newcastle  
 New South Wales 2302 Australia  
 Tel: +61 2 4950 8077  
 E: info@jacksonteece.com  
 Jackson Teece Pty Ltd  
 Trading as: JT  
 AFR 10 000 000 000  
 Incorporated in Australia (see Rndole 142175)

**JACKSON TEECE**



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AMENDMENTS

ISSUE	NO.	DESCRIPTION	DATE
1	DA	RW	11/02/18
2	DA	RW	16/02/18
3	FOR DA	RW	01/03/18
4	ISSUED FOR DA	RW	08/03/18

# CABBAGE TREE ROAD



LEGEND

EX	EXISTING
SWP	STORMWATER PIT (TO CIVIL ENGS DETAILS)
[Yellow Box]	UNIT TYPE 1A
[Orange Box]	UNIT TYPE 3A
[Blue Box]	UNIT TYPE 4A
[Light Blue Box]	UNIT TYPE 5A

50mm on original

THIS DRAWING ISSUE HAS BEEN REVIEWED FOR

## D.A. ISSUE

APPROVED BY: RW  
 CHECKED BY: TM  
 CLIENT: AVEO GROUP PTY LTD

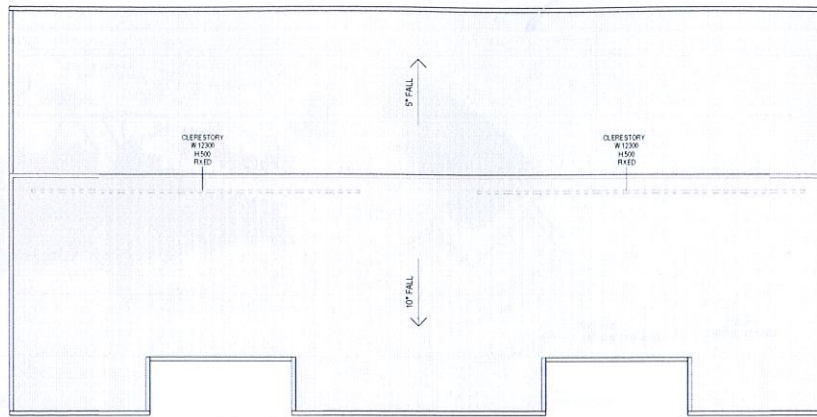
DRAWING GROUND LEVEL

DATE: JANUARY 2018  
 SCALE @ A1: 1:500  
 PROJECT No: 2017032 A  
 DISCP: DA-008  
 DRAWING No: 4  
 ISSUE: 4

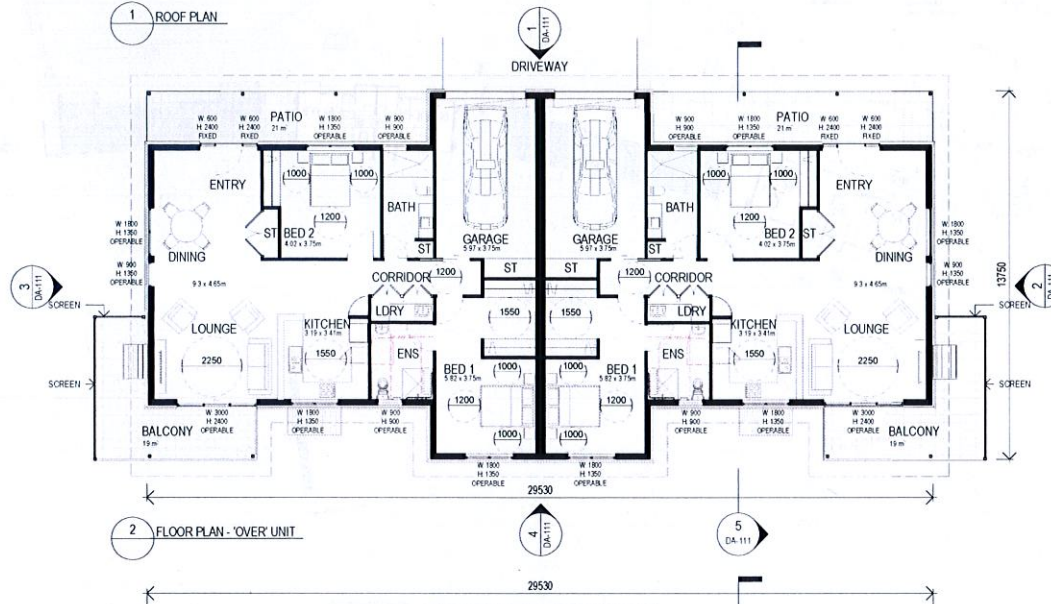
PROJECT: AVEO PENINSULA GARDENS  
 79 CABBAGE TREE ROAD  
 BAYVIEW, NSW, 2104

744 Hunter Street  
 Newcastle West New South Wales 2302 Australia  
 T: 61 6 4959 9100 F: 61 6 4959 9177  
 E: newcastle@jacksonteece.com  
 Jackson Teece Architecture & Interiors Pty Ltd  
 Trading as Jackson Teece  
 ABN: 61 619 191 191  
 Goods and Services Tax (GST) 15313

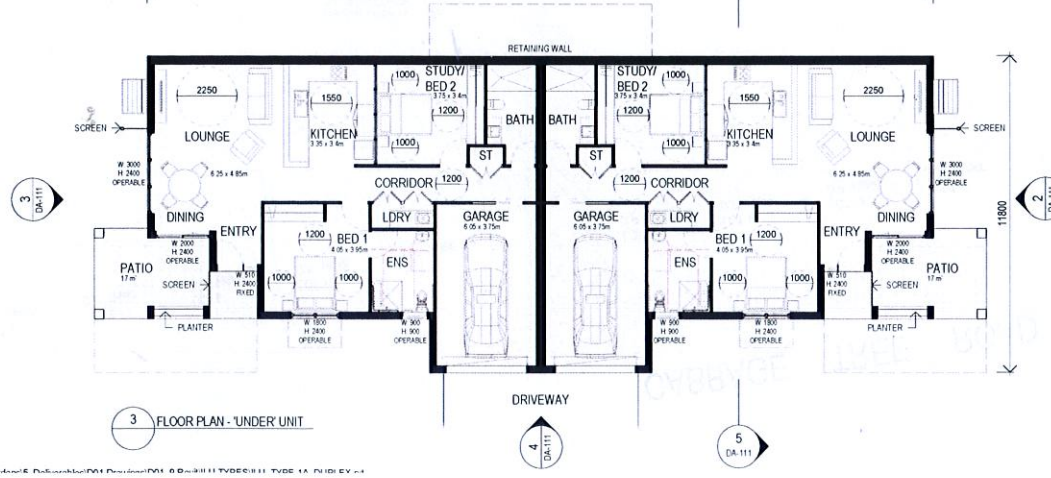
# JACKSON TEECE



1 ROOF PLAN



2 FLOOR PLAN - 'OVER' UNIT



3 FLOOR PLAN - 'UNDER' UNIT

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AMENDMENTS

REV #	DESCRIPTION	APPROVED	DATE
1	ISSUED FOR A	RW	11/01/2017
2	ISSUED FOR A	RW	20/01/2017
3	ISSUED FOR A	RW	01/02/2017
4	ISSUED FOR A	RW	06/02/2017

AREAS - 'OVER' UNIT  
 UNIT AREA (EXCLUDING GARAGE) - 124 m<sup>2</sup>  
 GARAGE - 24 m<sup>2</sup>

AREAS - 'UNDER' UNIT  
 UNIT AREA (EXCLUDING GARAGE) - 107 m<sup>2</sup>  
 GARAGE - 23 m<sup>2</sup>

50mm on original

THIS DRAWING ISSUE HAS BEEN REVIEWED FOR

D.A. ISSUE

APPROVED BY: RW  
 CLIENT: AVEO GROUP PTY LTD

DRAWING: INDEPENDENT LIVING UNIT - TYPE 1A (ATTACHED) - PLANS

DATE: DECEMBER 2017  
 PROJECT NO: 2017032  
 SCALE @ A1: 1:100  
 DRAWING NO: DA-110  
 ISSUE: 4

PROJECT: AVEO PENINSULA GARDENS  
 79 CABBAGE TREE ROAD  
 BAYVIEW, NSW, 2104

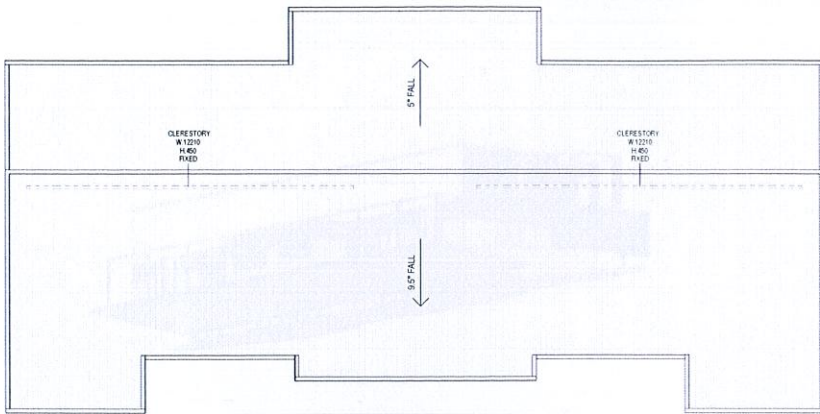
744 Hunter Street  
 Newcastle  
 New South Wales 2302 Australia  
 Tel: +61 2 4959 6177  
 E: info@jteece.com  
 Website: www.jteece.com.au  
 Trading as: JTEECE PTY LTD  
 AFS: 120581911  
 Nominated Architect (see Section 101-15)

JACKSON TEECE

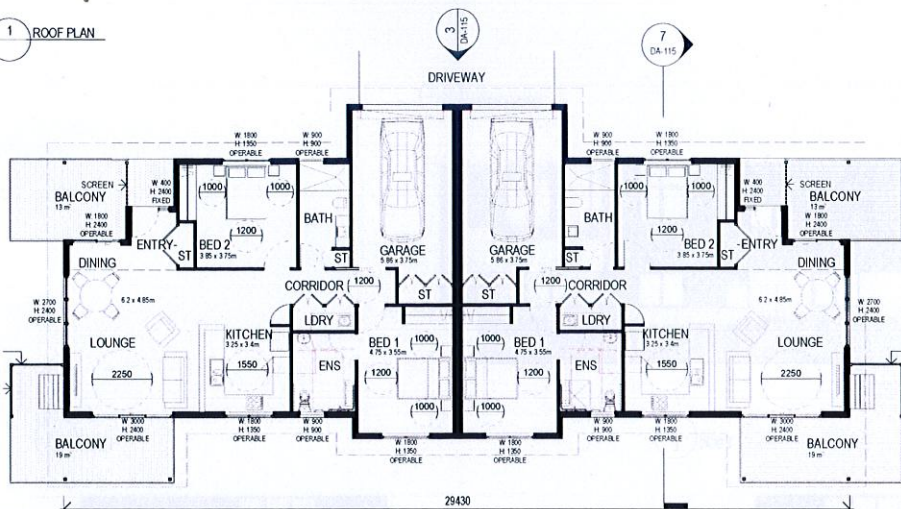




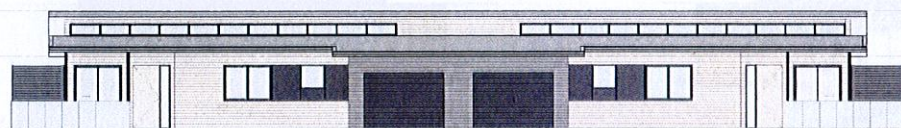




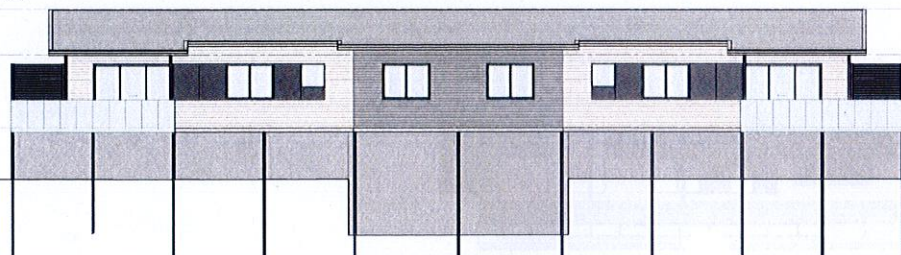
1 ROOF PLAN



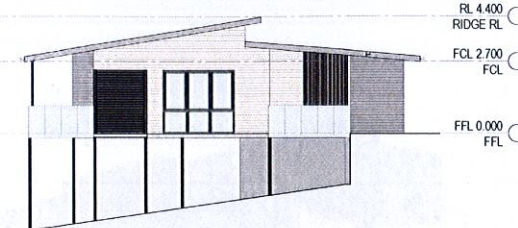
2 FLOOR PLAN



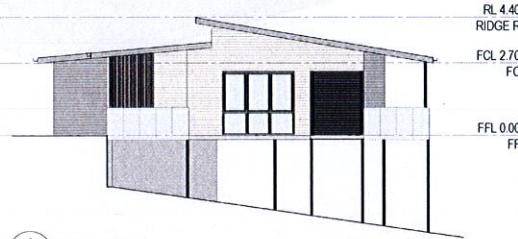
3 FRONT ELEVATION



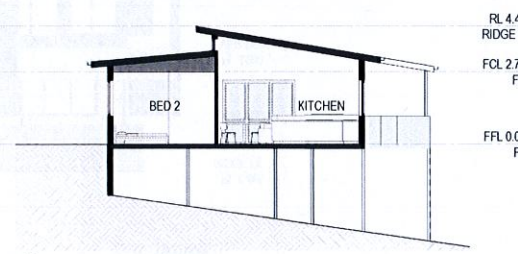
5 REAR ELEVATION



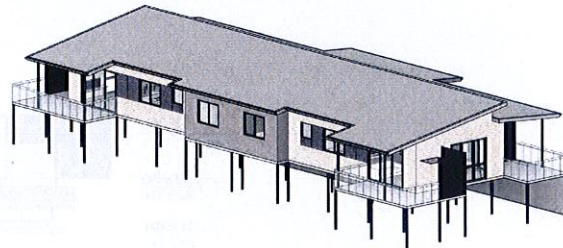
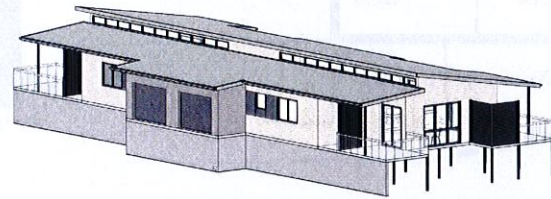
4 LEFT ELEVATION



