



SL<sup>a</sup> WHALE BEACH

# the strand

Whale Beach



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code	description
ac01	air conditioning unit
bal01	frameless glass balustrade to code. rebated channel fixed
bal02	frameless glass pool fence to code. rebated channel fixed
bbq01	barbeque - type 1
btb01	bath - type 1
cl01	clothes line
con02	class 1/2 off-form concrete, refer to structural engineers drawings
hcc02	hose cock type 2
hh01	hose hanger type 1
hsn01	house numbers
hwu01	hot water unit
lgr01	washed gravel
lfb01	letterbox
mbg01	metal box gutter
mdp01	metal downpipe - type 1
mfb01	custom folded metal flashings
mts01	metal roof sheeting
pgl01	pool glazing
rm01	course render (tyrolean UNO)
rw01	rainwater head - type 1
shr01	shower - type 1
sk01	proprietary fixed skylights (Velux or similar)
sk02	custom fixed skylights type 1
sk03	custom fixed skylights type 2
sp01	splitter type 1
stb01	natural stone - type 1
tbs01	timber batten screen - type 1
tbs02	timber batten screen - type 2
tbs03	timber batten screen - type 3
tlo1	natural stone tiling
tsh01	timber shiplap cladding - type 1

32 The Strand Whale Beach			
SUMMARY OF BASIX COMMITMENTS			
<i>This is a summary of the BASIX Commitments as detailed in the BASIX Certificate. Refer to the CURRENT BASIX Certificate for Complete details. For definitions refer to basix.nsw.gov.au</i>			
WATER COMMITMENTS			
Fixtures			
3 Star Shower Heads	Yes		
3 Star Kitchen / Basin Taps	Yes	3 Star Toilet	Yes
Alternative Water			
Minimum Tank Size (L)	22000	Collected from Roof Area (m2)	70
Tank Connected To:			
All Toilets	Yes	Laundry W/M Cold Tap	Yes
One Outdoor Tap	Yes		
THERMAL COMFORT COMMITMENTS - Refer to TPA Specification on plans			
ENERGY COMMITMENTS			
Hot Water	Solar (Electric Boost) 21 to 25 STCs		
Cooling System	Living	1 Phase A/C Zoned	EER 2.5 - 3.0
	Bedrooms	1 Phase A/C Zoned	EER 2.5 - 3.0
Heating System	Living	1 Phase A/C Zoned	EER 2.5 - 3.0
	Bedrooms	1 Phase A/C Zoned	EER 2.5 - 3.0
Ventilation	1 x Bathroom	Fan ducted to exterior	Manual on/off
	Kitchen	Fan ducted to exterior	Manual on/off
	Laundry	Natural ventilation	N/A
Natural Lighting	Window/Skylight in Kitchen		Yes
	Window/Skylight in Bathrooms/Toilets		Yes to 1
Artificial Lighting (rooms to be primarily lit by fluorescent or LED lights)	Number of bedrooms	4	Dedicated Yes
	Number of Living/Dining rooms	3	Dedicated Yes
	Kitchen	Yes	Dedicated Yes
	All Bathrms/Toilets	Yes	Dedicated Yes
	Laundry	Yes	Dedicated Yes
	All Hallways	Yes	Dedicated Yes
OTHER COMMITMENTS			
Outdoor clothes line	Yes	Ventilated refrigerator space	Yes
Alternative Energy	Photovoltaic System: 2 kW		
Pool	Max Vol: 47 KL, electric heat pump heating, pump with timer, pool cover		

June 2019		BSA Reference: 14869	
Building Sustainability Assessments		Ph: (02) 4962 3439	
enquiries@buildingsustainability.net.au		www.buildingsustainability.net.au	
Important Note			
<i>The following specification was used to achieve the thermal performance values indicated on the Assessor Certificate and takes precedence over any other specification. If different construction elements are applied then the Assessor Certificate is no longer valid.</i>			
Thermal Performance Specifications (does not apply to garage)			
External Wall Construction		Added Insulation	
Lightweight		R2.7	
Core Filled Blockwork		R2.0	
Internal Wall Construction		Added Insulation	
Plasterboard on studs		None	
Ceiling Construction		Added Insulation	
Plasterboard		R3.5 to ceilings adj roof space and soffit of concrete roof above	
Roof Construction		Colour	
Metal		Foil + R1.0 blanket	
Concrete		None	
Floor Construction		Covering	
Concrete		As drawn R2.0 to floors where open below	
Windows	Glass and frame type	U Value	SHGC Range Area sq m
Performance glazing Type A		5.40	0.44 - 0.54 To all louvres
Performance glazing Type B		5.40	0.52 - 0.64 To all louvres
Performance glazing Type A		4.30	0.42 - 0.52 All other UNO
Performance glazing Type B		4.30	0.48 - 0.58 All other UNO
<i>Type A windows are awning windows, bifolds, casements, tilt 'n' turn windows, entry doors, french doors</i>			
<i>Type B windows are double hung windows, sliding windows &amp; doors, fixed windows, slider doors, louvres</i>			
Skylights	Glass and frame type	U Value	SHGC Area sq m
Single clear in aluminium frames		As drawn	
<i>U and SHGC values are according to AFRC. Alternate products may be used if the U value is lower and the SHGC is within the range specified</i>			
External Window Shading		(eaves, verandahs, pergolas, awnings etc)	
All shade elements modelled as drawn			
Ceiling Penetrations		(downlights, exhaust fans, flues etc)	
No adjustment has been made for losses to insulation arising from ceiling penetrations.			

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**ALL WORKS** shall be carried out in accordance with the Building Code of Australia, Australian Standards, Local Council requirements, QDC guidelines and all other relevant by laws and authorities. In particular refer Australian standards:

- site preparation A.S. 3798
- concrete construction A.S. 2870
- timber construction and details A.S. 1684.2
- steelwork AS 4100, AS 1111 and A.S. 1112
- termite protection BCA and A.S. 3660.1
- artificial lighting & ventilation BCA parts 3.8.4/3.8.5 and A.S. 1680
- fire safety BCA part 3.7
- smoke alarms BCA part 3.7.2 and A.S. 3786
- glazing BCA part 3.6 and A.S. 1288 and A.S. 2047

**APPROVAL:** No building work shall be undertaken prior to Building Approval by a registered Certifier.

**CONSULTANTS:** Drawings shall be read in conjunction with engineers drawings and computations. All structure to Engineers design. Hydraulic sizing and design to hydraulic engineers requirements. All drawings to be co-ordinated with consultant documentation prior to construction.

**DIMENSIONS:** Do not scale off drawings - use figured dimensions only. Contractor shall verify all dimensions on site prior to construction. Any discrepancies or errors shall be referred to architect and client prior to installation / manufacture of any works. Confirm levels & RL's on site prior to commencement of work.

**SETOUT:** Contractor to confirm exact siting and orientation prior to construction setout. All building setout and confirmation of setbacks and height to be carried out by a Licensed Surveyor. No footing, or wall to encroach the title boundary.

**TERMITE PROTECTION:** Termite protection by means of termimesh s.s. mesh hysical barrier in accordance with A.S. 3660.1/2000 and installed in strict accordance with current manufacturers specifications.

**STRUCTURAL STEEL:** Unless noted otherwise all exposed structuralsteel, anchor bolts and other attachments shall be hot dip galvanised. A cold gal painted finish shall be applied to any field welding to existing or new steelwork. All steel work cast in concrete footings or slab shall have a bitumen finish applied to full extent of cast in concrete steel. Check all dimensions on site prior to fabrication of steelwork.

**RETAINING WALLS:** All retaining walls to structural engineers details. Provide rubble backfill and agg drainage to all retaining walls. Builder to provide tanking where required.

**SLAB & FOOTINGS:** All slabs and footings to structural engineers details. A polyethylene moisture barrier shall be lapped 200mm and fully taped under any habitable concrete slab and shall extend 100mm onto the perimeter footing.

**ARTICULATION JOINTS:** Provide articulation joints to comply with "Cement and Concrete Association Construction Note TN9".

**EROSION CONTROLS:** All building works to comply with local authorities Erosion and sediment control standards.

**WATERPROOFING:** All wet areas and walls to be waterproofed in accordance with the BCA 3.8 & AS 3740. Builder to provide certificate of installation and compliance.

**CONCEALMENT OF SERVICES:** All services shall be concealed in walls or ducts. Where services are exposed they must be confirmed by the Designer on site prior to installation unless noted otherwise.

**LICENSED TRADESPERSONS:** All services to be installed by licensed tradespersons in accordance with local authority and with current manufacturers specifications.

**ROOF DRAINAGE:** All downpipes to be located as noted on the drawings and sizes as scheduled. Allow to connect to in-ground storm water drains with 90mmØ UPVC at 1:100 minimum grade. Allow for I.O.'s at each change of direction and at 6000mm centres.

**SITE DISCHARGE:** All stormwater and sanitary plumbing to be connected to existing council system in accordance with the requirements of the relevant local authority.

**WATER LINES:** All hot water lines shall be fully insulated. All domestic hot water to basins, showers and baths to have maximum temperature of 50°C. Allow to supply and install tempering valves where required, as nominated in the BCA and relevant standards.

**STAIR AND BALUSTRADES:** All stair and balustrades shall comply with part 3.9 of the BCA. Steps to be provided where fall from dwelling exceeds 190mm.

**ALL PRODUCTS:** To be installed to manufacturers requirements and to be in accordance with manufacturers requirements for suitable exposure levels.

**PROPRIETARY ITEMS:** Identification of a proprietary item does not necessarily imply exclusive preference for the item so identified, but indicates the necessary properties of the item. If alternatives are proposed, submit proposed alternatives and include samples, available technical information, reasons for proposed substitutions and cost.

**TILES:** Expansion joints, walls: 5mm. Floors: 8mm. Fill both with silicone rubber. Grout for wall: Epoxy based mildew resistant. Grout for floors: prepared grout to be acid resistant. all wall tiles to have fcsubstrate.

**INTERNAL PAINTING:** Unless noted otherwise paint system to be Dulux approved 3 coat system - low sheen finish. Colours to be supplied by Architect during contract and applied as per Dulux's recommendations and guidelines.

**JOINERY ITEMS SHALL INCLUDE:** Manufactured casework items, including: kitchen cabinets and cupboards; bathroom cabinets; robes.

**SANITARY COMPARTMENTS:** Provide removable hinges to doors of sanitary compartments to comply with BCA 3.8.3.3 and be readily removable from outside unless there is a clear space of at least 1200mm b/w closet pan within the sanitary compartment and the nearest part of the doorway.

**APPLIANCES & EQUIPMENT:** Builder to co-ordinate all appliance and equipment locations on site and with joiner. installation and final connection by the contractor.

