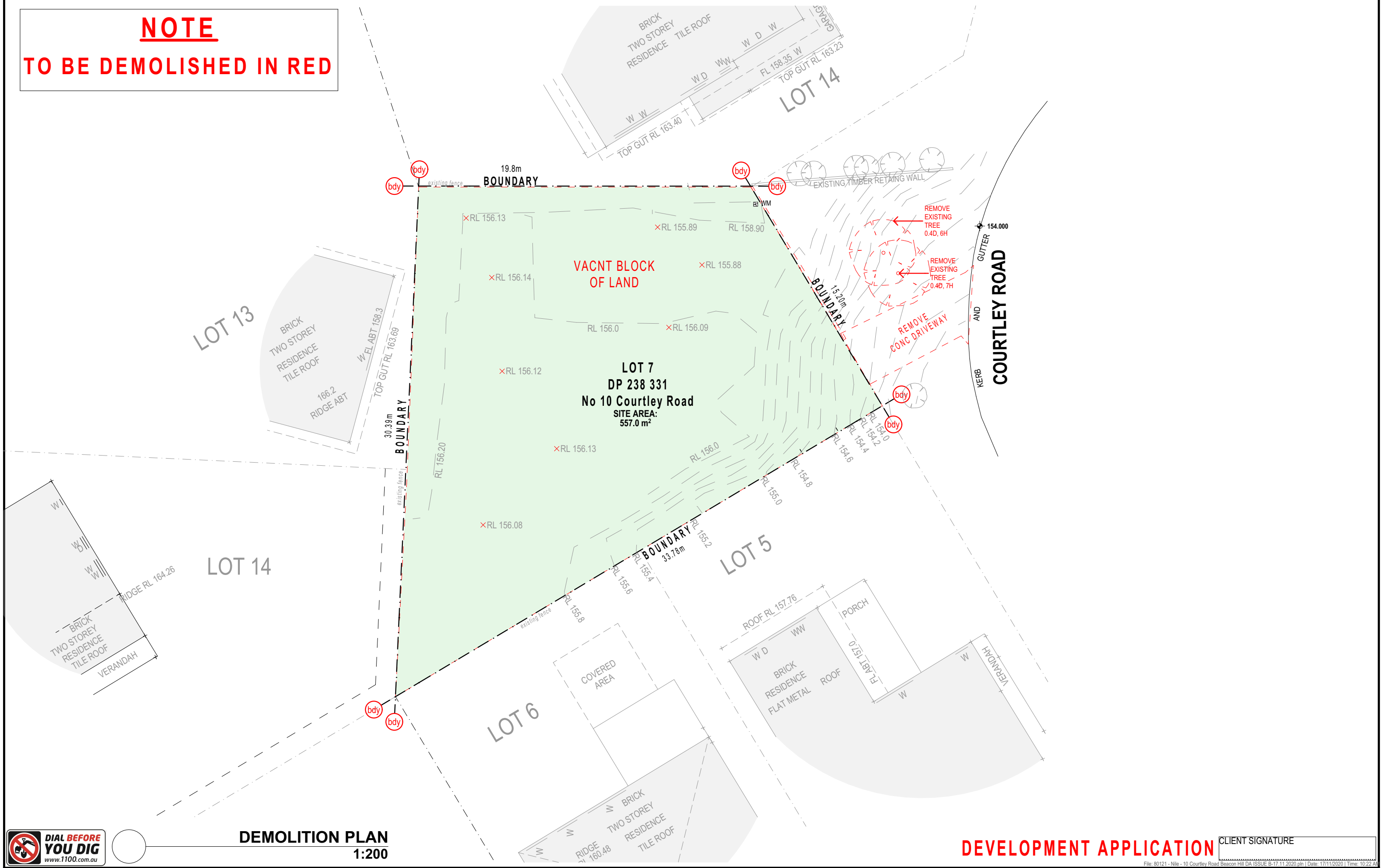



NOTE
TO BE DEMOLISHED IN RED





DEMOLITION PLAN
1:200

DEVELOPMENT APPLICATION

CLIENT SIGNATURE _____

File: 80121 - Nile - 10 Courtley Road Beacon Hill DA ISSUE B-17.11.2020.pln | Date: 17/11/2020 | Time: 10:22 AM

AUSTRALIAN STANDARDS AND BCA
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- EARTHWORKS
- GUTTERS / DOWNPIPES
- FOOTINGS AND SLABS
- MASONRY
- GLAZING
- SMOKE ALARMS
- WATERPROOFING WET AREAS
- ARTIFICIAL LIGHTING
- MECHANICAL VENTILATION
- STAIR CONSTRUCTION
- BALUSTRADES

- TO COMPLY WITH BCA pt 3.1.1
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- TO COMPLY WITH BCA pt 3.8.4.3
- TO COMPLY WITH AS1668.2
- TO COMPLY WITH BCA pt 3.9.1
- TO COMPLY WITH BCA pt 3.9.2

ALLURA HOMES
PH : (02) 920 4122

ALLURA
Welcome to your home

THESE DRAWINGS REMAIN THE PROPERTY OF ALLURA HOMES PTY LTD AND CAN NOT BE ALTERED OR REPRODUCED WITHOUT WRITTEN CONSENT.

client
MRS.S & MR.F NILE


project
PROPOSED TWO STOREY DWELLING

site address
10 COURTLEY ROAD, BEACON HILL, NSW, 2100

B 17/11/2020 DA SUBMISSION ISSUE B
A 14/09/2020 PRE DA MEETING ISSUE A
rev date revision notes

DR DR by

project No.
80121



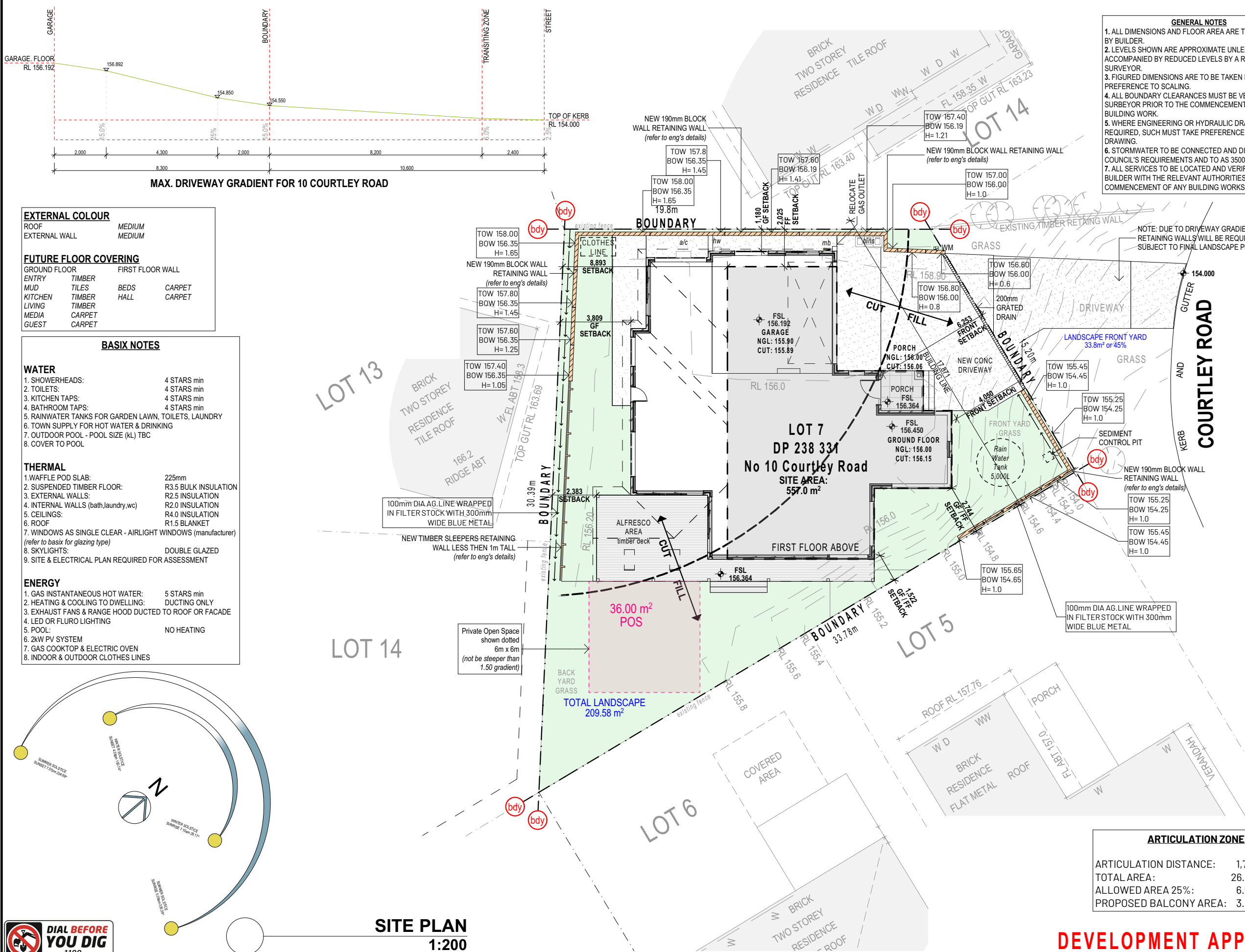
CUSTOM DESIGNED HOME

0 1 2 3 metres 4

stage	drawn	checked	scale @ A3
DA	DR	AS	1:200,

drawing
DEMOLITION PLAN

lot no. D.P. no. dwelling type	drawing #	revision
Lot -7 D.P. -DP 238 331	00.01.01	B



- GENERAL NOTES**
1. ALL DIMENSIONS AND FLOOR AREA ARE TO BE VERIFIED BY BUILDER.
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CDC REQUIREMENTS

SITE AREA 557.3m²
LAND ZONING: R2
MAX HEIGHT OF BUILDING: 8.5m
MAXIMUM GFA: N/A
PROPOSED SITE COVERAGE: 211.8m² or 38%

LANDSCAPING
MINIMUM PERMISSIBLE LANDSCAPE: (minimum dimension 1500m) : 40% or
MINIMUM LANDSCAPE AREA: 222.8m²
PROPOSED LANDSCAPE AREA 209.58m² or 37.6%
CUT & FILL MAXIMUM: 1,000mm
PRIVATE OPEN SPACE: 36m²

REQUIRED SETBACKS
REQUIRED FRONT SETBACK: N/A
FRONT SETBACK: 4,050mm
REQUIRED REAR SETBACK GF: N/A
REAR SETBACK GF: 3,809mm
REQUIRED REAR SETBACK FF: N/A
REAR SETBACK FF: 8,893mm
REQUIRED SIDE SETBACK GF: 900mm
SIDE SETBACK RH GF: 1,180mm
SIDE SETBACK LH GF: 1,522mm
REQUIRED SIDE SETBACK FF: N/A
SIDE SETBACK RH FF: 2,025mm
SIDE SETBACK LH FF: 1,522mm

BOUNDARIES
FRONT BOUNDARY WIDTH: 15,200mm
LH SIDE BOUNDARY LENGTH: 33,758mm
RH SIDE BOUNDARY LENGTH: 19,800mm
REAR BOUNDARY WIDTH: 30,390mm

GROSS FLOOR AREA OF BUILDING FOR DA

GROUND FLOOR: 188.99m²-17m²
EXCLUDING VERANDAH, PORCH, BALCONY, STAIR VOIDS INCLUDING GARAGE, OUT BUILDINGS AND ANY ENCLOSED SPACE WITH WALLS OVER 1.4m
FIRST FLOOR: 116.40m²
EXCLUDING VOID:
TOTAL GFA: 305.39m²

BUILDING QUANTITIES

GROUND FLOOR LIVING AREA: 161.18m²
GROUND FLOOR GARAGE AREA: 45.02m²
FIRST FLOOR LIVING AREA: 138.86m²
PROPOSED FLOOR AREA: 345.06m²
PORCH AREA: 4.90m²
ALFRESCO AREA: 38.76m²
BALCONIES: 4.3m²
TOTAL SLAB AREA (221.1m2)
INCL. AC & WATER TANK, INTEGRATED PADS (10m2)
TOTAL AREA
(LIVING / GARAGE / ALFRESCO / PORCH / BALCONIES) 394.62m2

AUSTRALIAN STANDARDS & BCA

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ARTICULATION ZONE

ARTICULATION DISTANCE: 1,707mm
TOTAL AREA: 26.00m²
ALLOWED AREA 25%: 6.50m²
PROPOSED BALCONY AREA: 3.09m²

DEVELOPMENT APPLICATION

CLIENT SIGNATURE

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DR DR by
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CUSTOM DESIGNED HOME

stage drawn checked scale @ A3
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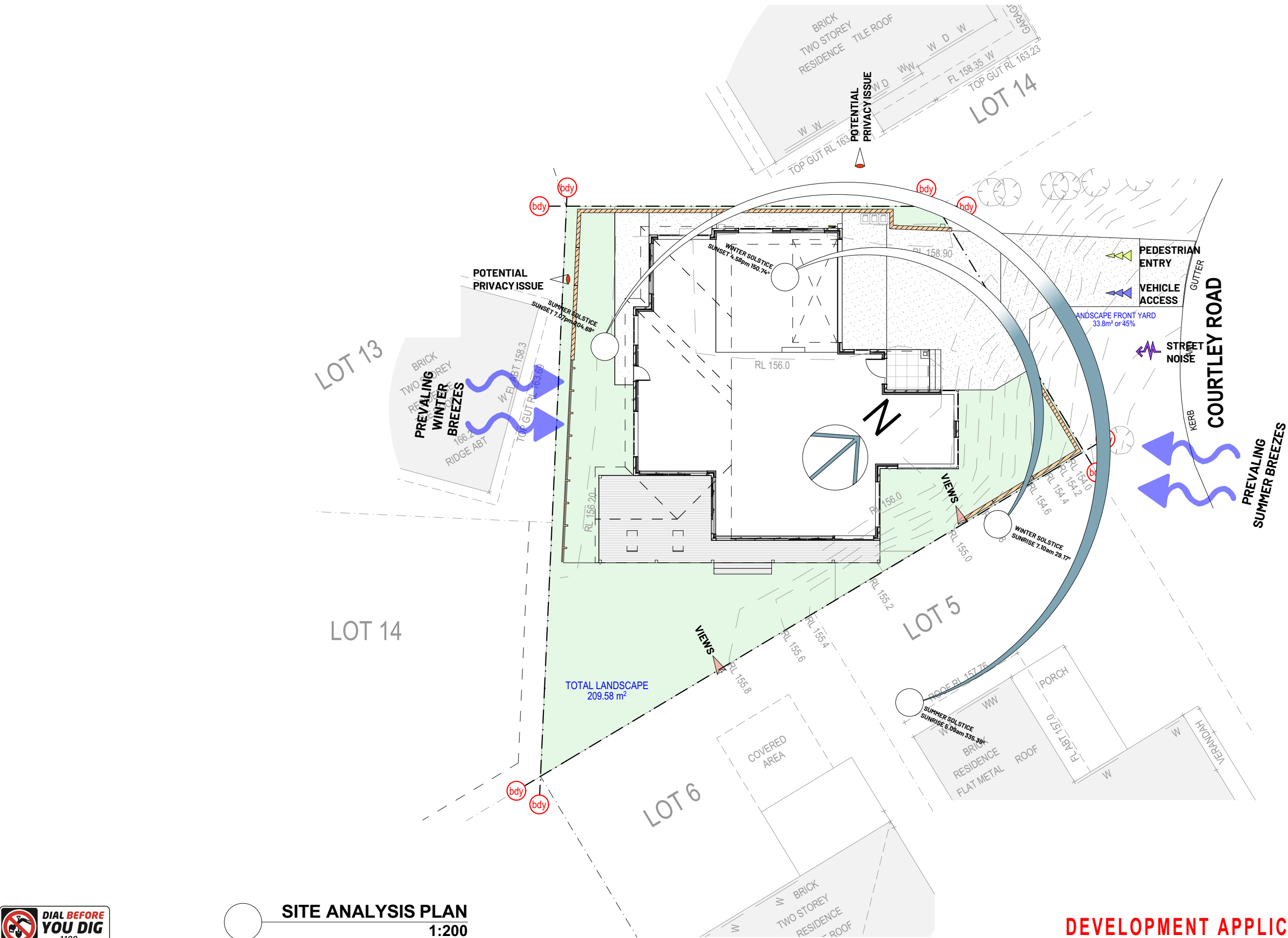
SITE PLAN