6 RIGHT ELEVATION



7 SECTION



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AMENDMENTS

NO.	DESCRIPTION	APPROVED	DATE
1	ISSUED FOR DA	RW	11/01/18
2	ISSUED FOR DA	RW	20/01/18
3	ISSUED FOR DA	RW	24/02/18
4	ISSUED FOR DA	RW	06/03/18

AREAS  
UNIT AREA (EXCLUDING GARAGE) - 107 m<sup>2</sup>  
GARAGE - 25 m<sup>2</sup>

50mm on original  
THIS DRAWING ISSUE HAS BEEN REVIEWED FOR

D.A. ISSUE

APPROVED BY: RW  
CLIENT: AVEO GROUP PTY LTD

DRAWING: INDEPENDENT LIVING UNIT - TYPE 1B (ATTACHED) - PLANS, ELEVATIONS AND SECTIONS  
DATE: DECEMBER 2017  
SCALE: @ A1  
ISSUE: 4

PROJECT: AVEO PENINSULA GARDENS  
79 CABBAGE TREE ROAD  
BAYVIEW, NSW, 2104

744 Hunter Street  
Newcastle  
761 2 4969 8177  
E: newcastle@jacksontffcf.com.au  
A: 744 Hunter Street  
Newcastle NSW 2300 Australia

JACKSON TFFCF

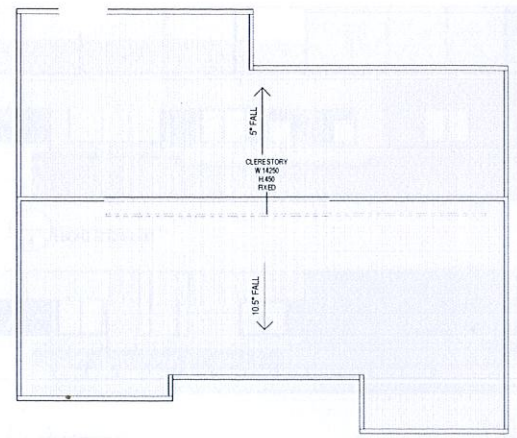
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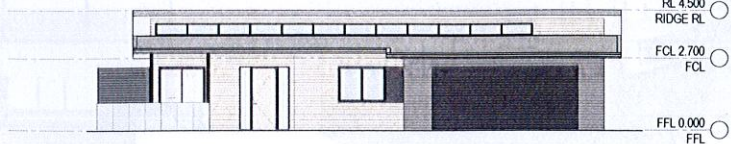
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NO.	DATE	APPROVAL	DATE
1	J.A.D.	RW	11/01/2018
2	J.A.D.	RW	16/01/2018
3	J.A.D.	RW	01/02/2018
4	ISSUED FOR DA	RW	06/02/2018

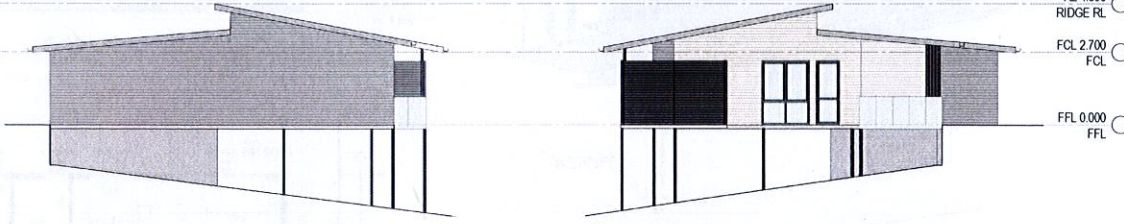
**AREAS**  
 UNIT AREA (EXCLUDING GARAGE) - 127 m<sup>2</sup>  
 GARAGE - 43 m<sup>2</sup>



1 ROOF PLAN

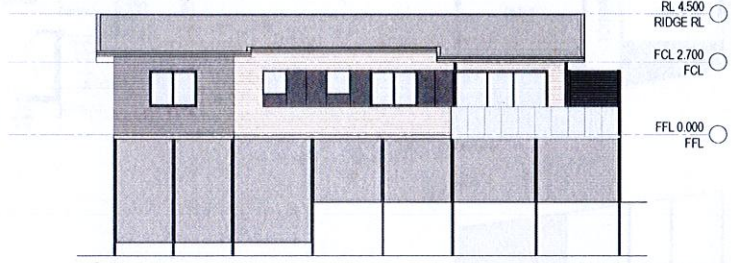


3 FRONT ELEVATION

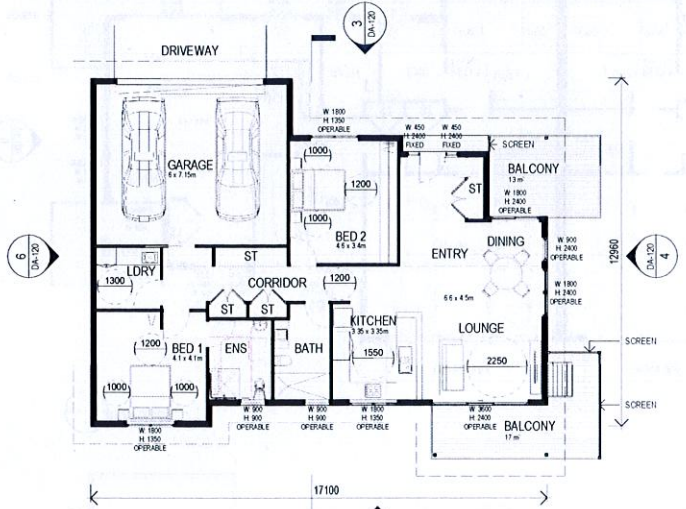


6 RIGHT ELEVATION

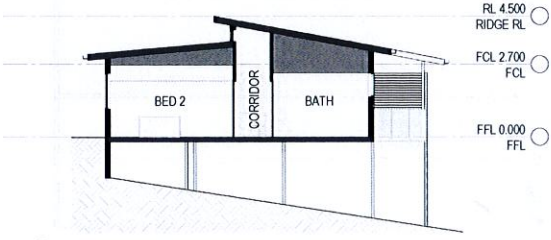
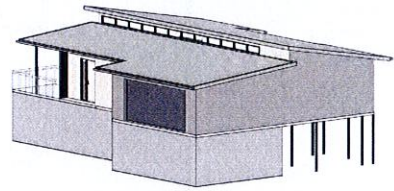
4 LEFT ELEVATION



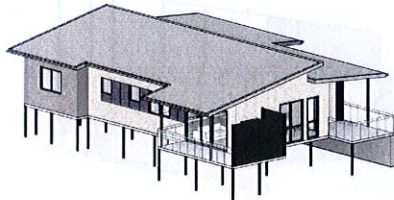
5 REAR ELEVATION



2 FLOOR PLAN



7 SECTION



50mm on original  
 THIS DRAWING HAS BEEN REVIEWED FOR

**D.A. ISSUE**

APPROVED BY: RW  
 CHECKED BY: TM  
 CLIENT: AVEO GROUP PTY LTD

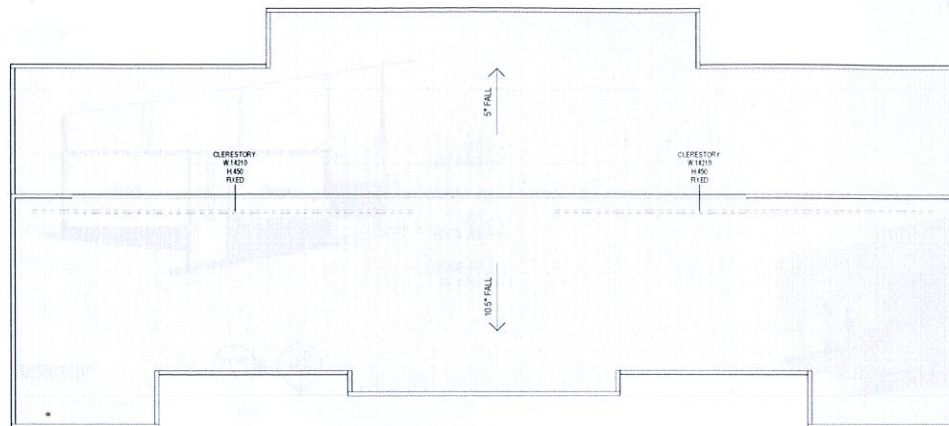
DRAWING: INDEPENDENT LIVING UNIT - TYPE 2A - PLANS, ELEVATIONS AND SECTIONS  
 DATE: DECEMBER 2017  
 SCALE @ A1: 1:100  
 DRAWING NO: 2017032  
 ISSUE: 4

PROJECT: AVEO PENINSULA GARDENS  
 79 CABBAGE TREE ROAD  
 BAYVIEW, NSW, 2104

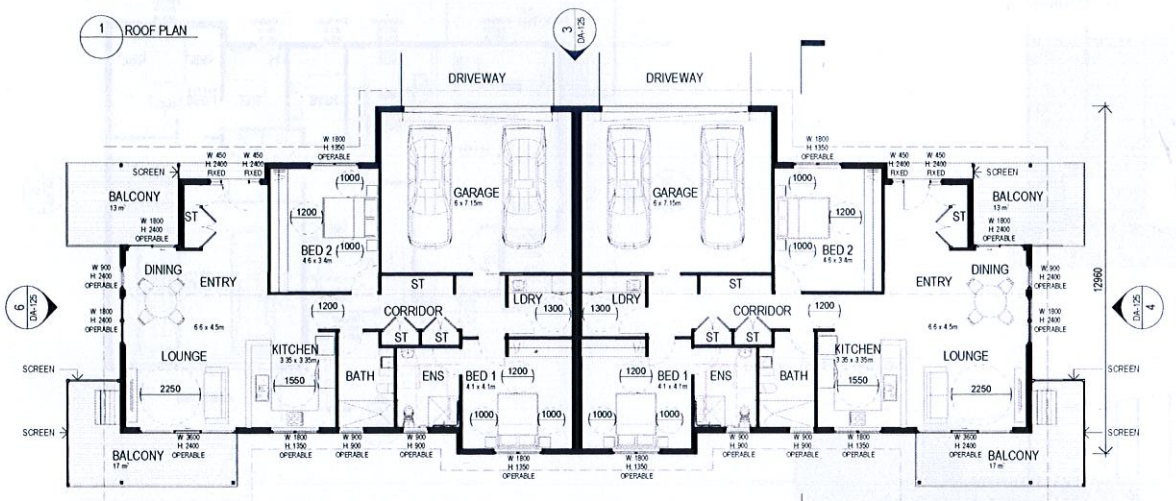
744 Hunter Street  
 Newcastle West New South Wales 2302 Australia  
 Tel: 02 4950 9999 Fax: 02 4950 4377  
 E: newcastle@jacksontffcc.com.au  
 250 Lakes Tower Newcastle Water Park Ltd  
 Trading as The Beach House  
 2500 Lakes Drive  
 Newcastle Australia NSW 2302



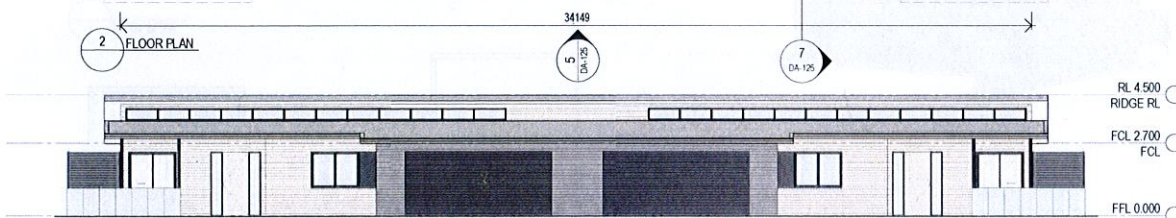
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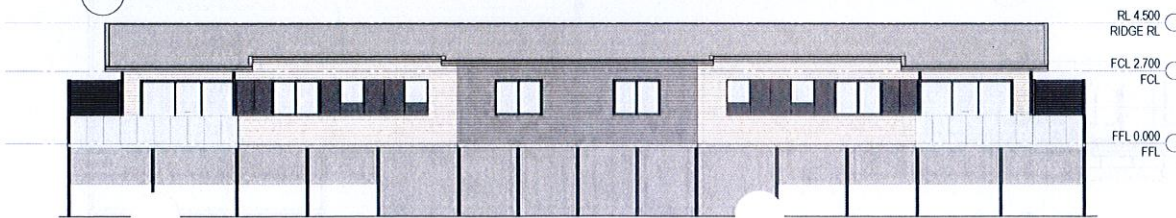
1 ROOF PLAN