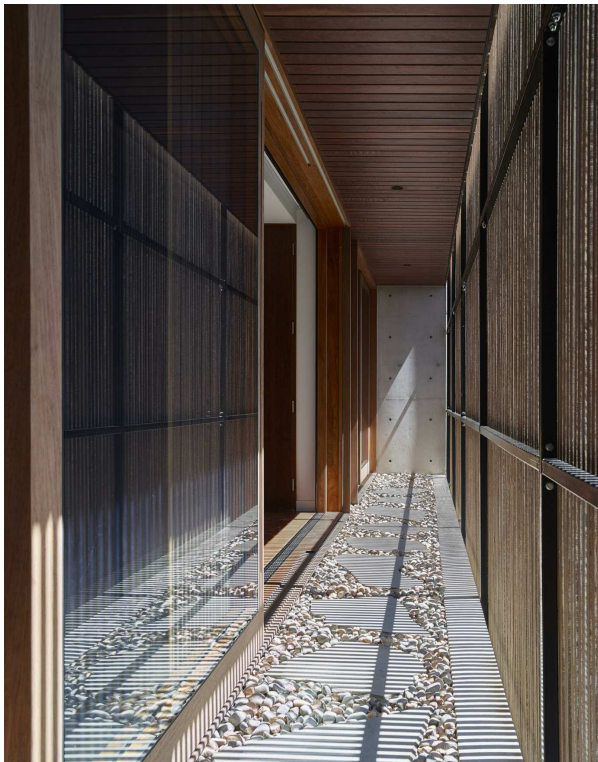
**WEATHERSTRIPS:** All external doors to contain weather stripping (type to be confirmed by Architect prior to manufacture)

**DOCUMENTATION:** The contractor shall carry out works in accordance with the signed drawings and schedules and anything reasonable inferred, and with the Conditions of Contract, and in accordance with the directions and to the satisfaction of the Architect, whose interpretation of the contract documents shall be final. The drawings and specifications/schedules shall be considered complementary, and any work and/or materials absent from one but present or implied in the other shall be furnished as if they were present in both.

**FINAL CERTIFICATE:** At completion of work, Builder to obtain and supply a Certificate of Classification from a Building Certifier.

**POOL:** Contractor to confirm heights/depths/steps and plumbing/electrical requirements and locations prior to construction





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DRAWN  
MF  
MF

REV  
A  
B

DATE  
13.11.18  
18.04.19

ISSUE  
Pre DA set reissued for information  
preliminary issue

PROJECT  
32 The Strand  
Whale Beach, NSW, 2107  
Lot 70 on DP11067

CLIENT  
Robert & Susie Nugan

DRAWING NAME  
reference images  
form & material

PHASE  
DA  
DWG NO  
020.01  
REV  
B

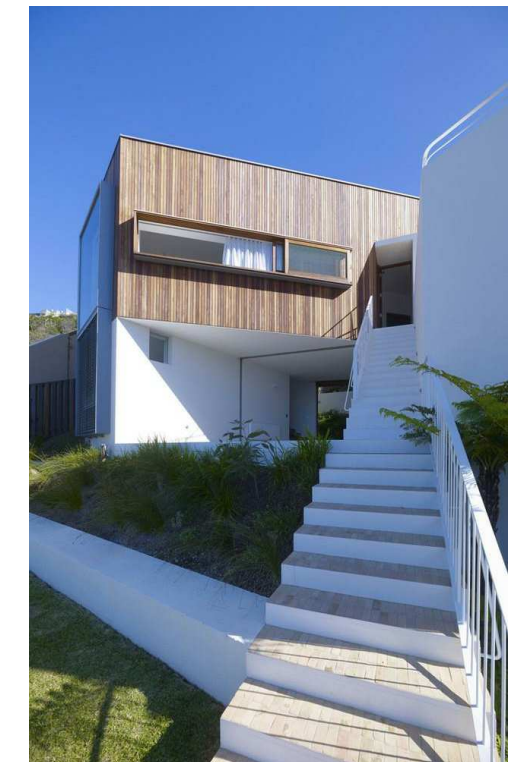
schematic design

PROJECT NO 0255

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form & material

PHASE	DWG NO	REV
DA	020.02	B

schematic design

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A1





natural stone cladding (stn01)



timber shiplap cladding (tsh01)



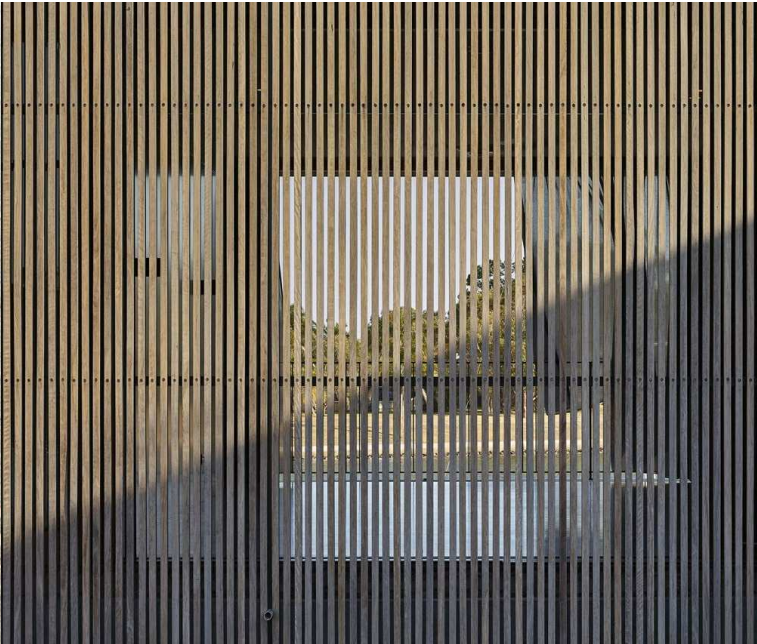
off form concrete (con02)



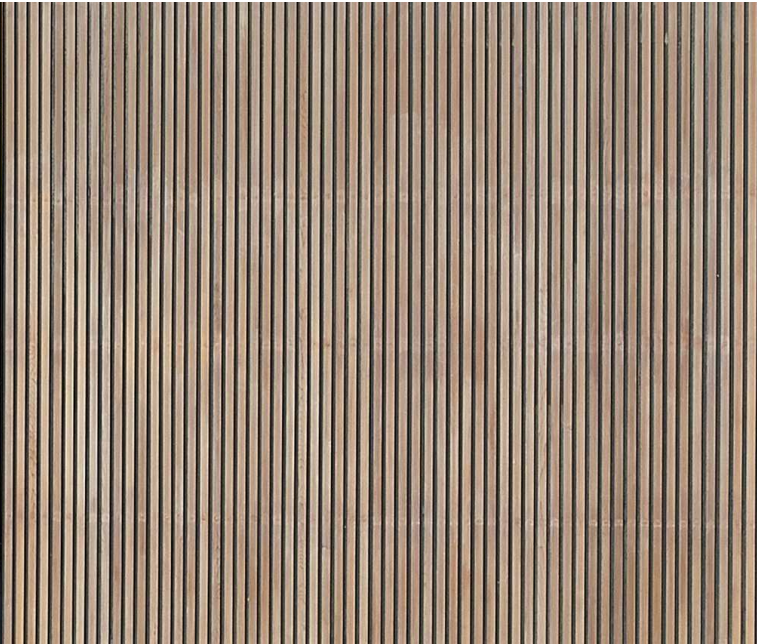
tyrolean splatter render finish (md01)



natural stone tile (til01)



timber batten screen (tbs01 / tbs02)



timber batten screen with solid backing (tbs03)



gravel (lgv01)



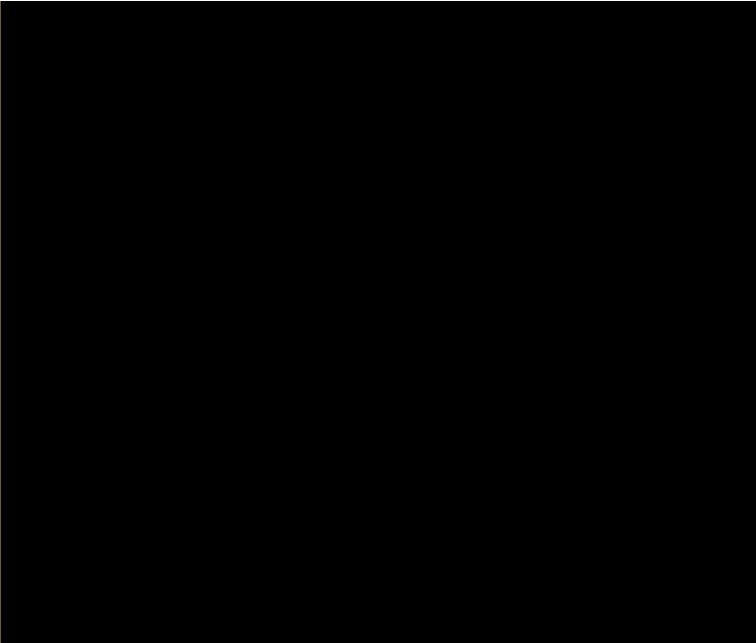
pool tile (til02)



solid timber doors (tim06)



bronze aluminium windows / doors (alu01)



colorbond night sky roof / flashing (mts01 / mtf01)

















