

Nationwide House Energy Rating Scheme
NatHERS Certificate No. 0006000913

Generated on 10 May 2021 using BERS Pro v4.4.0.3 (3.21)

Property

Address 36 Myola Road, Newport, NSW, 2106
Lot/DP 6/17229
NCC Class* 1A
Type New Dwelling

Plans

Main Plan Revision A Issued on 05/05/2021
Prepared by Rapid Plans

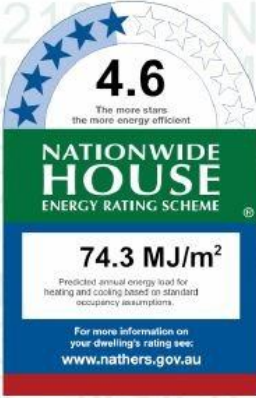
Construction and environment

Assessed floor area (m²)*
Conditioned* 232.0
Unconditioned* 73.0
Total 305.0
Garage 43.0

Exposure Type
Suburban
NatHERS climate zone 56

Accredited assessor

Name Jamie Bonnefin
Business name Certified Energy
Email jobs@certifiedenergy.com.au
Phone 1300 443 674
Accreditation No. 10056
Assessor Accrediting Organisation HERA
Declaration of interest None



Thermal performance

Heating 47.8 MJ/m²
Cooling 26.5 MJ/m²

About the rating

NatHERS software models the expected thermal energy loads using information about the design and construction, climate and common patterns of household use. The software does not take into account appliances, apart from the airflow impacts from ceiling fans.

Verification

To verify this certificate, scan the QR code or visit hstar.com.au/QR/Generate? p=tNKUjdDib. When using either link, ensure you are visiting hstar.com.au



DEVELOPMENT APPLICATION

New Dwelling For C/O Frank Kohlman

Straight 8 Australia Pty Ltd

ATF The Straight 8 Property Trust

36 Myola Road, Newport

Lot 6 D.P.17229

Project Number: RP0920KOH



Rapid Plans www.rapidplans.com.au

P.O. Box 6193 Frenchs Forest DC NSW 2086

Fax: (02) 9905-8865 Mobile: 0414-945-024

Email: gregg@rapidplans.com.au



Drawing No:	Description	Issue/Revision	Date
	Cover Sheet		5/5/21
DA1001	A4 Notification Plan		5/5/21
DA1002	Survey Plan		5/5/21
DA1003	Site Plan		5/5/21
DA1004	Demolition Ground Floor Plan		5/5/21
DA1005	Landscape Open Space Plan		5/5/21
DA1006	Landscape PPlan		5/5/21
DA1007	Excavation & Fill Plan		5/5/21
DA1008	Sediment & Erosion Control Plan		5/5/21
DA1009	Waste Management Plan		5/5/21
DA1010	Stormwater Plan		5/5/21
DA2001	Ground Floor Plan		5/5/21
DA2002	1st Floor Plan		5/5/21
DA2003	Roof Plan		5/5/21
DA3001	Section 1		5/5/21
DA3002	Section Drive		5/5/21
DA4001	Elevations 1		5/5/21
DA4002	Elevations 2		5/5/21
DA4003	Elevation Front Fence		5/5/21
DA5001	Perspective		5/5/21
DA5002	Material & Colour Sample Board		5/5/21
DA5003	June 21st Shadow - 9am		5/5/21
DA5004	June 21st Shadow - 12pm		5/5/21
DA5005	June 21st Shadow - 3pm		5/5/21
DA5006	Wall Elevation Shadow		5/5/21



BASIX®Certificate

Building Sustainability Index www.basix.nsw.gov.au

Single Dwelling

Certificate number: 1203317S_02

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 10/09/2020 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary
Date of issue: Tuesday, 15 June 2021
To be valid, this certificate must be lodged within 3 months of the date of issue.