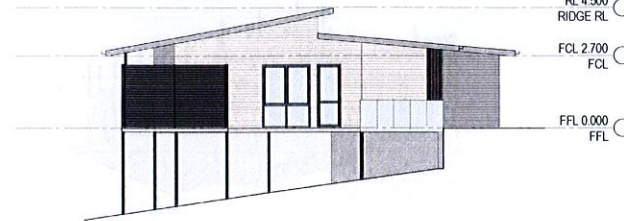
2 FLOOR PLAN



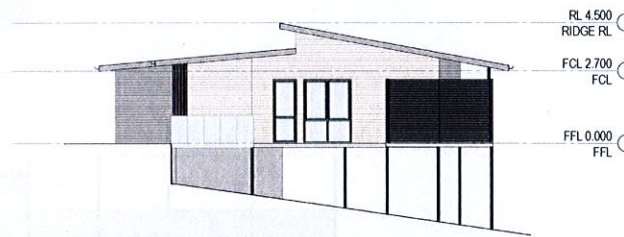
3 FRONT ELEVATION



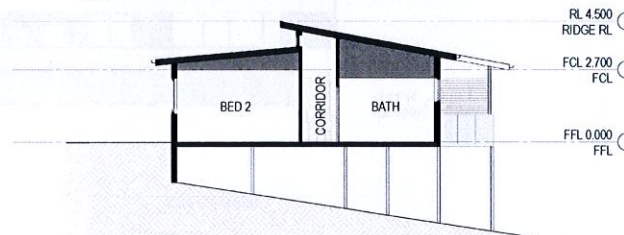
5 REAR ELEVATION



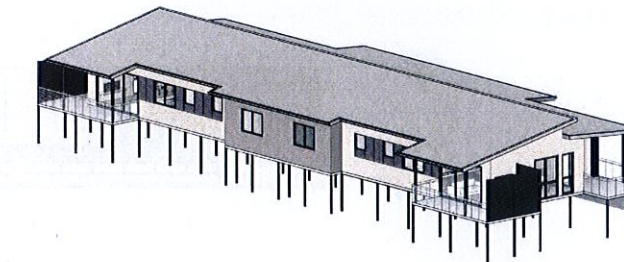
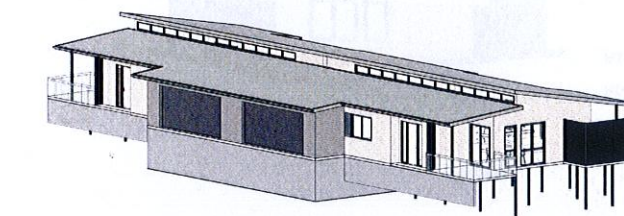
4 LEFT ELEVATION



6 RIGHT ELEVATION



7 SECTION



AMENDMENTS

NO.	DESCRIPTION	APPROVED BY	DATE
1	ISSUED FOR A	RW	11/6/2018
2	ISSUED FOR A	RW	30/1/2019
3	ISSUED FOR A	RW	01/02/2019
4	ISSUED FOR A	RW	04/02/2019

AREAS  
UNIT AREA (EXCLUDING GARAGE) - 127 m<sup>2</sup>  
GARAGE - 43 m<sup>2</sup>

50mm on original

THIS DRAWING ISSUE HAS BEEN REVIEWED FOR

D.A. ISSUE

APPROVED BY: RW  
CLIENT: AVEO GROUP PTY LTD

DRAWING: INDEPENDENT LIVING UNIT - TYPE 2A (ATTACHED) - PLANS, ELEVATIONS AND SECTIONS  
DATE: 20170321 SCALE: @A1  
DECEMBER 2017 1:100

PROJECT NO: 20170321 DRAWING NO: DA-125

PROJECT: AVEO PENINSULA GARDENS  
79 CABBAGE TREE ROAD  
BAYVIEW, NSW, 2104

744 Hunter Street  
Newcastle  
New South Wales 2302 Australia  
T 012  
F 012 4965 8777  
www.jacksontree.com  
AVO - Peninsulas  
Nissan and Architecture Bondo (1475)

JACKSON TREE



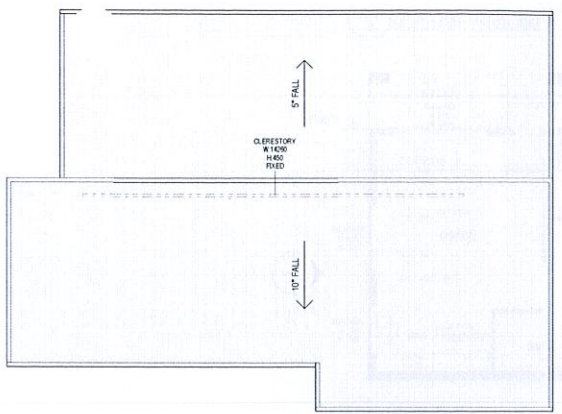
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NO.	REVISION	DATE
1	ISSUED FOR D.A.	08/02/2018
2	ISSUED FOR D.A.	08/02/2018
3	ISSUED FOR D.A.	08/02/2018
4	ISSUED FOR D.A.	08/02/2018

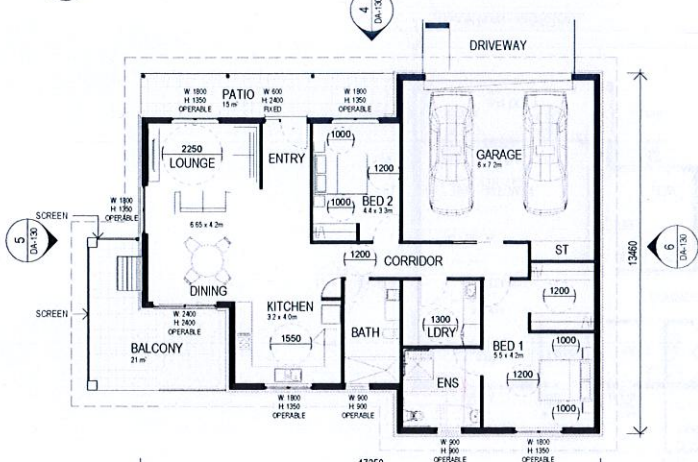
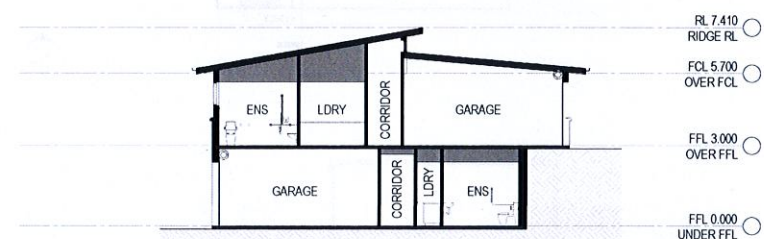
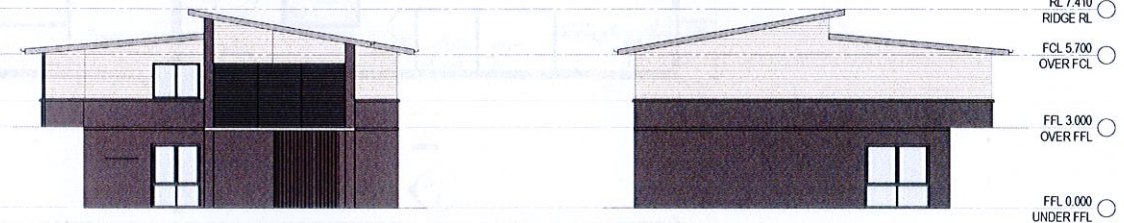
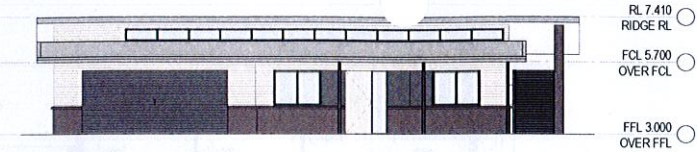
NO.	REVISION	DATE
1	ISSUED FOR D.A.	08/02/2018
2	ISSUED FOR D.A.	08/02/2018
3	ISSUED FOR D.A.	08/02/2018
4	ISSUED FOR D.A.	08/02/2018

**AREAS - OVER UNIT**  
 UNIT AREA (EXCLUDING GARAGE) - 130 m<sup>2</sup>  
 GARAGE - 45 m<sup>2</sup>

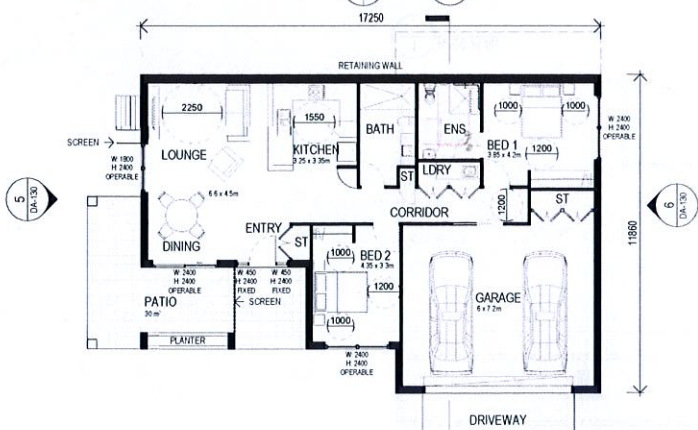
**AREAS - UNDER UNIT**  
 UNIT AREA (EXCLUDING GARAGE) - 107 m<sup>2</sup>  
 GARAGE - 46 m<sup>2</sup>



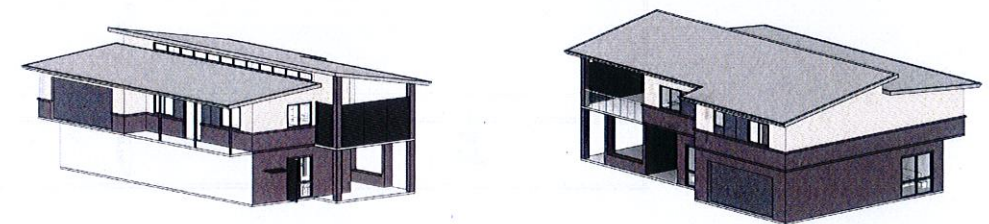
1 ROOF PLAN



2 FLOOR PLAN - OVER UNIT



3 FLOOR PLAN - UNDER UNIT



50mm on original

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D.A. ISSUE

DESIGNED BY: TM  
 CLIENT: AVEO GROUP PTY LTD

DRAWING: INDEPENDENT LIVING UNIT - TYPE 3A - PLANS, ELEVATIONS AND SECTIONS  
 DATE: DECEMBER 2017  
 SCALE @ A1: 1:100  
 DRAWN BY: IW

PROJECT NO: 2017032  
 DRAWING NO: DA-130  
 ISSUE: 4

PROJECT: AVEO PENINSULA GARDENS  
 79 CABBAGE TREE ROAD  
 BAYVIEW, NSW, 2104

744 Hunter Street  
 Newcastle West New South Wales 2302 Australia  
 T 61 8 4969 9100 F 61 8 4969 6177  
 E newcastle@jacksonteece.com  
 Jackson Teece Endeavour Hill NSW Pty Ltd  
 Trading as Jackson Teece  
 ABN 61 614 527 945  
 Structure and Architecture has been provided by Jackson Teece

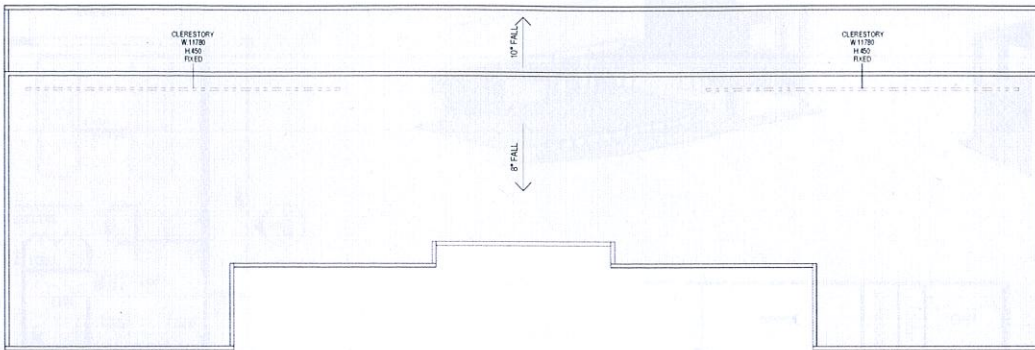
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AMENDMENTS

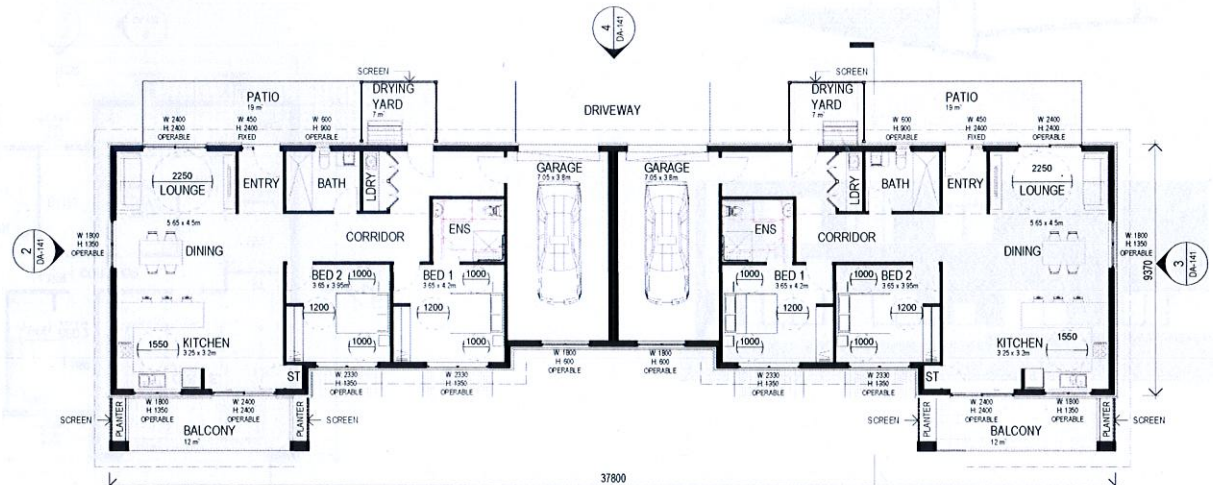
SUB #	DESCRIPTION	APPROVED	DATE
1	ISSUED FOR DA	RW	11/01/2017
2	ISSUED FOR DA	RW	10/01/2017
3	ISSUED FOR DA	RW	01/02/2018
4	ISSUED FOR DA	RW	06/07/2018



