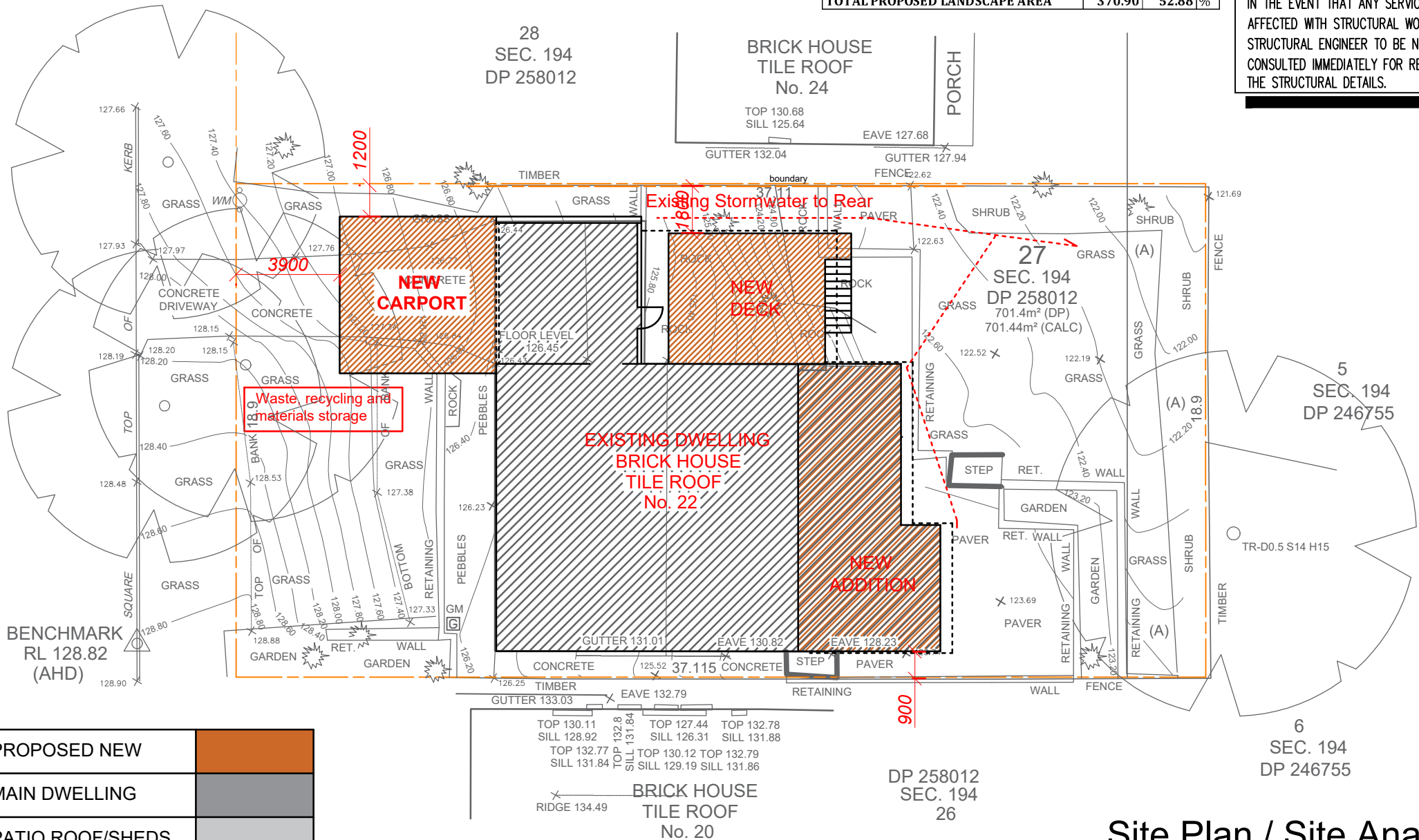


SEDIMENT FENCE DETAIL
NOT TO SCALE

- General Notes:**
1. All work to be carried out in accordance with the requirements of the Building Code of Australia and the relevant local authority.
 2. All timber framing to be carried out to the requirements of Australian Standards (as 1684) as a minimum.
 3. All reinforced concrete, steel beams including supports, and nominated beams including supports to Engineer's details.
 4. Structural Engineer to check, detail and certify brickwork to garage area with a height greater than 3000mm between horizontal supports.
 5. All brickwork to be constructed in accordance with the requirements of the Building Code of Australia.
 6. Control joints in brickwork to be provided in accordance with the requirements of the Building Code of Australia.
 7. Doorway openings with inward opening doors to room containing toilets which are closer than 1200mm to the toilet are to be fitted with hinges to allow the door to be removed from the outside when the door is closed.