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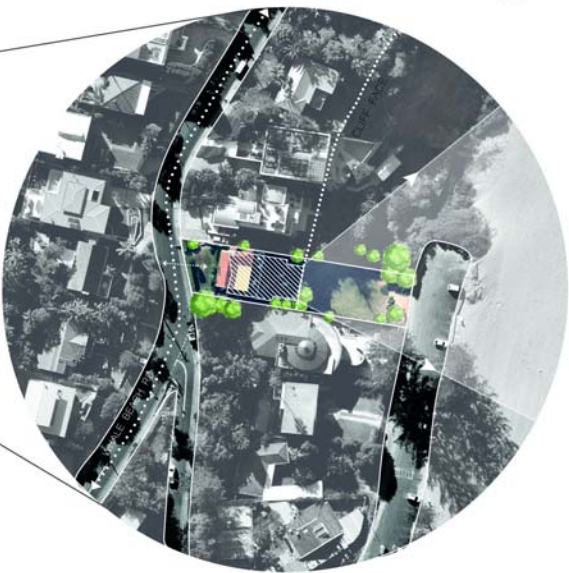
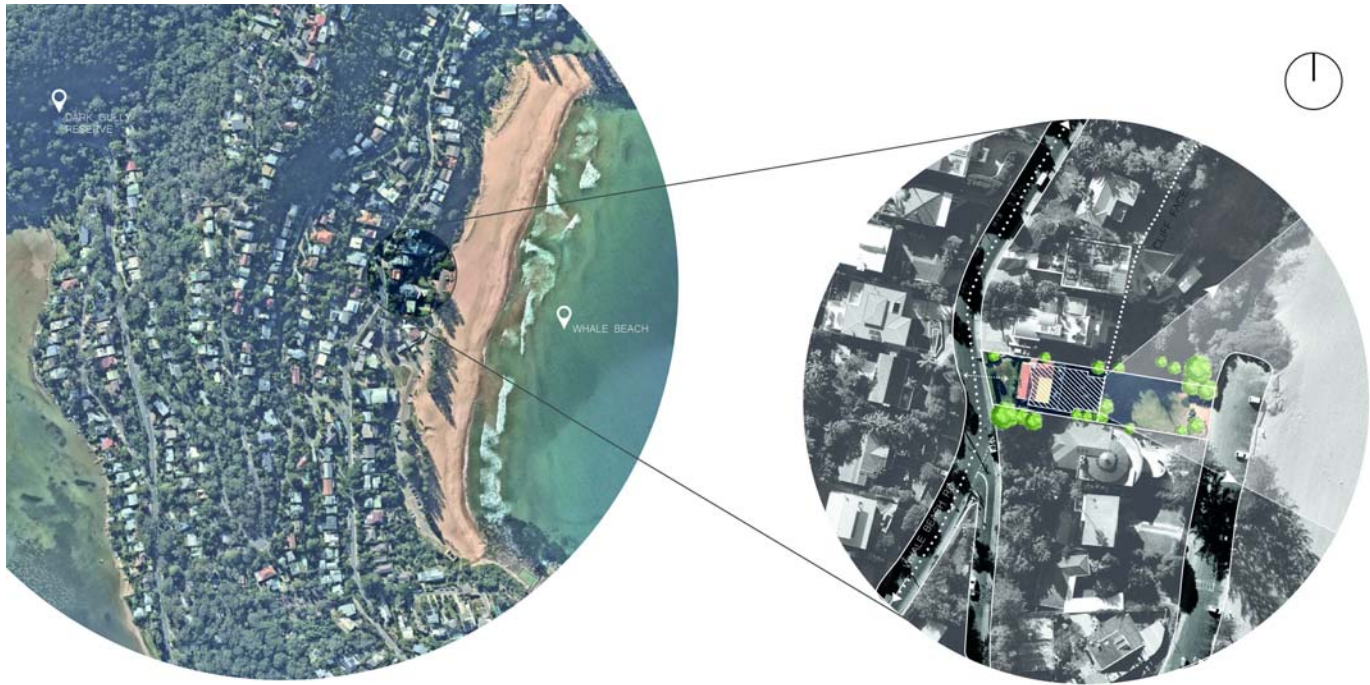
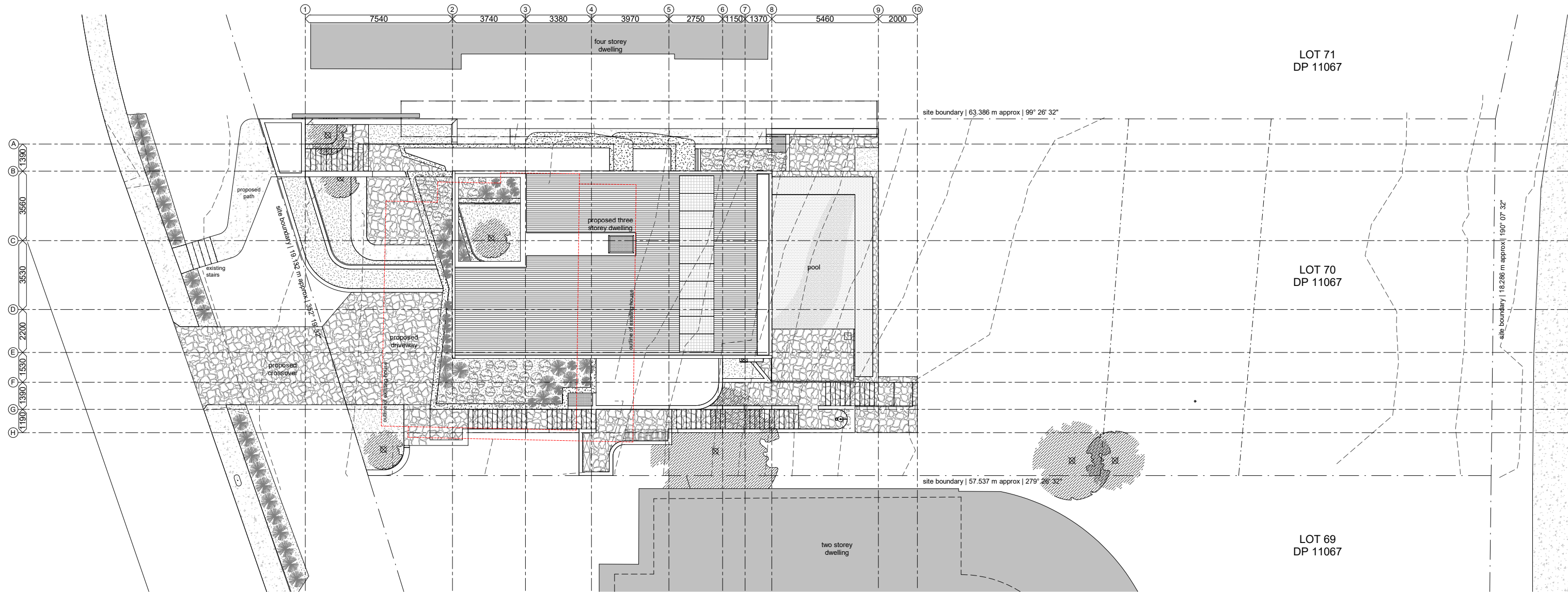






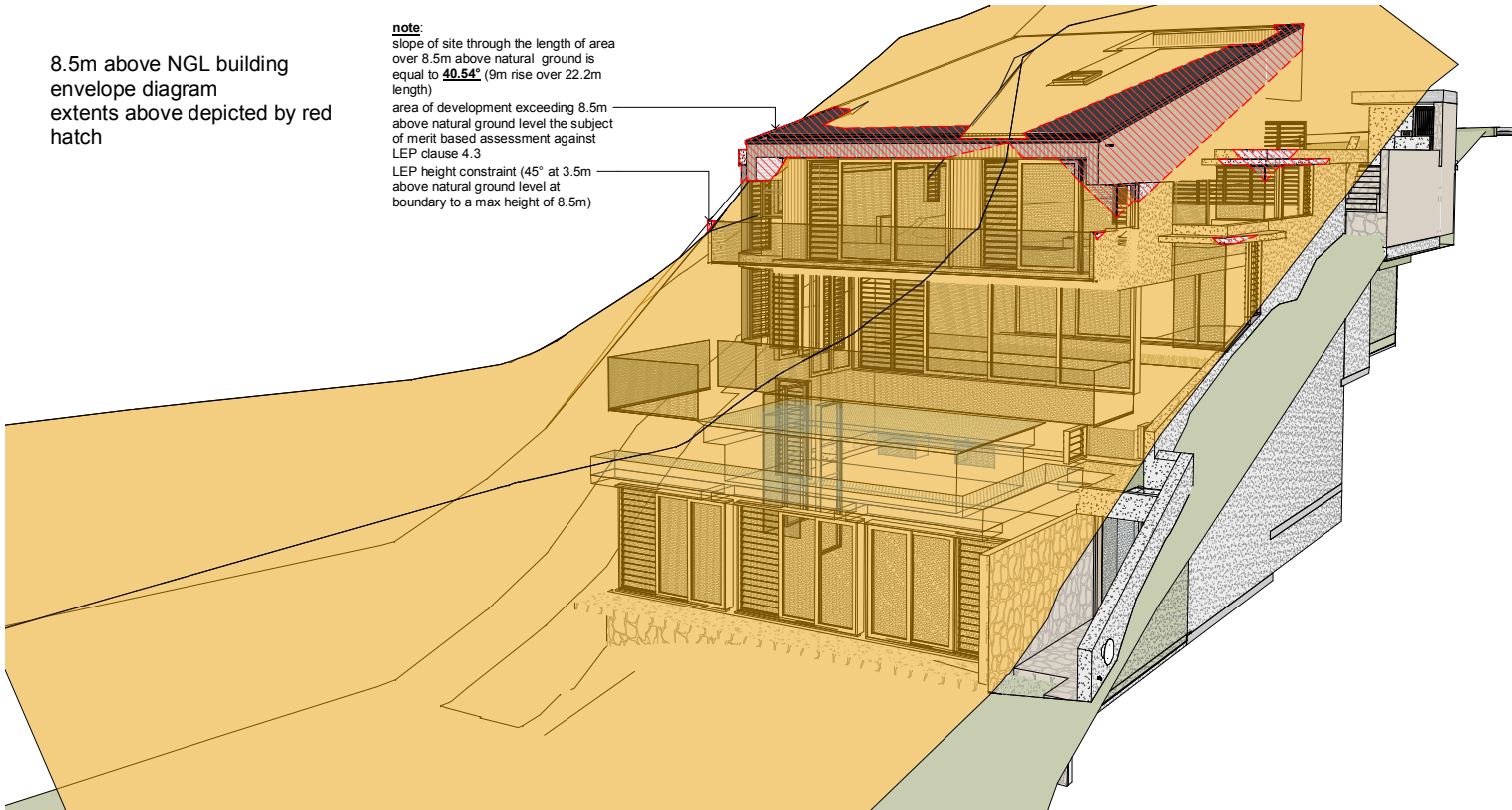






PLANNING CONTROL COMPLIANCE TABLE			
LOT DESCRIPTION	LOT 70 DP 11067		
ADDRESS	32 THE STRAND, WHALE BEACH		
ZONING	E4 ENVIRONMENTAL LIVING & RE1 PUBLIC RECREATION		
COUNCIL CONTROL	NORTHERN BEACHES		
	PITTWATER LEP & PALM BEACH LOCALITY DCP		
CONTROL	OBJECTIVE	PROPOSED	COMPLIANCE
Height	8.5m (merit based assessment for heights exceeding 8.5m but not more than 10m for sites in excess of 30% slope)	Height < 10.0m	Compliant. see drawings 100.02, 210.01, 300.01, 300.02 for extent exceeding 8.5m but not exceeding 10.0m. Satisfaction of the objectives of LEP clause 4.3 (2D) and all subclauses.
Front setback	The greater of 6.5m or average of adjacent dwelling setbacks	6.5m to house - 5.1m to garage outer most projection	Partly compliant. Note proposed setbacks are a minimum of 2.6m greater than existing house at the closest point of outer most projection.
Side setback	2.5m to at least one side 1.0m to other side	3.35m 1.25m	Compliant Compliant
Rear setback	6.5m	29.4m	Compliant
Building envelope	3.5m at 45° measured at side boundary (merit based assessment for sites in excess of 30% slope)	varies	Compliant. see drawings 100.02, 210.01, 300.01, 300.02 for extent exceeding 8.5m but not exceeding 10.0m.
Landscaped area	60% min	60.8%	Compliant. Note calculation excludes RE1 Public Recreation Zone.
Private open space	80m2 at ground level	589m2	Compliant
Solar access	3hrs min (to private open space of proposed and neighbouring properties)	varies	Compliant
Views	Provide reasonable access	NA	Compliant
Privacy	Design to minimise impacts (on the privacy of proposed and neighbouring properties)	NA	Compliant
Car parking	2 spaces per 2 or more bedrooms	2 x covered	Compliant
Driveway	1 per 30m of frontage	1 x (off west body)	Compliant
Character (as viewed from a public place)	Design elements compatible with locale	Roof forms, materials, landscaping, terracing, scale and architectural form in keeping with local character.	Compliant
Scenic protection	landscaping the dominant feature and built form the secondary component	Built form recedes from western street front behind landscaped verge and roof	Compliant
Building colours and materials	Visual prominence minimised, and colours and materials to harmonise with native vegetation and character of the area	proposed natural material (timber and stone predominately) along with deep planted terraces and roofs of scale that is minimised to the street and public appearance	Compliant

