

DEVELOPMENT CALCULATIONS		
<b>SITE AREA</b>	<b>1190.00 SQUARE METRES</b>	
<b>DESCRIPTION</b>	<b>EXISTING SQM</b>	<b>PROPOSED SQM</b>
RESIDENCE ROOF	157.94	157.94
PATIO	38.50	38.50
SWIMMING POOL	26.88	26.88
DRIVEWAYS	42.50	72.42
S/D & GARAGE ROOF	—	93.87
VERANDAH	—	31.15
DECKS & STAIRS	—	20.40
<b>TOTAL HARD SURFACE</b>	<b>194.42 (16.34%)</b>	<b>436.80 (36.71%)</b>
INCLUDING THE 6% VARIATION (71.40SQM) (FOR UNCOVERD DECK & PAVING OUTDOOR RECREATIONAL SPACE)		
<b>TOTAL LANDSCAPING</b>	<b>995.58 (83.66%)</b>	<b>753.20 (63.30%)</b>

- NOTES:**
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  2. SHOULD ANY DEVELOPMENT OR CONSTRUCTION OCCUR ON OR NEAR BOUNDARIES, THE BOUNDARIES SHOULD BE CLEARLY MARKED ON SITE BY THE REGISTERED LAND SURVEYORS.

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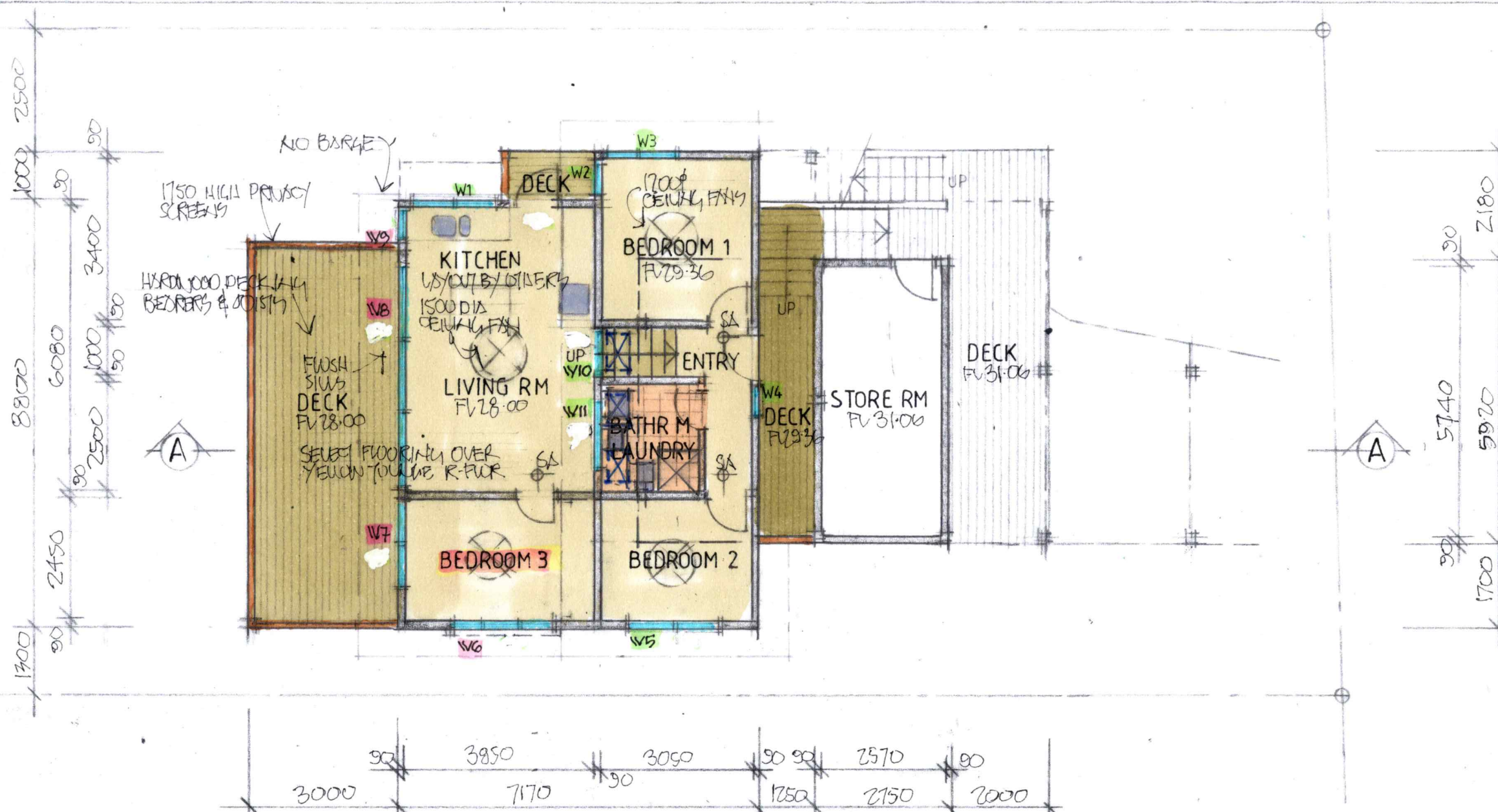
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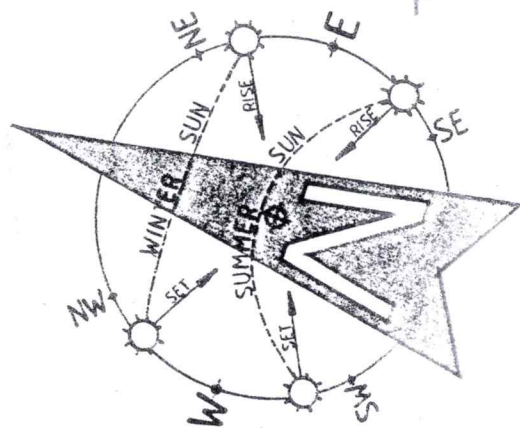
**PROJECT**  
**PROPOSED SECONDARY DWELLING**  
 No. 129 GEORGE STREET  
 AVALON BEACH N.S.W. 2107  
 CLIENT  
 GREIG & TRACEY WITNEY