lot no. | D.P. no. | dwelling type
Lot -7 | D.P. -DP 238 331

drawing # revision
00.01.02 B

LEGEND

- PEDESTRIAN ENTRY
- VEHICLE ACCESS
- STREET NOISE
- POTENTIAL PRIVACY ISSUE
- VIEWS



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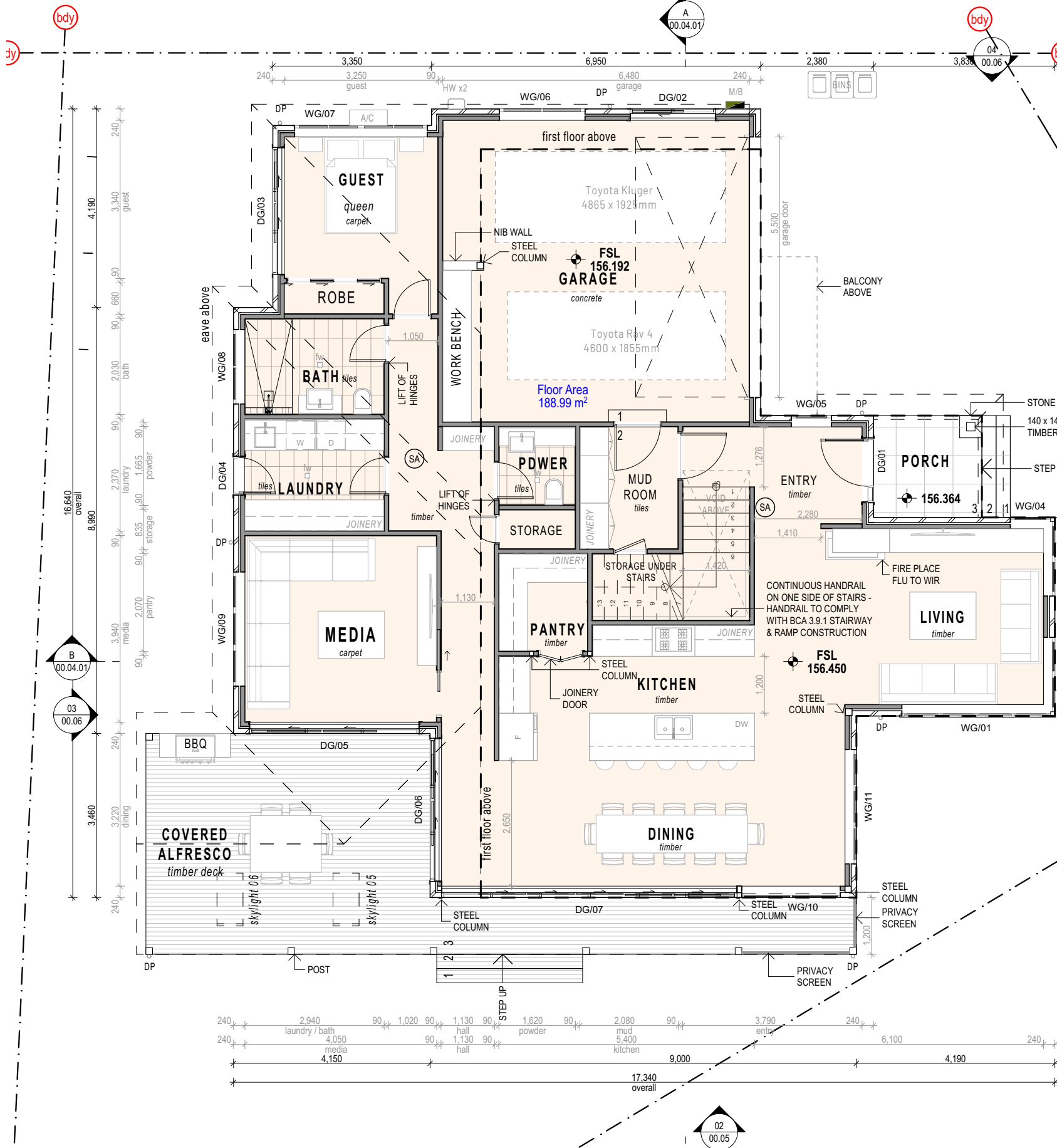
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project No.
80121
DR
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by

CUSTOM DESIGNED HOME
0 1 2 3 metres 4
stage drawn checked scale @ A3
DA DR AS 1:200,

drawing
SITE ANALYSIS PLAN
lot no. | D.P. no. | dwelling type
Lot -7 | D.P. -DP 238 331
drawing #
00.01.03
revision
B

DEVELOPMENT APPLICATION CLIENT SIGNATURE

File: 80121 - Nile - 10 Courtley Road Beacon Hill DA ISSUE B-17.11.2020.pln | Date: 17/11/2020 | Time: 10:22 AM



1. GROUND FLOOR
1:100

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ARTICULATION ZONE

ARTICULATION DISTANCE: 1,707mm
TOTAL AREA: 26.00m²
ALLOWED AREA 25%: 6.50m²
PROPOSED BALCONY AREA: 3.09m²

- BASIX NOTES**
- WATER**
1. SHOWERHEADS: 4 STARS min
 2. TOILETS: 4 STARS min
 3. KITCHEN TAPS: 4 STARS min
 4. BATHROOM TAPS: 4 STARS min
 5. RAINWATER TANKS FOR GARDEN LAWN, TOILETS, LAUNDRY
 6. TOWN SUPPLY FOR HOT WATER & DRINKING
 7. OUTDOOR POOL - POOL SIZE (KL) TBC
 8. COVER TO POOL
- THERMAL**
1. WAFFLE POD SLAB: 225mm
 2. SUSPENDED TIMBER FLOOR: R3.5 BULK INSULATION
 3. EXTERNAL WALLS: R2.5 INSULATION
 4. INTERNAL WALLS (bath, laundry, wc): R2.0 INSULATION
 5. CEILINGS: R4.0 INSULATION
 6. ROOF: R1.5 BLANKET
 7. WINDOWS AS SINGLE CLEAR - AIRLIGHT WINDOWS (manufacturer) (refer to basix for glazing type)
 8. SKYLIGHTS: DOUBLE GLAZED
 9. SITE & ELECTRICAL PLAN REQUIRED FOR ASSESSMENT
- ENERGY**
1. GAS INSTANTANEOUS HOT WATER: 5 STARS min
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DR
DR
by

project No.
80121



CUSTOM DESIGNED HOME

stage drawn checked scale @ A3
DA DR AS 1:100,

drawing
GROUND FLOOR

lot no. | D.P. no. | dwelling type
Lot -7 | D.P. -DP 238 331

drawing #
00.02.01
revision
B

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DA DR AS 1:100,

drawing
FIRST FLOOR

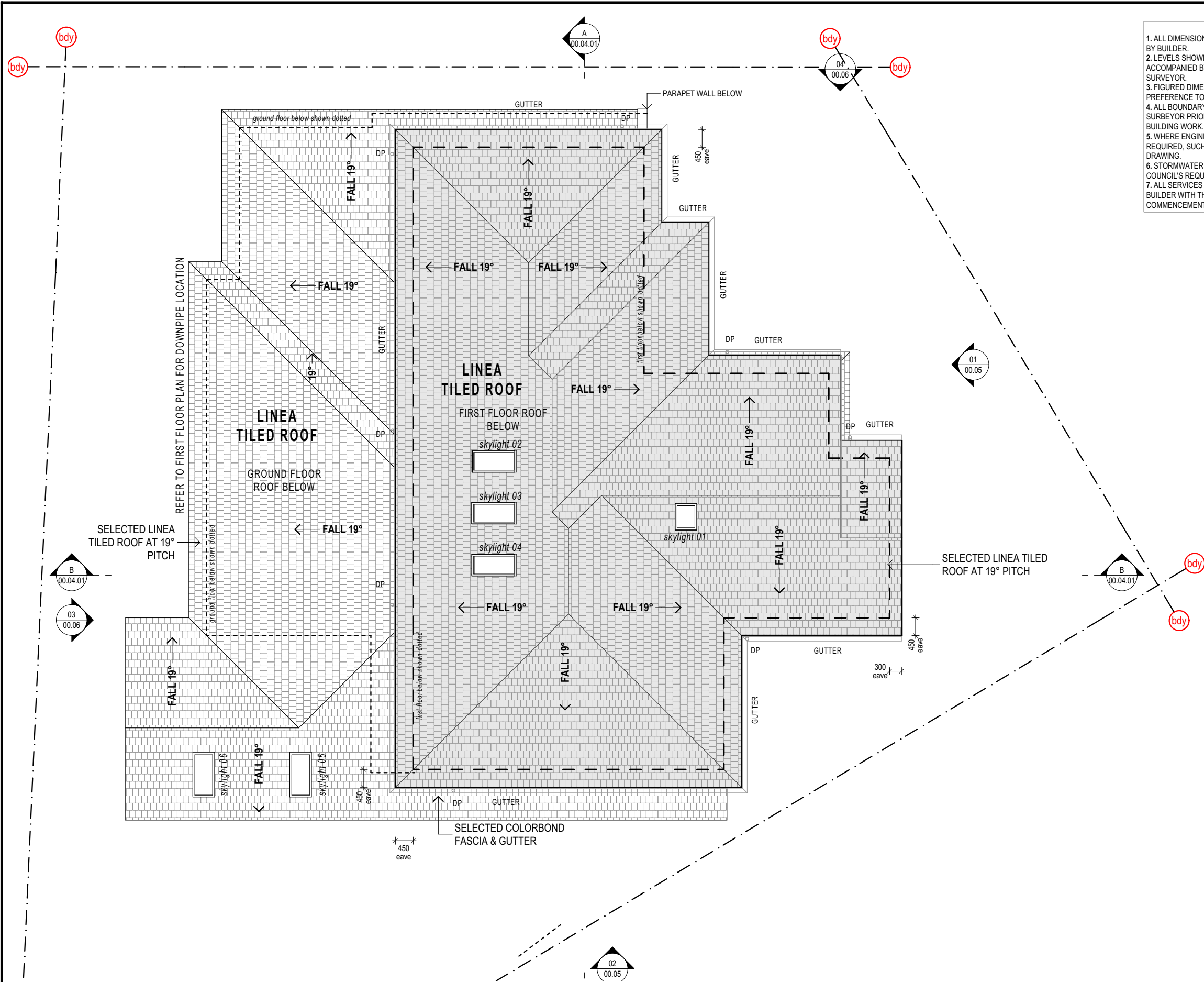
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Lot -7 | D.P. -DP 238 331

drawing #
00.02.02

revision
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| 3. KITCHEN TAPS: | 4 STARS min |
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| 5. RAINWATER TANKS FOR GARDEN LAWN, TOILETS, LAUNDRY | |
| 6. TOWN SUPPLY FOR HOT WATER & DRINKING | |
| 7. OUTDOOR POOL - POOL SIZE (KL) TBC | |
| 8. COVER TO POOL | |

- THERMAL**
- | | |
|--|----------------------|
| 1. WAFFLE POD SLAB: | 225mm |
| 2. SUSPENDED TIMBER FLOOR: | R3.5 BULK INSULATION |
| 3. EXTERNAL WALLS: | R2.5 INSULATION |
| 4. INTERNAL WALLS (bath, laundry, wc) | R2.0 INSULATION |
| 5. CEILINGS: | R4.0 INSULATION |
| 6. ROOF: | R1.5 BLANKET |
| 7. WINDOWS AS SINGLE CLEAR - AIRLIGHT WINDOWS (manufacturer) | |
| (refer to basix for glazing type) | |
| 8. SKYLIGHTS: | DOUBLE GLAZED |
| 9. SITE & ELECTRICAL PLAN REQUIRED FOR ASSESSMENT | |

- ENERGY**
- | | |
|---|--------------|
| 1. GAS INSTANTANEOUS HOT WATER: | 5 STARS min |
| 2. HEATING & COOLING TO DWELLING: | DUCTING ONLY |
| 3. EXHAUST FANS & RANGE HOOD DUCTED TO ROOF OR FACADE | |
| 4. LED OR FLUORO LIGHTING | |
| 5. POOL: | NO HEATING |
| 6. 2kW PV SYSTEM | |
| 7. GAS COOKTOP & ELECTRIC OVEN | |
| 8. INDOOR & OUTDOOR CLOTHES LINES | |

- AUSTRALIAN STANDARDS & BCA**
- ALL WORKS TO BE IN ACCORDANCE WITH AUSTRALIAN STANDARDS, THE BUILDING CODE OF AUSTRALIA & OTHER RELEVANT STATUTORY & LOCAL REGULATION CODES & MANUFACTURER'S RECOMMENDATIONS & INSTRUCTIONS.
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 4. GUTTERS/DOWNPIPES - COMPLY TO AS/NZS 3500.3.2

- GENERAL NOTES**
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 2. WRITTEN DIMENSIONS TO BE TAKEN IN PREFERENCE TO SCALE.
 3. LOCATION OF SERVICES ARE APPROXIMATE ONLY, AND SUBJECT TO SITE CONDITION AS DETERMINED BY BUILDER.
- (SA) SMOKE ALARM

GROSS FLOOR AREA OF BUILDING FOR DA

GROUND FLOOR:	188.99m ² -17m ²
EXCLUDING VERANDAH, PORCH, BALCONY, STAIR VOIDS INCLUDING GARAGE, OUT BUILDINGS AND ANY ENCLOSED SPACE WITH WALLS OVER 1.4m	
FIRST FLOOR:	116.40m ²
EXCLUDING VOID:	
TOTAL GFA:	305.39m²

BUILDING QUANTITIES

GROUND FLOOR LIVING AREA:	161.18m ²
GROUND FLOOR GARAGE AREA:	45.02m ²
FIRST FLOOR LIVING AREA:	138.86m ²
PROPOSED FLOOR AREA:	345.06m²
PORCH AREA:	4.90m ²
ALFRESCO AREA:	38.76m ²
BALCONIES:	4.3m ²
TOTAL SLAB AREA (221.1m2)	
INCL. AC & WATER TANK, INTEGRATED PADS (10m2)	
TOTAL AREA	
(LIVING / GARAGE / ALFRESCO / PORCH / BALCONIES)	394.62m2



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- EARTHWORKS
- GUTTERS / DOWNPIPES
- FOOTINGS AND SLABS
- MASONRY
- GLAZING
- SMOKE ALARMS
- WATERPROOFING WET AREAS
- ARTIFICIAL LIGHTING
- MECHANICAL VENTILATION
- STAIR CONSTRUCTION
- BALUSTRADES