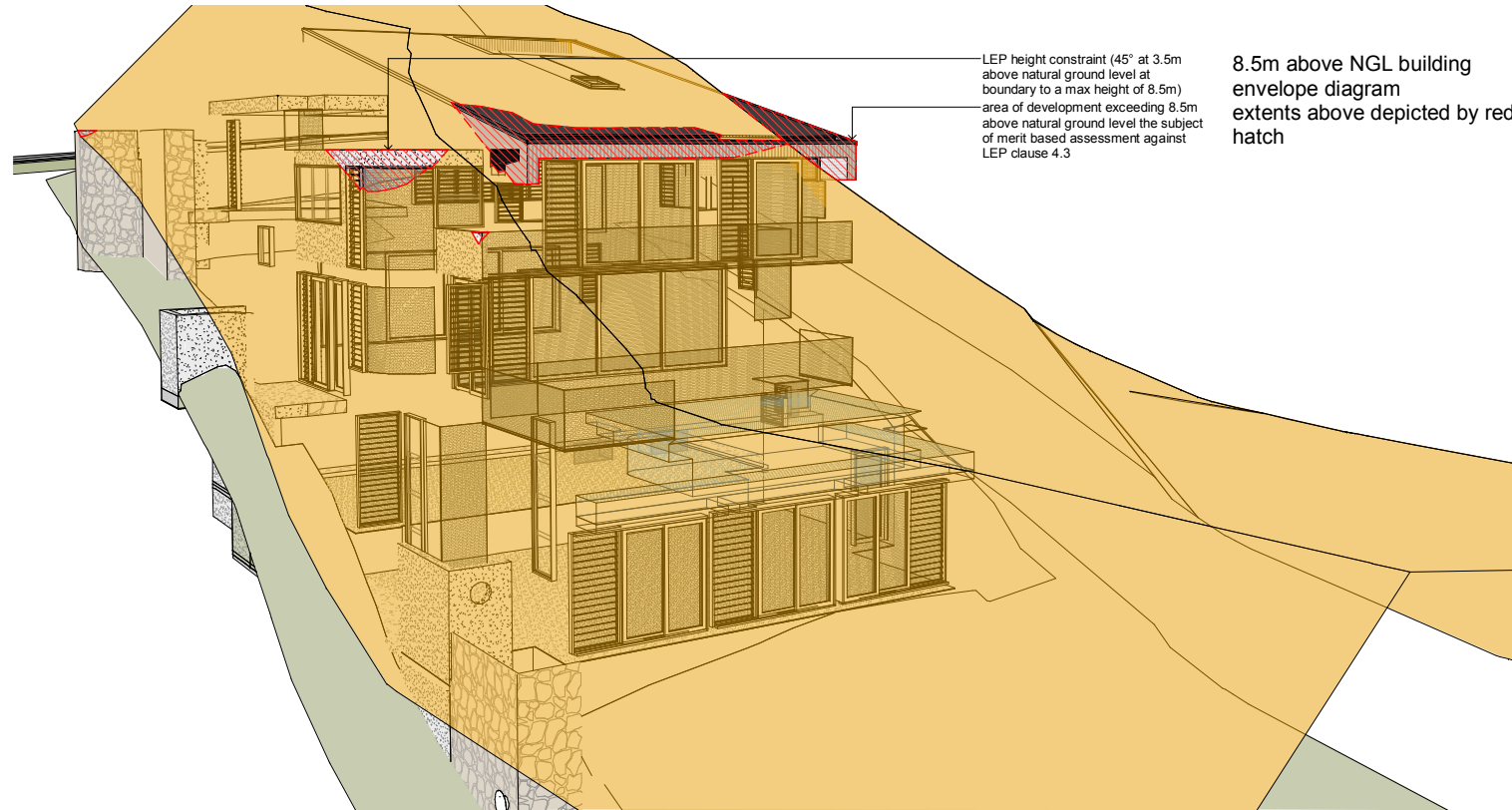




**note:**  
slope of site through the length of area over 8.5m above natural ground is equal to **40.54°** (9m rise over 22.2m length)  
area of development exceeding 8.5m above natural ground level the subject of merit based assessment against LEP clause 4.3  
LEP height constraint (45° at 3.5m above natural ground level at boundary to a max height of 8.5m)

8.5m above NGL building envelope diagram extents above depicted by red hatch

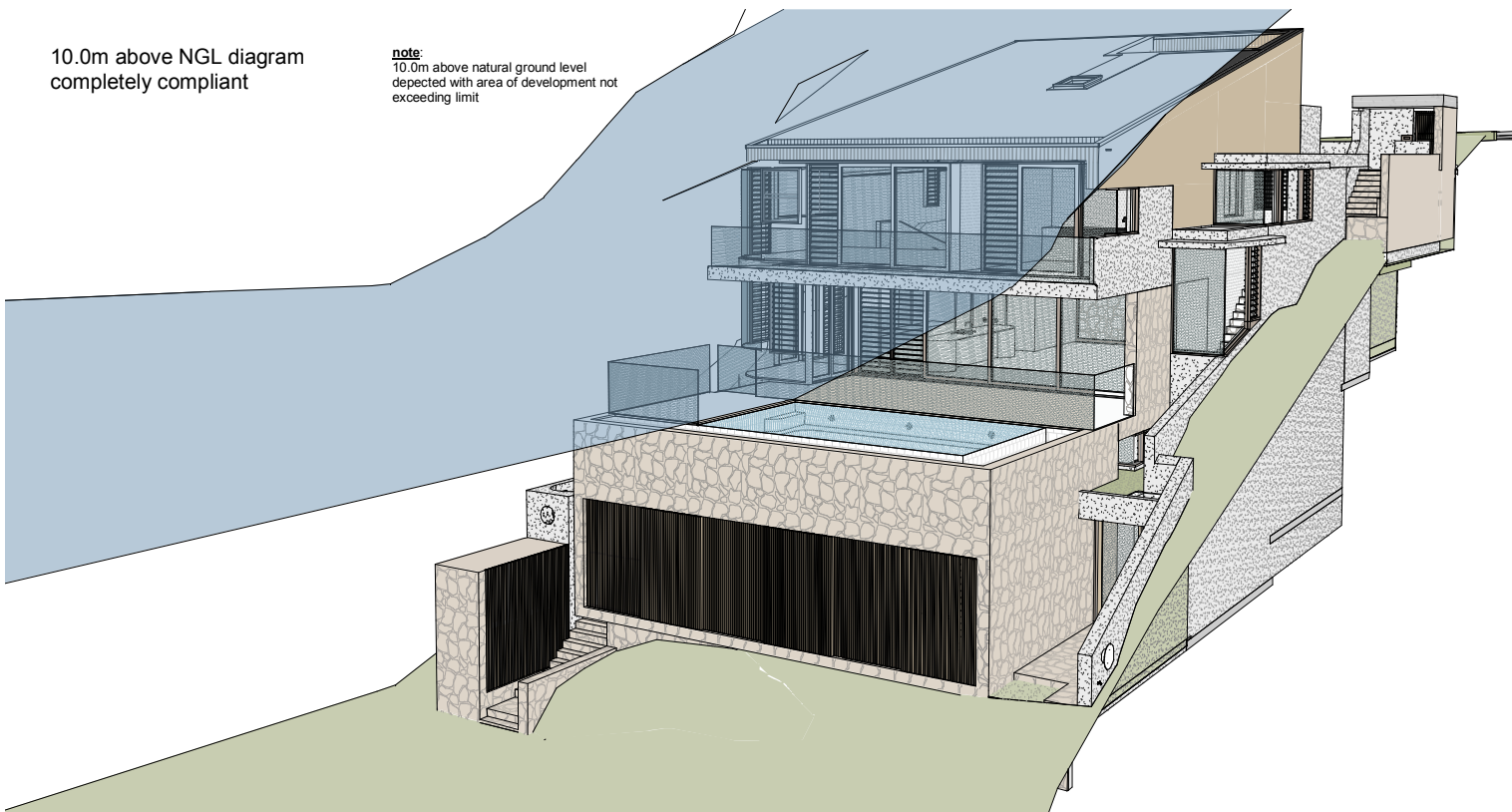
① 8.5m above NGL barn study view 1



LEP height constraint (45° at 3.5m above natural ground level at boundary to a max height of 8.5m)  
area of development exceeding 8.5m above natural ground level the subject of merit based assessment against LEP clause 4.3