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 DRAWN JOE CHECKED  
 DRAWING No. 2141-1 ISSUE A  
 10/10/24





## LOWER FLOOR PLAN



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### NOTES FOR SECONDARY DWELLING

SMOKE ALARMS TO BE IN ACCORDANCE WITH CLAUSE 3.7.2 OF THE BUILDING CODE OF AUSTRALIA AS. 3786/2004 AND NZS. 3786/2004.

TERMITE RISK MANAGEMENT TO BE IN ACCORDANCE WITH PART 3.1.3 OF THE BUILDING CODE OF AUSTRALIA ALL GLAZING ASSEMBLIES TO COMPLY WITH AS.1289-2006.

ALL EXTERNAL GLAZING TO HAVE A MINIMUM REFLECTIVITY INDEX OF 25%.

VENTILATION TO THE SUBFLOOR AREA TO BE IN ACCORDANCE WITH CLAUSE 3.4.1.2. OF THE BCA.

LIGHTING OF ALL BATHROOM'S AND WC'S TO BE IN ACCORDANCE WITH CLAUSE 3.8.4. OF THE BUILDING CODE OF AUSTRALIA AND AS.1680.0 AND NZS. 1680.0

VENTILATION OF ALL BATHROOM'S AND WC'S TO BE IN ACCORDANCE WITH CLAUSE 3.8.3.3. OF THE BUILDING CODE OF AUSTRALIA AND AS. 1680.2 AND NZS. 1680.2

WATERPROOFING OF ALL WET AREAS TO COMPLY WITH AS. 3740-2004.

THE DOOR TO THE BATHROOM'S AND WC'S IS REQUIRED TO COMPLY WITH AND IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA AMENDMENT 3, CLAUSE 3.8.3.3. (TO EITHER OPEN OUTWARDS, SLIDE OR BE READILY REMOVABLE FROM THE OUTSIDE OF THE COMPARTMENT).

SOUND INSULATION TO BE IN ACCORDANCE WITH PART 3.8.6.3. OF THE BUILDING CODE OF AUSTRALIA. AND PROVIDE A SOUND INSULATION LEVEL  $R_w + C_{tr}$  OF NOT LESS THAN 50.

LAUNDRY FACILITIES COMPRISING A LAUNDRY TUB (SEPARATE FROM A BATHROOM HAND BASIN) AND SPACE FOR A WASHING MACHINE IN ACCORDANCE WITH CLAUSE 3.8.3.2. OF THE BUILDING CODE OF AUSTRALIA.