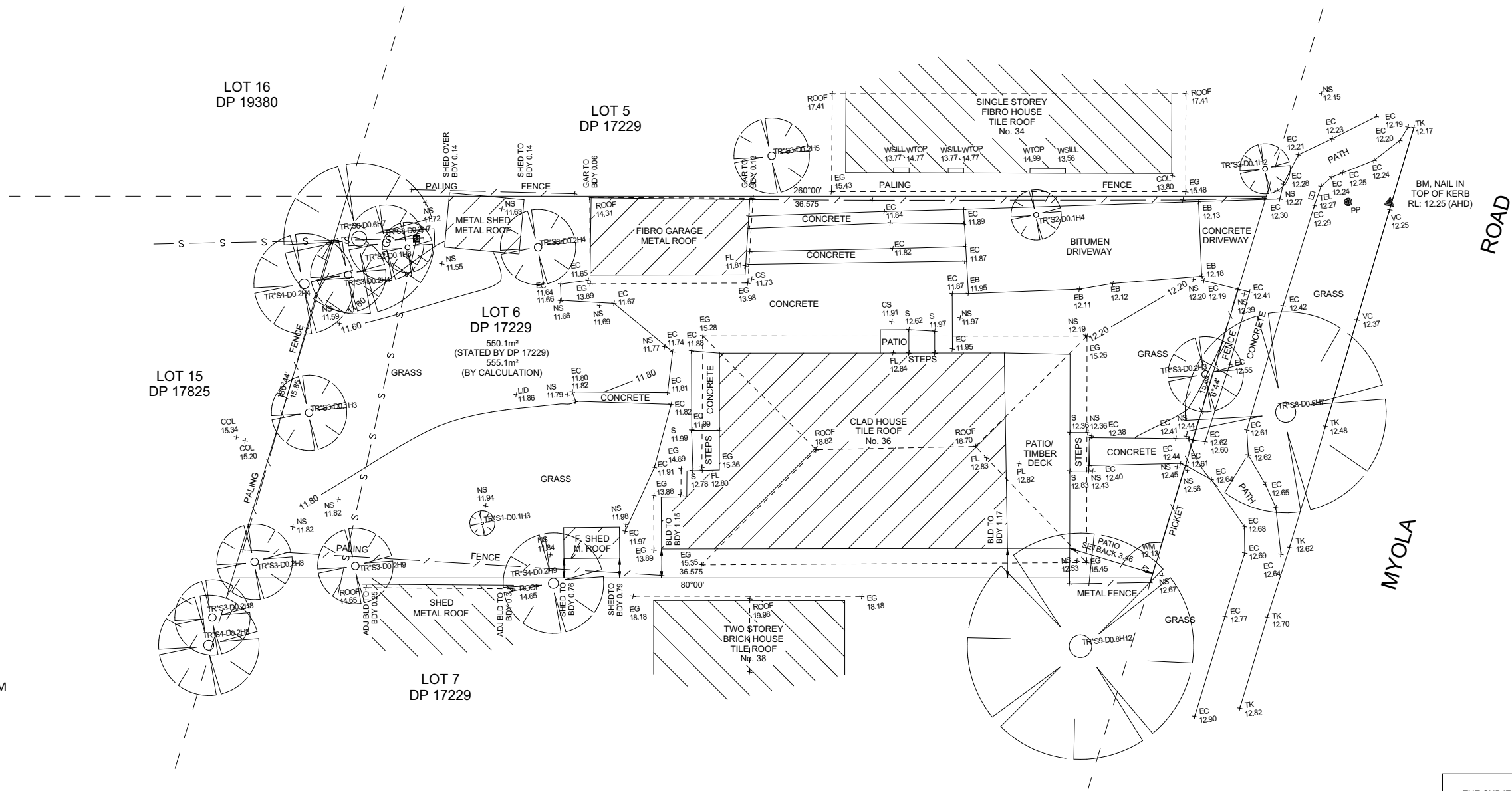
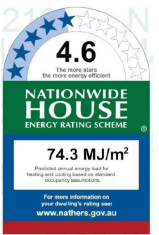
Planning,
Industry &
Environment

Project summary		
Project name	Kohlman-Newport_02	
Street address	36 Myola Road Newport 2106	
Local Government Area	Northern Beaches Council	
Plan type and plan number	deposited 17229	
Lot no.	6	
Section no.	-	
Project type	separate dwelling house	
No. of bedrooms	4	
Project score		
Water	✓ 40	Target 40
Thermal Comfort	✓ Pass	Target Pass
Energy	✓ 91	Target 50

Certificate Prepared by

Name / Company Name: Rapid Plans

ABN (if applicable): 43150064592



- ND:
- AUSTRALIAN HEIGHT DATUM
 - AWNING
 - BENCH MARK
 - CONCRETE
 - CONCRETE SURFACE
 - DIAMETER/HEIGHT/SPREAD
 - DOOR
 - EDGE OF CONCRETE
 - EAVE & GUTTER
 - FLOOR LEVEL
 - GARDEN
 - HYDRANT
 - INVERT LEVEL
 - LAMP HOLE
 - NATURAL SURFACE
 - PAVERS
 - POWER POLE
 - REDUCED LEVEL
 - STEPS
 - SURFACE LEVEL
 - WINDOW SILL
 - STOP VALE
 - TELSTRA PIT
 - TOP OF KERB
 - TOP OF WALL
 - VEHICLE CROSSING
 - WINDOW
 - WATER METER
 - TOP OF WINDOW



TRENT JAMES VELLA
(REGISTERED SURVEYOR)
SURVEYOR ID No. 8959

- THE SUBJECT TITLE NOTES :
(SEARCH DATE 13/8/2020)
- RESERVATIONS AND CONDITIONS IN THE CROWN GRANT(S).
 - L281288 COVENANT.
 - AH352655 MORTGAGE TO NATIONAL AUSTRALIA BANK LIMITED.