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- TO COMPLY WITH AS2670
- TO COMPLY WITH AS3700
- TO COMPLY WITH AS1288 AND AS2047
- TO COMPLY WITH BCA pt 3.7.2 & AS3796
- TO COMPLY WITH AS3740
- TO COMPLY WITH BCA pt 3.8.4.3
- TO COMPLY WITH AS1668.2
- TO COMPLY WITH BCA pt 3.9.1
- TO COMPLY WITH BCA pt 3.9.2



ALLURA HOMES
PH : (02) 920 4122

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client
MRS.S & MR.F NILE
project
PROPOSED TWO STOREY DWELLING
site address
10 COURTLEY ROAD, BEACON HILL, NSW, 2100

B 17/11/2020 DA SUBMISSION ISSUE B
A 14/09/2020 PRE DA MEETING ISSUE A
rev date revision notes

DR DR by
project No.
80121



CUSTOM DESIGNED HOME

stage drawn checked scale @ A3
DA DR AS 1:100,

drawing
ROOF PLAN

lot no. | D.P. no. | dwelling type
Lot -7 | D.P. -DP 238 331

drawing #
00.02.03

revision
B

DEVELOPMENT APPLICATION CLIENT SIGNATURE

File: 80121 - Nile - 10 Courtley Road Beacon Hill DA ISSUE B-17.11.2020.pln | Date: 17/11/2020 | Time: 10:22 AM

AUSTRALIAN STANDARDS & BCA

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(SA) SMOKE ALARM

BASIS NOTES

WATER

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3. KITCHEN TAPS: 4 STARS min
4. BATHROOM TAPS: 4 STARS min
5. RAINWATER TANKS FOR GARDEN LAWN, TOILETS, LAUNDRY
6. TOWN SUPPLY FOR HOT WATER & DRINKING
7. OUTDOOR POOL - POOL SIZE (KL) TBC
8. COVER TO POOL

THERMAL

1. WAFFLE POD SLAB: 225mm
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3. EXTERNAL WALLS: R2.5 INSULATION
4. INTERNAL WALLS (bath, laundry, wc): R2.0 INSULATION
5. CEILINGS: R4.0 INSULATION
6. ROOF: R1.5 BLANKET
7. WINDOWS AS SINGLE CLEAR - AIRLIGHT WINDOWS (manufacturer) (refer to basis for glazing type)
8. SKYLIGHTS: DOUBLE GLAZED
9. SITE & ELECTRICAL PLAN REQUIRED FOR ASSESSMENT

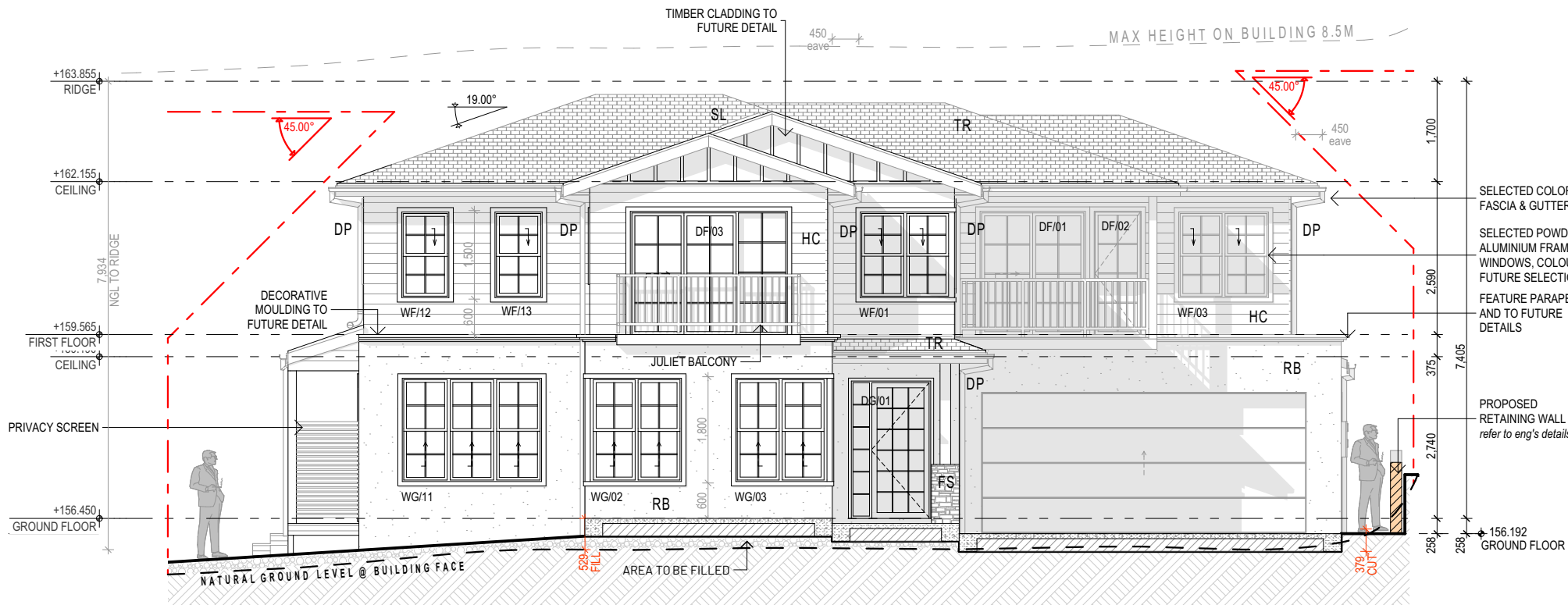
ENERGY

1. GAS INSTANTANEOUS HOT WATER: 5 STARS min
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7. GAS COOKTOP & ELECTRIC OVEN
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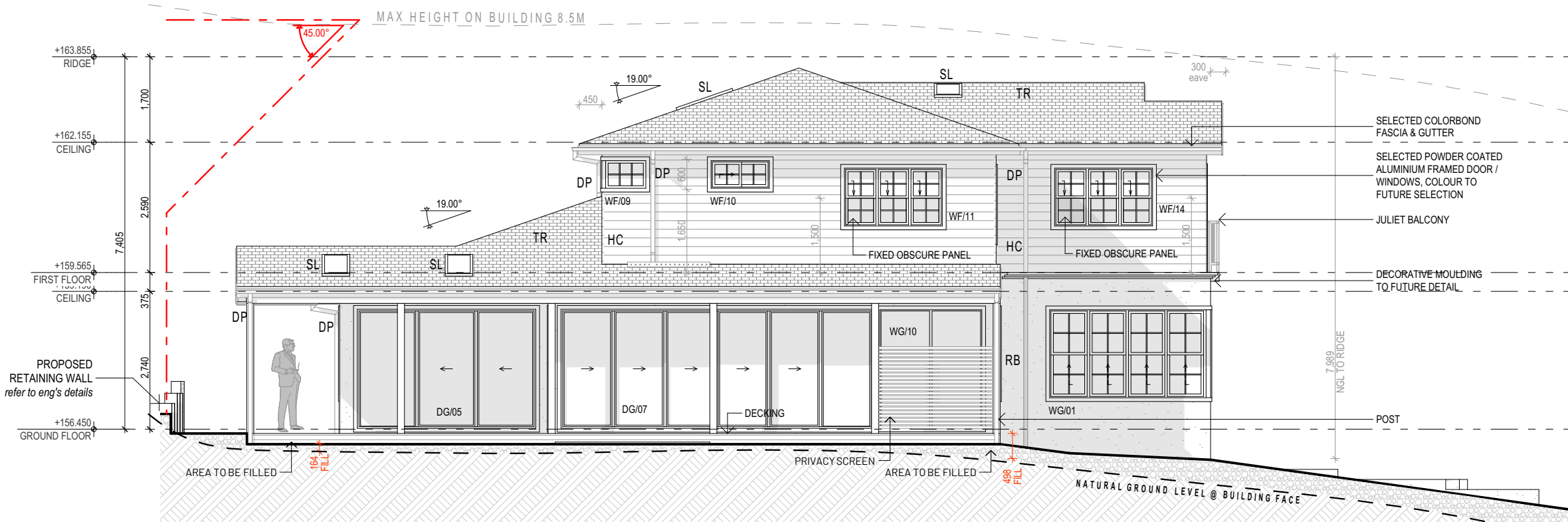
LEGEND

CB	COLOURBOND
TR	TILED ROOF
FB	FACEBRICK
HC	HORIZONTAL CLADDING
DR	DECO WOOD
WB	RENDERED BRICK
MC	MATRIX CLADDING
SL	SKYLIGHT
DP	DOWNPipe
NRG	NRG BOARD RENDER OVER
FS	FEATURE STONE CLADDING

NOTE:
PROTECTION OF OPENABLE
WINDOWS IN ACCORDANCE WITH
3.9.2.6



01 ELEVATION 01 NORTH
1:100



02 ELEVATION 02 EAST
1:100

DEVELOPMENT APPLICATION

CLIENT SIGNATURE



AUSTRALIAN STANDARDS AND BCA
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- BALUSTRADES

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client

MRS.S & MR.F NILE

project

PROPOSED TWO STOREY DWELLING

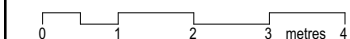
site address

10 COURTLEY ROAD,
BEACON HILL, NSW, 2100

B 17/11/2020 DA SUBMISSION ISSUE B
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rev date revision notes

DR
DR
by
project No.
80121

CUSTOM DESIGNED HOME



stage drawn checked scale @ A3
DA DR AS 1:100,

drawing

ELEVATIONS 01 & 02

lot no. | D.P. no. | dwelling type

Lot -7 | D.P. -DP 238 331

drawing #

00.03.01

revision

B

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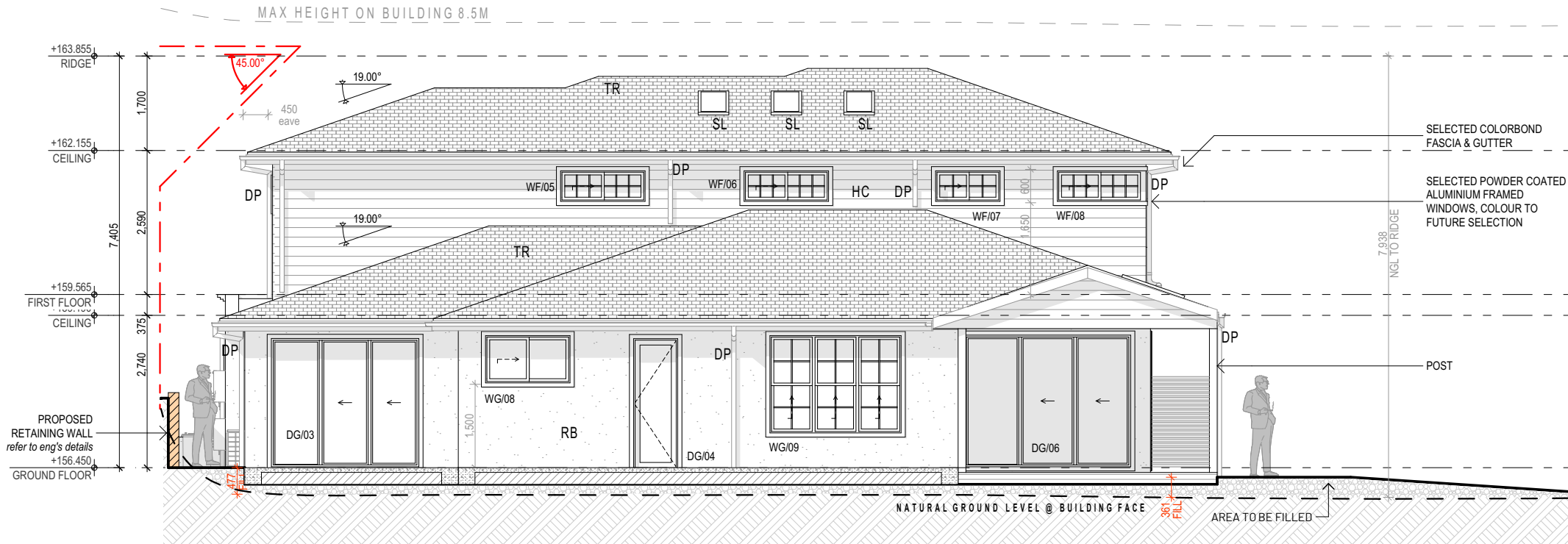
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7. GAS COOKTOP & ELECTRIC OVEN
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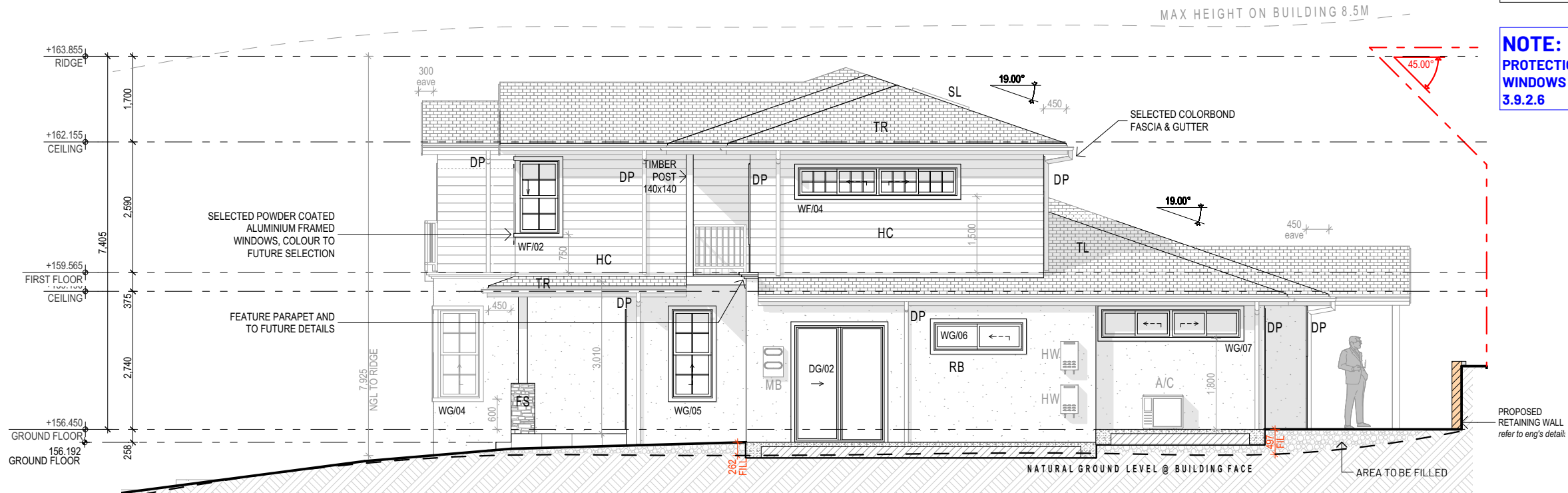
LEGEND

CB	COLOURBOND
TR	TILED ROOF
FB	FACEBRICK
HC	HORIZONTAL CLADDING
DW	DECO WOOD
RB	RENDERED BRICK
MC	MATRIX CLADDING
SL	SKYLIGHT
DP	DOWNPipe
NRG	NRG BOARD RENDER OVER
FS	FEATURE STONE CLADDING

NOTE:
PROTECTION OF OPENABLE
WINDOWS IN ACCORDANCE WITH
3.9.2.6



01 ELEVATION 03 SOUTH
1:100



02 ELEVATION 04 WEST
1:100

DEVELOPMENT APPLICATION

CLIENT SIGNATURE

File: 80121 - Nile - 10 Courtley Road Beacon Hill DA ISSUE B-17.11.2020.pln | Date: 17/11/2020 | Time: 10:23 AM