ALL CEILINGS TO THE GARAGE FLOOR BELOW THE FIRST FLOOR SECONDARY DWELLING MUST ACHIEVE A FIRE RATING OF FRL 30/30/30

AND MUST COMPLY WITH AS.1530 AND BCA CLAUSE C3.15

ALL SERVICE PENETRATIONS THROUGH THE CEILING SYSTEM MUST BE FIRE PROTECTED IN ACCORDANCE WITH AS 1530.4-2005, AS 4072.1-2005 & BCA CLAUSE C3.15

PARTY WALL TO BE CONSTRUCTED IN ACCORDANCE WITH PART 3.1.7.4 OF THE NATIONAL CONSTRUCTION CODE THE FLOOR & UNDERSIDE OF STAIRS SEPARATING THE SECONDARY DWELLING AND GARAGE TO HAVE A FIRE PROTECTIVE COVERING OF 13mm FIRE GRADE PLASTERBOARD FIXED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS & TREATMENT OF TOP WALL PLATES SUPPORTING THE FIRST FLOOR IN THE EASTERN & SOUTHERN WALLS.

PROTECTION OF OPENABLE WINDOWS TO BE UPGRADED TO SATISFY THE BCA CLAUSE 3.9.2.5.

THE GARAGE TO HAVE INSTALLED ON OR NEAR THE CEILING A HEAT ALARM THAT COMPLIES WITH AS 1603.3-1996

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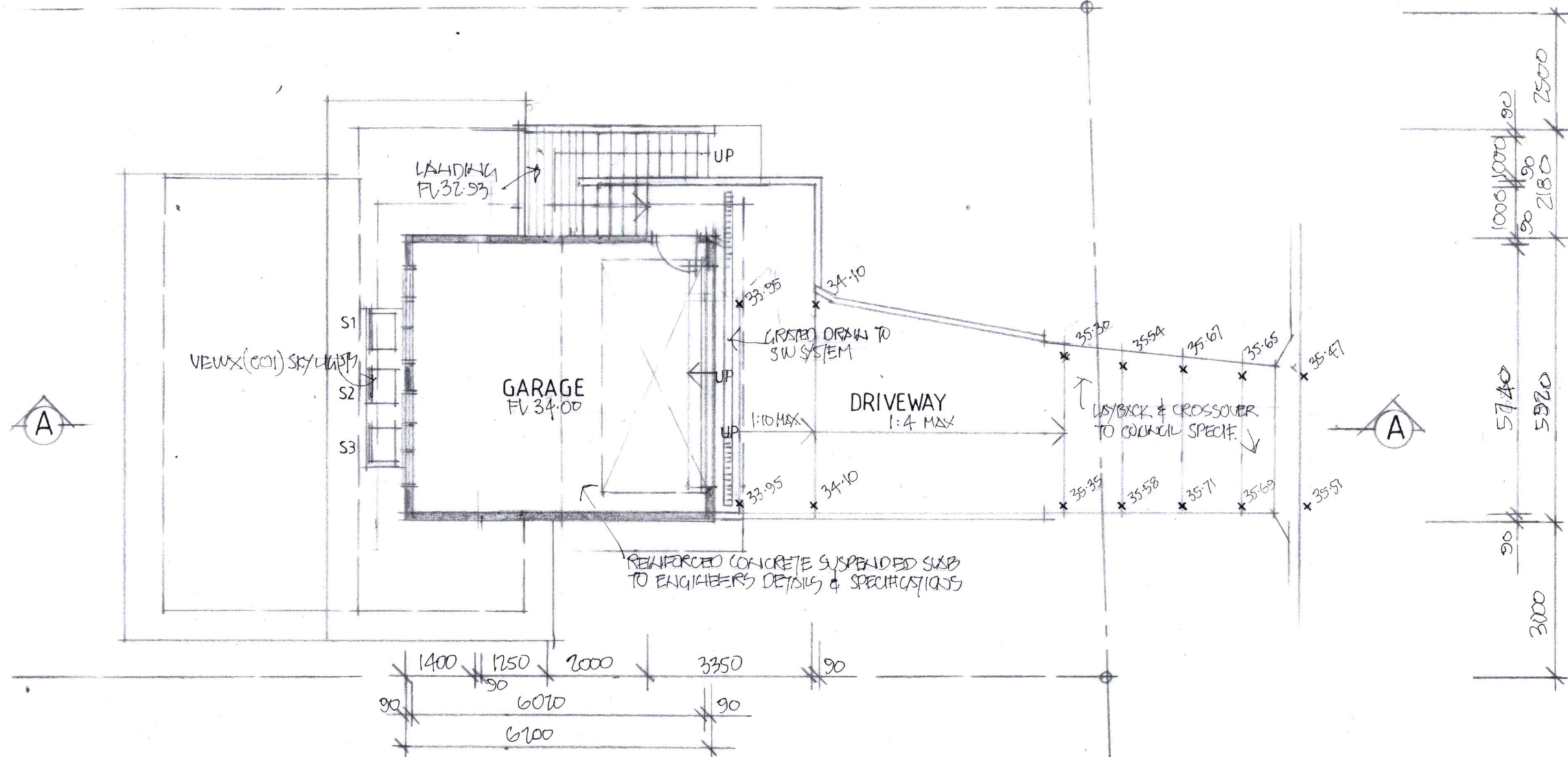