- NOTES:
- A) SERVICES SHOWN HAVE BEEN DERIVED FROM VISUAL EVIDENCE APPARENT AT THE TIME OF SURVEY. SERVICES MAY EXIST WHICH ARE NOT SHOWN. THE RELEVANT SERVICE AUTHORITY SHOULD BE CONTACTED TO VERIFY THE EXISTENCE AND POSITION OF SERVICES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION.
- B) DIAMETER, HEIGHT & SPREAD OF TREES ARE APPROXIMATE ONLY.
- C) LEVELS SHOWN ARE OF AUSTRALIAN HEIGHT DATUM.
ORIGIN OF LEVELS : PM 46834, RL 17.066 (AHD), CLASS LB.
- D) USE STATED DIMENSIONS. DO NOT SCALE.
- E) THESE NOTES FORM PART OF THIS PLAN AND CANNOT BE REMOVED.
- F) NO COVENANTS AND/OR RESTRICTIONS HAVE BEEN INVESTIGATED BY C & A SURVEYORS PTY LTD.

— S — S — APPROXIMATE LOCATION OF BURIED SEWER MAIN BY SYDNEY WATER RECORDS.

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C & A SURVEYORS NSW P/L
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NORTH PARRAMATTA NSW 2151
info@candasurveyors.com.au
www.candasurveyors.com.au

DETAIL & IDENTIFICATION SURVEY OF
LOT 6 IN DP 17229, LOCATED AT
No.36 MYOLA ROAD, NEWPORT.

INSTRUCTING PARTY: FRANK KOHLMAN

Revision No	Description	Date
01	DRAWN FOR ISSUE	17/08/2020

DATUM: AHD

SURVEY DATE: 14/08/2020

DATE DRAWN: 17/08/2020

REFERENCE: 14904-20 DET/ID

SURVEYED BY: HH

DRAWN BY: HA

SCALE: 1:100@A1

SHEET: 1 OF 1

1 Survey 1:200

Builder to Check and Confirm all
Measurements Prior to
Commencement

**DA APPLICATION
ONLY
NOT FOR CONSTRUCTION**



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Email : gregg@rapidplans.com.au



Project North
N

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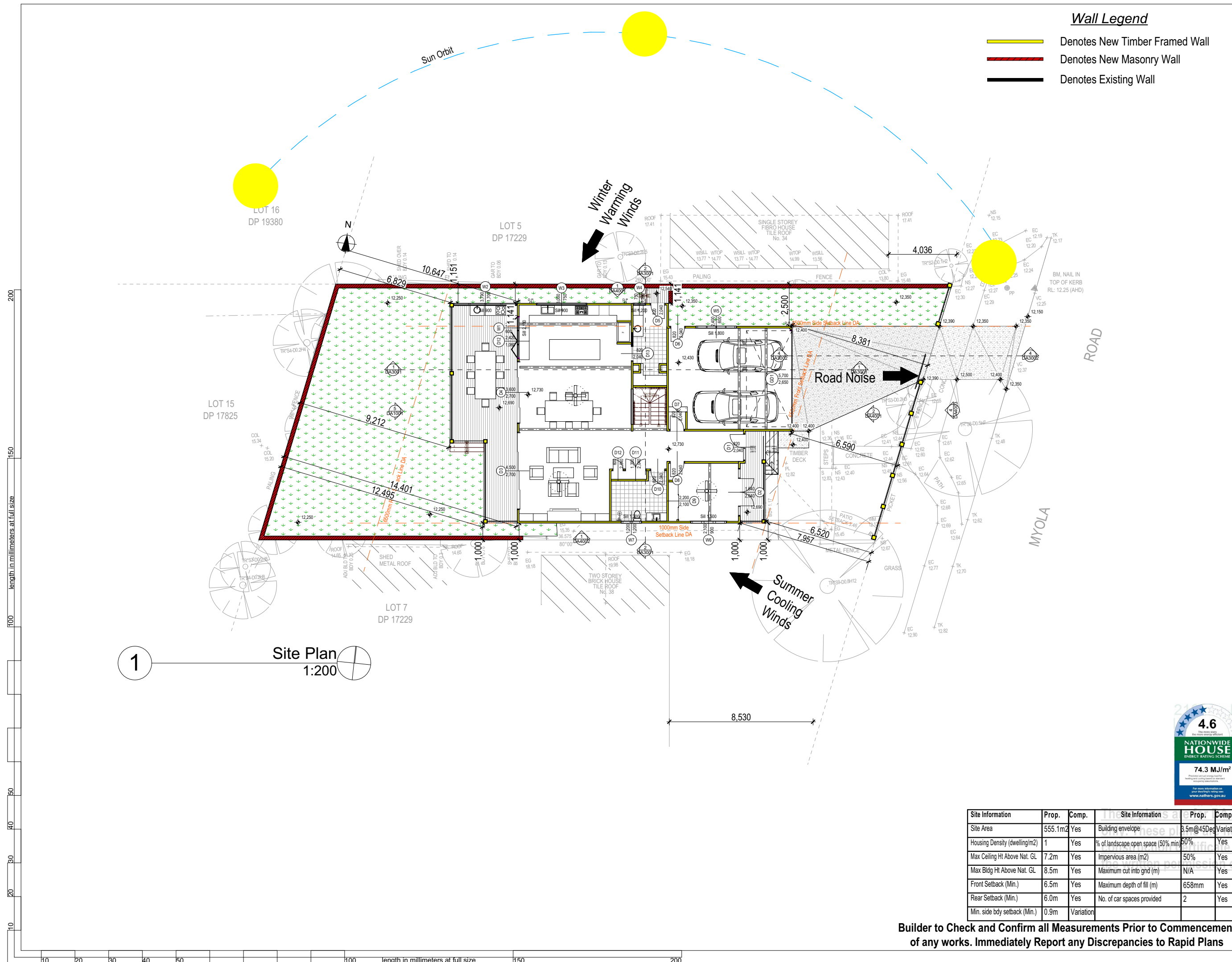
Client:
Frank Kohlman