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client

MRS.S & MR.F NILE

project

PROPOSED TWO STOREY DWELLING

site address

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B 17/11/2020 DA SUBMISSION ISSUE B
A 14/09/2020 PRE DA MEETING ISSUE A
rev date revision notes

DR
DR
by

project No.
80121

CUSTOM DESIGNED HOME

0 1 2 3 metres 4

stage drawn checked scale @ A3
DA DR AS 1:100,

drawing

ELEVATIONS 03 & 04

lot no. | D.P. no. | dwelling type

Lot -7 | D.P. -DP 238 331

drawing #

00.03.02

revision

B

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THERMAL

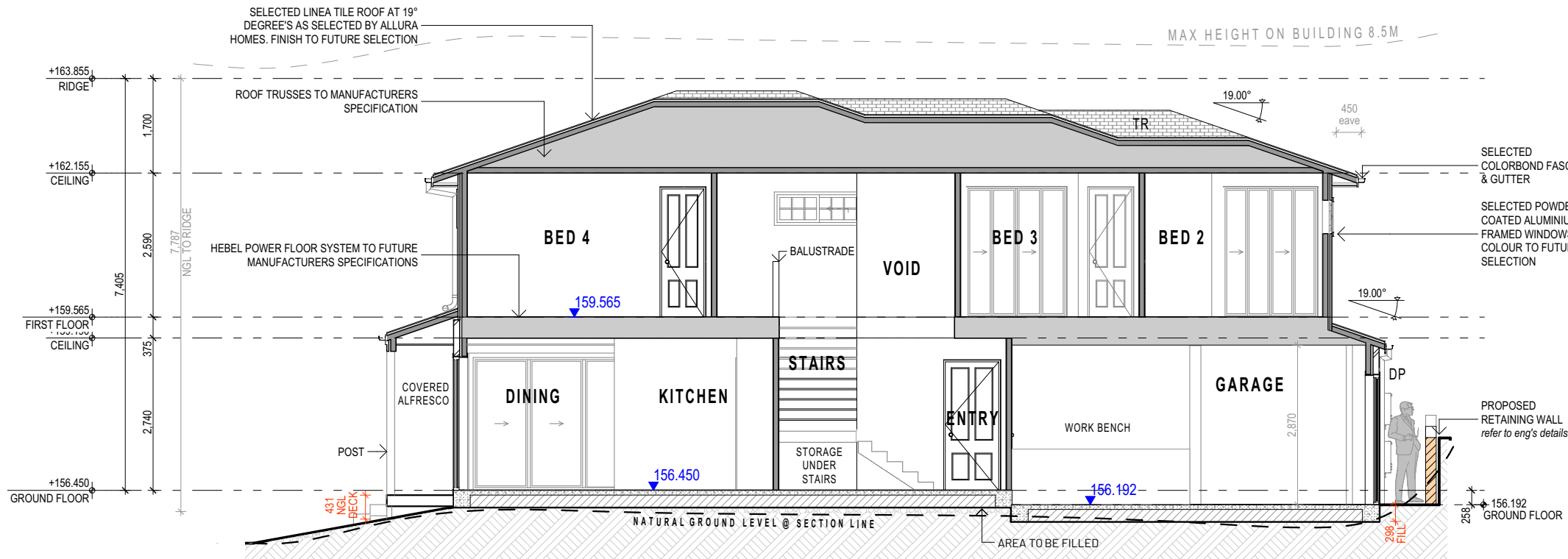
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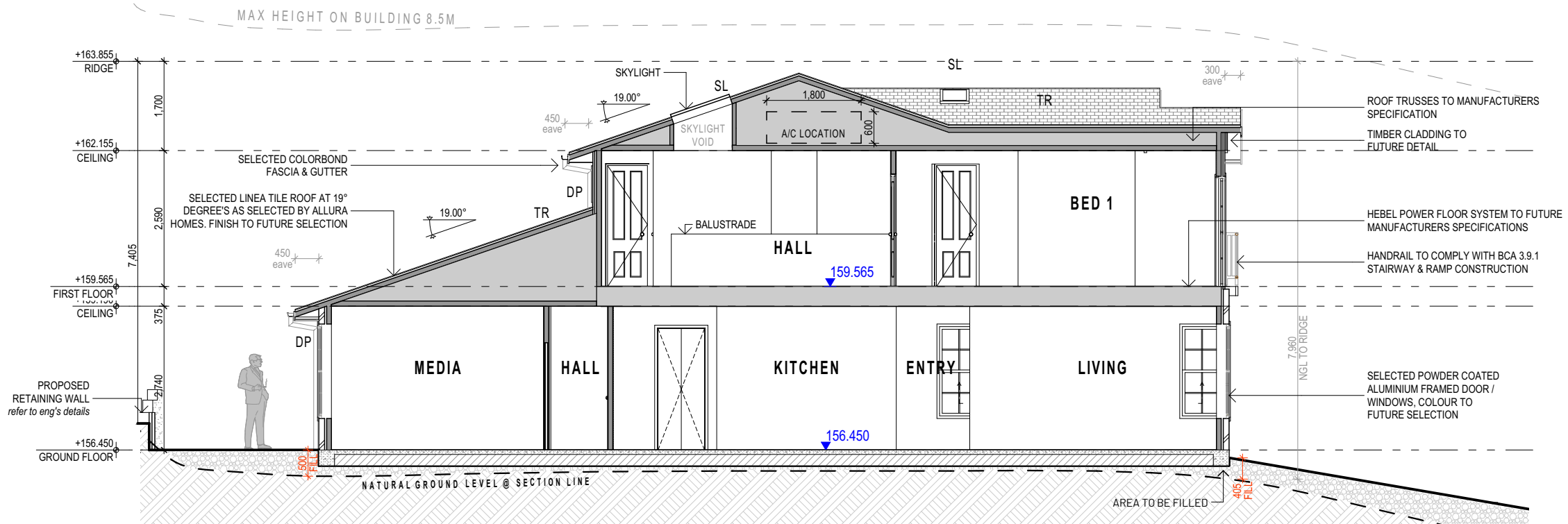
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TR	TILED ROOF
FB	FACEBRICK
HC	HORIZONTAL CLADDING
DW	DECO WOOD
RB	RENDERED BRICK
MC	MATRIX CLADDING
SL	SKYLIGHT
DP	DOWNPipe
NRG	NRG BOARD RENDER OVER
FS	FEATURE STONE CLADDING



A

SECTION A
1:100



B

SECTION B
1:100



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project
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rev date revision notes

DR DR by
project No.
80121

CUSTOM DESIGNED HOME

stage	drawn	checked	scale @ A3
DA	DR	AS	1:100,

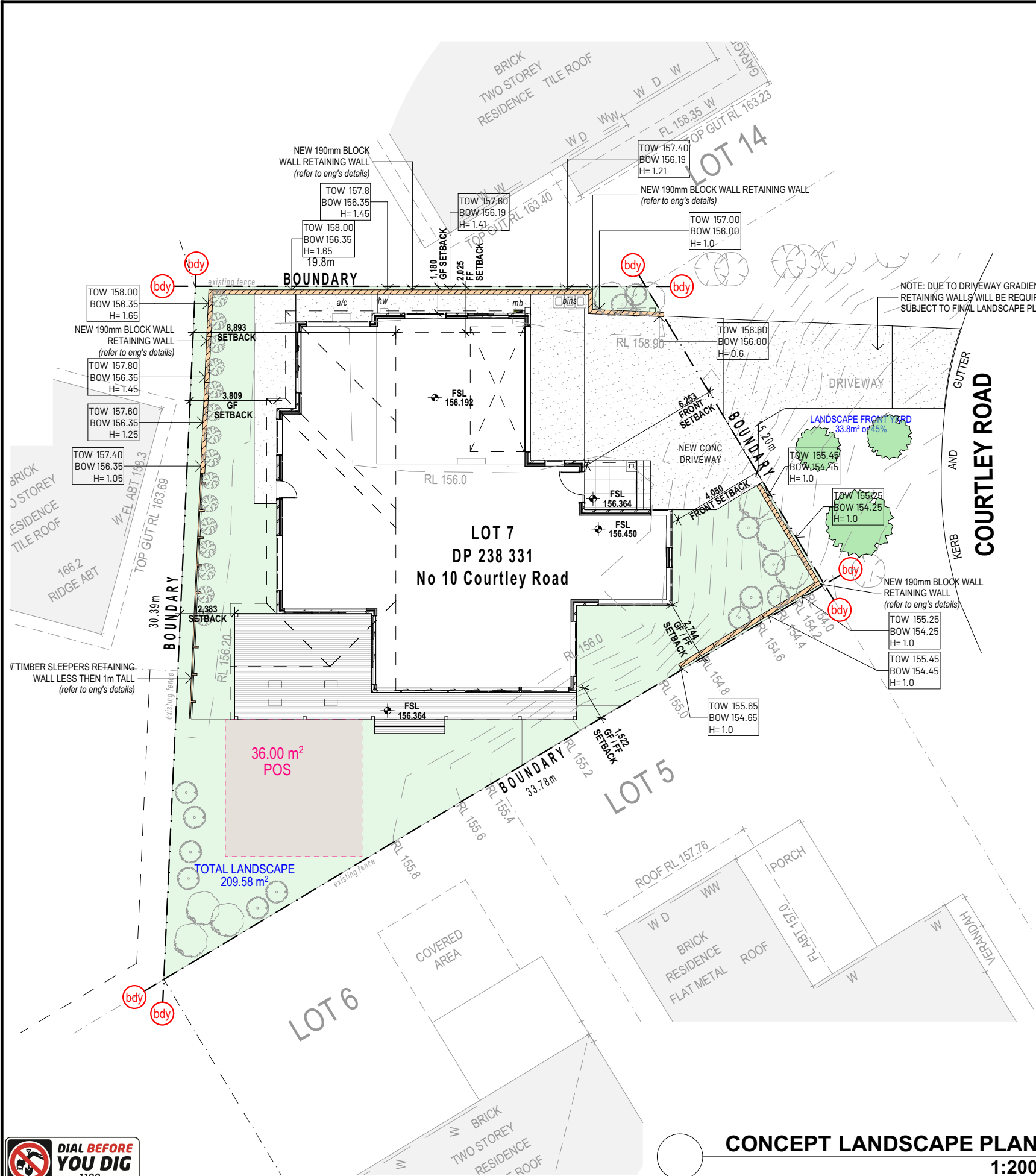
drawing
SECTIONS A & B

lot no. | D.P. no. | dwelling type
Lot -7 | D.P. -DP 238 331

drawing #
00.04.01
revision
B

DEVELOPMENT APPLICATION CLIENT SIGNATURE

File: 80121 - Nile - 10 Courtley Road Beacon Hill DA ISSUE B-17.11.2020.pln | Date: 17/11/2020 | Time: 10:23 AM



NOTES

1. ALL LANDSCAPE WORKS SHALL BE CARREID OUT BY MEMBERS OF THE LANDSCAPE CONTRACTORS ASSOCIATION OF AUSTRALIA
2. CONTRACTORS MUST VERIFY ALL DIMENSIONS AT THE SITE BEFORE COMMENCING ANY WORK OR MAKING ANY SHOP DRAWINGS WHICH MUST BE APPROVED BEFORE MANUFACTURING.
3. DO NOT SCALE DRAWING, IF IN DOUBT - ASK
4. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ARCHITECTURAL, HYDRAULIC AND SURVEY PLANS.
5. ALL EXISTING TREES TO REMAIN SHALL BE PROTECTED AS PER ARBORIST REPORT & COUNCIL REQUIREMENTS.
6. ALL PRUNING SHALL BE IN ACCORDANCE WITH THE AS 4373.
7. THOROUGHLY ERADICATE WEEDS FROM ALL GARDEN AREAS.
8. NO VARIATION TO THE WORKS TO BE CARREID OUT WITHOUT PRIOR APPROVAL FROM OWNER.
9. ALL MATERIALS TO BE THE BEST OF THEIR RESPECTIVE KINDS AND SHALL COMPLY WITH APPROVED SAMPLE TYPE SUBMITTED OR SPECIFIED.
10. SUBSTITUTION OF PLANT SPECIES OR VARIETIES WILL NOT BE PERMITTED
11. UNLESS OTHERWISE SPECIFIED OR DIRECTED, ALL INSTRUCTIONS ARE TO BE ISSUED BY THE CONSULTING LANDSCAPE DESIGNER.
12. ALL STORMWATER OUTLETS & SURFACE RUN OFF SHALL BE TO HYDRAULIC ENGINEERS DETAIL.
13. PROVIDE SUB-SOIL DRAINAGE TO GARDEN BEDS & LAWNS AREA WHERE REQUIRED - TO BE CONFIRMED ON SITE.
14. REFER TO SURVEY PLAN FOR POSITION OF ALL EXISTING SERVICES.
15. REFER TO ARCHITECTURAL ELEVATIONS & SECTIONS FOR EXISTING AND PROPOSED GROUND LINES.
16. ALL LANDSCAPE WORKS SHALL COMPLY WITH ALL COUNCILS DA & CC CONDITIONS AND ALL RELEVANT 'AUSTRALIAN STANDARDS' AND AUS SPEC NO.1 SPECIFICATION C273 - LANDSCAPING.
17. IRRIGATION SYSTEMS - IF REQUIRED, SHALL BE DESIGNED & INSTALLED TO COMPLY WITH AS 2698, AS 2698.1 - 1994, AS 2698.2-1985, AS 2698.3-1990, WATERBOARD AND OTHER RELEVANT AUTHORITY REGULATIONS.

MAINTENANCE

ALL LANDSCAPE WORKS ARE TO BE MAINTAINED FOR A PERIOD OF 12 MONTHS (OR AS REQUIRED BY COUNCIL DA CONSENT) BY LANDSCAPE CONTRACTOR AFTER FINAL COMPLETED AND SHALL BE MAINTAINED AT ALL TIMES IN A SUITABLE MANNER. REPLACE ALL PLANTS WHICH HAVE FAILED WITH THE SAME SPECIES. MULCH IS TO BE MAINTAINED AT SPECIFIED DEPTH. ALL PLANTS AND TURF SHALL BE WATERED ON A REGULAR BASIS TO MAINTAIN MOISTURE LEVELS REQUIRED FOR OPTIMUM GROWTH. ALL GARDEN AREAS ARE TO BE MAINTAINED FREE FROM WEEDS.

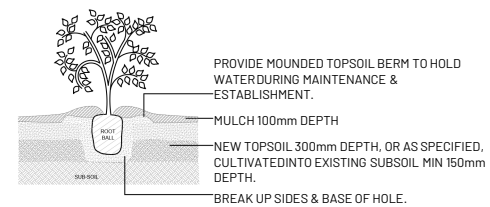
PROPOSED PLANT SCHEDULE

BOTANICAL NAME	COMMON NAME	HEIGHT	POT SIZE	QUANTITY
GROUND COVER				
T1 LIRIOPE MUSCARI	TURF LILY	0.5M	0.2L	6
T2 CLIVEA MINIATE	KAFFIR LILY	0.5M	0.2L	7
LOW SHRUBS				
T3 CAMELLIA JAPONICA	CAMELLIA	1M	0.3L	10
T4 RHAPHIOLEPIS UMBELLATA	INDIAN HAWTHORNE	1.5M	0.3L	5
TALL SHRUBS				
T5 MURRAYA PANICULATA	MURRAYA	3M	25L	8
TREES				
T6 MAGNOLIA TEDDY BEAR	MAGNOLIA	5M	100L	3

LEGEND

- CONCRETE
- TIMBER DECK
- SELECTED TILES
- TURF SELECTED BY CLIENT
- PRIVATE OPEN SPACE (POS)
- HOT WATER SYSTEM
- METER BOX
- AIR CONDITIONING UNIT
- LAPPED & CAPPED TIMBER FENCING TO BE NATURAL OR CLEAR FINISH ONLY.