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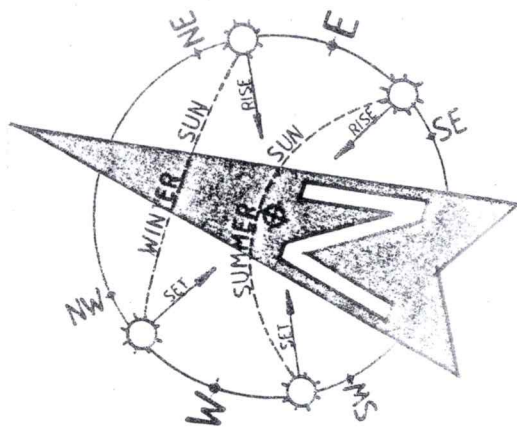
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## UPPER FLOOR PLAN



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### SKYLIGHT / ROOF WINDOW SCHEDULE

No.	HEIGHT	WIDTH	AREA
S1	0.55	0.70	0.39
S2	0.55	0.70	0.39
S3	0.55	0.70	0.39

### WINDOW & GLAZED DOOR SCHEDULE

No.	HEIGHT	WIDTH	AREA
W1	1.20	1.50	1.80
W2	1.50	0.75	1.13
W3	1.50	1.50	2.25
W4	2.10	0.75	1.58
W5	1.50	1.80	2.70
W6	0.75	2.10	1.58
W7	2.10	1.80	3.78
W8	2.10	4.50	9.45
W9	1.20	0.75	0.90
W10	0.35	0.90	0.32
W11	0.35	1.50	0.53

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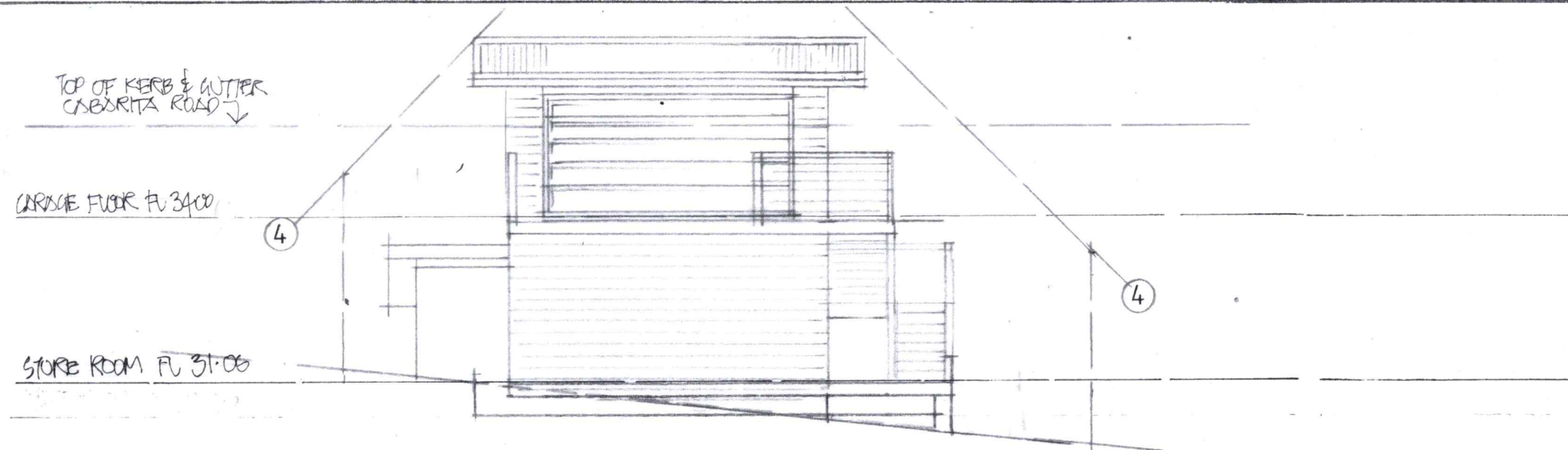