Project Name:
New Dwelling
36 Myola Road, Newport

Lot 6 D.P.17229
Drawing Title:
Site Plans - Survey Plan

Scale: A3 as noted
Status: DA
Project No.
RP0920KOH

Date: 5/5/21
Checked By: GBJ
Drawing No.
DA1002



Wall Legend

- Denotes New Timber Framed Wall
- Denotes New Masonry Wall
- Denotes Existing Wall

Rapid Plans
Building Design and Architectural Drafting

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Mobile: 0414-945-024
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bda BUILDING DESIGNERS AUSTRALIA NSW

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NOTES
36 Myola Road, Newport is zoned R2 Low Density Residential
All Plans to be read in conjunction with Basix Certificate New Works to be constructed shown in Shaded/Blue 36 Myola Road, Newport is not considered a heritage item

Construction
Concrete and Timber, Cladded and Masonry Walls
Roof Sheet Metal to have R5 Insulation
Insulation to External Cladded and Masonry Walls R2.7
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Certifying
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Basix
Basix Certificate Number 1203317S_02
All Plans to be read in conjunction with Basix Certificate
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.
Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door,

Project North N

DA APPLICATION ONLY

NOT FOR CONSTRUCTION

The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

Client
Frank Kohlman
Project Name
New Dwelling
36 Myola Road, Newport

Lot 6 D.P. 17229
Drawing Title:
Site Plans - Site Plan

Scale: A3 as noted	Date: 5/5/21
Status: DA	Checked By: GBJ
Project No: RP0920KOH	Drawing No: DA1003

4.6
NATIONWIDE HOUSE ENERGY RATING SCHEME
74.3 MJ/m²

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	555.1m ²	Yes	Building envelope	3.5m@45Deg Variation	
Housing Density (dwelling/m ²)	1	Yes	% of landscape open space (50% min)	50%	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes	Impervious area (m ²)	50%	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes	Maximum cut into gnd (m)	N/A	Yes
Front Setback (Min.)	6.5m	Yes	Maximum depth of fill (m)	658mm	Yes
Rear Setback (Min.)	6.0m	Yes	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	0.9m	Variation			

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans



Denotes Impervious Area

Denotes Pervious Area

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Plans 2021

NOTES
36 Myola Road, Newport is zoned R2 Low Density Residential
All Plans to be read in conjunction with Basix Certificate New Works to be constructed shown in Shaded/Blue
36 Myola Road, Newport is not considered a heritage item

Construction
Concrete and Timber, Cladded and Masonry Walls
Roof Sheet Metal to have R5 Insulation
Insulation to External Cladded and Masonry Walls
R2.7

Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact

All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Certifying
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by

Rapid Plans
Basix
Basix Certificate Number 1203317S_02
All Plans to be read in conjunction with Basix
Certificate

The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction

where insulation already exists.


The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.

Relevant overshadowing specifications must be satisfied for each window and glazed door.