- REMOVE TREE
- RETAIN EXISTING TREE



- NOTE:
1. DIG HOLE TWICE AS DEEP AS ROOT BALL & ALLOW AT LEAST 200mm AROUND SIDES FOR BACKFILLING WITH TOPSOIL.
 2. APPLY FERTILISER IN BASE OF HOLE. COVER WITH TOP SOIL. AVOID ROOT CONTACT.
 3. PLACE PLANT IN CENTRE OF HOLE. BACKFILL WITH SPECIFIED TOPSOIL, FIRING PROGRESSIVELY.
 4. WATER WELL INTO SAUCER AROUND CROWN OF PLANT.
 5. STAKE LARGER SHRUBS WHERE NECESSARY USING 50x50x1200mm HARDWOOD STAKES.

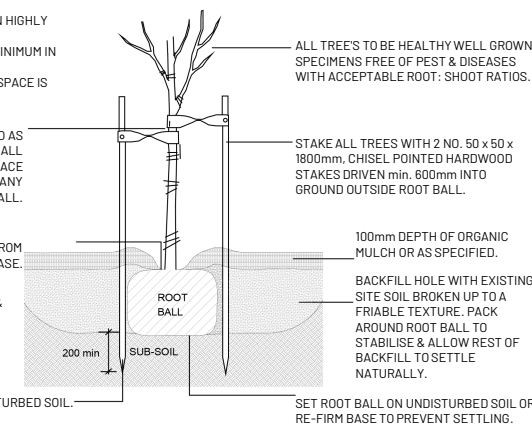
NOTE:
WIDTH OF PLANTING IS :
3: TIMES ROOT BALL DIAMETER IN HIGHLY COMPACTED SOIL.
2: TIMES ROOT BALL DIAMETER MINIMUM IN ALL OTHERS.
1: WHERE AVAILABLE PLANTING SPACE IS AVAILABLE.

ENSURE TREE'S ARE PLACED SO AS TO MATCH CROWN OF ROOT BALL WITH SURROUNDING SURFACE LEVEL. CAREFULLY PRUNE OFF ANY GIRDING ROOTS FROM ROOT BALL.

KEEP TOPSOIL/MULCH AWAY FROM TRUNK BASE.

NOTE:
FOR SLOPES GREATER THEN 1:8 & IF ROOT BALL IS RAISED ABOVE GRADE FROM RAISING RING OF SOIL & MULCH TO DIRECT WATER INTO ROOT BALL.

EXTEND STAKES INTO UNDISTURBED SOIL.



GENERAL PLANTING SPECIFICATIONS

- DIG PLANTING HOLE AT LEAST THREE TIMES AS WIDE AS ROOT BALL.
- PLANTING HOLE SHOULD ONLY BE AS DEEP AS ROOT BALL.
- DO NOT DIG INTO CLAD SUBSOILS - PLANTING AREA CAN BE BUILT UP TO DESIRED LEVEL.
- SIDES OF PLANTING HOLE SHOULD TAPER OUT AND BE ROUGHENED UP.
- PLANTING STOCK SHOULD BE BROUGHT TO CONTAINER CAPACITY PRIOR TO PLANTING.
- THE ROOT CONTAINER SHOULD BE CAREFULLY REMOVED PRIOR TO PLANTING.
- PLANT STOCK SHOULD BE ROTT PRUNED PRIOR TO PLANTING.
- PLANTING HOLE SHOULD BE BACK FILLED WITH MINERAL SOIL TO SPECIFICATIONS.
- ORGANIC MATTER TO SPECIFICATION MAY BE MIXED WITH THE TOP LAYER OF BACKFILL SOIL.
- DO NOT COMPACT BACKFILL.
- TOP OF EXISTING ROOT BALL SHOULD BE LEVEL WITH EXISTING GARDEN LEVEL.
- DO NOT ALLOW BACKFILL TO COVER ROOT BALL EXCEPT FOR BARE ROOTED STOCK.
- BARE-ROOTED STOCK MAY REQUIRE TEMPORARY STAKING.
- EXCESS SOIL MAY BE MOUNDED OUTSIDE OF ROOT BALL.
- APPLY FERTILISER TO SPECIFICATION FOR THE SPECIES AND AT RECOMMENDED RATES.
- CHECK AND ADJUST PH TO THAT REQUIRED FOR SPECIES.
- ALL PLANTS MUST BE WATERED IN THROUGH THE ROOT BALL AT A MINIMUM RATE OF 1 LITRE OF WATER PER LITRE OF ROOT BALL VOLUME AT THE INFILTRATION RATE OF THE PLANTING HOLE.
- REMOVE ALL PLANT LABELS, TIES AND NURSERY STAKES.
- INSTALL TEMPORARY SUPPORT STAKES (IF REQUIRED) AS PER STAKING DIAGRAM.
- APPLY MULCH TO A DEPTH OF 100MM TO SPECIFICATION COVING DOWN AT PLANT STEM.

LANDSCAPE AREA

NO.	07
LOT:	DP 238 331
COUNCIL:	N/A
AREA OF SITE:	557.3m²
EXCLUDES CARRIAGEWAY PRIVATE OPEN SPACE (POS):	36 m²
REQUIRED LANDSCAPE AREA:	222m² or 40%
PROPOSED SOFT LANDSCAPE AREA: (grass & mulch)	209.58m² or 37.6%
FRONT YARD AREA	74.11
FRONT YARD SOFT LANDSCAPE AREA	33.80 or 45%
BACKYARD SOFT LANDSCAPE AREA	175.94m²

GROSS FLOOR AREA OF BUILDING FOR DA

GROUND FLOOR:	188.99m²-17m²
EXCLUDING VERANDAH, PORCH, BALCONY, STAIR VOIDS INCLUDING GARAGE, OUT BUILDINGS AND ANY ENCLOSED SPACE WITH WALLS OVER 1.4m	
FIRST FLOOR:	116.40m²
EXCLUDING VOID:	
TOTAL GFA:	305.39m²



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- TO COMPLY WITH AS3740
- TO COMPLY WITH BCA pt 3.8.4.3
- TO COMPLY WITH AS1668.2
- TO COMPLY WITH BCA pt 3.9.1
- TO COMPLY WITH BCA pt 3.9.2



ALLURA HOMES
PH : (02) 920 4122

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CONCEPT LANDSCAPE PLAN 1:200

client
MRS.S & MR.F NILE
project
PROPOSED TWO STOREY DWELLING
site address
**10 COURTLEY ROAD,
BEACON HILL, NSW, 2100**

B 17/11/2020 DA SUBMISSION ISSUE B
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rev date revision notes

DR
DR
by

project No.
80121



CUSTOM DESIGNED HOME

stage	drawn	checked	scale @ A3
DA	DR	AS	1:200,

CONCEPT LANDSCAPE PLAN

lot no. | D.P. no. | dwelling type
Lot -7 | D.P. -DP 238 331

drawing #
00.05.01

revision
B

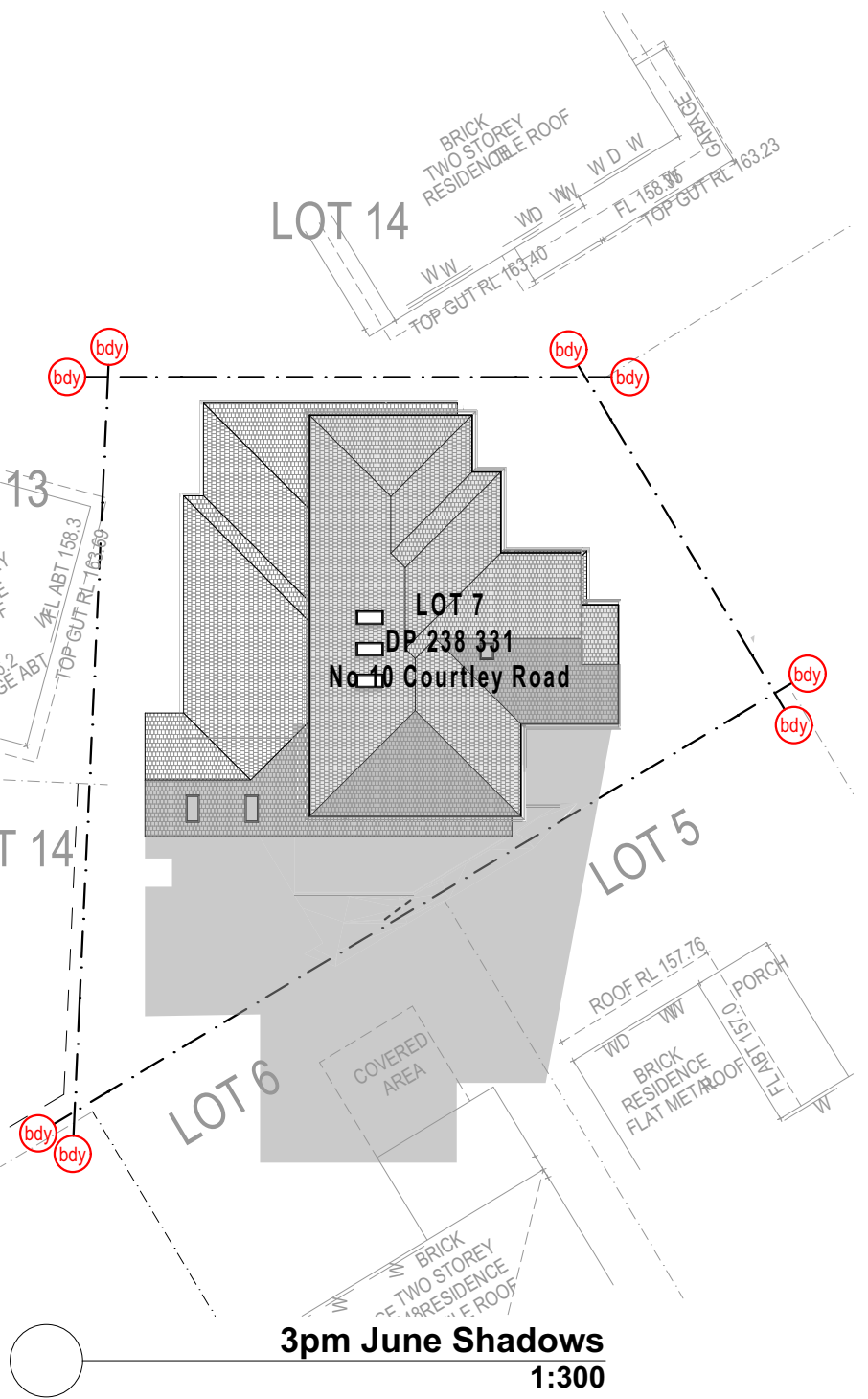
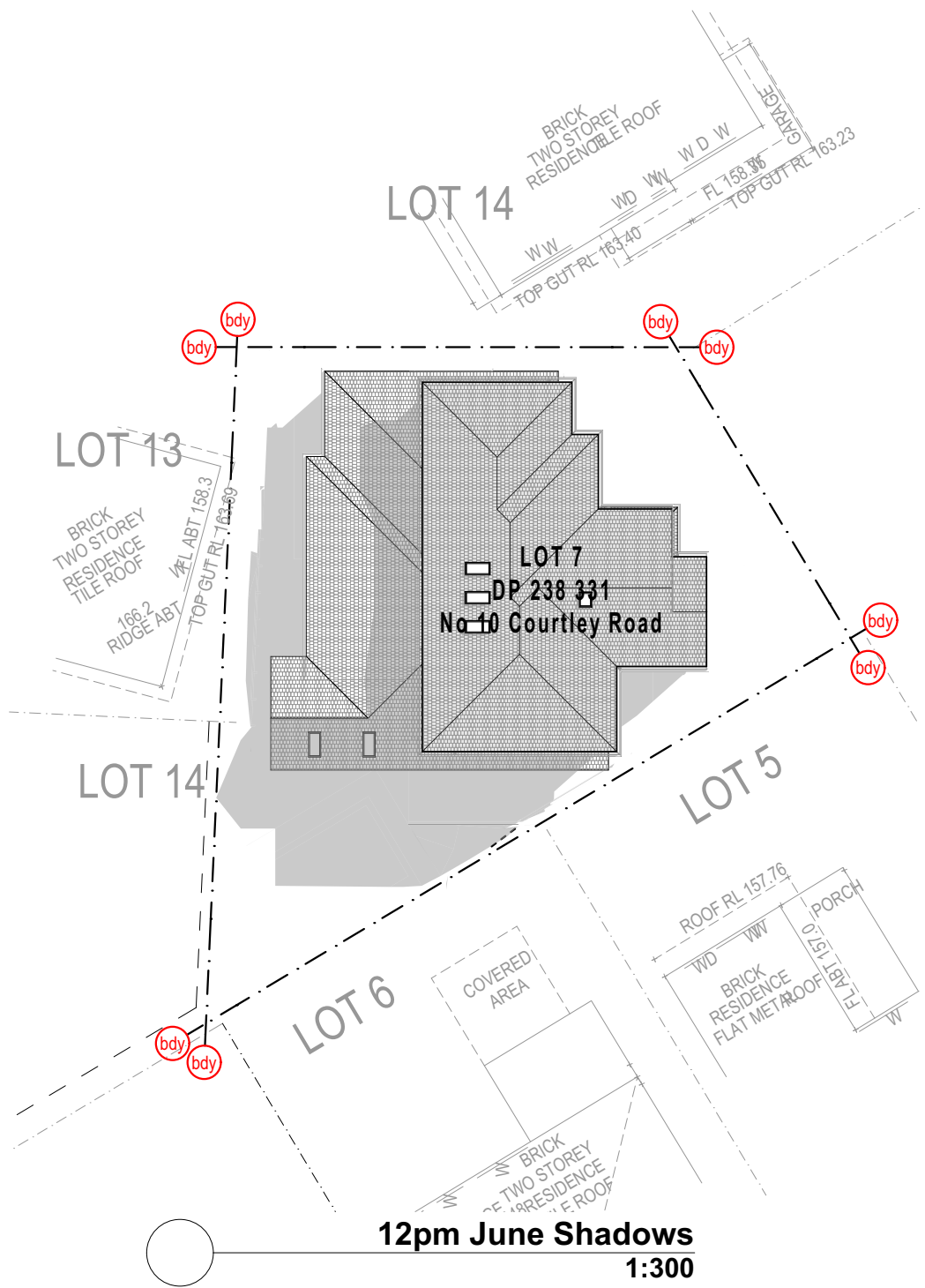
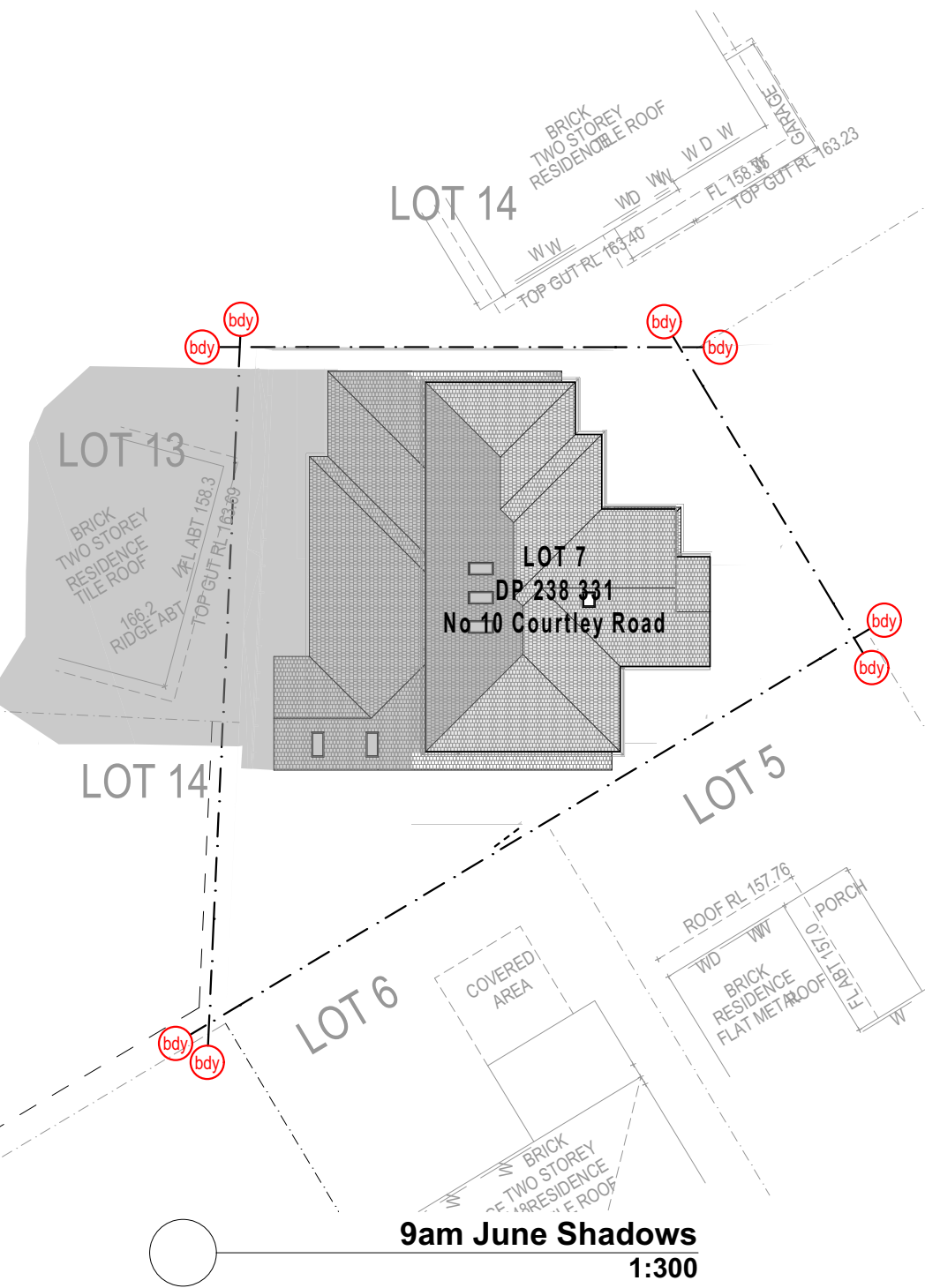
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LENGEND