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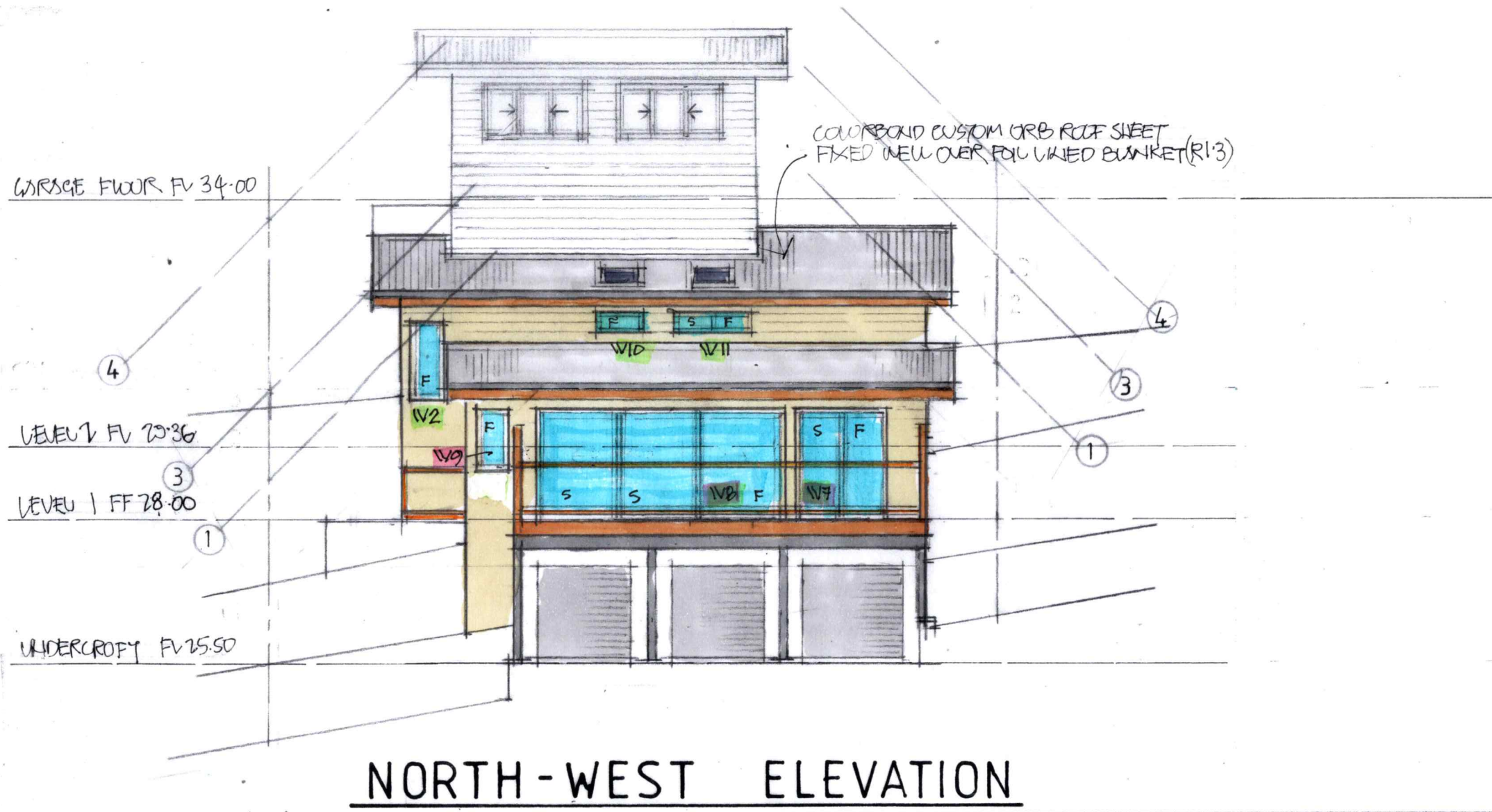
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## SOUTH-EAST ELEVATION



## NORTH-WEST ELEVATION

NCC 2022 - Class 1

### Insulation Notes:

- All insulations listed are product only values.
- All insulation and vapour membranes must be installed in accordance with Part 10.8 Condensation Management and NSW H6P1 (Part 13.2) Building Fabric, NSW H6P2 (Part 13.4) Building Sealing, NSW H6P3 (Part 13.7) Services.
- Class 3 vapour permeable membrane to external walls in NCC climate zones 4 & 5.

### Wall and roof frames

90mm timber frames to all walls, mid floors and roof  
90mm metal frames to all walls, mid floors and roof

### External Floors

Suspended timber floors, R5.0 insulation, enclosed subfloor

### Internal Floors

between levels:  
No insulation required where habitable rooms are below

### External Walls

Consultants Note: A vapour membrane is only mandatory for clad walls with vertical or diagonal cladding lightweight installed. It is good practice however as is adding a drainage cavity. Most cladding suppliers will void your warranty if you install direct to frames.