8.5m above NGL building envelope diagram extents above depicted by red hatch

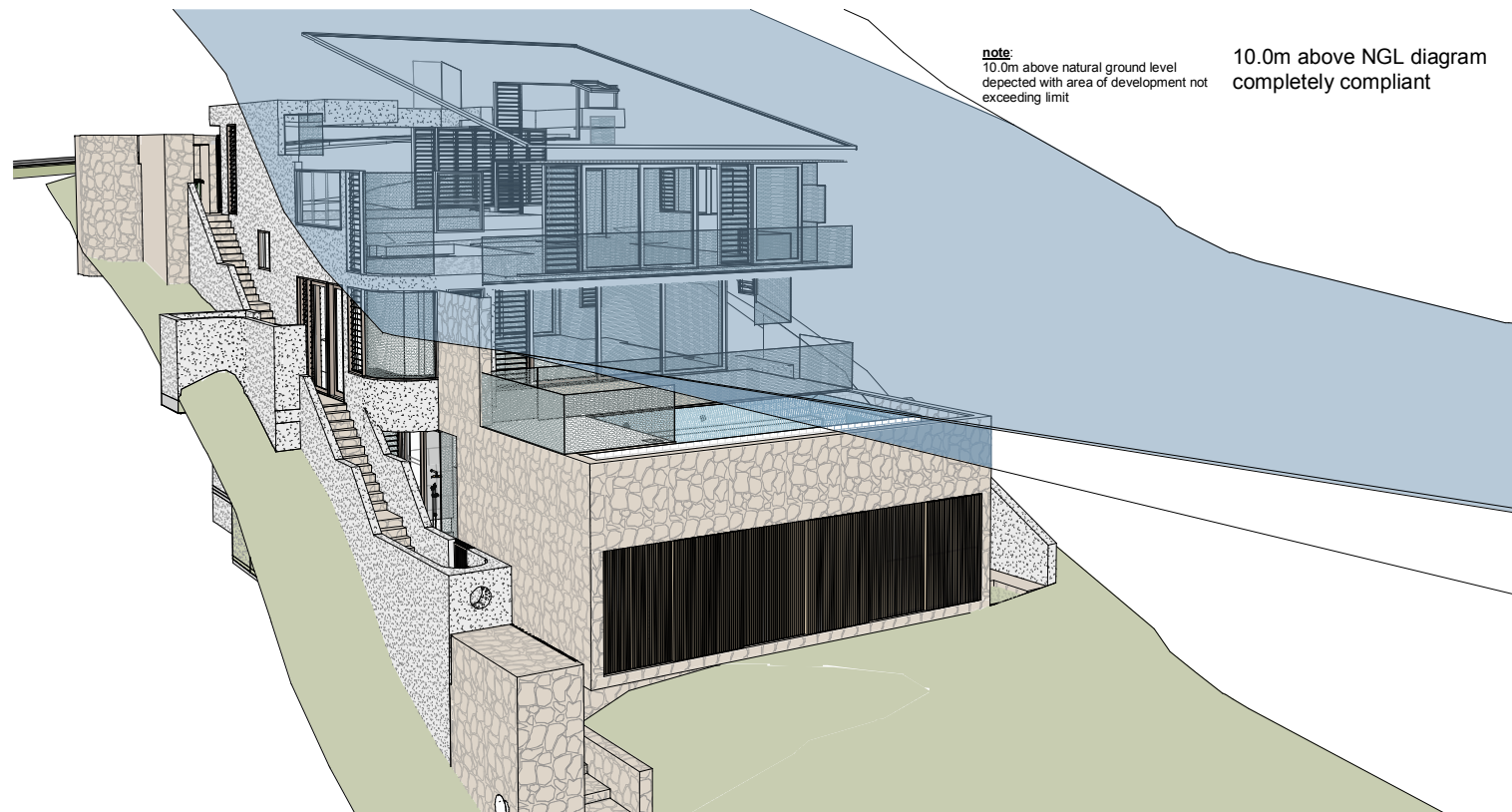
② 8.5m above NGL barn study view 2



**note:**  
10.0m above natural ground level depicted with area of development not exceeding limit

10.0m above NGL diagram completely compliant

③ 10.0m above NGL study view 1

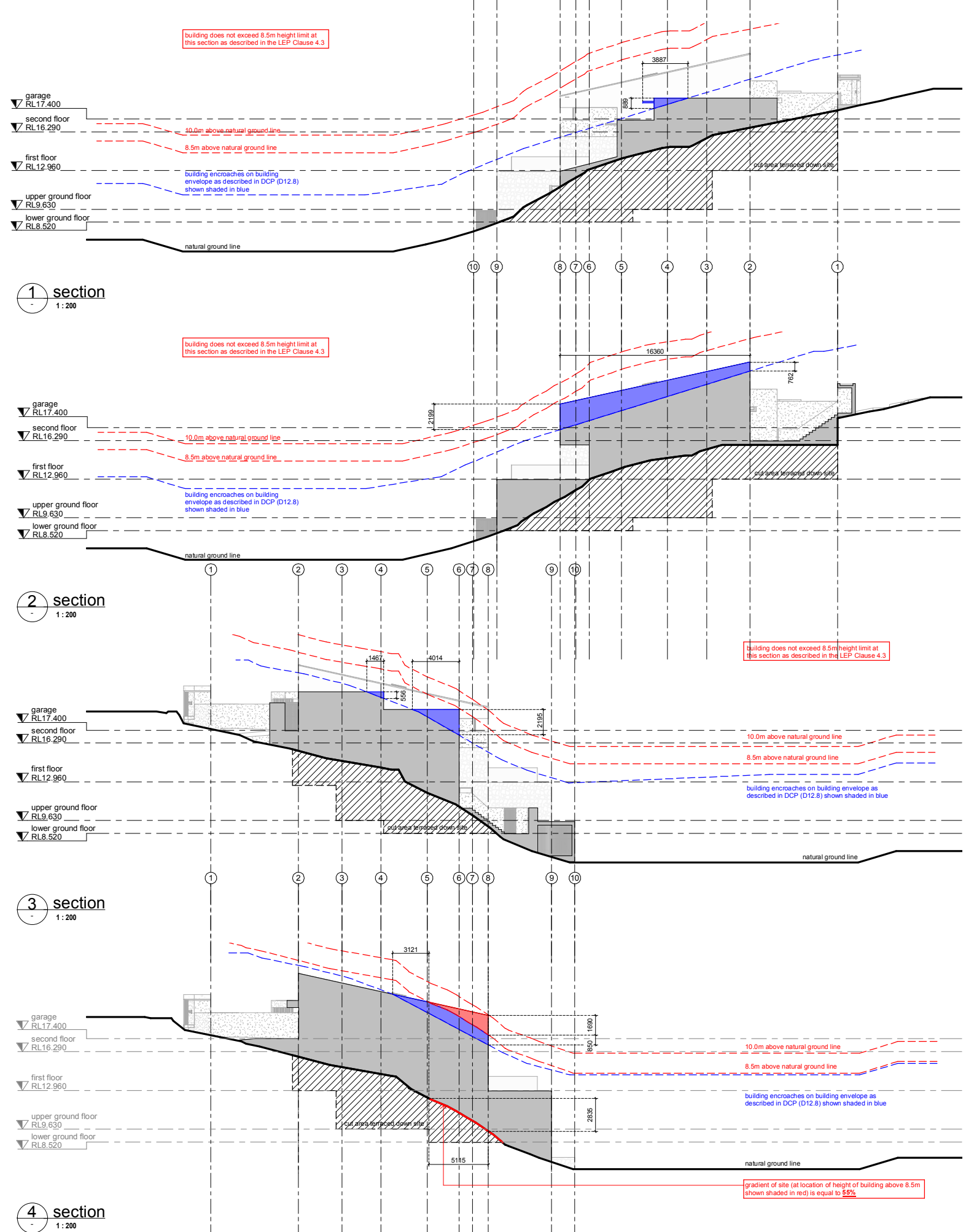
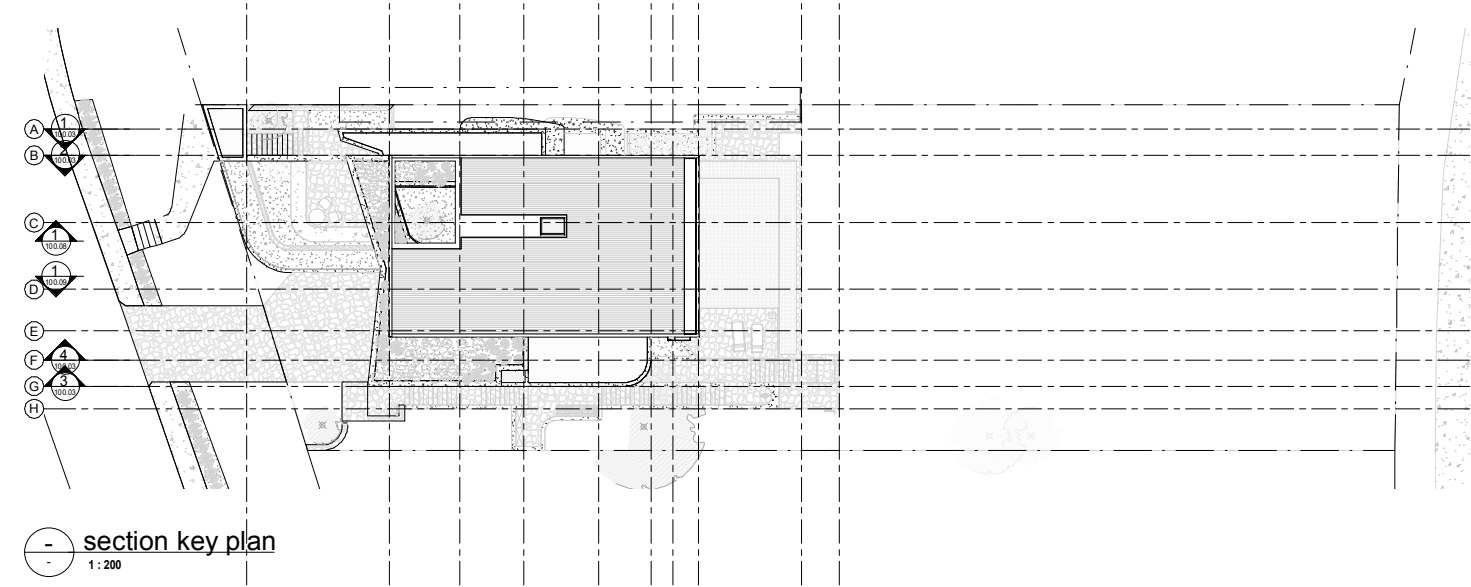


**note:**  
10.0m above natural ground level depicted with area of development not exceeding limit

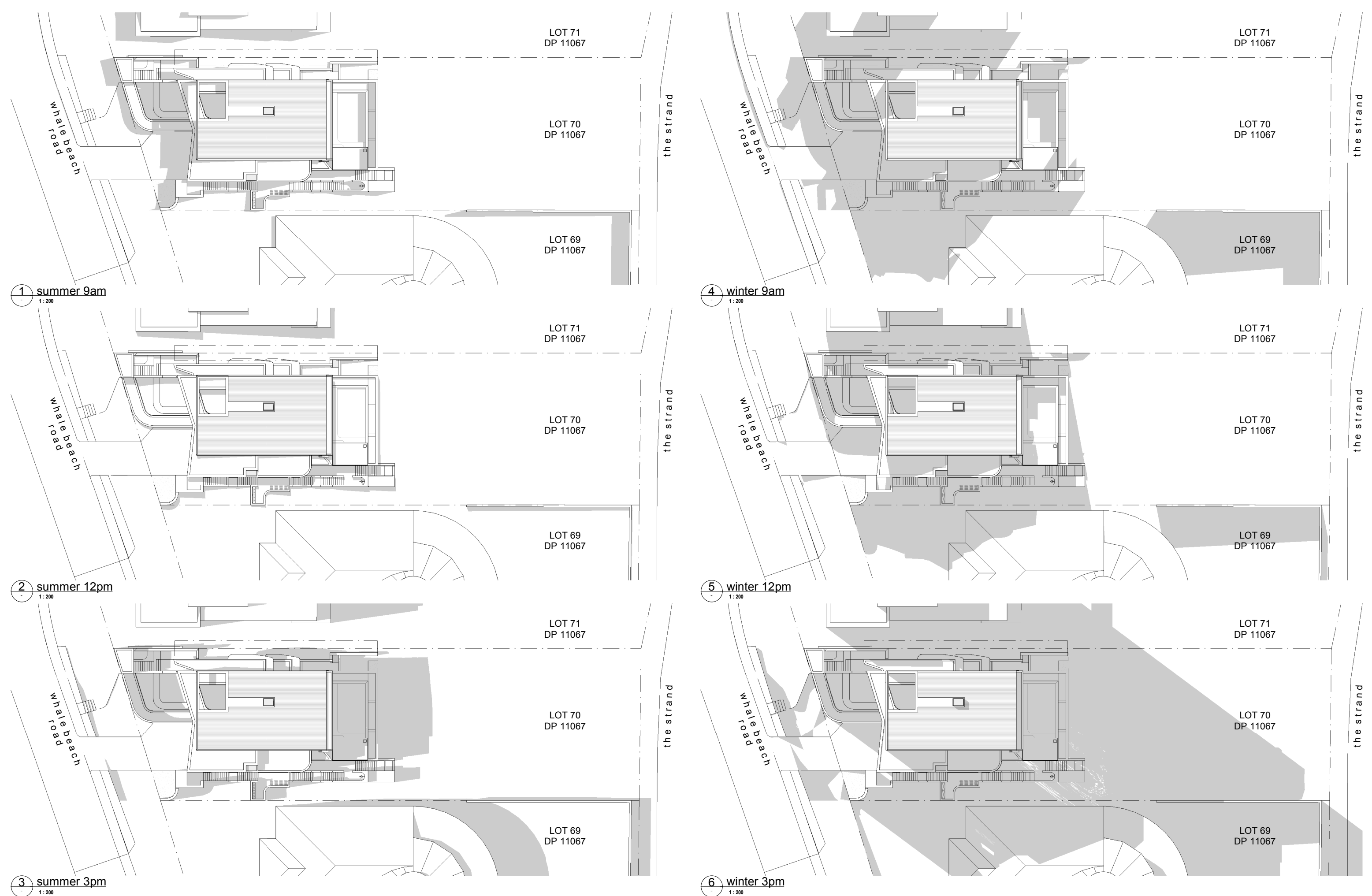
10.0m above NGL diagram completely compliant