PROPOSED WINTER SHADOWS



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North
project No.
80121
DR
DR
by

CUSTOM DESIGNED HOME

0 1 2 3 metres 4

stage	drawn	checked	scale @ A3
DA	DR	AS	1:300

drawing
SHADOW DIAGRAMS 22ND JUNE

lot no. | D.P. no. | dwelling type
Lot -7 | D.P. -DP 238 331

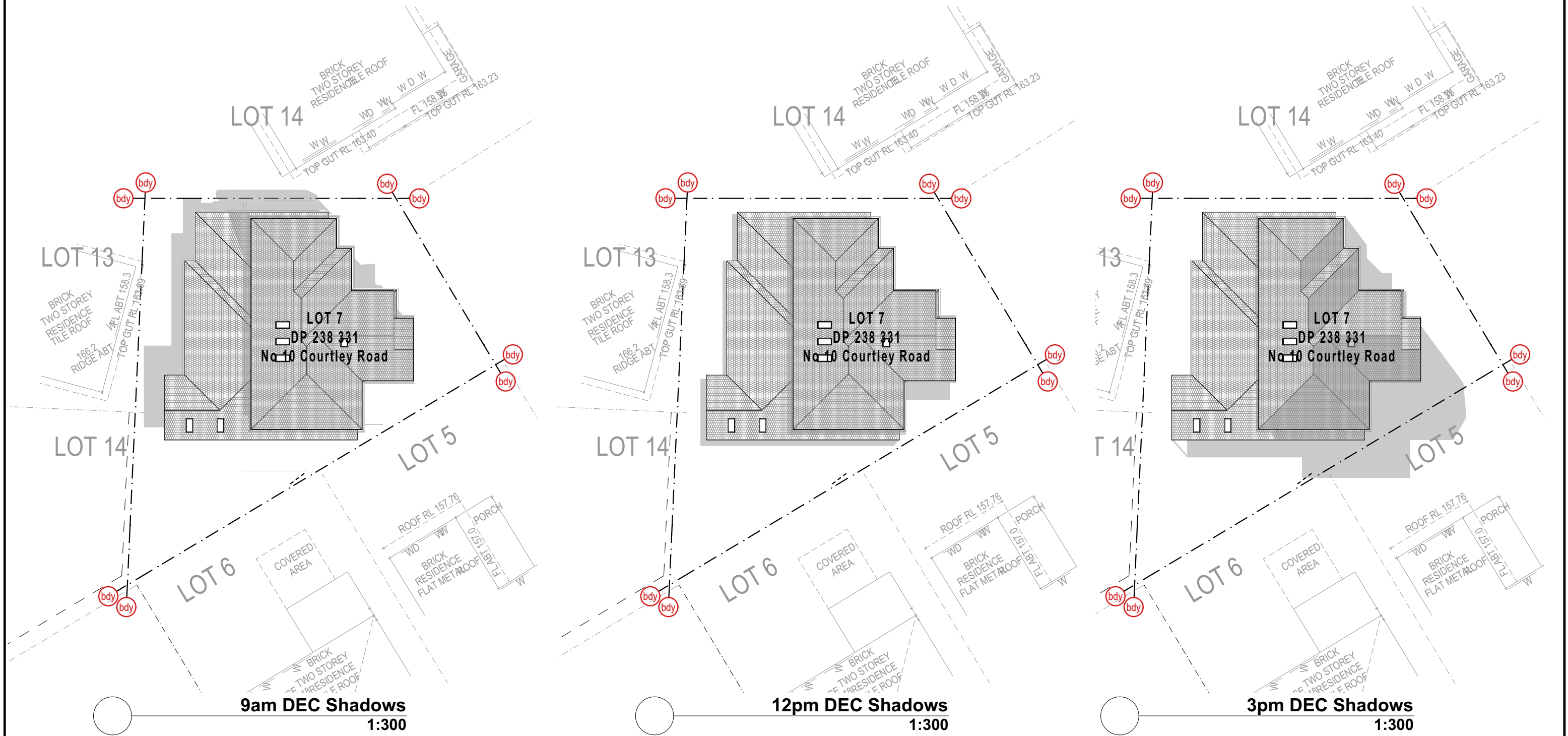
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00.05.01

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PROPOSED SUMMER SHADOWS



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stage	drawn	checked	scale @ A3
DA	DR	AS	1:300

drawing
SHADOW DIAGRAMS 22ND DEC

lot no. | D.P. no. | dwelling type
Lot -7 | D.P. -DP 238 331

drawing #
00.05.02

revision
B

DEVELOPMENT APPLICATION CLIENT SIGNATURE

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EXTERNAL DOOR - GROUND

ID	STOREY	ELEVATION VIEWED FROM OUTSIDE	(H) FRAME HEIGHT INCLUDING SUBSILL - REVEAL NOT INCLUDING	(W) FRAME WIDTH - REVEAL NOT INCLUDED	COMMENTS
DG/01	GROUND FLOOR		2,340	1,370	ALUM. FRAMED GLASS DOOR
DG/02	GROUND FLOOR		2,340	1,810	ALUM. FRAMED SLIDING GLASS DOOR
DG/03	GROUND FLOOR		2,340	2,685	ALUM. FRAMED SLIDING STACKER DOOR GLASS DOOR
DG/04	GROUND FLOOR		2,340	820	ALUM. FRAMED GLASS DOOR
DG/05	GROUND FLOOR		2,400	3,585	ALUM. FRAMED SLIDING STACKER DOOR GLASS DOOR
DG/06	GROUND FLOOR		2,400	3,020	ALUM. FRAMED SLIDING STACKER DOOR GLASS DOOR

EXTERNAL DOOR - GROUND

ID	STOREY	ELEVATION VIEWED FROM OUTSIDE	(H) FRAME HEIGHT INCLUDING SUBSILL - REVEAL NOT INCLUDING	(W) FRAME WIDTH - REVEAL NOT INCLUDED	COMMENTS
DG/07	GROUND FLOOR		2,400	6,240	ALUM. FRAMED SLIDING STACKER DOOR GLASS DOOR

EXTERNAL DOOR - FIRST

ID	STOREY	ELEVATION VIEWED FROM OUTSIDE	(H) FRAME HEIGHT INCLUDING SUBSILL - REVEAL NOT INCLUDING	(W) FRAME WIDTH - REVEAL NOT INCLUDED	COMMENTS
DF/01	FIRST FLOOR		2,100	1,810	ALUM. FRAMED GLASS SLIDING DOOR
DF/02	FIRST FLOOR		2,100	820	ALUM. FRAMED GLASS DOOR
DF/03	FIRST FLOOR		2,100	2,685	ALUM. FRAMED GLASS SLIDING DOOR

NOTE:
LOW E COMFORTPLUS GLAZING UNLESS NOMINATED

NOTE:
ALL NOMINATED SIZES ARE TO BRICK OPENINGS

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- ALL SLIDING & AWNING FRAMED WINDOWS TO HAVE INSECT SCREENS SUPPLIED AND FITTED.
- ALL HANDLES AND LOCKS TO BE DELETED TO ALLOW FOR FUTURE SELECTION.
- FS DENOTES FIXED GLAZED SASH.
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CUSTOM DESIGNED HOME

stage drawn checked scale @ A3
DA DR AS

drawing
EXTERNAL DOOR SCHEDULE

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Lot -7 | D.P. -DP 238 331

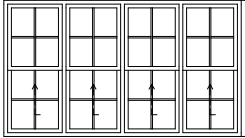
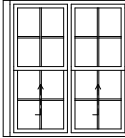
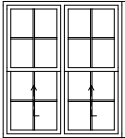
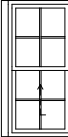
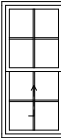


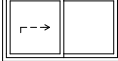
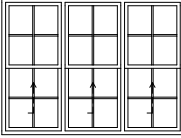
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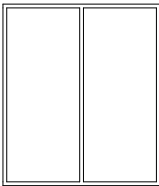
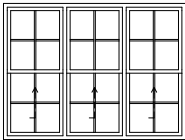
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WINDOWS - GROUND FLOOR

ID	STOREY	ELEVATION VIEWED FROM OUTSIDE	(H) FRAME HEIGHT INCLUDING SUBSILL - REVEAL NOT INCLUDING	(W) FRAME WIDTH - REVEAL NOT INCLUDED	COMMENTS
WG/01	GROUND FLOOR		1,800	3,140	CORNER WINDOW, ALUM. FRAMED DOUBLE HUNG WINDOW
WG/02	GROUND FLOOR		1,800	1,570	CORNER WINDOW, ALUM. FRAMED DOUBLE HUNG WINDOW
WG/03	GROUND FLOOR		1,800	1,570	CORNER WINDOW, ALUM. FRAMED DOUBLE HUNG WINDOW
WG/04	GROUND FLOOR		1,800	850	CORNER WINDOW, ALUM. FRAMED DOUBLE HUNG WINDOW
WG/05	GROUND FLOOR		1,800	850	ALUM. FRAMED DOUBLE HUNG WINDOW
WG/06	GROUND FLOOR		600	1,810	ALUM. FRAMED SLIDING WINDOW
WG/07	GROUND FLOOR		600	2,800	ALUM. FRAMED SLIDING WINDOW
WG/08	GROUND FLOOR		900	1,570	ALUM. FRAMED SLIDING WINDOW
WG/09	GROUND FLOOR		1,800	2,410	ALUM. FRAMED DOUBLE HUNG WINDOW

WINDOWS - GROUND FLOOR

ID	STOREY	ELEVATION VIEWED FROM OUTSIDE	(H) FRAME HEIGHT INCLUDING SUBSILL - REVEAL NOT INCLUDING	(W) FRAME WIDTH - REVEAL NOT INCLUDED	COMMENTS
WG/10	GROUND FLOOR		2,400	2,080	ALUM. FRAMED FIXED WINDOW
WG/11	GROUND FLOOR		1,800	2,410	ALUM. FRAMED DOUBLE HUNG WINDOW

NOTE:
LOW E COMFORTPLUS GLAZING UNLESS NOMINATED

NOTE:
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DEVELOPMENT APPLICATION



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- WATERPROOFING WET AREAS
- ARTIFICIAL LIGHTING
- MECHANICAL VENTILATION
- STAIR CONSTRUCTION
- BALUSTRADES

- TO COMPLY WITH BCA pt 3.1.1
- TO COMPLY WITH AS/NZS 3600.3.2
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ALLURA HOMES
PH : (02) 920 4122

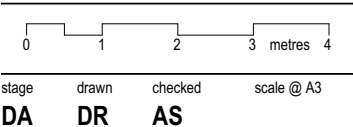
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client
MRS.S & MR.F NILE
project
PROPOSED TWO STOREY DWELLING
site address
**10 COURTLEY ROAD,
BEACON HILL, NSW, 2100**

B 17/11/2020 DA SUBMISSION ISSUE B
A 14/09/2020 PRE DA MEETING ISSUE A
rev date revision notes

DR
DR
by
80121

CUSTOM DESIGNED HOME



drawing
WINDOW SCHEDULE GROUND

lot no. | D.P. no. | dwelling type
Lot -7 | D.P. -DP 238 331

drawing #
00.08.02

revision
B

WINDOWS - FIRST FLOOR

ID	STOREY	ELEVATION VIEWED FROM OUTSIDE	(H) FRAME HEIGHT INCLUDING SUBSILL - REVEAL NOT INCLUDING	(W) FRAME WIDTH - REVEAL NOT INCLUDED	COMMENTS
WF/01	FIRST FLOOR		1,500	1,570	CORNER WINDOW, ALUM. FRAMED DOUBLE HUNG WINDOW
WF/02	FIRST FLOOR		1,500	850	CORNER WINDOW, ALUM. FRAMED DOUBLE HUNG WINDOW
WF/03	FIRST FLOOR		1,500	1,570	ALUM. FRAMED DOUBLE HUNG WINDOW
WF/04	FIRST FLOOR		600	3,200	ALUM. FRAMED SLIDING WINDOW
WF/05	FIRST FLOOR		600	1,570	ALUM. FRAMED SLIDING WINDOW
WF/06	FIRST FLOOR		600	1,570	ALUM. FRAMED SLIDING WINDOW
WF/07	FIRST FLOOR		600	1,210	ALUM. FRAMED SLIDING WINDOW
WF/08	FIRST FLOOR		600	1,570	CORNER WINDOW, ALUM. FRAMED SLIDING WINDOW
WF/09	FIRST FLOOR		600	850	CORNER WINDOW, ALUM. FRAMED FIXED WINDOW
WF/10	FIRST FLOOR		600	1,210	ALUM. FRAMED SLIDING WINDOW
WF/11	FIRST FLOOR		1,200	2,000	OBSCURE PANEL - ALUM. FRAMED DOUBLE HUNG WINDOW
WF/12	FIRST FLOOR		1,500	850	ALUM. FRAMED DOUBLE HUNG WINDOW