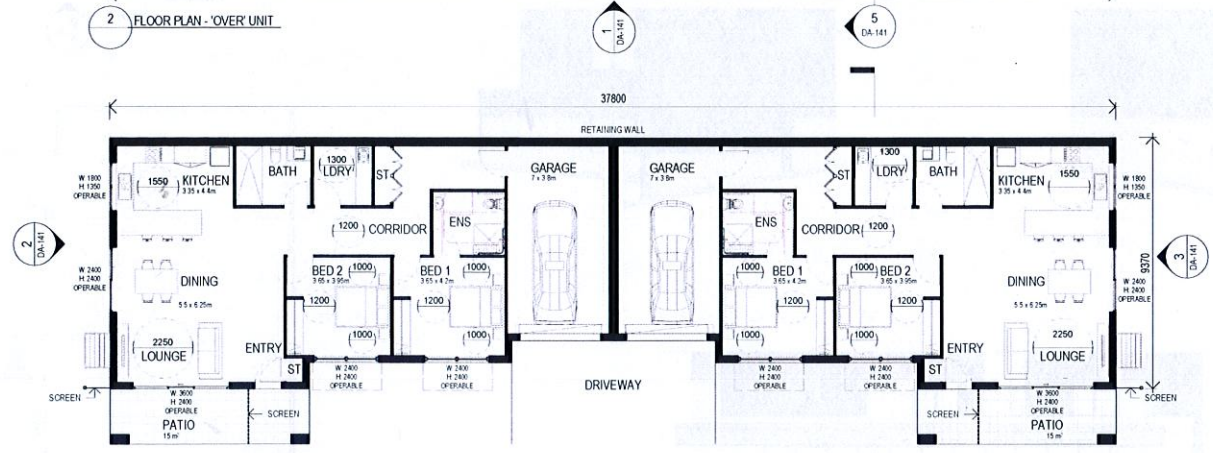
1 ROOF PLAN

AREAS - 'OVER' UNIT  
UNIT AREA (EXCLUDING GARAGE) - 122 m<sup>2</sup>  
GARAGE - 27 m<sup>2</sup>

AREAS - 'UNDER' UNIT  
UNIT AREA (EXCLUDING GARAGE) - 121 m<sup>2</sup>  
GARAGE - 27 m<sup>2</sup>



2 FLOOR PLAN - 'OVER' UNIT



3 FLOOR PLAN - 'UNDER' UNIT

50mm on original

THIS DRAWING IS A SCREEN REVIEWED FOR

D.A. ISSUE

APPROVED BY: RW  
CLIENT: AVEO GROUP PTY LTD

DRAWING: INDEPENDENT LIVING UNIT - TYPE 4A (ATTACHED) - PLANS  
DATE: DECEMBER 2017  
SCALE @ A1: 1:100  
PROJECT No: 2017032  
DRAWING No: DA-140  
ISSUE: 4

PROJECT: AVEO PENINSULA GARDENS  
79 CABBAGE TREE ROAD  
BAYVIEW, NSW, 2104

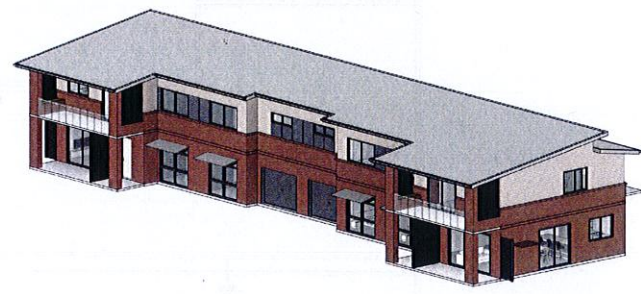
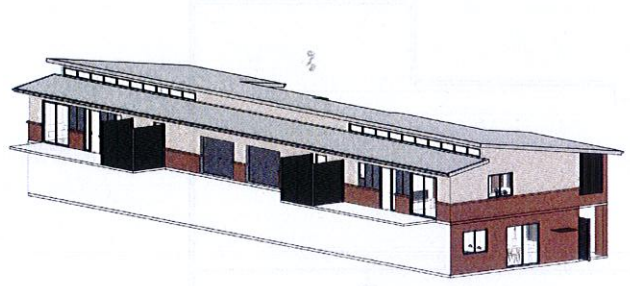
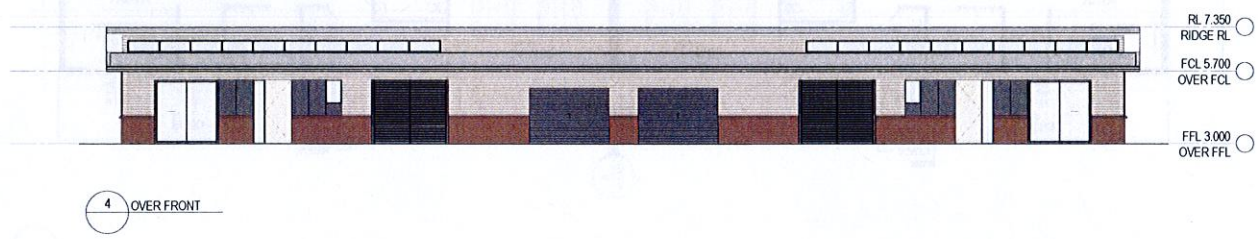
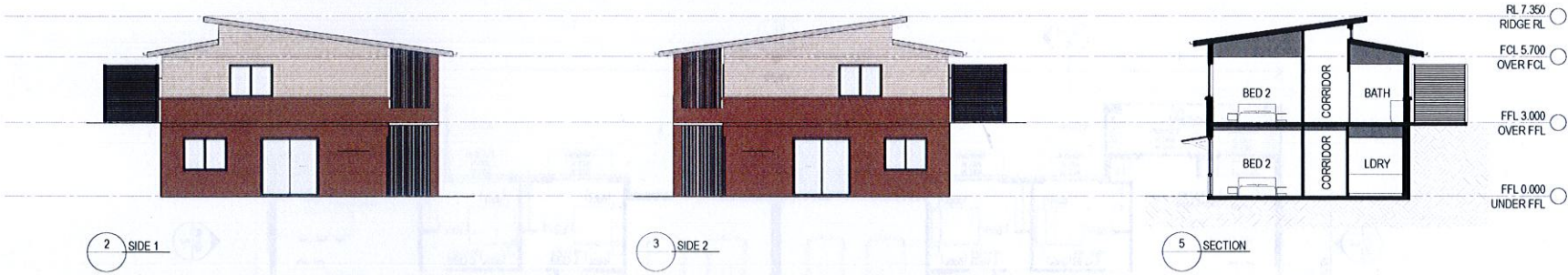
744 Hunter Street  
Newcastle  
New South Wales 2302 Australia  
Tel: 02 4966 6177  
E: info@jtreece.com  
www.jtreece.com.au  
AVR 18/08/2018  
Normal and Archival (see Module 10.1.1)



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AMENDMENTS

NO.	DATE	BY	REASON
1	10/12/2017	RW	ISSUED FOR DA
2	10/12/2017	RW	ISSUED FOR DA
3	10/12/2017	RW	ISSUED FOR DA
4	10/12/2017	RW	ISSUED FOR DA



50mm on original

THIS DRAWING ISSUE HAS BEEN REVIEWED FOR

**D.A. ISSUE**

APPROVED BY: RW      CHECKED BY: TM

CLIENT: AVEO GROUP PTY LTD

DRAWING: INDEPENDENT LIVING UNIT - TYPE 4A (ATTACHED) - ELEVATIONS AND SECTIONS

DATE: DECEMBER 2017      SCALE @ A1: 1:100      DRAWN BY: IW

PROJECT NO: 2017032      DRAWING NO: DA-141      ISSUE: 4

PROJECT: AVEO PENINSULA GARDENS  
79 CABBAGE TREE ROAD  
BAYVIEW, NSW, 2104

744 Hunter Street  
Newcastle West New South Wales 2302 Australia  
Tel: +61 81 499 6900    Fax: +61 81 499 6177  
E: newcastle@jacksonteece.com  
Sydney: 79900000    Melbourne: 79900000  
Trading as Jackson Teece  
ABN: 62 628 121 490  
Newstead Architect Inc. (12/12/17)

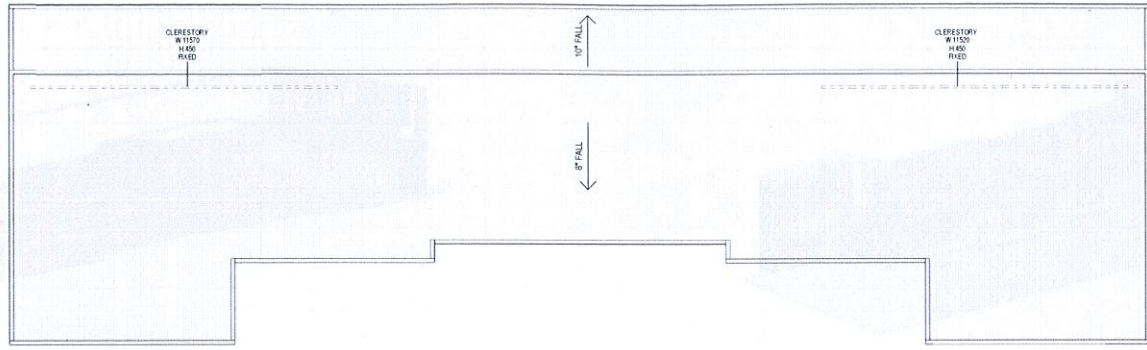
**JACKSON TEECE**



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AMENDMENTS

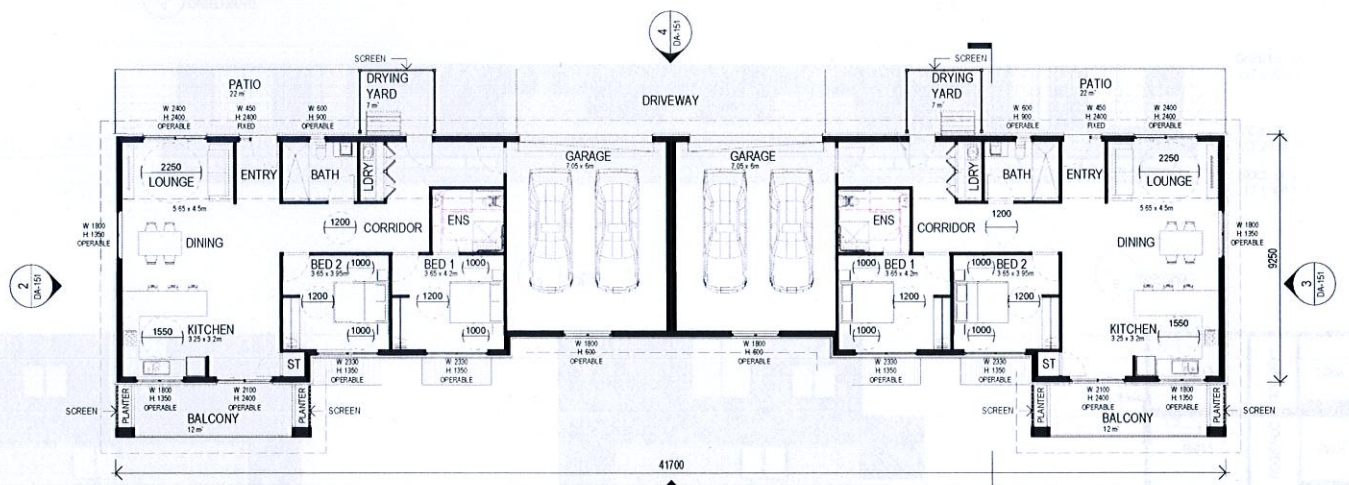
NO.	DESCRIPTION	DATE
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2	ISSUED FOR DA	12/01/2017
3	ISSUED FOR DA	12/01/2017
4	ISSUED FOR DA	06/02/2018



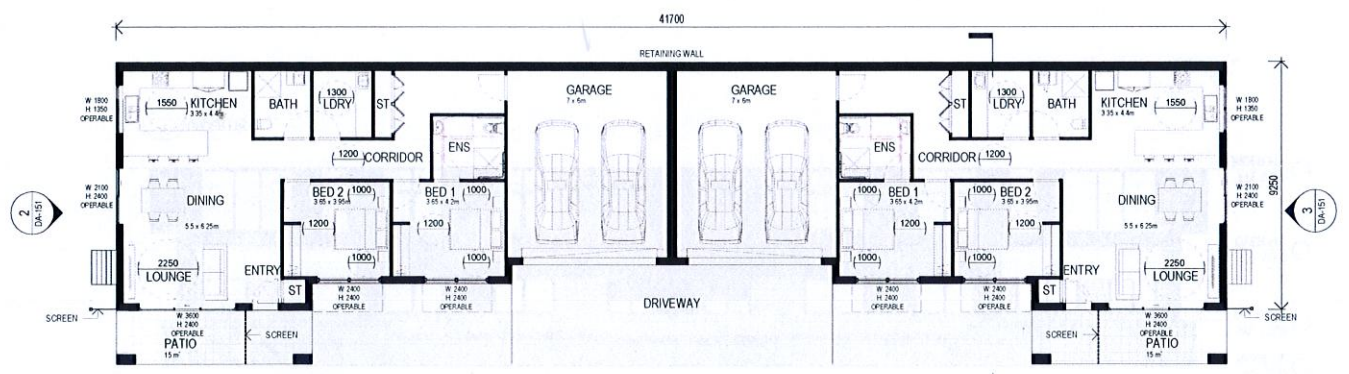
1 ROOF PLAN

AREAS - 'OVER' UNIT  
UNIT AREA (EXCLUDING GARAGE) - 118 m<sup>2</sup>  
GARAGE - 42 m<sup>2</sup>