For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door,

Project North **N**



DA APPLICATION
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The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued

Client
Frank Kohlman
Project Name
New Dwelling
36 Myola Road, Newport

Lot 6 D.P.17229

Site Plans - Landscape Open Space Plan

Scale: A3 as noted	Date: 5/5/21
Status: DA	Checked By: GBJ

Project No:	Drawing No.
RP0920KOH	DA1005

Description	Area (m2)	Percentage
Site Area	555.1m2	100%
Proposed Open Landscape Area	272.25	49%
Proposed Landscape Treatment	5.73m2	1%
Proposed Impervious Area	277.12m2	50%

Thermal Comfort Commitments
Simulation Method
<p>The applicant must attach the certificate referred to under "Assessor Details" on the front page of this BASIX certificate (the "Assessor Certificate") to the development application and construction certificate application for the proposed development (or, if the applicant is applying for a complying development certificate for the proposed development, to that application). The applicant must also attach the Assessor Certificate to the application for an occupation certificate for the proposed development.</p> <p>The Assessor Certificate must have been issued by an Accredited Assessor in accordance with the Thermal Comfort Protocol.</p> <p>The details of the proposed development on the Assessor Certificate must be consistent with the details shown in this BASIX certificate, including the Cooling and Heating loads shown on the front page of this certificate.</p> <p>The applicant must show on the plans accompanying the development application for the proposed development, all matters which the Assessor Certificate requires to be shown on those plans. Those plans must bear a stamp of endorsement from the Accredited Assessor to certify that this is the case. The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), all thermal performance specifications set out in the Assessor Certificate, and all aspects of the proposed development which were used to calculate those specifications.</p> <p>The applicant must construct the development in accordance with all thermal performance specifications set out in the Assessor Certificate, and in accordance with those aspects of the development application or application for a complying development certificate which were used to calculate those specifications.</p> <p>The applicant must construct the floors and walls of the dwelling in accordance with the specifications listed in the table below.</p>

Water Commitments
Landscape
The applicant must plant indigenous or low water use species of vegetation throughout 272.25 square metres of the site.
Fixtures
The applicant must install showerheads with a minimum rating of 4 star (>6 bid <= 7.5 L/min plus spray force and/or coverage tests) in all showers in the development.
The applicant must install a toilet flushing system with a minimum rating of 3 star in each toilet in the development.
The applicant must install taps with a minimum rating of 4 star in the kitchen in the development.
The applicant must install basin taps with a minimum rating of 4 star in each bathroom in the development.
Alternative water
Rainwater tank
The applicant must install a rainwater tank of at least 5400 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.
The applicant must configure the rainwater tank to collect rain runoff from at least 277 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam).
The applicant must connect the rainwater tank to: <ul style="list-style-type: none"> at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.)

Energy Commitments
<p>Hot water</p> <p>The applicant must install the following hot water system in the development, or a system with a higher energy rating: solar (gas boosted, flat plate) with a performance of 26 to 30 STCs or better.</p>
<p>Cooling system</p> <p>The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: ceiling fans + 3-phase airconditioning; Energy rating: EER 2.5 - 3.0</p> <p>The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom: ceiling fans + 3-phase airconditioning; Energy rating: EER 2.5 - 3.0</p> <p>The cooling system must provide for day/night zoning between living areas and bedrooms.</p>
<p>Heating system</p> <p>The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area: gas fixed fuelled heater; Energy rating: 3 Star</p> <p>The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 bedroom: 3-phase airconditioning; Energy rating: EER 2.5 - 3.0</p>
<p>Ventilation</p> <p>The applicant must install the following exhaust systems in the development:</p> <p>At least 1 Bathroom: no mechanical ventilation (ie. natural); Operation control: n/a</p> <p>Kitchen: individual fan, ducted to façade or roof; Operation control: manual switch on/off</p> <p>Laundry: natural ventilation only, or no laundry; Operation control: n/a</p>
<p>Artificial lighting</p> <p>The applicant must ensure that the "primary type of artificial lighting" is fluorescent or light emitting diode (LED) lighting in each of the following rooms, and where the word "dedicated" appears, the fittings for those lights must only be capable of accepting fluorescent or light emitting diode (LED) lamps:</p> <ul style="list-style-type: none"> • at least 5 of the bedrooms / study; dedicated • at least 2 of the living / dining rooms; dedicated