Lightweight cladding timber frame;  
Internal plasterboard lining, 90mm timber stud with R2.8 bulk insulation, vapour membrane - optional, drainage channel - optional, external lightweight clad.

### Walls within dwellings

R2.7 insulation between garage and habitable rooms, and roof space and habitable rooms

### Glazing Doors/Windows

Glazed windows and doors:

**Group A** - hinged glazed doors  
U-value: 1.66 (equal to or lower than) SHGC: 0.31 (±10% in NSW)

**Group B** - sliding doors/windows  
U-value: 1.86 (equal to or lower than) SHGC: 0.45 (±10% in NSW)

**Group B** - fixed glazing  
U-value: 1.52 (equal to or lower than) SHGC: 0.50 (±10% in NSW)

Given values are AFRC total window system values (glass and frame)  
Dark (SA>0.7)

### Window restrictors

Window restrictors are modelled in the first-floor bedrooms to all windows with a sill height under 1.7m and a fall height over 2m from the floor level of the room.

### Roof Windows / skylights

Fixed  
U-value: 2.58 and SHGC: 0.24  
Given values are AFRC total window system values (glass and frame)

### Roof

Metal roof with R13 foil-backed blanket  
Consultant Note: sarking is only mandatory for tiled roofs under 18 degrees but its standard practice

### Ceilings

Plasterboard ceiling with R6.0 insulation where roof or balcony is above, the insulation must extend to the external wall

### Ceiling Penetrations

1x1500mm ceiling fans to living and 1x1200 to bedrooms  
IC rated LED downlights, maximum one every 4.0m

### Floor coverings

Tiles to bathroom, timber elsewhere

### External Shading

Fixed shading screens to W09, 50% shading ratio.  
750 deep fixed horizontal screen to W01, room windows, 80% shading ratio.

### Ventilation

Weather seals and draft protection to all external windows and doors  
Dampers to all exhaust fans and chimneys

### BASIX Water Commitments

#### Fixtures

Showerheads 4 stars (medium flow >6.0 and <= 7.5 litres/min)  
Toilet flushing system 4 stars in each toilet  
Kitchen taps 4 stars rating  
Bathroom taps (bath excluded) minimum 4 stars rating

#### Alternative water

120 m2 of harvested roof area connected to rainwater tank, minimum capacity, 3000L  
Rain tank connected to at least one outdoor tap, toilets.

### BASIX Energy Commitments

#### Hot water system

Gas instantaneous - 5 star

#### Ventilation

Bathrooms - No mechanical ventilation  
Kitchen - No mechanical ventilation

tion cooktop, electric oven  
or clothes drying line

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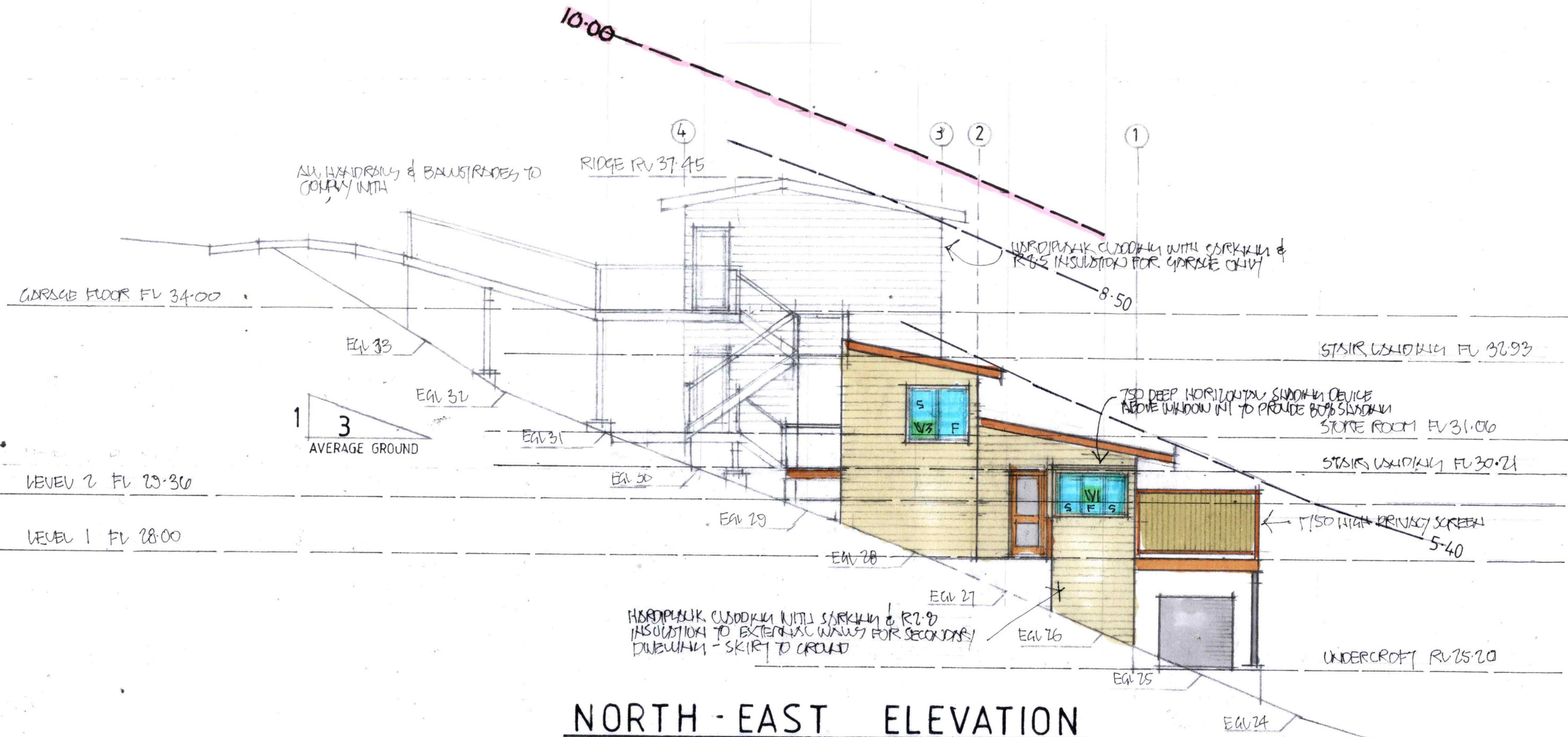