AREAS - 'UNDER' UNIT  
UNIT AREA (EXCLUDING GARAGE) - 118 m<sup>2</sup>  
GARAGE - 42 m<sup>2</sup>



2 FLOOR PLAN - 'OVER' UNIT



3 FLOOR PLAN - 'UNDER' UNIT

50mm on original  
THIS DRAWING SCALE HAS BEEN REVIEWED FOR

D.A. ISSUE

APPROVED BY: RW CLIENT: AVEO GROUP PTY LTD  
CHECKED BY: TM

DRAWING: INDEPENDENT LIVING UNIT - TYPE 5A (ATTACHED) - PLANS

DATE: DECEMBER 2017 SCALE @ A1: 1:100 DRAWN BY: IW  
PROJECT No: 2017032 DRAWING No: DA-150 ISSUE: 4

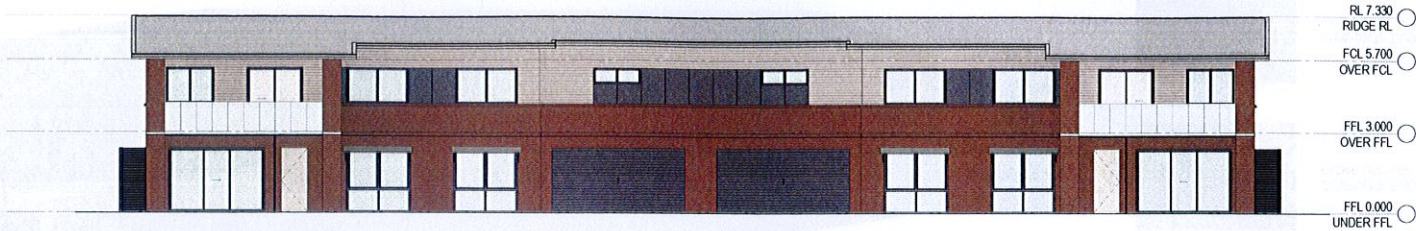
PROJECT: AVEO PENINSULA GARDENS  
79 CABBAGE TREE ROAD  
BAYVIEW, NSW, 2104

744 Hunter Street  
Newcastle  
New South Wales 2302 Australia  
T: 61 2 4959 4977  
E: newcastle@jacksontree.com.au  
A: 10/11-12/13  
W: www.jacksontree.com.au  
ABN: 61 618 844 444  
Not a registered tax agent (see 10/11-12/13)

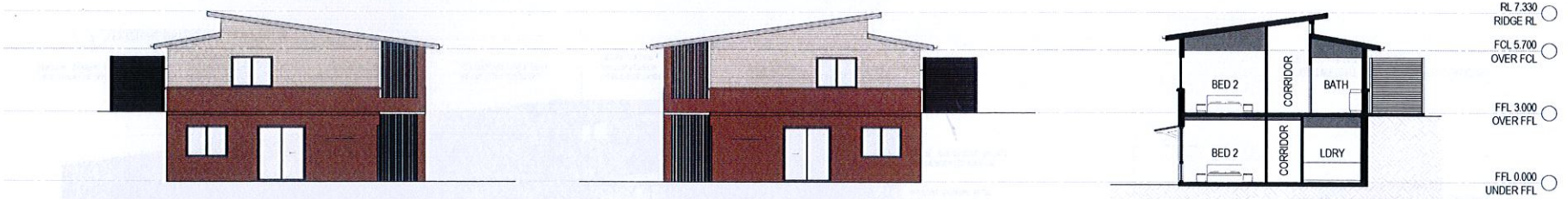


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ISSUE	Y	APPROVED DATE
1	DA	RW 11/01/2018
2	DA	RW 20/01/2018
3	DA	RW 01/02/2018
4	ISSUED FOR DA	RW 06/02/2018



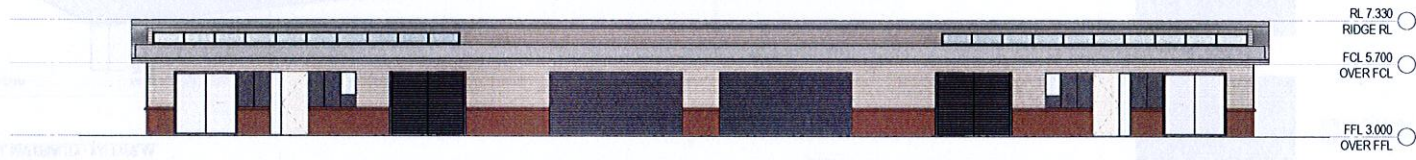
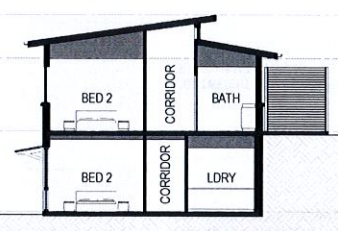
1 UNDER FRONT



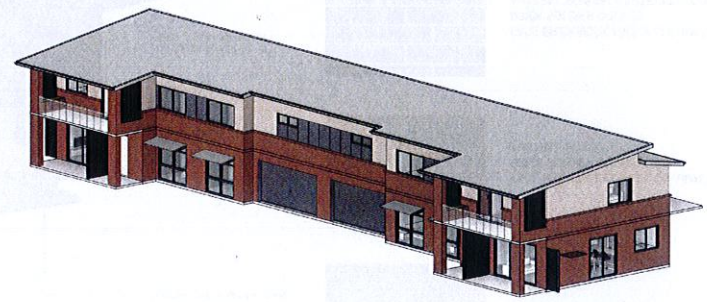
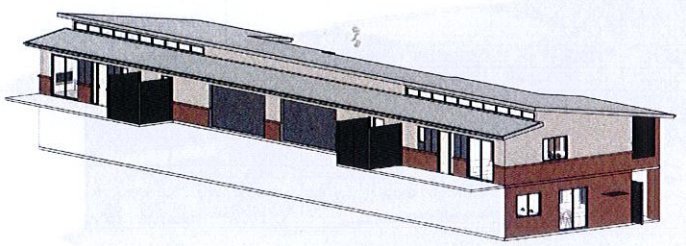
2 SIDE 1

3 SIDE 2

5 SECTION



4 OVER FRONT



50mm on original

THIS DRAWING ISSUE HAS BEEN REVIEWED FOR

**D.A. ISSUE**

APPROVED BY: RW  
 CLIENT: AVEO GROUP PTY LTD

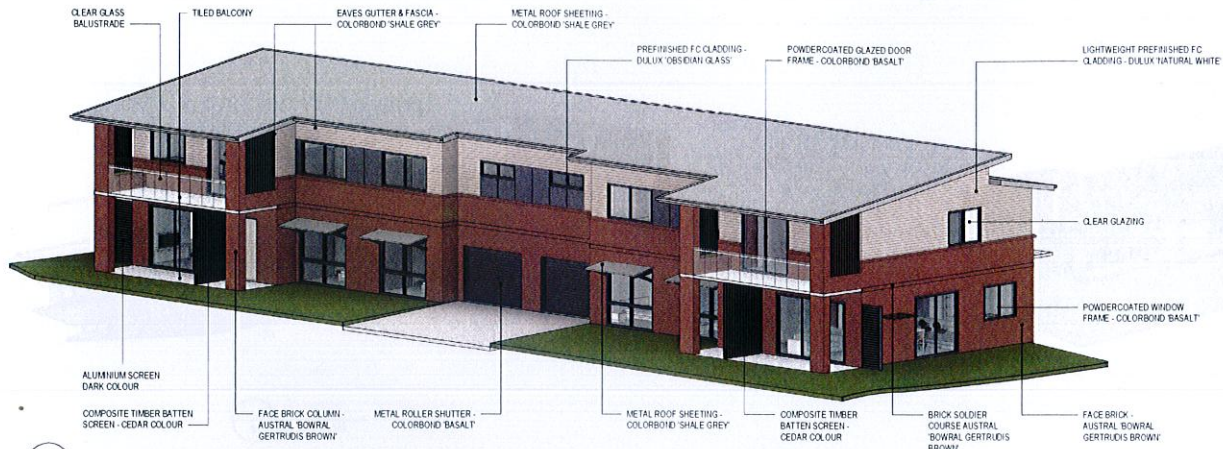
DRAWING: INDEPENDENT LIVING UNIT - TYPE 5A (ATTACHED) - ELEVATIONS AND SECTIONS  
 DATE: 2017032  
 SCALE: @ A1  
 PROJECT NO: 2017032  
 DRAWING NO: DA-151  
 ISSUE: 4

PROJECT: AVEO PENINSULA GARDENS  
 79 CABBAGE TREE ROAD  
 BAYVIEW, NSW, 2104

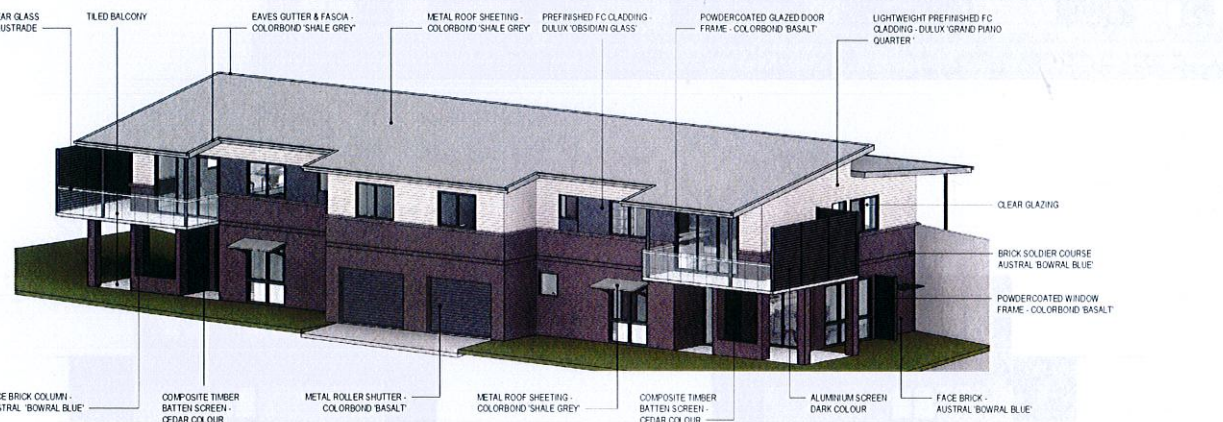
744 Hunter Street  
 Newcastle West New South Wales 2302 Australia  
 T 61 2 4959 5199 F 61 2 4959 6177  
 E newcastle@jacksonteece.com  
 Jackson Teece Business Units Pty Ltd  
 Trading as Jackson Teece  
 ABN 52 618 879 499  
 Struct and Architect Inc. Member (4175)

**JACKSON TEECE**

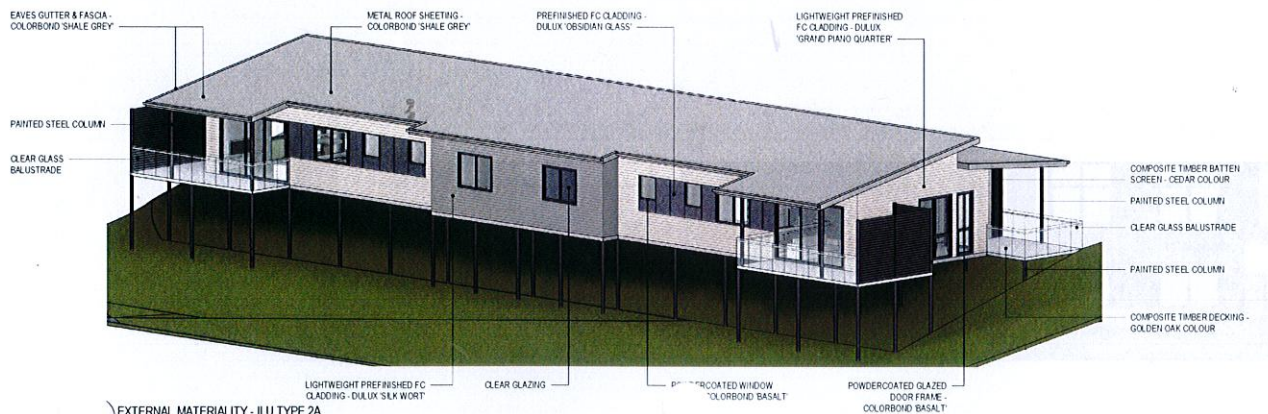




1 EXTERNAL MATERIALITY - ILU TYPE 4A



2 EXTERNAL MATERIALITY - ILU TYPE 1A



EXTERNAL MATERIALITY - ILU TYPE 2A

MATERIAL PALETTE



METAL ROOF SHEETING - COLORBOND 'SHALE GREY'



FACE BRICKWORK / BRICK COLUMNFACE & BRICK SOLDIER COURSE - AUSTRAL 'BOWRAL BLUE'



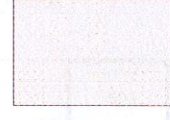
FACE BRICKWORK / BRICK COLUMNFACE & BRICK SOLDIER COURSE - AUSTRAL 'BOWRAL GERTRUDIS BROWN'



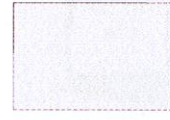
PREFINISHED FC CLADDING - DULUX 'OBSIDIAN GLASS'



POWDERCOATED ALUMINIUM WINDOW AND DOOR FRAMES - COLORBOND 'BASALT'



LIGHTWEIGHT PREFINISHED FC CLADDING - DULUX 'GRAND PIANO QUARTER'



LIGHTWEIGHT PREFINISHED FC CLADDING - DULUX 'NATURAL WHITE'



LIGHTWEIGHT PREFINISHED FC CLADDING - DULUX 'SILK WORT'



COMPOSITE TIMBER BATTEN SCREEN - CEDAR COLOUR



COMPOSITE TIMBER DECKING - GOLDEN OAK COLOUR

MAY NOT BE REPRODUCED IN WHOLE OR PART OR BY ANY MEANS WITHOUT THE WRITTEN PERMISSION OF JACKSON TREE GROUP. SCALE THIS DRAWING TO FIT. FOR THE INFORMATION OF CLIENTS, ALL PRODUCTS LISTED ARE AVAILABLE ON SITE UNLESS OTHERWISE SPECIFIED. JACKSON TREE GROUP IS NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED.