WINDOWS - FIRST FLOOR

ID	STOREY	ELEVATION VIEWED FROM OUTSIDE	(H) FRAME HEIGHT INCLUDING SUBSILL - REVEAL NOT INCLUDING	(W) FRAME WIDTH - REVEAL NOT INCLUDED	COMMENTS
WF/13	FIRST FLOOR		1,500	850	ALUM. FRAMED DOUBLE HUNG WINDOW
WF/14	FIRST FLOOR		1,200	2,000	OBSCURE PANEL - ALUM. FRAMED DOUBLE HUNG WINDOW

SKYLIGHTS

ID	STOREY	ELEVATION VIEWED FROM OUTSIDE	(H) FRAME HEIGHT INCLUDING SUBSILL - REVEAL NOT INCLUDING	(W) FRAME WIDTH - REVEAL NOT INCLUDED	COMMENTS
SK/01	CEILING		---	---	550 x 700
SK/02	CEILING		---	---	550 x 1180
SK/03	CEILING		---	---	550 x 1180
SK/04	CEILING		---	---	550 x 1180
SK/05	FIRST FLOOR		---	---	550 x 1180
SK/06	FIRST FLOOR		---	---	550 x 1180

NOTE:
PROTECTION OF OPENABLE WINDOWS ON FIRST FLOOR IN ACCORDANCE WITH BCA 3.9.2.6

NOTE:
LOW E COMFORTPLUS GLAZING UNLESS NOMINATED

NOTE:
ALL NOMINATED SIZES ARE TO BRICK OPENINGS

ALL DOORS & WINDOWS TO BE VIEWED FROM OUTSIDE
NOTE:
- ALL WINDOW OPENINGS IN BEDROOMS WHERE THE LEVEL BELOW IS MORE THAN 2M TO BE RESTRICTED TO COMPLY WITH N.C.C cl 3.9.2.5
- CHECK ALL DIMENSIONS AND MEASURE BUILT OPENINGS ON SITE PRIOR TO MANUFACTURE.
- ALL CASEMENT WINDOWS TO BE FITTED WITH FRICTION STAYS.
- ALL SLIDING & AWNING FRAMED WINDOWS TO HAVE INSECT SCREENS SUPPLIED AND FITTED.
- ALL HANDLES AND LOCKS TO BE DELETED TO ALLOW FOR FUTURE SELECTION.
- FS DENOTES FIXED GLAZED SASH.
- ALL GLASS TO COMPLY WITH AS 1288. AS MINIMUM BUT FOR ALL NEW WINDOWS ALLOW AS MINIMUM,
FOR 6.3MM LAMINATED GLASS FOR ACOUSTIC PURPOSES.
- ALL GLASS TO BE CLEAR GLASS UNLESS NOTED.
- ALL OBSCURE GLASS WILL BE NOTED.
- WINDOWS WITH COMFORT PLUS CLEAR GLASS LABELED.
- FOR ALL OTHER GLASS REQUIREMENTS, REFER TO THE BASIX CERTIFICATE.

DEVELOPMENT APPLICATION



AUSTRALIAN STANDARDS AND BCA
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- EARTHWORKS
- GUTTERS / DOWNPIPES
- FOOTINGS AND SLABS
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rev date revision notes

DR DR by

project No.
80121

CUSTOM DESIGNED HOME

0 1 2 3 metres 4

stage drawn checked scale @ A3
DA DR AS

drawing
WINDOW SCHEDULE FIRST & SKYLIGHTS

lot no. | D.P. no. | dwelling type
Lot -7 | D.P. -DP 238 331

drawing #
00.08.03

revision
B

CLIENT SIGNATURE

File: 80121 - Nile - 10 Courtley Road Beacon Hill DA ISSUE B-17.11.2020.pln | Date: 17/11/2020 | Time: 10:23 AM

PROJECT NUMBER: 80121
SITE ADDRESS: 10 COURTLEY RD, BEACON HILL
CLIENT NAME/S: FRED AND SILVANA NILE
CLIENTS EMAIL: SILVANA.NILE@OUTLOOK.COM
CLIENTS CONTACT NO: 0435 513 359

STAGE 1.

COLOUR & DESIGN SELECTIONS

HOT WATER UNIT		IMAGE	VARIATION NO.
SUPPLIER: MODEL:	RINNAI INFINITY B26		
FASCIA		IMAGE	VARIATION NO.
COLOUR:	PEARL WHITE		
GUTTER		IMAGE	VARIATION NO.
COLOUR:	COLORBOND - MONUMENT		
DOWNPIPES		IMAGE	VARIATION NO.
COLOUR:	WATTYL - COLORBOND WINDSPRAY		
RAIN WATER TANK		IMAGE	VARIATION NO.
COLOUR:	N/A - UNDERGROUND		
GROUND FLOOR CLADDING		IMAGE	VARIATION NO.
SUPPLIER: TYPE: WIDTH: COLOUR: LOCATION:	N/A		
FIRST FLOOR CLADDING		IMAGE	VARIATION NO.
SUPPLIER: TYPE: WIDTH: COLOUR: LOCATION:	JAMES HARDIE LINEA 180MM WATTYL - COLORBOND WINDSPRAY FIRST FLOOR PERIMETER		
DECORATIVE MOULDING		IMAGE	VARIATION NO.
SUPPLIER: TYPE: COLOUR:	EZY BUILD D06 WATTYL - CALCIUM		
SIGNED:	APPROVED	DATE:	
SIGNED:		DATE:	

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2 ALLURA HOMES | STAGE 1 COLOUR & DESIGN SELECTIONS

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STAGE 1.

COLOUR & DESIGN SELECTIONS

GROUND FLOOR BRICK		IMAGE	VARIATION NO.
SUPPLIER: RANGE: COLOUR: MORTAR JOINT STYLE:	PGH BRICKS COMMONS N/A FLUSH		
FIRST FLOOR BRICK		IMAGE	VARIATION NO.
SUPPLIER: RANGE: COLOUR: MORTAR JOINT STYLE:	N/A		
CULTURED STONE		IMAGE	VARIATION NO.
SUPPLIER: CODE: GROUT: LOCATION:	CTM FLOORING 9236/01 WAL, ROC GRI 400 X 600 OLIVE (BLACK TRIM) FRONT ENTRY PIER		
GROUND FLOOR RENDER		IMAGE	VARIATION NO.
COLOUR: LOCATION:	WATTYL - COLORBOND WINDSPRAY FIRST FLOOR PERIMETER		
FIRST FLOOR RENDER		IMAGE	VARIATION NO.
COLOUR: LOCATION:	N/A		
GARAGE DOOR		IMAGE	VARIATION NO.
SUPPLIER: PROFILE: WINDOWS: COLOUR: FINISH:	DYNAMIC DOOR SERVICE RANCH N/A PERISHER WHITE WOODGRAIN		
EXTERNAL BALUSTRADE		IMAGE	VARIATION NO.
TYPE: COLOUR:	ALUMINIUM BALUSTRADE PEARL WHITE		
ALUMINIUM DOORS & WINDOWS, FLYSCREENS, LAUNDRY DOOR		IMAGE	VARIATION NO.
COLOUR: OBSCURED GLASS:	PEARL WHITE REMOVABLE FILM ONLY TO WG/08, WF/11, WF/14		
SIGNED:	APPROVED	DATE:	
SIGNED:		DATE:	

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STAGE 1.

COLOUR & DESIGN SELECTIONS

ROOF TILES		IMAGE	VARIATION NO.
SUPPLIER: TYPE: COLOUR: RIDGE TYPE:	MONIER HORIZON BARRAMUNDI LAPPED		
PERGOLA ROOF		IMAGE	VARIATION NO.
DESCRIPTION: COLOUR:	TWIN WALL POLYCARBONATE ROOFING GREY		
COLORBOND ROOF		IMAGE	VARIATION NO.
COLOUR:	COLORBOND - MONUMENT		
SKYLIGHTS		IMAGE	VARIATION NO.
SUPPLIER: MODEL: SIZE: LOCATION:	VELUX FIXED SKYLIGHT SQUARE SET OPENING VARIES REFER TO PLANS		
PRIVACY SCREENS		IMAGE	VARIATION NO.
COLOUR:	PEARL WHITE		
ENTRANCE DOOR & SIDELIGHT		IMAGE	VARIATION NO.
SUPPLIER: RANGE: DESIGN CODE: SIZE: COLOUR OR STAIN: GLASS:	HUME DOORS & TIMBER JOINERY - ENTRANCE JUST10 & JUST5 2340MM X 970MM & 2340MM X 400MM WATTYL - CALCIUM CLEAR		PCV 01 ITEM 1-2
DRIVEWAY		IMAGE	VARIATION NO.
MATERIAL: COLOUR:	PLAIN CONCRETE N/A		
LETTERBOX		IMAGE	VARIATION NO.
TYPE: COLOUR:	PLYMOUTH PILLAR WATTYL - COLORBOND WINDSPRAY		
SIGNED:	APPROVED	DATE:	
SIGNED:		DATE:	

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STAGE 1.

COLOUR & DESIGN SELECTIONS

CLOTHESLINE		IMAGE	VARIATION NO.
COLOUR:	BASALT Midnight Sky		
FENCING & GATES		IMAGE	VARIATION NO.
TYPE: COLOUR:	ALUMINIUM COLORBOND - MONUMENT DISCLAIMER: BY SIGNING THIS DOCUMENT, YOU ARE CONFIRMING THAT THIS SELECTION HAS BEEN DISCUSSED WITH NEIGHBOURING PROPERTY OWNERS. ALLURA HOMES HOLDS NO RESPONSIBILITY FOR RECOUPING ANY FUNDS FROM NEIGHBOURING PROPERTY OWNERS.		
FIREPLACE		IMAGE	VARIATION NO.
MODEL: FASCIA: MANTLE & FUEL BED: LOCATION:	JETMASTER H-550X-AU TRIM 550 & CRANBOURNE 700 LIMESTONE MANTLE & HEARTH LOOSE GROUND FLOOR LIVING		
AIR CONDITIONING		IMAGE	VARIATION NO.
SUPPLIER: MODEL: GRILLE TYPE: TRUNKING COLOUR:	EPIC AIR ACTRON ESP PLUS 19.32KW 3-PHASE DUCTED SYSTEM CIRCULAR GRILLES (SAME AS DOWNPIPES) WATTYL - COLORBOND WINDSPRAY		
SERVICES LOCATIONS		IMAGE	VARIATION NO.
GAS POINT LOCATIONS: EXTERNAL TAPS:	COOKTOP, BBQ, GAS HEATER, FIREPLACE UNDER METERBOX, EASTERN RETAINING WALL, WATER TANK		
CORNICE		IMAGE	VARIATION NO.
SUPPLIER: TYPE: LOCATION:	USS BORAL SQUARESET THROUGHOUT EXC. GARAGE (COVERED 90MM) & WET AREAS		
SKIRTING		IMAGE	VARIATION NO.
SUPPLIER: TYPE:	HUME DOORS & TIMBER HALF SPLAYED (92MM X 18MM)		
ARCHITRAVES		IMAGE	VARIATION NO.
SUPPLIER: TYPE:	HUME DOORS & TIMBER HALF SPLAYED (67MM X 18MM)		
SIGNED:	APPROVED	DATE:	
SIGNED:		DATE:	

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5 ALLURA HOMES | STAGE 1 COLOUR & DESIGN SELECTIONS



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rev date revision notes

DR
DR
by

project No.
80121

CUSTOM DESIGNED HOME

stage	drawn	checked	scale @ A3
DA	DR	AS	1:2.22

drawing

SCHEDULE OF EXTERNAL FINISHES

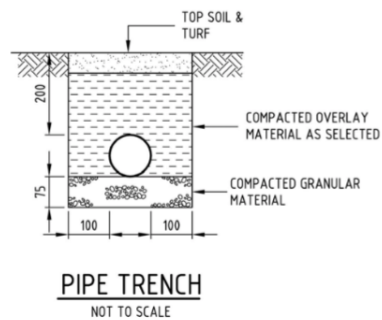
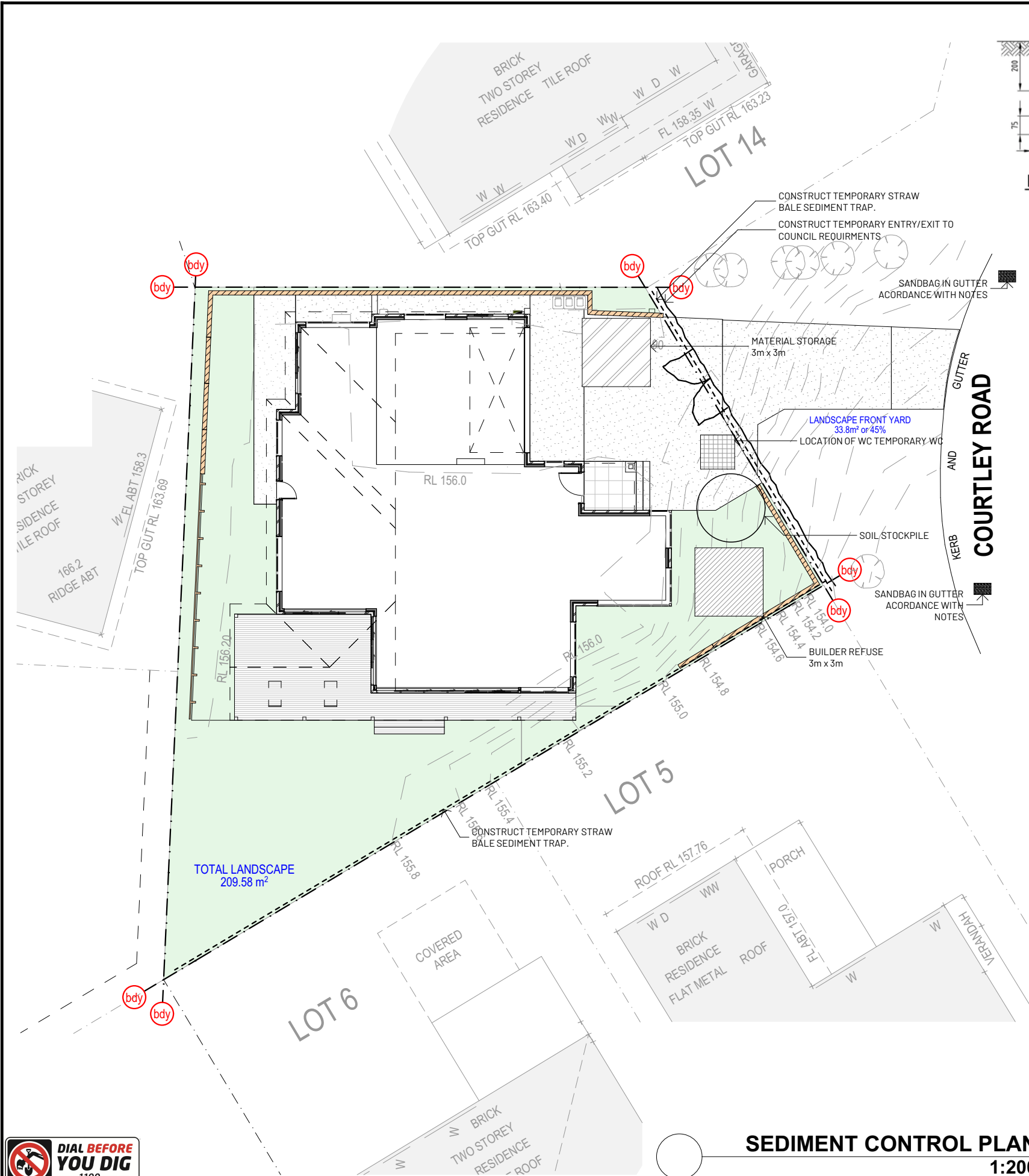
lot no. | D.P. no. | dwelling type
Lot -7 | D.P. -DP 238 331

drawing #
00.09.01

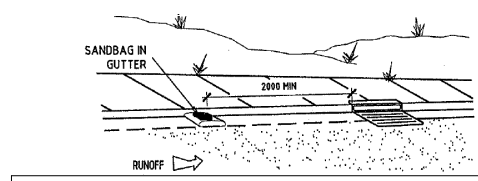
revision
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DEVELOPMENT APPLICATION CLIENT SIGNATURE