- Construction Notes:**
- * Check all steel posts & Beams, Floor Joist to structural engineer plans
 - * Articulation Joints to engineers plans
 - * Centre of kitchen Sink, Vanity, WC, Range Hood, to be confirmed with Owner & Manufacturer Details.
 - * All windows, Insulation requirements, lighting to comply with Basix Certificate.
 - * Structural slab to engineer details.
 - * Stairs to be confirmed with manufacturers details.
 - * Metre Box, Gas Metre to be confirmed with Builder on site.
 - * Downpipes to be confirmed with plumber on site.

HALLORAN AVENUE



TOTAL SITE AREA - m2 approx	701.40
EXISTING DWELLING - GROUND FLOOR	161.00
EXISTING OTHER STRUCTURES	29.00
EXISTING DRIVEWAY/PATHS	58.00
TOTAL EXISTING IMPERVIOUS	248.00
EXISTING HARD SURFACE BUILT OVER	58.00
BALANCE IMPERVIOUS AREA	190.00
PROPOSED ADDITIONS	140.50
TOTAL PROPOSED IMPERVIOUS AREA	330.50
TOTAL PROPOSED LANDSCAPE AREA	370.90

DIAL BEFORE YOU DIG

NOTES:
BUILDER TO ENSURE THE EXACT LOCATIONS OF THE SERVICES PRIOR TO THE START OF ANY CONSTRUCTION WORK. BUILDER MUST CALL 'DIAL BEFORE YOU DIG' TO THE TO CONFIRM THE THE LOCATIONS OF THE EXISTING SERVICES.

IN THE EVENT THAT ANY SERVICES MAY BE AFFECTED WITH STRUCTURAL WORK, STRUCTURAL ENGINEER TO BE NOTIFIED AND CONSULTED IMMEDIATELY FOR REVIEWING THE STRUCTURAL DETAILS.

PROPOSED NEW	
MAIN DWELLING	
PATIO ROOF/SHEDS	
CONCRETE/PAVING	

Site Plan / Site Analysis

Site Plan: 1 : 200

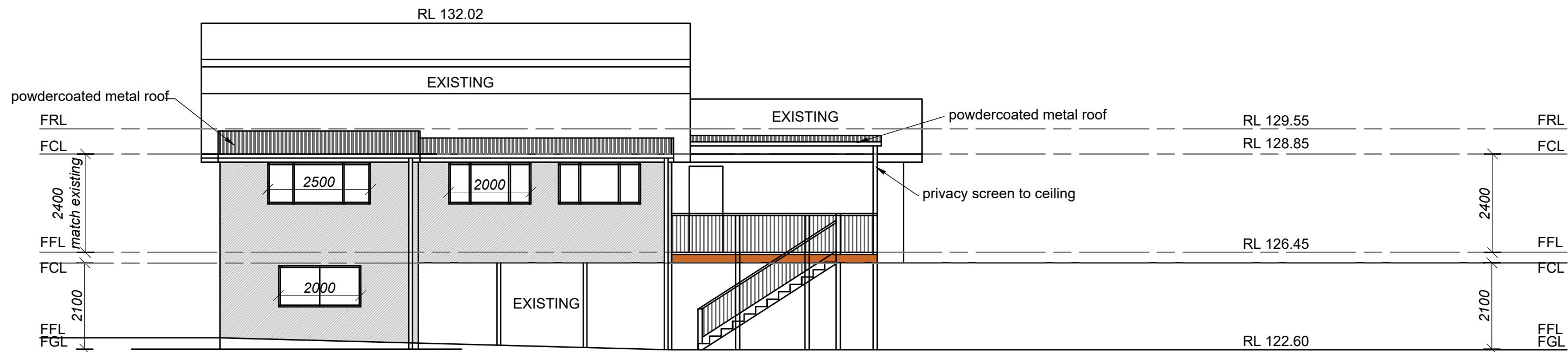
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AMENDMENT	ISSUE	PROPOSED	FOR
24/04/20	PRELIMINARY ISSUE	A	
22 HALLORAN AVENUE, DAVIDSON			
DRAWING		LOT NO/SECTION	DP
NOTIFICATION PLAN-1		27/194	258012
DATE	SCALE	PROJECT NO	DRAWING NO
24/04/20	1 : 200	CD-086/20	CD-086/20-V1
		SHEET NO	
		1 OF 3	