AMENDMENTS

NO.	DESCRIPTION	APPROVED	DATE
1	ISSUED FOR D.A.	RM	11/01/2014
2	ISSUED FOR D.A.	RM	20/01/2014
3	ISSUED FOR D.A.	RM	01/02/2014
4	ISSUED FOR D.A.	RM	06/02/2014

50mm on original

THIS DRAWING ISSUE HAS BEEN REVIEWED FOR

D.A. ISSUE

APPROVED BY: RW  
 CLIENT: AVEO GROUP PTY LTD

DRAWING EXTERNAL MATERIALITY

DATE	SCALE @ A1	DRAWN
DECEMBER 2017	NTS	HF
PROJECT NO.	DRAWING NO.	ISSUE
2017032	DA-200	4

PROJECT AVEO PENINSULA GARDENS  
 79 CABBAGE TREE ROAD  
 BAYVIEW, NSW, 2104

244 Hunter Street  
 Newcastle NSW 2302 Australia  
 T 61 2 4959 6177  
 F 61 2 4959 6177  
 E sales@jacksontree.com.au  
 A Jackson Tree Pty Ltd  
 Trading as JTB  
 ARB 13 070 879 200  
 Not a Public Company (Section 451C)

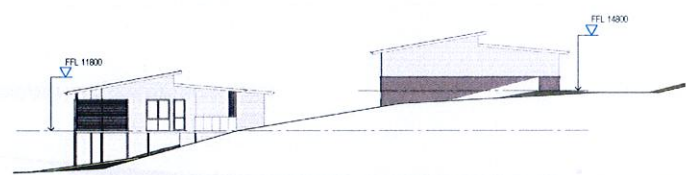


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NO.	DATE	BY	REVISION
1	04/11/2017	HW	ISSUED FOR DA
2	06/02/2018	HW	ISSUED FOR DA
3	08/02/2018	HW	ISSUED FOR DA
4	08/02/2018	HW	ISSUED FOR DA



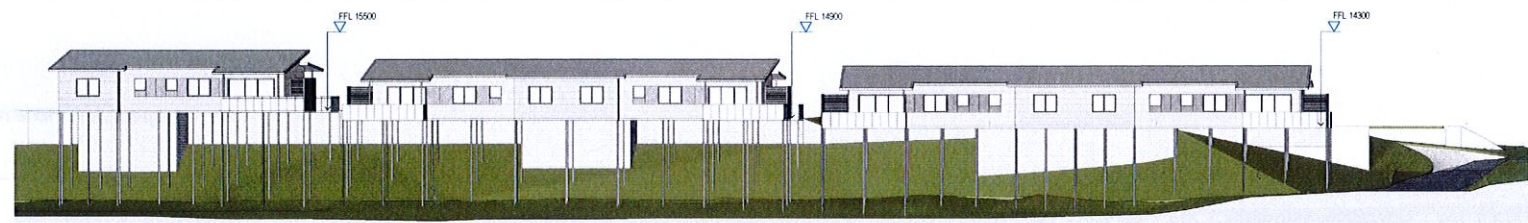
1 SITE ELEVATION - NORTH



2 SITE ELEVATION - EAST



3 SITE ELEVATION - WEST



4 SITE ELEVATION - SOUTH

50m on original

THIS DRAWING ISSUE HAS BEEN REVIEWED FOR

**D.A. ISSUE**

DESIGNED BY: HW  
 CHECKED BY: TM  
 CLIENT: AVECO GROUP PTY LTD

DRAWING ELEVATIONS

DATE	SCALE @ A1	DRAWN
DECEMBER 2017	1:200	HF
PROJECT No. 2017032	DRAWING No. DA-300	ISSUE 4

PROJECT: AVECO PENINSULA GARDENS  
 79 CABBAGE TREE ROAD  
 BAYVIEW, NSW, 2104

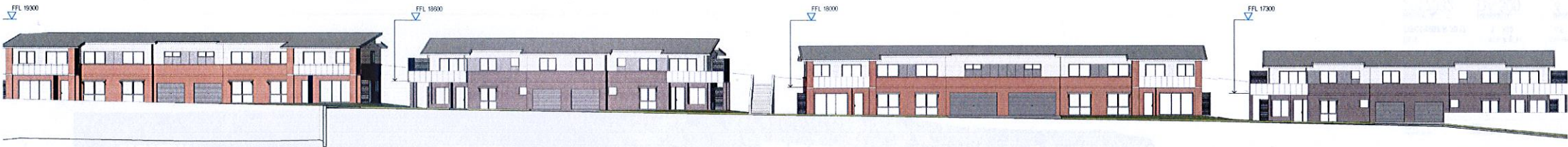
744 Hunter Street  
 Newcastle West, New South Wales 2302 Australia  
 T 61 2 4959 5500 F 61 2 4959 6177  
 E newcastle@jacksonteece.com  
 Australia, Terms & Conditions apply to all.  
 Trading as Jackson Teece  
 ARLN 146187-190  
 New South Wales Architect No. 20684 (1/17)

**JACKSON TEECE**

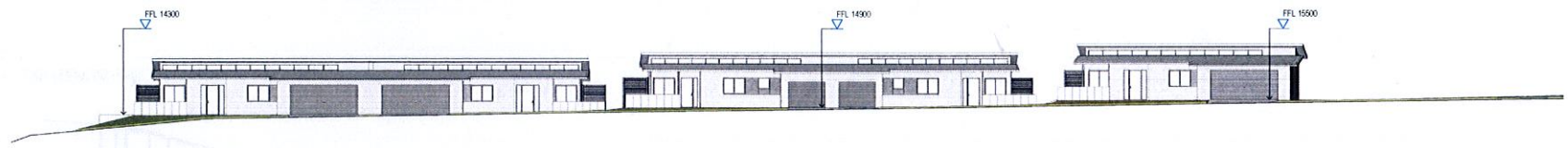


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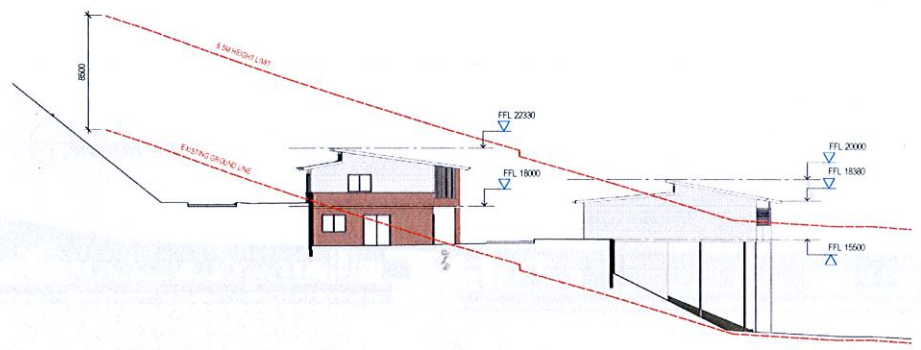
REV #	DESCRIPTION	APPROVED	DATE
1	ISSUED FOR DA	RW	11/01/2017
2	ISSUED FOR DA	RW	20/01/2017
3	ISSUED FOR DA	RW	04/02/2017
4	ISSUED FOR DA	RW	04/02/2017



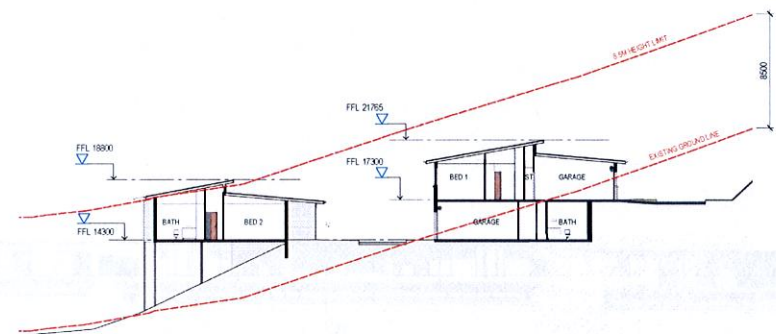
1 STREET ELEVATION - CENTRE ROAD LOOKING NORTH



2 STREET ELEVATION - CENTRE ROAD LOOKING SOUTH



3 SITE SECTION 01



4 SITE SECTION 02

50mm on original  
THIS DRAWING IS A DESIGN REVIEW FOR

D.A. ISSUE

APPROVED BY: RW  
CLIENT: AVEO GROUP PTY LTD

DESIGNED BY: TM

DRAWING ELEVATIONS AND SECTIONS

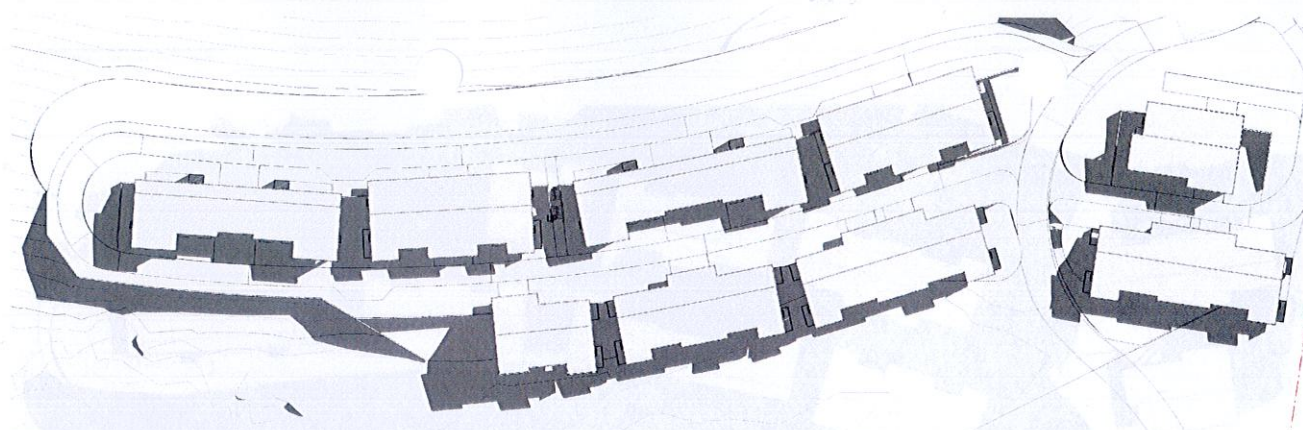
DATE	SCALE @ A1	DRAWN
DECEMBER 2017	1:200	HF
PROJECT No.	DRAWING No.	ISSUE
2017032	DA-301	4

PROJECT  
AVEO PENINSULA GARDENS  
79 CABBAGE TREE ROAD  
BAYVIEW, NSW, 2104

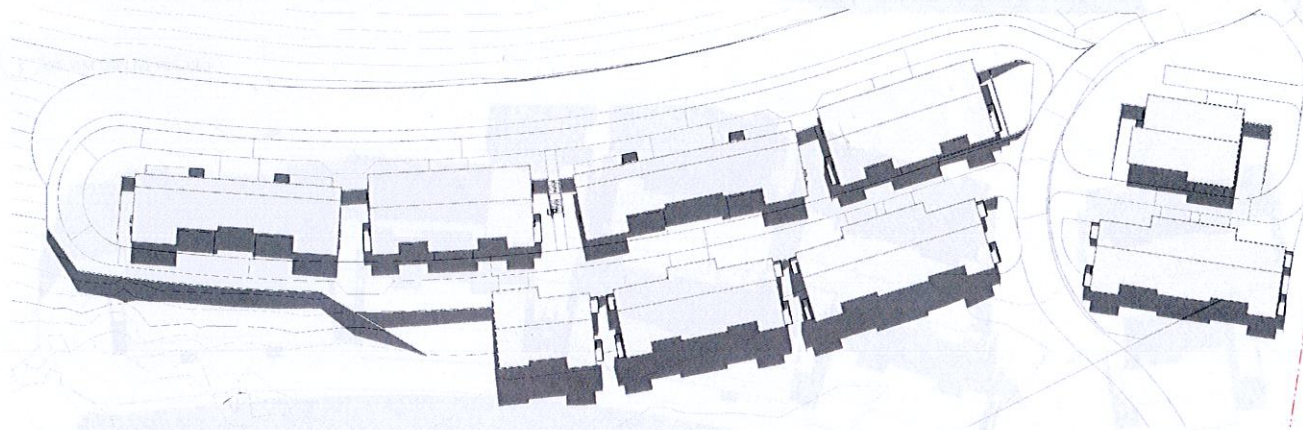
744 Hunter Street  
Newcastle  
T 01 438 4600  
E newcastle@jtree.com.au  
JACKSON TREE PTY LTD  
Sydney and Melbourne (02) 9333 1233