④ 10.0m above NGL study view 2



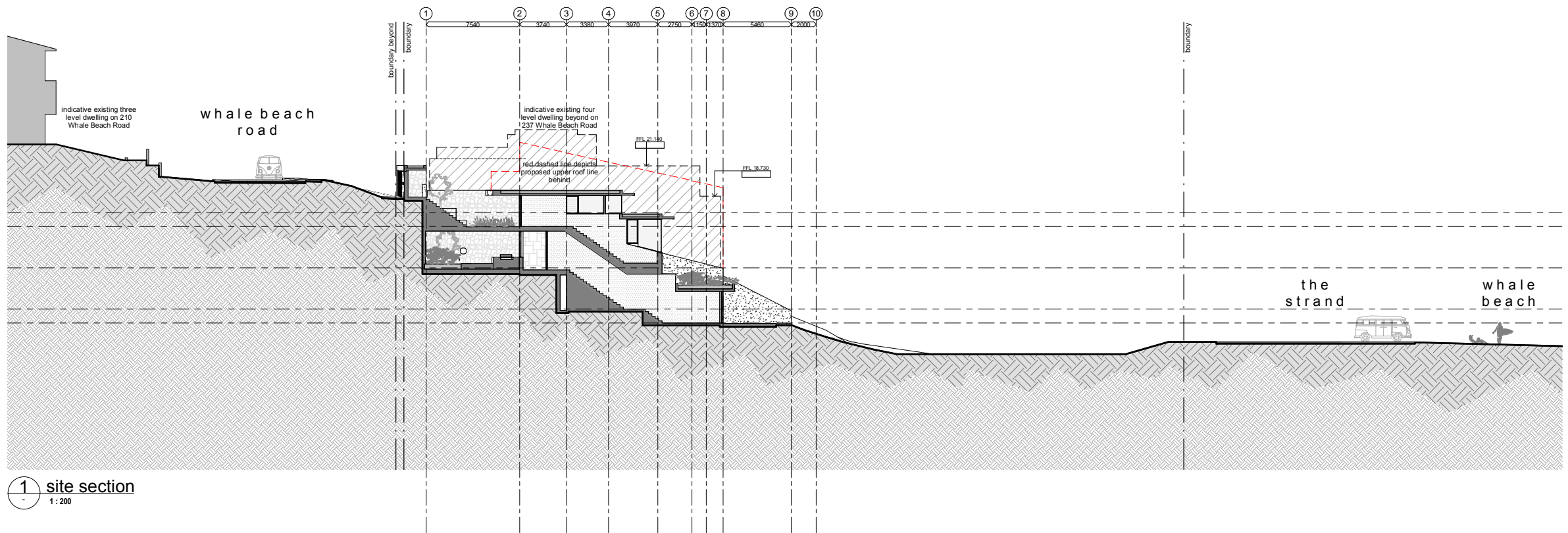






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1 site section  
1:200



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CLIENT  
Robert & Susie Nugan