<p>Energy Commitments</p> <ul style="list-style-type: none"> • the kitchen; dedicated • all bathrooms/toilets; dedicated • the laundry; dedicated • all hallways; dedicated
<p>Natural lighting</p> <p>The applicant must install a window and/or skylight in the kitchen of the dwelling for natural lighting.</p> <p>The applicant must install a window and/or skylight in 5 bathroom(s)/toilet(s) in the development for natural lighting.</p>
<p>Alternative energy</p> <p>The applicant must install a photovoltaic system with the capacity to generate at least 7.5 peak kilowatts of electricity as part of the development. The applicant must connect this system to the development's electrical system.</p>
<p>Other</p> <p>The applicant must install a gas cooktop & electric oven in the kitchen of the dwelling.</p> <p>The applicant must construct each refrigerator space in the development so that it is "well ventilated", as defined in the BASIX definitions.</p> <p>The applicant must install a fixed outdoor clothes drying line as part of the development.</p>

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	555.1m ²	Yes	Building envelope	3.5m@45Deg	Variation
Housing Density (dwelling/m ²)	1	Yes	% of landscape open space (50% min)	50%	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes	Impervious area (m ²)	50%	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes	Maximum cut into gnd (m)	N/A	Yes
Front Setback (Min.)	6.5m	Yes	Maximum depth of fill (m)	658mm	Yes
Rear Setback (Min.)	6.0m	Yes	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	0.9m	Variation			











Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

LOT 16
DP 19380




LOT 5
DP 17229

LOT 15
DP 17825

Landscape Legend

Planting Schedule	Symbol	Botanical Name	Common Name	Mature Height
		Tristanopsis Laurina	Water Gum Tree	H=9000mm W=6000mm
		Viburnum Odoratissimum	Sweet Viburnum	H= 4000mm W= 4000mm
		Stenotaphrum Secundatum	Sir Walter Buffalo Turf	N/A
		Existing Grass To Remain		
		Existing Tree To Be Removed		

Landscape Legend

Ground Covers Schedule	
	Timber Deck
	Concrete Drive
	New Masonry Retaining Wall

Thermal Comfort Commitments

Simulation Method

The applicant must attach the certificate referred to under "Assessor Details" on the front page of this BASIX certificate (the "Assessor Certificate") to the development application and construction certificate application for the proposed development (or, if the applicant is applying for a complying development certificate for the proposed development, to that application). The applicant must also attach the Assessor Certificate to the application for an occupation certificate for the proposed development.

The Assessor Certificate must have been issued by an Accredited Assessor in accordance with the Thermal Comfort Protocol.

The details of the proposed development on the Assessor Certificate must be consistent with the details shown in this BASIX certificate, including the Cooling and Heating loads shown on the front page of this certificate.

The applicant must show on the plans accompanying the development application for the proposed development, all matters which the Assessor Certificate requires to be shown on those plans. Those plans must bear a stamp of endorsement from the Accredited Assessor to certify that this is the case. The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), all thermal performance specifications set out in the Assessor Certificate, and all aspects of the proposed development which were used to calculate those specifications.

The applicant must construct the development in accordance with all thermal performance specifications set out in the Assessor Certificate, and in accordance with those aspects of the development application or application for a complying development certificate which were used to calculate those specifications.

The applicant must construct the floors and walls of the dwelling in accordance with the specifications listed in the table below.

Water Commitments

Landscape

The applicant must plant indigenous or low water use species of vegetation throughout 272.25 square metres of the site.

Fixtures

The applicant must install showerheads with a minimum rating of 4 star (> 6 but <= 7.5 L/min plus spray force and/or coverage tests) in all showers in the development.

The applicant must install a toilet flushing system with a minimum rating of 3 star in each toilet in the development.

The applicant must install taps with a minimum rating of 4 star in the kitchen in the development.

The applicant must install basin taps with a minimum rating of 4 star in each bathroom in the development.

Alternative water

Rainwater tank

The applicant must install a rainwater tank of at least 5400 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.

The applicant must configure the rainwater tank to collect rain runoff from at least 277 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam).

The applicant must connect the rainwater tank to:

- at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.)

Energy Commitments

Hot water

The applicant must install the following hot water system in the development, or a system with a higher energy rating: solar (gas boosted, flat plate) with a performance of 26 to 30 STCs or better.

Cooling system

The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: ceiling fans + 3-phase air conditioning; Energy rating: EER 2.5 - 3.0

The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom: ceiling fans + 3-phase air conditioning; Energy rating: EER 2.5 - 3.0

The cooling system must provide for day/night zoning between living areas and bedrooms.

Heating system

The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area: gas fixed flued heater; Energy rating: 3 Star

The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 bedroom: 3-phase air conditioning; Energy rating: EER 2.5 - 3.0

Ventilation

The applicant must install the following exhaust systems in the development:

At least 1 Bathroom: no mechanical ventilation (ie. natural); Operation control: n/a

Kitchen: individual fan, ducted to façade or roof; Operation control: manual switch on/off

Laundry: natural ventilation only, or no laundry; Operation control: n/a

Artificial lighting

The applicant must ensure that the "primary type of artificial lighting" is fluorescent or light emitting diode (LED) lighting in each of the following rooms, and where the word "dedicated" appears, the fittings for those lights must only be capable of accepting fluorescent or light emitting diode (LED) lamps:

- at least 5 of the bedrooms / study; dedicated
- at least 2 of the living / dining rooms; dedicated

Energy Commitments

- the kitchen; dedicated

- all bathrooms/toilets; dedicated

- the laundry; dedicated

- all hallways; dedicated

Natural lighting

The applicant must install a window and/or skylight in the kitchen of the dwelling for natural lighting.