JACKSON TREE

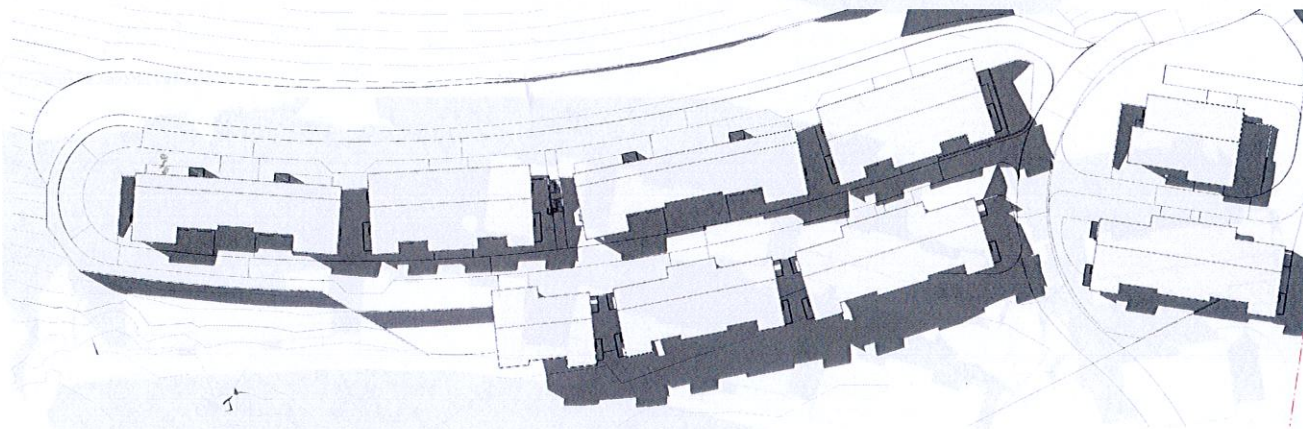




1 SUN ANALYSIS 21ST MARCH 0900h



2 SUN ANALYSIS 21ST MARCH 1200h



3 SUN ANALYSIS 21ST MARCH 1500h

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AMENDMENTS

ISSUE	NO.	APPROVAL	DATE
1	EDA	RW	11/01/2018
2	WDA	RW	30/01/2018
3	ISSUED FOR D.A.	RW	01/02/2018
4	ISSUED FOR D.A.	RW	04/02/2018

50mm on original

THIS DRAWING ISSUE HAS BEEN REVIEWED FOR

**D.A. ISSUE**

APPROVED BY: **RW** CHECKED BY: **TM**  
 CLIENT: **AVEO GROUP PTY LTD**

DRAWING: **SHADOW DIAGRAMS - 21 MAR**

DATE	SCALE @ A1	DRAWN
DECEMBER 2017	1 : 500	HF
PROJECT No. <b>2017032 A</b>	DISCP. <b>DA-600</b>	ISSUE <b>4</b>

PROJECT: **AVEO PENINSULA GARDENS**  
**79 CABBAGE TREE ROAD**  
**BAYVIEW, NSW, 2104**

744 Hunter Street  
 Newcastle West New South Wales 2302 Australia  
 T 61 6 4969 9100 F 61 6 4969 0177  
 E [enewcastle@jacksonteecef.com](mailto:enewcastle@jacksonteecef.com)  
 Jackson Teecef Chartered Architectural Firm Ltd  
 Trading as Jackson Teecef  
 AECU 619197 1/18  
 Success and Accredited Tax Ratable (s171)

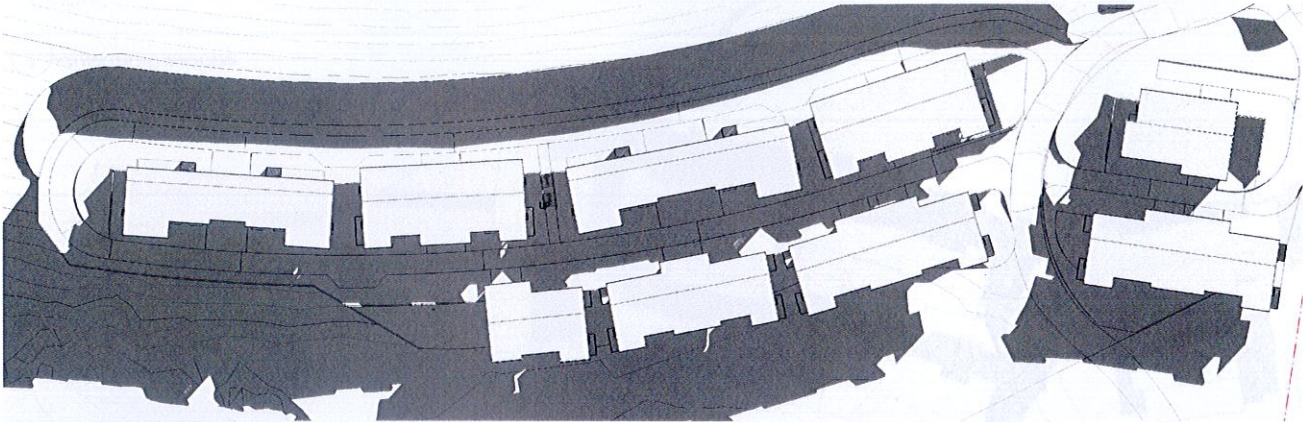
**JACKSON TEECF**



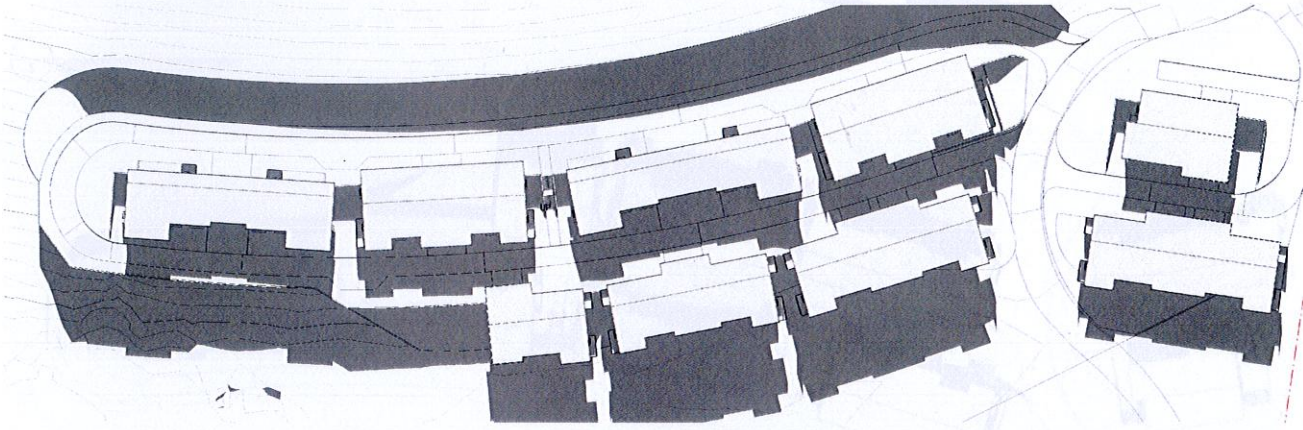
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AMENDMENTS

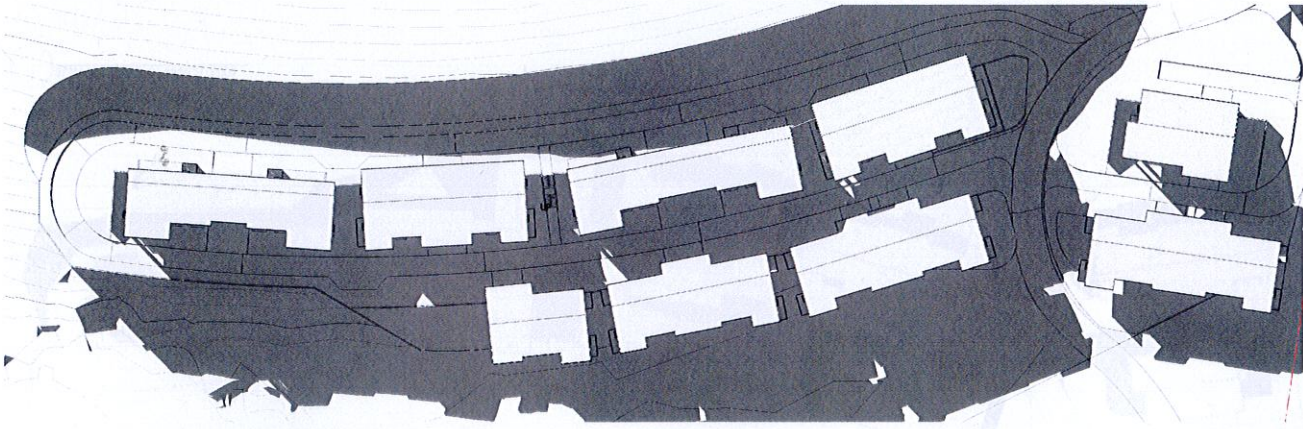
REV#	DESCRIPTION	APPROVED	DATE
1	ISSUED FOR DA	RW	17/01/18
2	ISSUED FOR DA	RW	20/01/18
3	ISSUED FOR DA	RW	01/02/18
4	ISSUED FOR DA	RW	04/02/18



1 SUN ANALYSIS 21ST JUNE 0900h



2 SUN ANALYSIS 21ST JUNE 1200h



3 SUN ANALYSIS 21ST JUNE 1500h

50mm on original

THIS DRAWING ISSUE HAS BEEN REVIEWED FOR

D.A. ISSUE

APPROVED BY: RW  
 CLIENT: AVEO GROUP PTY LTD



DRAWING SHADOW DIAGRAMS - 21 JUN

DATE: DECEMBER 2017 SCALE @ A1: 1 : 500 DRAWN: HF

PROJECT NO: 2017032 A DISCP. DRAWING NO: DA-601 ISSUE: 4

PROJECT AVEO PENINSULA GARDENS  
 79 CABBAGE TREE ROAD  
 BAYVIEW, NSW, 2104

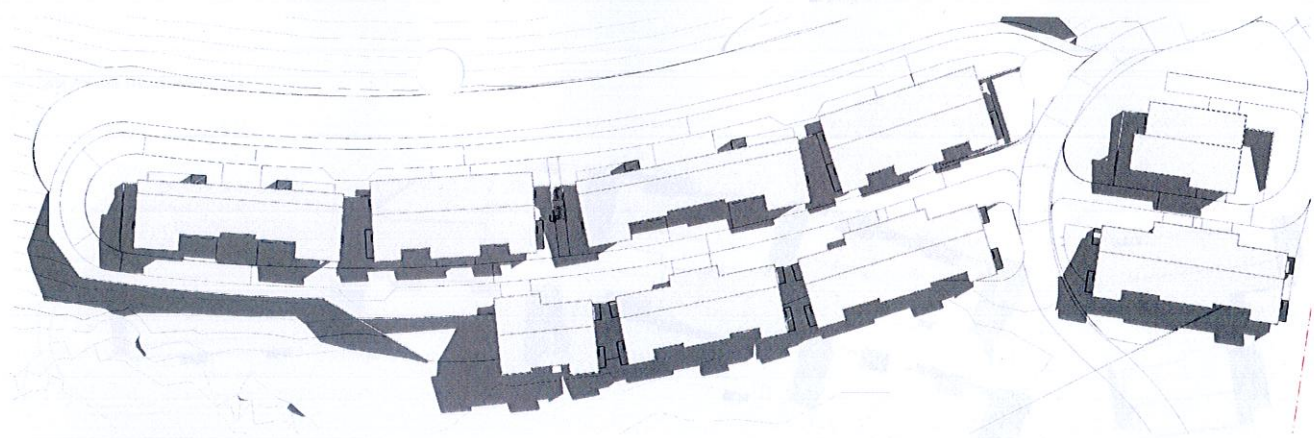
744 Hunter Street  
 Newswear New South Wales 2302 Australia  
 T 61 6 4950 6177  
 F 61 6 4950 6177  
 Jackson Architecture  
 an AVEO Pty Ltd  
 Trading as  
 AVEO Group Pty Ltd  
 Incorporated in Australia (ACN 121 121 121)