DRAWING NAME  
site analysis  
site section

PHASE DA  
DWG NO 100.06  
REV A

schematic design

PROJECT NO 0255  
SCALE 1:200

1:1 @ A1



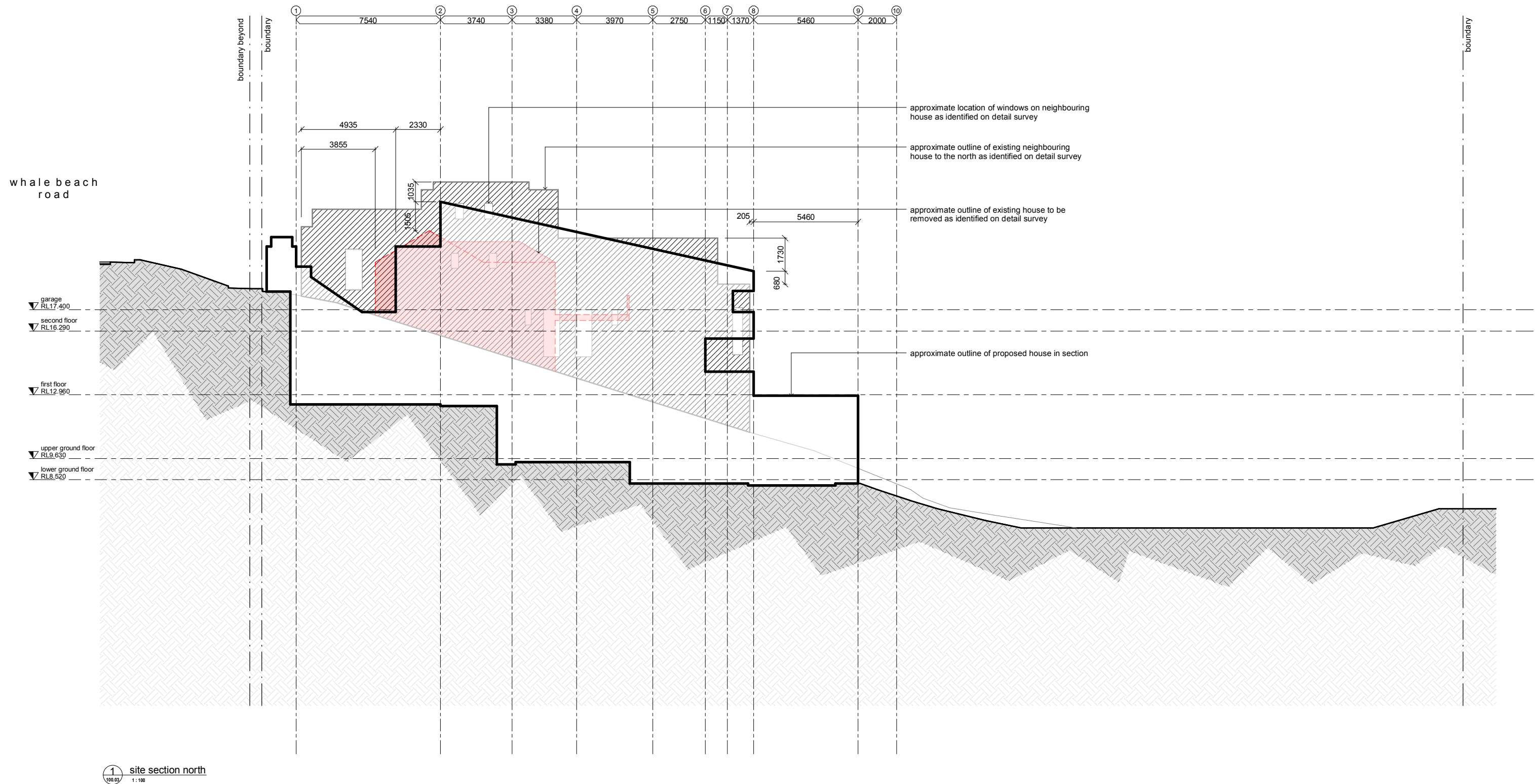
existing streetscape



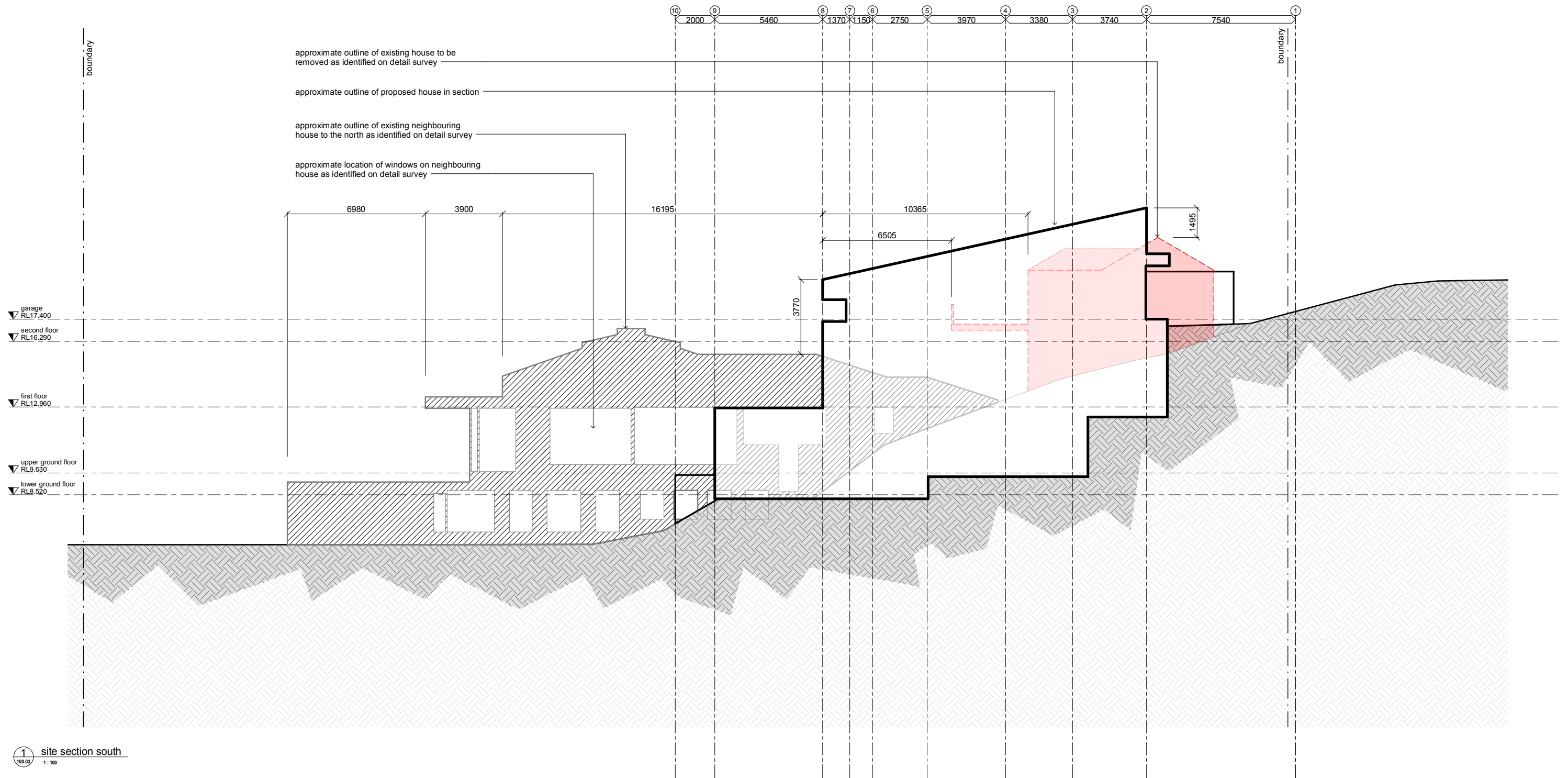
proposed streetscape





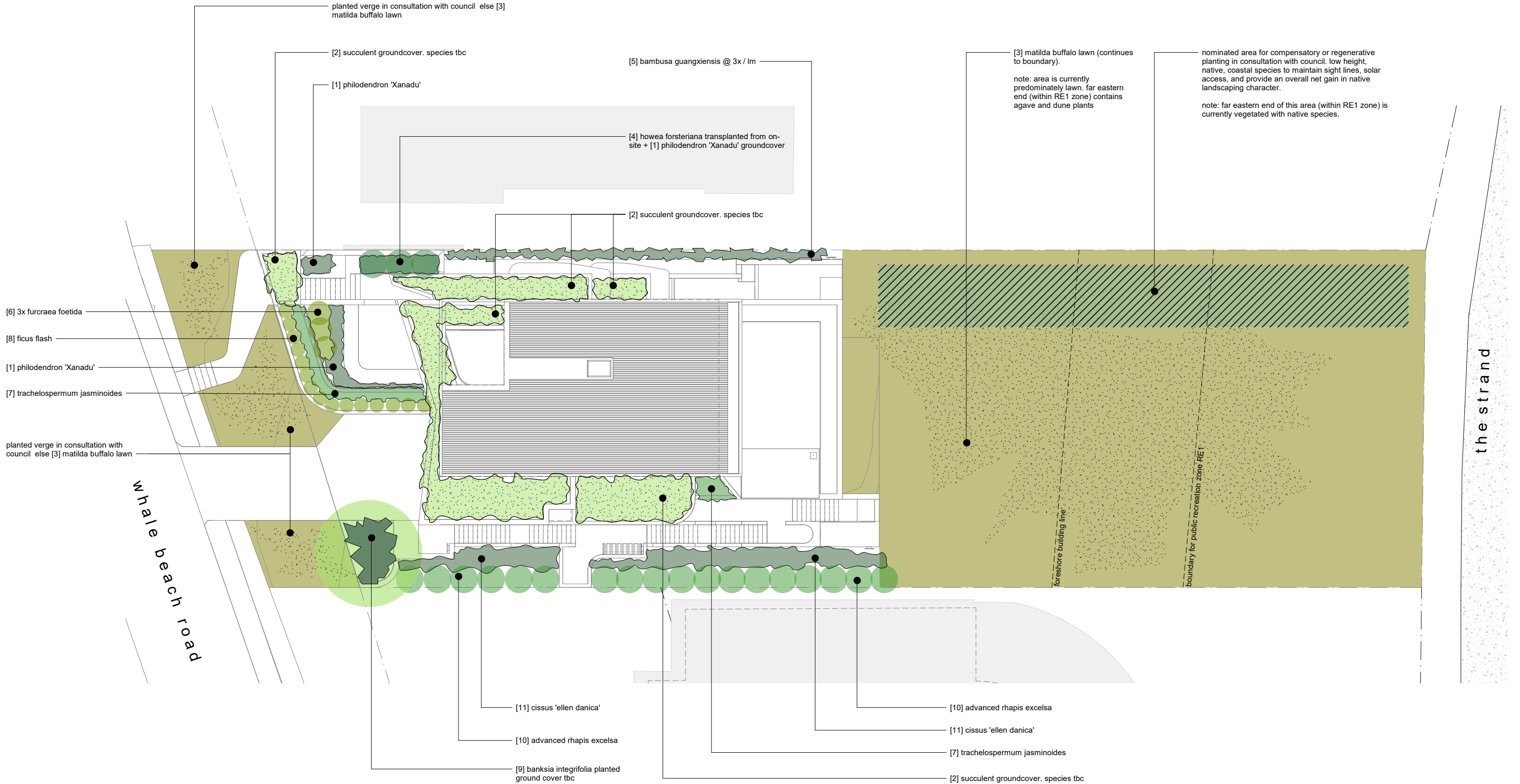

















1 site section south  
1:100

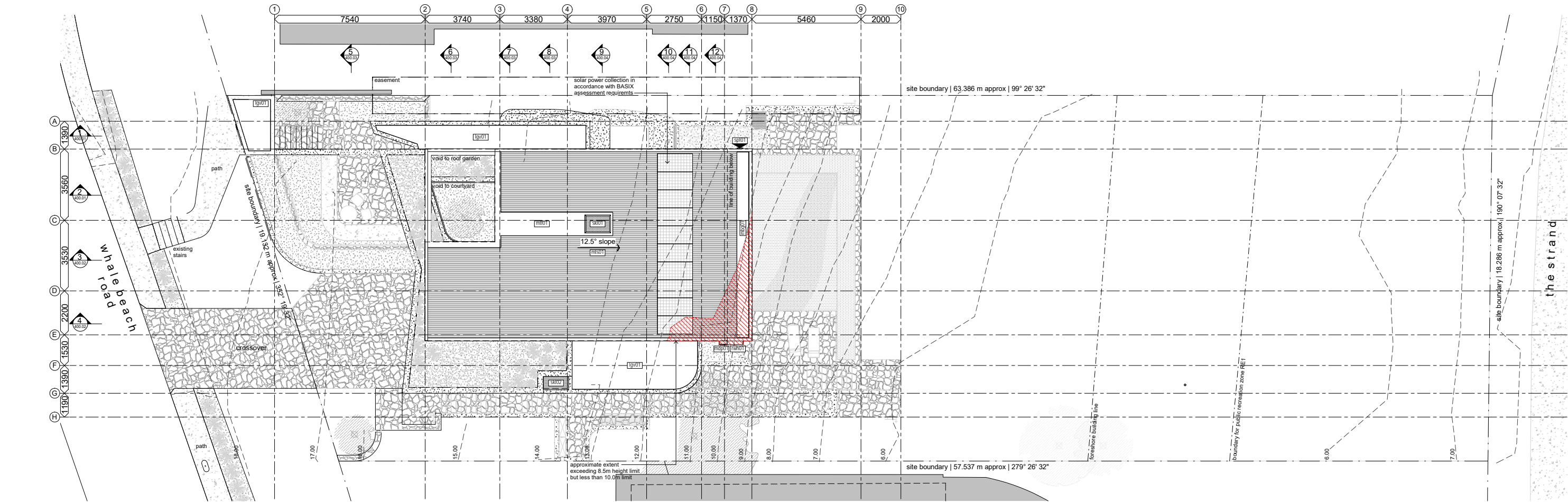




landscape legend												note: species suitability and number of plants tbc by horticulturalist. scheduled species and locations are indicative of design intent only											
code	name	code	name	code	name	code	name	code	name	code	name	code	name	code	name	code	name	code	name	code	name		
[1]	philodendron 'Xanadu'	[2]	succulent groundcover	[3]	matilda buffalo lawn	[4]	howea forsteriana	[5]	bambusa guangxiensis	[6]	furcraea foetida	[7]	trachelospermum jasminoides	[8]	ficus macrocarpa hillii flash	[9]	banksia integrifolia	[10]	rhaps excelsa	[11]	cissus 'ellen danica'		
																							