The applicant must install a window and/or skylight in 5 bathroom(s)/toilet(s) in the development for natural lighting.

Alternative energy

The applicant must install a photovoltaic system with the capacity to generate at least 7.5 peak kilowatts of electricity as part of the development. The applicant must connect this system to the development's electrical system.

Other

The applicant must install a gas cooktop & electric oven in the kitchen of the dwelling.

The applicant must construct each refrigerator space in the development so that it is "well ventilated", as defined in the BASIX definitions.

The applicant must install a fixed outdoor clothes drying line as part of the development.

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	555.1m ²	Yes	Building envelope	3.5m@45Deg	Variation
Housing Density (dwelling/m ²)	1	Yes	% of landscape open space (50% min)	50%	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes	Impervious area (m ²)	50%	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes	Maximum cut into grd (m)	N/A	Yes
Front Setback (Min.)	6.5m	Yes	Maximum depth of fill (m)	658mm	Yes
Rear Setback (Min.)	6.0m	Yes	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	0.9m	Variation			

4

Landscape Plan
1:200

**DA APPLICATION
ONLY
NOT FOR CONSTRUCTION**

NOTES

36 Myola Road, Newport is zoned R2 Low Density Residential
All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
36 Myola Road, Newport is not considered a heritage item

Certifying

The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Construction

Concrete and Timber, Cladded and Masonry Walls
Roof Sheet Metal to have R5 Insulation
Insulation to External Cladded and Masonry Walls R2.7
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix

Basix Certificate Number 1203317S_02
All Plans to be read in conjunction with Basix Certificate
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:
a) additional insulation is not required where the area of new construction is less than 2m²
b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

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The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

Client:

Frank Kohlman
Sheet Size: A3

Client:

Frank Kohlman
Project Name
New Dwelling
36 Myola Road, Newport

Lot 6 D.P.17229

Drawing Title:

Site Plans - Landscape Plan
Landscape Plan

Scale: A3 as noted

Status: DA

Project No.

RP0920KOH

Date: 5/5/21

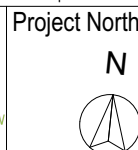
Checked By: GBJ

Drawing No.