JACKSON TEECF

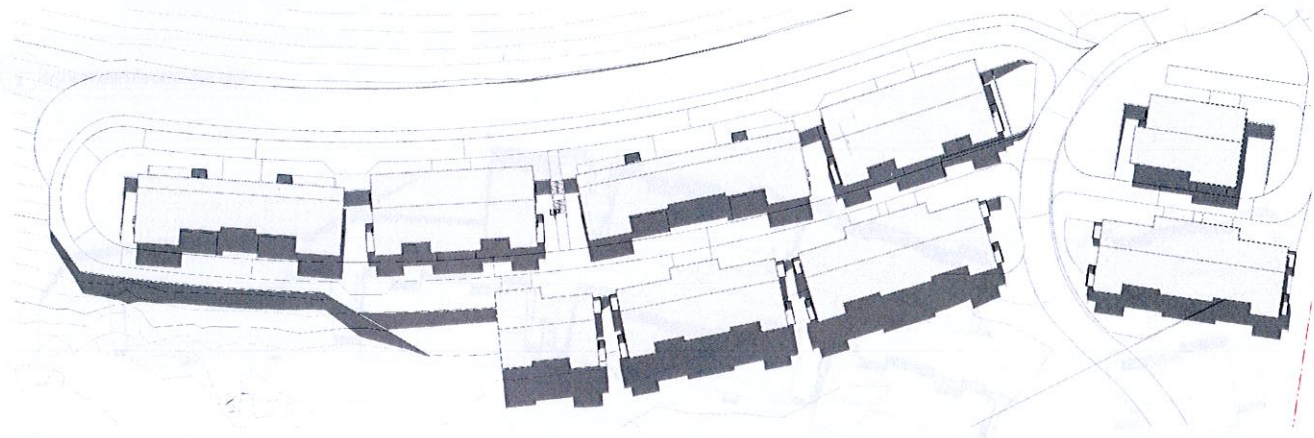


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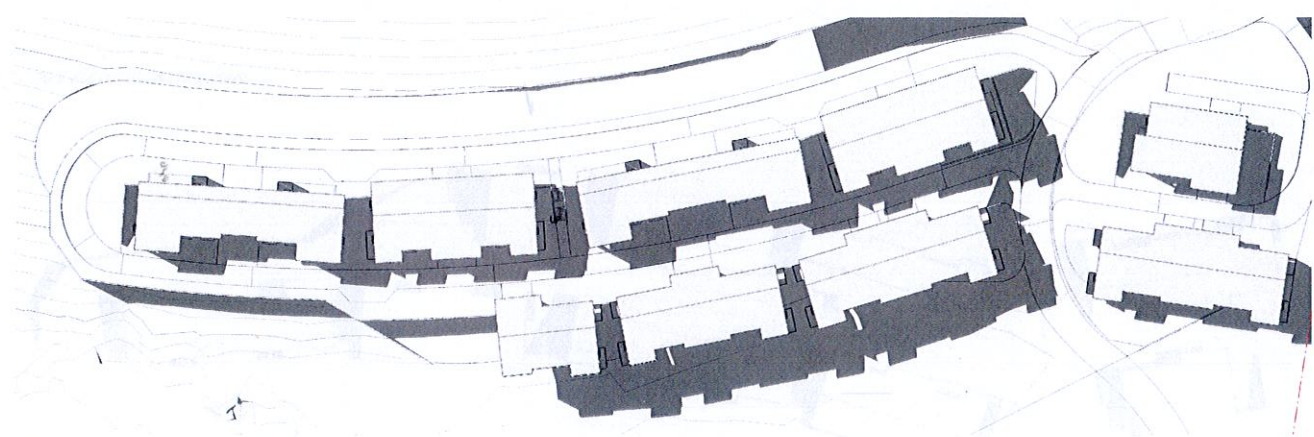
ISSUE	BY	APPROVED BY	DATE
1	JDA	RW	11/01/2018
2	JDA	RW	10/01/2018
3	JDA	RW	01/02/2018
4	JDA	RW	06/02/2018



1 SUN ANALYSIS 21ST SEPTEMBER 0900h



2 SUN ANALYSIS 21ST SEPTEMBER 1200h



3 SUN ANALYSIS 21ST SEPTEMBER 1500h

50mm on original

THIS DRAWING ISSUE HAS BEEN REVIEWED FOR

**D.A. ISSUE**

APPROVED BY: RW  
 CHECKED BY: TM  
 CLIENT: AVEO GROUP PTY LTD

DRAWING: SHADOW DIAGRAMS - 21 SEP

DATE: DECEMBER 2017 SCALE @ A1: 1:500 DRAWN BY: HF  
 PROJECT No.: 2017032 A DISC: DA-602 ISSUE: 4

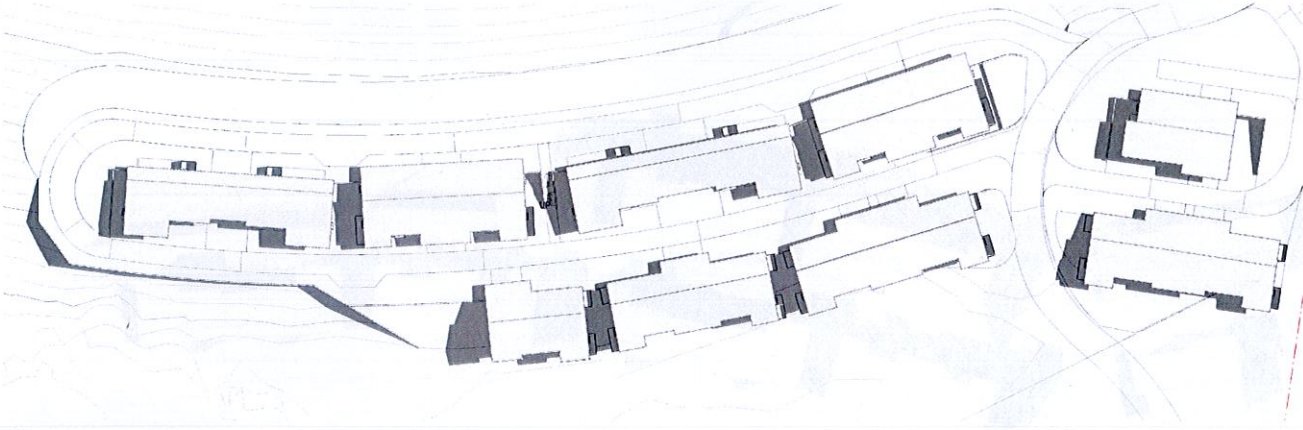
PROJECT: AVEO PENINSULA GARDENS  
 79 CABBAGE TREE ROAD  
 BAYVIEW, NSW, 2104

744 Hunter Street  
 Newcastle West New South Wales 2302 Australia  
 Tel: +61 08 9399 7100 Fax: +61 08 9399 7177  
 E: newcastle@jacksonteecef.com  
 24 Auburn Street Chesham NSW 2158  
 Trading as the best: Teece  
 0810 000 000  
 Accredited Architect (as of 2015)

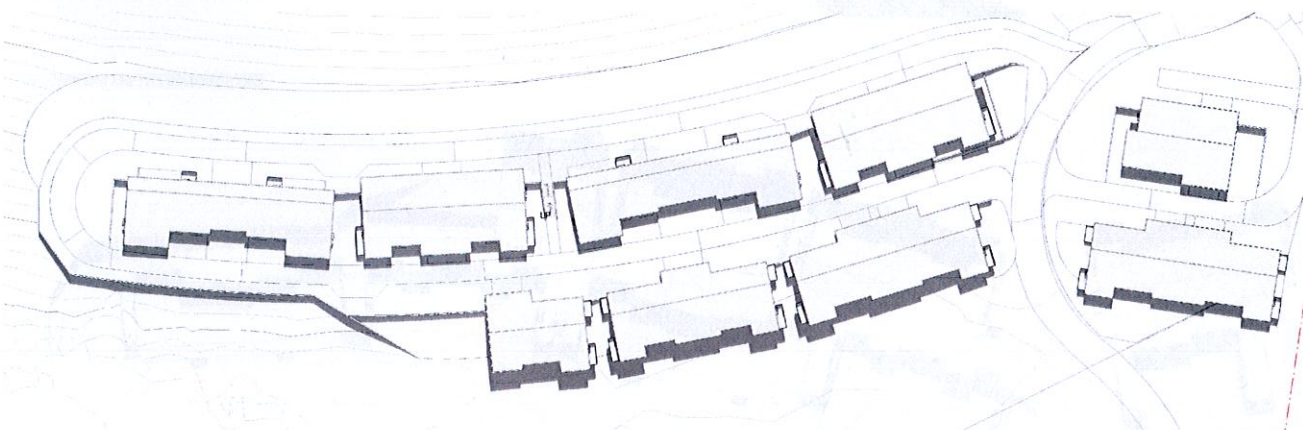


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NO.	DESCRIPTION	DATE
1	ISSUED FOR A	17/01/18
2	ISSUED FOR A	30/01/18
3	ISSUED FOR A	01/02/18
4	ISSUED FOR A	06/02/18



1 SUN ANALYSIS 21ST DECEMBER 0900h



2 SUN ANALYSIS 21ST DECEMBER 1200h



3 SUN ANALYSIS 21ST DECEMBER 1500h

50mm on original

THIS DRAWING ISSUE HAS BEEN REVIEWED FOR

**D.A. ISSUE**

APPROVED BY: RW  
 CLIENT: AVEO GROUP PTY LTD

DESIGNED BY: TM

DRAWING SHADOW DIAGRAMS - 21 DEC

DATE: DECEMBER 2017 SCALE @ A1: 1 : 500 DRAWN: HF

PROJECT NO: 2017032 A DISCIPLINE: DA DRAWING NO: DA-603 ISSUE: 4

PROJECT: AVEO PENINSULA GARDENS  
 79 CABBAGE TREE ROAD  
 BAYVIEW, NSW, 2104

744 Hunter Street  
 Newcastle  
 New South Wales 2300 Australia  
 T: 61 2 4950 6177  
 F: 61 2 4950 6177  
 jackson@jacksonteece.com.au  
 www.jacksonteece.com.au  
 JACKSON TEECFE  
 Incorporated Architectural Practice (s15)

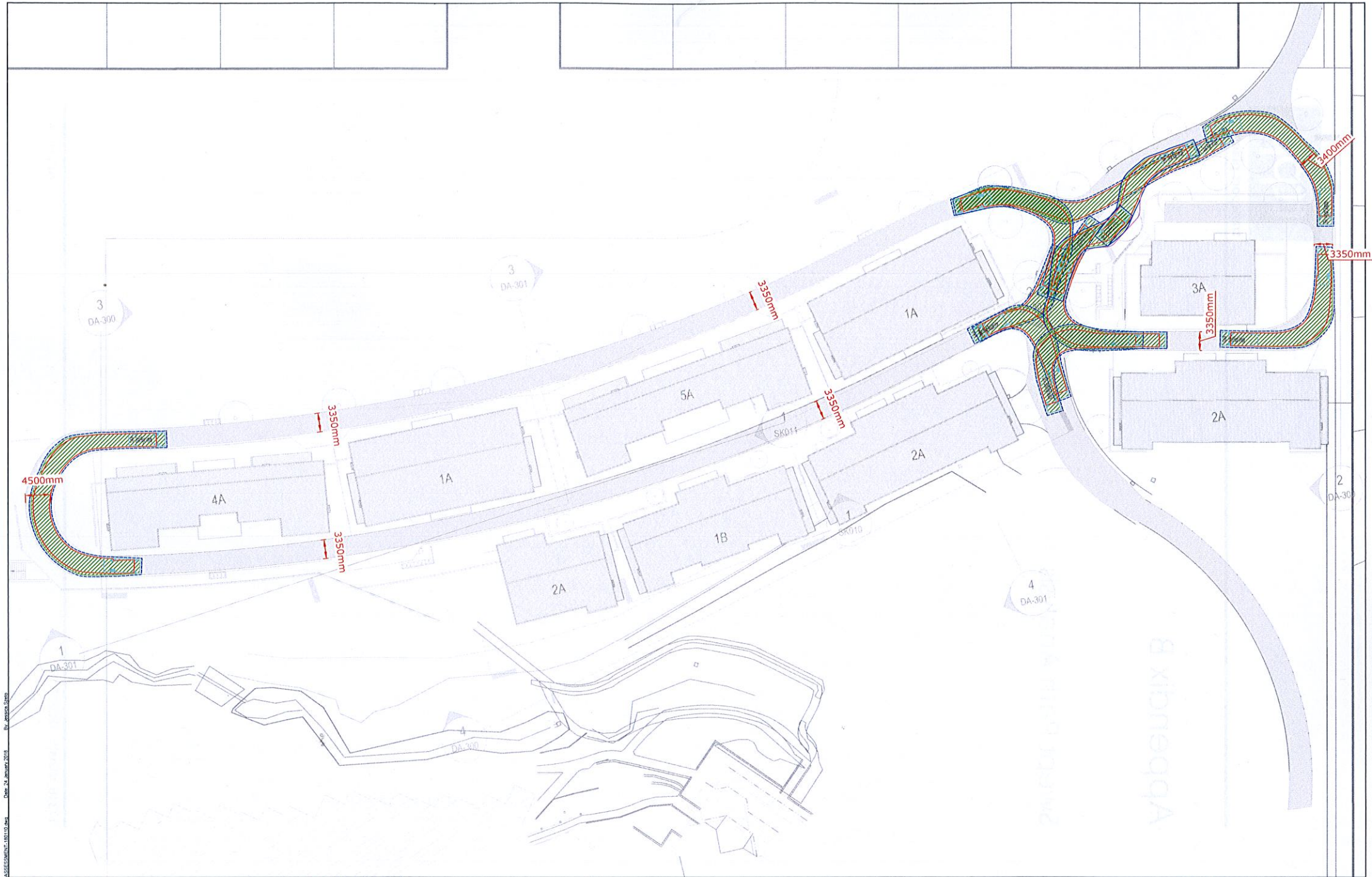
**JACKSON TEECFE**



# Appendix B

## Swept Path Analysis





REV.	DESCRIPTION	DRAWN	CHECK	APPD	DATE
A	ISSUE FOR DISCUSSION	KM	JS	WJ	24/01/18

**The Transport Planning Partnership**

Suite 405, 79 Cabbage Tree Road, Bayview  
 St. Leonards, NSW 2234  
 Tel: 02 8437 7800  
 Email: info@tpp.net.au

PROJECT: 79 CABBAGE TREE ROAD, BAYVIEW

TITLE: CAR PARK LAYOUT COMMENTS

DWG No.	FIGURE 1		
DATE STAMP	2	JANUARY 2018	
PROJECT No.	17316	SCALE 1:600 @A3	REV. A

Approved by: [Signature] Date: 24 January 2018  
 Approved by: [Signature] Date: 24 January 2018





The Transport Planning Partnership  
Suite 402 Level 4, 22 Atchison Street  
St Leonards NSW 2065

P.O. Box 237  
St Leonards NSW 1590

02 8437 7800

[info@tpp.net.au](mailto:info@tpp.net.au)

[www.tpp.net.au](http://www.tpp.net.au)