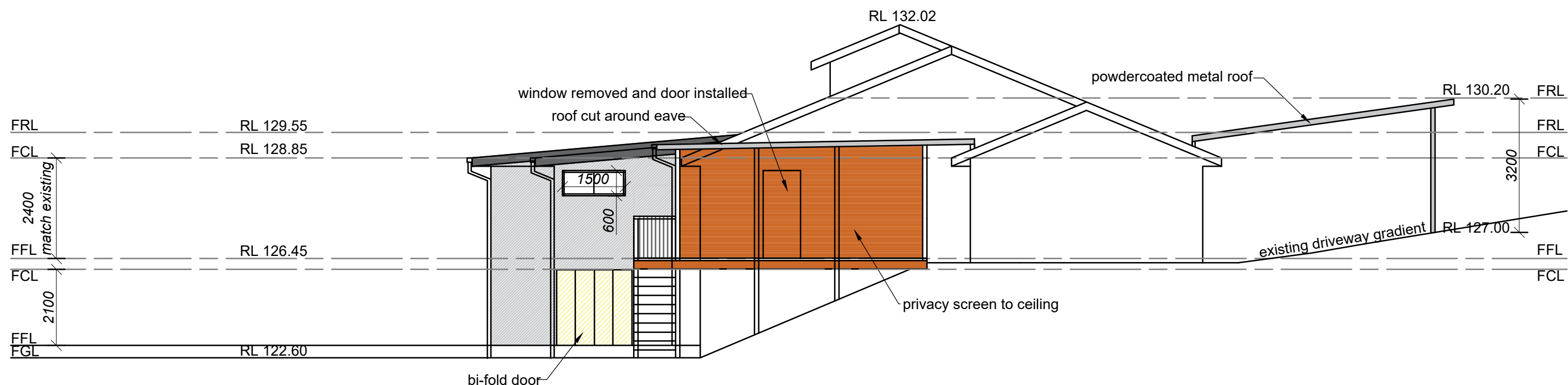
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NORTH EAST ELEVATION