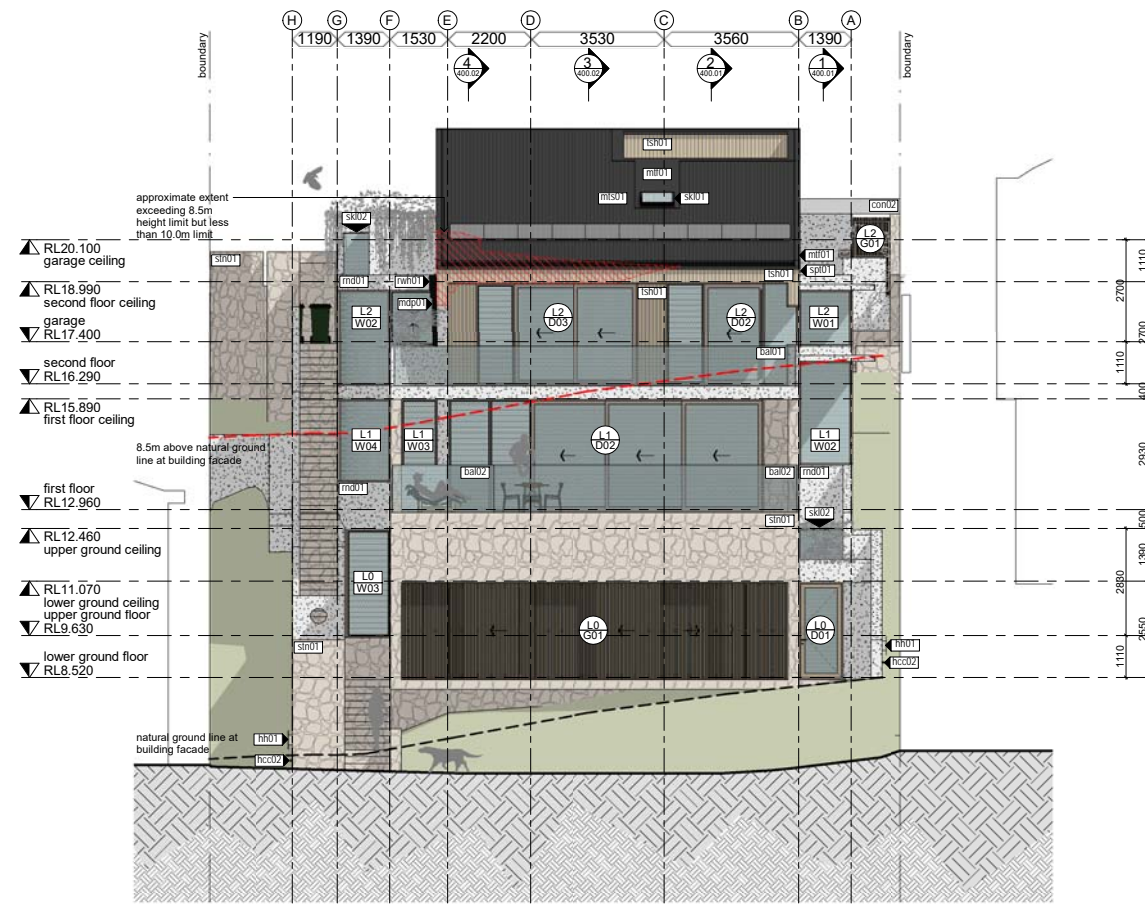
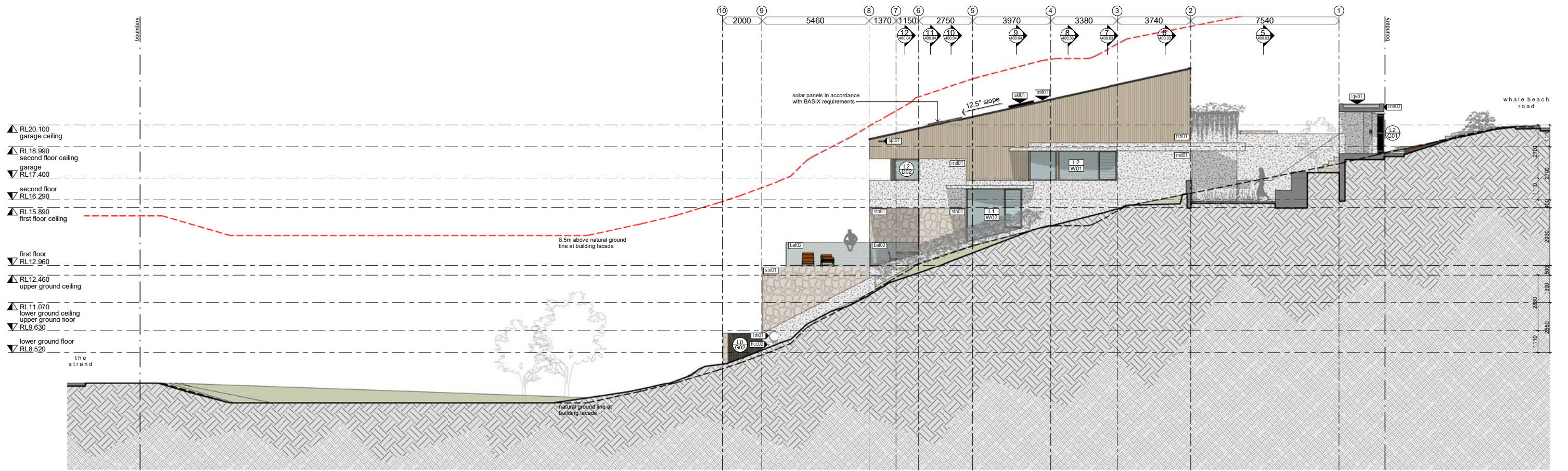
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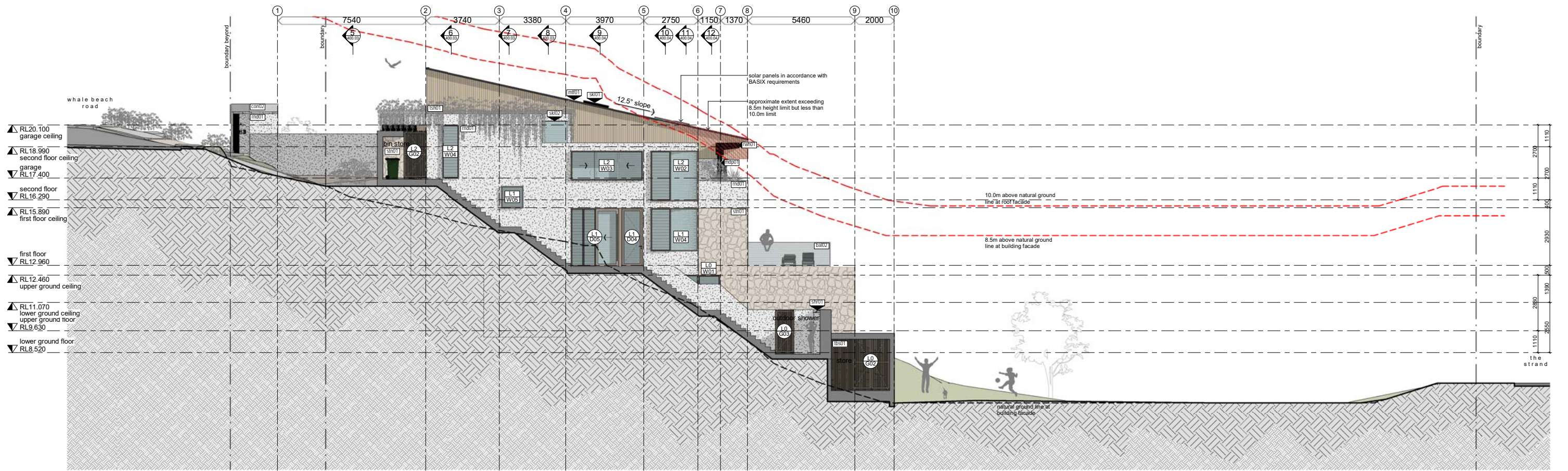


<b>general notes</b> 1. all works to be carried out in accordance with the <b>general construction notes</b> in coversheets of this package. 2. all works to be carried out in accordance with the DA (if required) and BA including drawings & conditions. 3. handrails are required to all stairways where a change of level of 575mm or greater occurs as per BCA 2013 Part 3.9.2.4. 4. where boundary locations are not clear, the builder shall arrange for survey to locate the boundaries and complete an identification survey prior to setting out the new work.		<b>general items</b> 5. contours shown are existing and do not represent finished levels. 6. levels and services locations for civil works may vary from those shown - verify all levels and services locations prior to commencement of construction. 7. concrete profile and blockwork setout is provided on 220 (series) of drawings. refer to these for setout. licensed surveyor to establish grids. where discrepancies occur the 220 series drawings are to take precedent.		<b>general items</b> window code. refer to window arrangements + door/window hardware schedules <div><div><div>LS (level)</div><div>LV01 (ref)</div></div><div>RL xx.xxx ↑</div></div> <div>spot level tos = top of step bos = bottom of step RL = lv at point (AHD typ)</div>		<div><div><div>LI (level)</div><div>LV01 (ref)</div></div><div>(cos) (mir) (sim) (part)</div></div> <div>confirm on site mirrored detail similar detail partial detail</div>		<div><div><div>finish*</div><div>height**</div></div><div><div>finish*</div><div>height**</div></div></div> <div>ceiling code * refer finishes schedule ** heights are relative to associated finished floor</div> <div><div><div>finish*</div><div>height**</div></div><div><div>finish*</div><div>height**</div></div></div> <div>scheduled item (refer to finishes/ sanitary/ appliances/ lighting/ services as appropriate)</div>		<div><div><div>step up code. note step line occurs on low side of level change</div><div>low lv + 20 mm</div><div>↑ hcc</div></div><div>hose cock. refer services schedule. client to confirm locations</div></div>		<div><div><div>TOW xx.xxx</div><div>top of wall (surface) level</div></div><div><div>SSL xx.xxx</div><div>structural slab level</div></div><div><div>FFL xx.xxx</div><div>finished floor level</div></div><div><div>RL xx.xxx</div><div>reduced level</div></div></div>	
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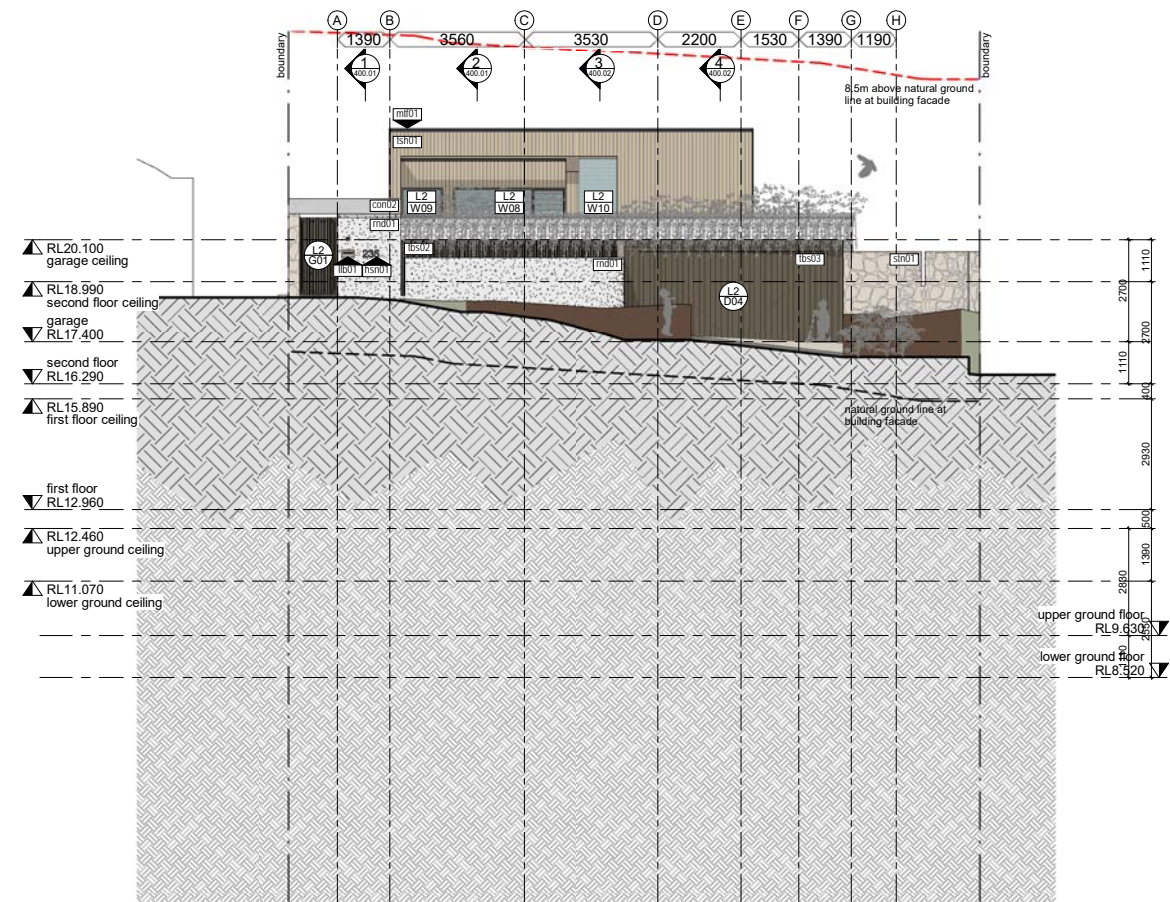








1 south elevation  
1:100



2 west elevation  
1:100