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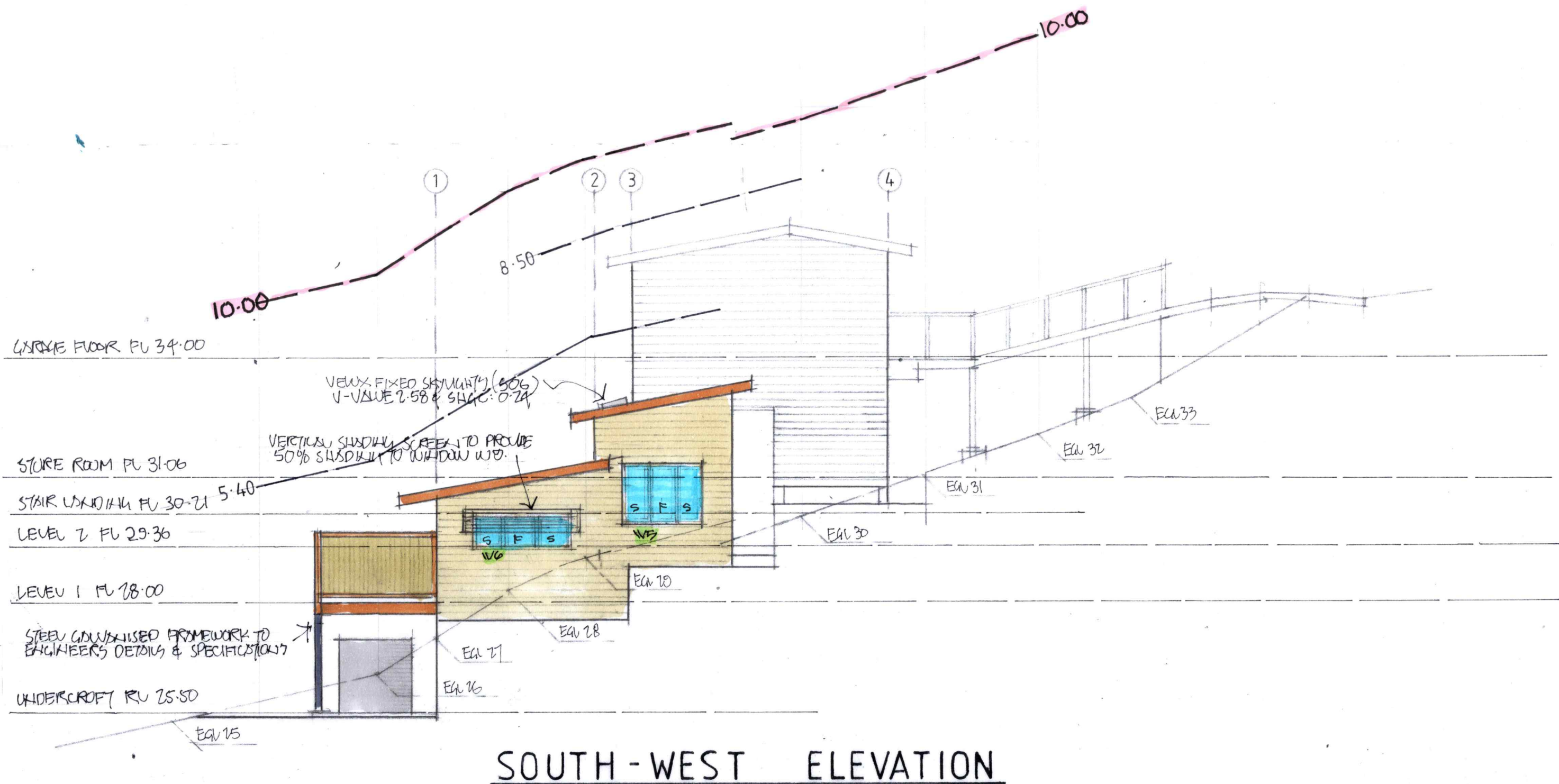