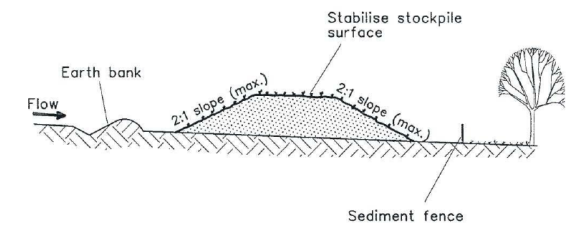
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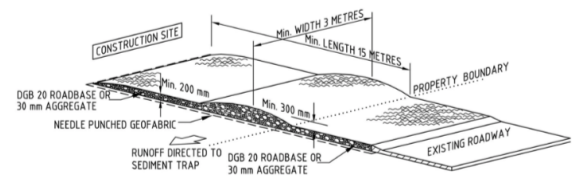
LEGEND:	
TK:	TOP OF KERB
CL:	ROAD CENTRELIN
VC:	VEHICLE CROSSING
EB:	EDGE OF BITUMEN
KIP:	KERB INLET PIT
GSIP:	GRADED SURFACE INLET PIT
JP:	JUNCTION PIT
KO:	KERB OUTLET (STORMWATER)
DWY:	DRIVEWAY
FCE:	FENCE
HYD:	HYDRANT
SV:	STOP VALVE
WM:	WATER METER
GM:	GAS METER
EPIL:	ELECTRICITY PILLAR
TEL:	TELSTRA PIT
LH:	SEWER LAMPHOLE
SMH:	SEWER MANHOLE
TB:	TOP OF BANK
BB:	BOTTOM OF BANK
TRW:	TOP OF RETAINING WALL
BRW:	BOTTOM OF RETAINING WALL
NS:	NATURAL SURFACE



SANDBAGGED KERB SEDIMENT TRAP - CONSTRUCTION NOTES
1. IN CERTAIN CIRCUMSTANCES EXTRA SEDIMENT TRAPPING MAY BE NEEDED IN THE STREET GUTTER.

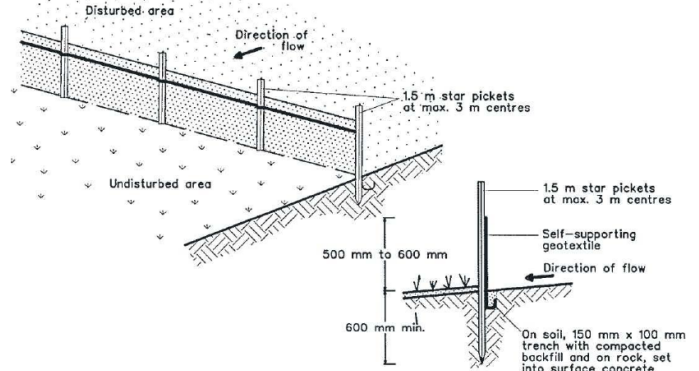


STOCKPILE - CONSTRUCTION NOTES
1. WHERE POSSIBLE LOCATE STOCKPILE AT LEAST 5 METRES FROM EXISTING VEGETATION, CONCENTRATED WATERFLOWS, ROADS AND HAZARD AREA.
2. CONSTRUCT ON THE CONTOUR AS A LOW, FLAT, ELONGATED MOUNT.
3. WHERE THERE IS INSUFFICIENT AREA TOPSOIL STOCKPILES SHALL BE LESS THAN 2 METRES IN HEIGHT.
4. REHABILITATE IN ACCORDANCE WITH THE SWMP/ESCP.
5. CONSTRUCT EARTH BANK (STANDARD DRAWING 5-5) ON THE UPSLOPE SIDE TO DIVERT RUN OFF AROUND THE STOCKPILE AND A SEDIMENT FENCE (STANDARD DRAWING 6-8) 1 TO 2 METRES DOWNSLOPE OF STOCKPILE.

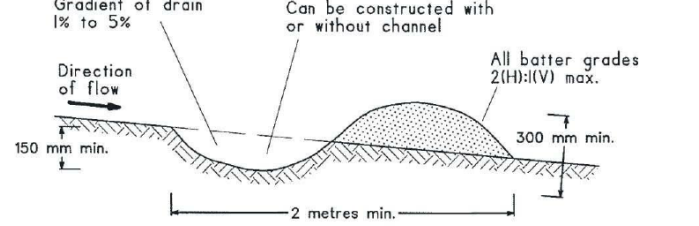


STABILISED SITE ACCESS - CONSTRUCTION NOTES
1. STRIP TOPSOIL AND LEVEL SITE.
2. COMPACT SUBGRADE.
3. COVER AREA WITH NEEDLE-PUNCHED GEOTEXTILE.
4. CONSTRUCT 200mm THICK PAD OVER GEOTEXTILE USING ROADBASE OR 30mm AGGREGATE. MINIMUM LENGTH IS METRES OR TO BUILDING ALIGNMENT. MINIMUM WIDTH 3 METRES.
5. CONSTRUCT HUMP IMMEDIATELY WITHIN BOUNDARY TO DIVERT WATER TO A SEDIMENT FENCE OR OTHER SEDIMENT TRAP.

CONSTRUCTION NOTES
1. SITE WORKS WILL NOT START UNTIL THE EROSION AND SEDIMENT CONTROL WORKS OUTLINED IN THE CLAUSES 2 TO 4, BELOW, ARE INSTALLED AND FUNCTIONAL.
2. THE ENTRY TO AND DEPARTURE OF VEHICLES FROM THE SITE WILL BE CONFINED TO ONE STABILISED POINT. SEDIMENT OR BARRIER FENCING WILL BE USED TO RESTRICT ALL VEHICULAR MOVEMENTS TO THAT POINT. STABILISATION WILL BE ACHIEVED BY EITHER:
- CONSTRUCTION A SEALED (EG CONCRETE OR ASPHALT) DRIVEWAY TO THE STREET.
- CONSTRUCTION A STABILISED SITE ACCESS FOLLOWING STANDARD DRAWING SD 6-14 OR OTHER SUITABLE TECHNIQUE APPROVED BY THE COUNCIL.
3. SEDIMENT FENCES (SD 6-8) AND BARRIER FENCES WILL BE INSTALLED AS SHOWN ON THE ATTACHED DRAWING.
4. TOPSOIL FROM THE WORKS AREA WILL BE STRIPPED AND STOCKPILED (SD 4-1) FOR LATER USE IN LANDSCAPING THE SITE.
5. ALL STOCKPILES WILL BE PLACED IN THE LOCATION SHOWN ON THE ESCP AND AT LEAST 2 METRES CLEAR OF ALL AREAS OF POSSIBLE AREAS OF CONCENTRATED WATERFLOW, INCLUDING DRIVEWAYS.
6. LANDS TO THE REAR OF ALLOTMENT AND ON THE FOOTPATH WILL NOT BE DISTURBED DURING WORKS EXCEPT WHERE ESSENTIAL, EG DRAINAGE WORKS ACROSS THE FOOTPATH. WHERE WORKS ARE NECESSARY, THEY WILL BE UNDERTAKEN IN SUCH A WAY TO MINIMISE THE OCCURRENCE OF SOIL EROSION, EVEN FOR SHORT PERIODS. THEY WILL BE REHABILITATED (GRASSED) AS SOON AS POSSIBLE. STOCKPILES WILL NOT BE PLACED ON THESE LANDS AND THEY WILL NOT BE USED AS VEHICLE PARKING AREAS.
7. APPROVED BINS AND BUILDING WASTE, CONCRETE AND MORTAR SLURRIES, PAINTS, ACID WASHING LITTER WILL BE PROVIDED AND ARRANGEMENTS MADE FOR REGULAR COLLECTION AND DISPOSAL.
8. GUTTERING WILL BE CONNECTED TO THE STORMWATER SYSTEM OR THE RAINWATER TANK AS SOON AS PRACTICABLE.
9. TOPSOIL WILL BE RESPREAD AND ALL DISTURBED AREAS WILL BE STABILISED WITHIN 20 WORKING DAYS OF THE COMPLETION OF WORKS.
10. ALL EROSION AND SEDIMENT CONTROLS WILL BE CHECKED AT LEAST WEEKLY AND AFTER RAIN TO ENSURE THEY ARE MAINTAINED IN A FULLY FUNCTIONAL CONDITION.



SEDIMENT FENCE - CONSTRUCTION NOTES
1. CONSTRUCT SEDIMENT FENCE AS CLOSE AS POSSIBLE TO PARALLEL TO THE CONTOURS OF THE SITE.
2. DRIVE 1.5 METRE LONG STAR PICKETS INTO GROUND, 2.5 METRES APART (MAX).
3. DIG A 150MM DEEP TRENCH ALONG THE UPSLOPE LINE OF THE FENCE FOR THE BOTTOM OF THE FABRIC TO THE ENTRENCHED.
4. FIX SELF-SUPPORTING GEOTEXTILE TO UPSLOPE SIDE OF POSTS WITH WIRE TIES OR AS RECOMMENDED BY GEOTEXTILE MANUFACTURER.
5. JOIN SECTIONS OF FABRIC AT A SUPPORT POST WITH A 150MM OVERLAP.
6. BACKFILL THE TRENCH OVER THE BASE OF THE FABRIC AND COMPACT IT THOROUGHLY OVER THE GEOTEXTILE.



EARTH BANK (LOW FLOW) - CONSTRUCTION NOTES
1. CONSTRUCT WITH GRADIENT OF 1 PER CENT TO 5 PER CENT.
2. AVOID REMOVING TREES AND SHRUBS IF POSSIBLE.
3. DRAINS TO BE OF CIRCULAR, PARABOLIC OR TRAPEZOIDAL CROSS SECTION NOT V-SHAPED.
4. EARTH BANKS TO BE ADEQUATELY COMPACTED IN ORDER TO PREVENT FAILURE.
5. PERMANENT OR TEMPORARY STABILISATION OF THE EARTH BANK TO BE COMPLETED WITHIN 10 DAYS OF CONSTRUCTION.
6. ALL OUTLETS FROM DISTURBED LANDS ARE TO FEED INTO SEDIMENT BASIN OR SIMILAR.
7. DISCHARGE RUNOFF COLLECTED FROM UNDISTURBED LANDS ONTO EITHER A STABILISED OR UNDISTURBED DISPOSAL SITE WITHIN THE SAME SUBCATCHMENT AREA FROM WHICH THE WATER ORIGINATED.
8. COMPACT BANK WITH A SUITABLE IMPLEMENT IN SITUATION WHERE THEY ARE REQUIRED TO FUNCTION FOR MORE THAN FIVE DAYS.
9. EARTH BANKS TO BE FREE OF PROJECTIONS OR OTHER IRREGULARITIES THAT WILL IMPEDE NORMAL FLOW.



AUSTRALIAN STANDARDS AND BCA
ALL WORKS TO BE IN ACCORDANCE WITH AUSTRALIAN STANDARDS, THE BUILDING CODE OF AUSTRALIA AND OTHER RELEVANT STATUTORY AND LOCAL REGULATION CODES AND WITH MANUFACTURER'S RECOMMENDATIONS AND INSTRUCTIONS.

- EARTHWORKS
- GUTTERS / DOWNPIPES
- FOOTINGS AND SLABS
- MASONRY
- GLAZING
- SMOKE ALARMS
- WATERPROOFING WET AREAS
- ARTIFICIAL LIGHTING
- MECHANICAL VENTILATION
- STAIR CONSTRUCTION
- BALUSTRADES

- TO COMPLY WITH BCA pt 3.1.1
- TO COMPLY WITH AS/NZS 3500.3.2
- TO COMPLY WITH AS2670
- TO COMPLY WITH AS3700
- TO COMPLY WITH AS1288 and AS2047
- TO COMPLY WITH BCA pt 3.7.2.2 & AS3796
- TO COMPLY WITH AS3740
- TO COMPLY WITH BCA pt 3.8.4.3
- TO COMPLY WITH AS1668.2
- TO COMPLY WITH BCA pt 3.9.1
- TO COMPLY WITH BCA pt 3.9.2



ALLURA HOMES
PH : (02) 920 4122

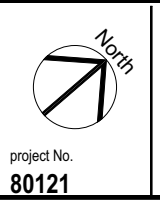
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client
MRS.S & MR.F NILE
project
PROPOSED TWO STOREY DWELLING
site address
10 COURTLEY ROAD, BEACON HILL, NSW, 2100

B 17/11/2020 DA SUBMISSION ISSUE B
A 14/09/2020 PRE DA MEETING ISSUE A
rev date revision notes

DR DR by

project No.
80121



CUSTOM DESIGNED HOME

stage drawn checked scale @ A3
DA DR AS 1:200,

drawing
SEDIMENT CONTROL PLAN

lot no. | D.P. no. | dwelling type
Lot -7 | D.P. -DP 238 331

drawing #
00.08.04

revision
B

DEVELOPMENT APPLICATION CLIENT SIGNATURE

File: 80121 - Nile - 10 Courtley Road Beacon Hill DA ISSUE B-17.11.2020.pln | Date: 17/11/2020 | Time: 10:23 AM



AUSTRALIAN STANDARDS AND BCA
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- | | |
|---------------------------|--|
| - EARTHWORKS | - TO COMPLY WITH BCA pt 3.1.1 |
| - GUTTERS / DOWNPIPES | - TO COMPLY WITH AS/NZS 3500.3.2 |
| - FOOTINGS AND SLABS | - TO COMPLY WITH AS2601 |
| - MASONRY | - TO COMPLY WITH AS3700 |
| - GLAZING | - TO COMPLY WITH AS1288 and AS2047 |
| - SMOKE ALARMS | - TO COMPLY WITH BCA pt 3.7.2 & AS3786 |
| - WATERPROOFING WET AREAS | - TO COMPLY WITH AS3740 |
| - ARTIFICIAL LIGHTING | - TO COMPLY WITH BCA pt 3.8.4.3 |
| - MECHANICAL VENTILATION | - TO COMPLY WITH AS1668.2 |
| - STAIR CONSTRUCTION | - TO COMPLY WITH BCA pt 3.9.1 |
| - BALUSTRADES | - TO COMPLY WITH BCA pt 3.9.2 |



ALLURA HOMES
PH : (02) 920 4122

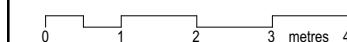
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BEACON HILL, NSW, 2100**

B	17/11/2020	DA SUBMISSION ISSUE B
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rev	date	revision notes

DR	DR	by
80121		

CUSTOM DESIGNED HOME



stage	drawn	checked	scale @ A3
DA	DR	AS	

drawing
3D PERSPECTIVE

lot no. | D.P. no. | dwelling type
Lot -7 | D.P. -DP 238 331

drawing #	revision
00.09.02	B

DEVELOPMENT APPLICATION CLIENT SIGNATURE

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