NORTH WEST ELEVATION

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24/04/20

PRELIMINARY ISSUE

DATE

FINAL ISSUE

A

PROPOSED

ADDITIONS/ALTERATIONS

AT SITE ADDRESS

22 HALLORAN AVENUE, DAVIDSON

DRAWING

NOTIFICATION PLAN-2

DATE

24/04/20

SCALE

1:100

PROJECT NO

CD-086/20

LOT NO/SECTION

27/194

DRAWING NO

CD-086/20-V1

DP

258012

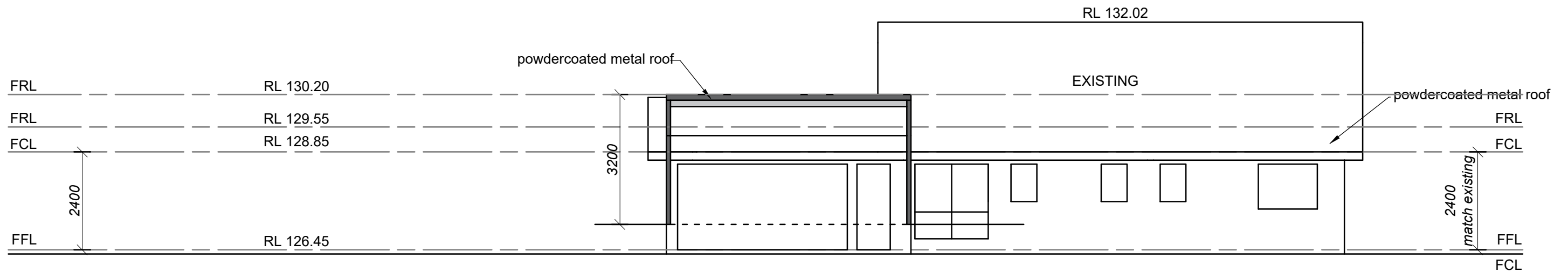
SHEET NO

2 OF 3

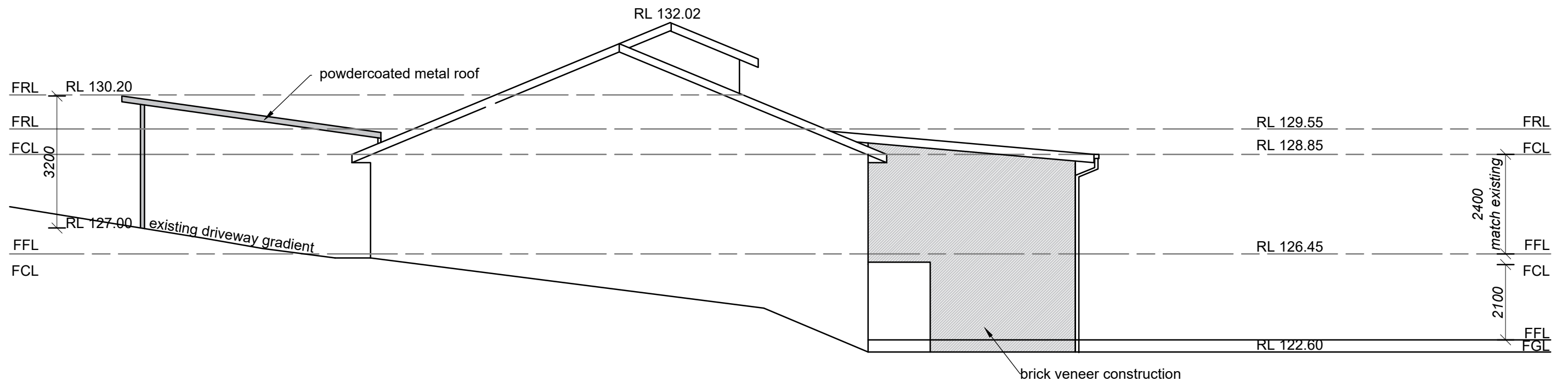
NOTE : ALL MEASUREMENTS ARE TO BE CONFIRMED ON SITE PRIOR TO ORDERING/CONSTRUCTION
ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH RELEVANT AUSTRALIAN STANDARDS AND BUILDING CODES
DIAL BEFORE YOU DIG IS RECOMMENDED

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SOUTH WEST ELEVATION



SOUTH EAST ELEVATION

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24/04/20	PRELIMINARY ISSUE	A	PROPOSED	FOR		
DATE	FINAL ISSUE		ADDITIONS/ALTERATIONS			
<p>NOTE : ALL MEASUREMENTS ARE TO BE CONFIRMED ON SITE PRIOR TO ORDERING/CONSTRUCTION</p> <p>ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH RELEVANT AUSTRALIAN STANDARDS AND BUILDING CODES</p> <p>DIAL BEFORE YOU DIG IS RECOMMENDED</p>			AT SITE ADDRESS			
			22 HALLORAN AVENUE, DAVIDSON			
			DRAWING		LOT NO/SECTION	DP
			NOTIFICATION PLAN-3		27/194	258012
			DATE	SCALE	PROJECT NO	DRAWING NO
24/04/20	1:100	CD-086/20	CD-086/20-V1	3 OF 3		

NOTE : ALL MEASUREMENTS ARE TO BE CONFIRMED ON SITE PRIOR TO ORDERING/CONSTRUCTION
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DIAL BEFORE YOU DIG IS RECOMMENDED

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