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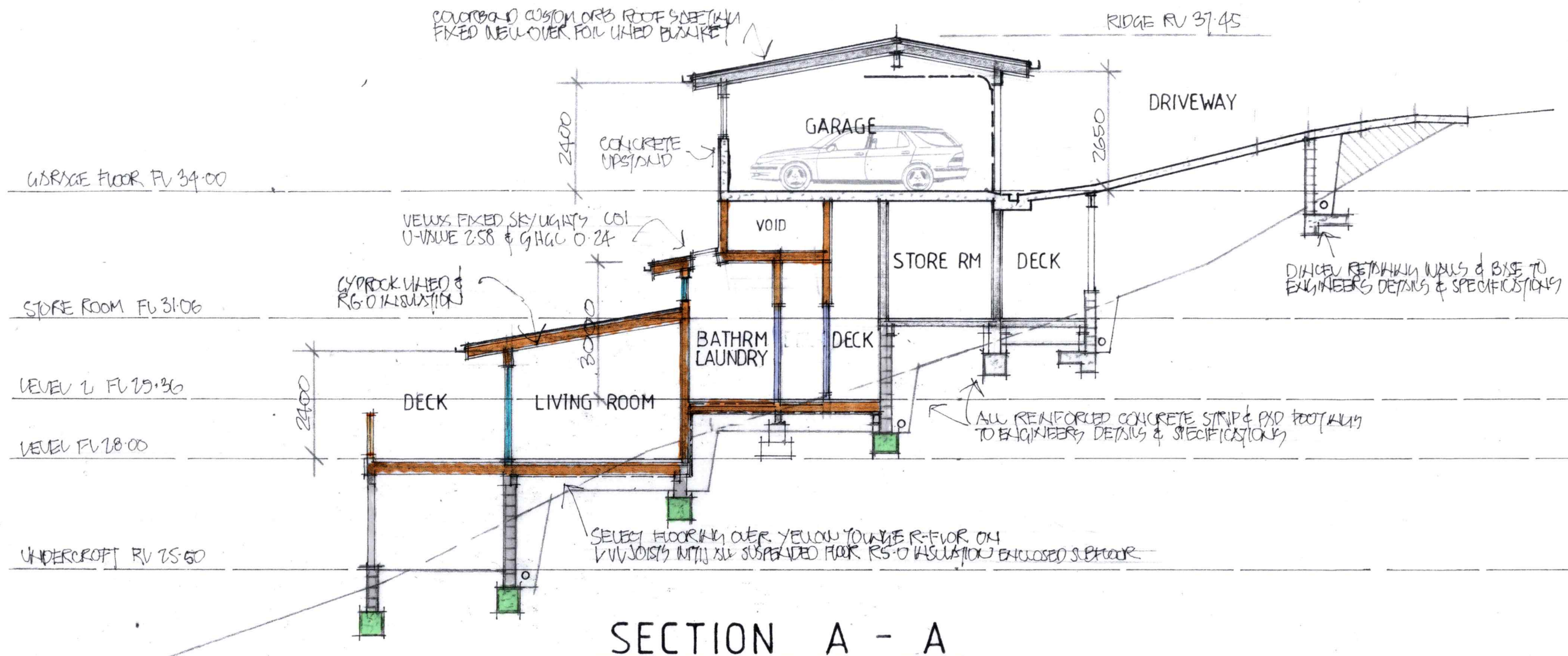


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