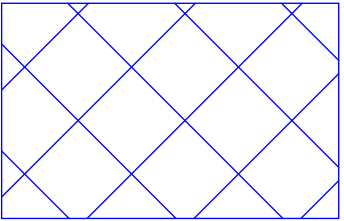
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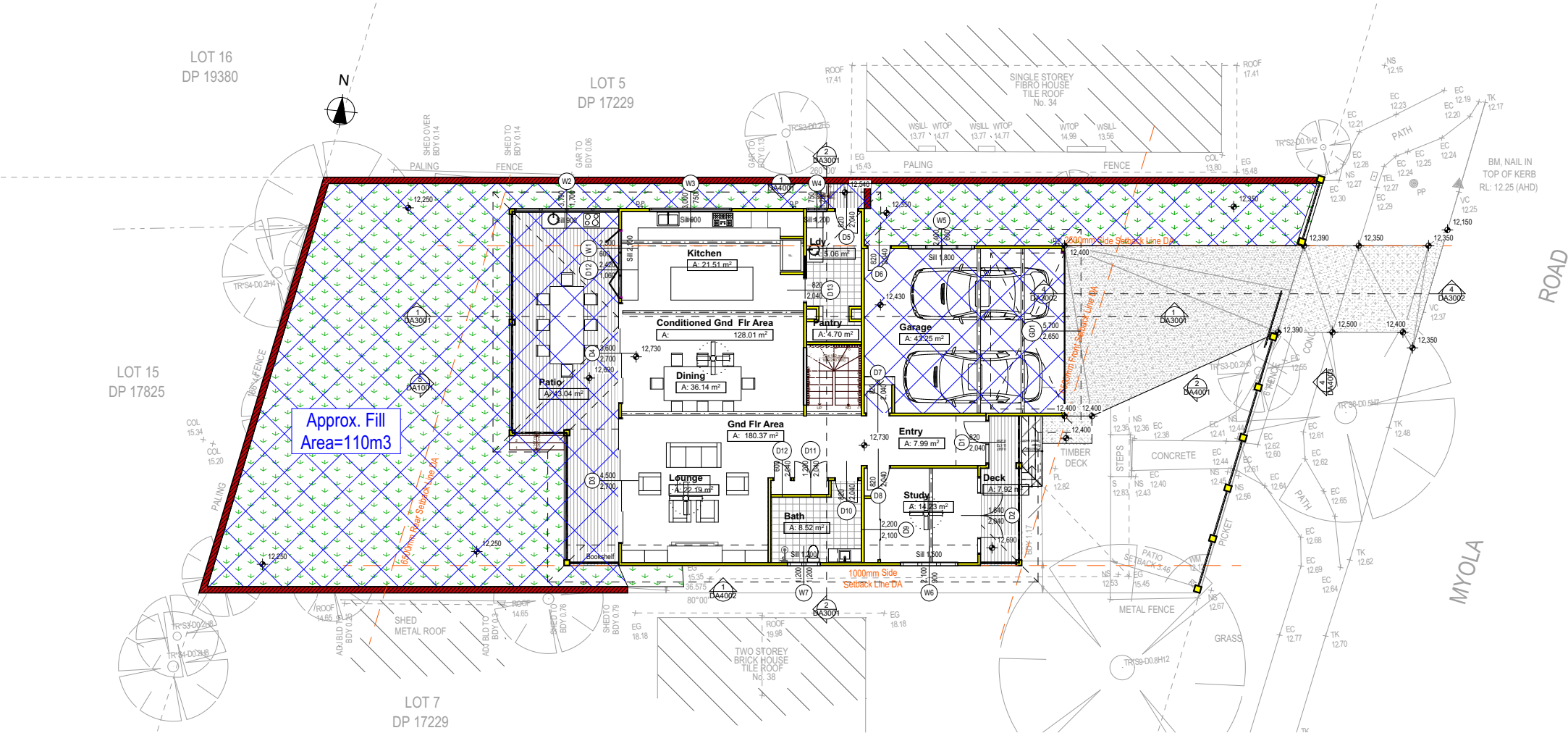
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Denotes Fill Area



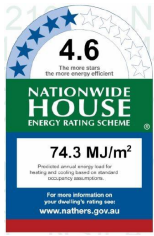
4 Excavation & Fill Plan 1:200

DA APPLICATION ONLY
NOT FOR CONSTRUCTION

NOTES
36 Myola Road, Newport is zoned R2 Low Density Residential
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36 Myola Road, Newport is not considered a heritage item
Certifying
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Construction
Concrete and Timber, Cladded and Masonry Walls
Roof Sheet Metal to have R5 Insulation
Insulation to External Cladded and Masonry Walls R2.7
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

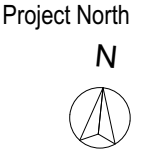
Basix
Basix Certificate Number 1203317S_02
All Plans to be read in conjunction with Basix Certificate
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For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door,



Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	555.1m ²	Yes	Building envelope	3.5m@45Deg	Variation
Housing Density (dwelling/m ²)	1	Yes	% of landscape open space (50% min)	50%	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes	Impervious area (m ²)	50%	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes	Maximum cut into gnd (m)	N/A	Yes
Front Setback (Min.)	6.5m	Yes	Maximum depth of fill (m)	658mm	Yes
Rear Setback (Min.)	6.0m	Yes	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	0.9m	Variation			



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Client:
Frank Kohlman
Sheet Size: A3

Client
Frank Kohlman
Project Name
New Dwelling
36 Myola Road, Newport

Lot 6 D.P.17229
Drawing Title:
Site Plans - Excavation & Fill
Plan
Excavation & Fill Plan

Scale: A3 as noted
Status: DA
Project No.
RP0920KOH
Drawing No.
DA1007

Date: 5/5/21

Checked By: GBJ

Energy Commitments
Hot water
The applicant must install the following hot water system in the development, or a system with a higher energy rating: solar (gas boosted, flat plate) with a performance of 26 to 30 STCs or better.
Cooling system
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: ceiling fans + 3-phase airconditioning. Energy rating: EER 2.5 - 3.0
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom: ceiling fans + 3-phase airconditioning. Energy rating: EER 2.5 - 3.0
The cooling system must provide for day/night zoning between living areas and bedrooms.
Heating system
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area: gas fixed flued heater. Energy rating: 3 Star
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 bedroom: 3-phase airconditioning. Energy rating: EER 2.5 - 3.0
Ventilation
The applicant must install the following exhaust systems in the development: At least 1 Bathroom: no mechanical ventilation (i.e. natural); Operation control: n/a
Kitchen: individual fan, ducted to façade or roof; Operation control: manual switch on/off
Laundry: natural ventilation only, or no laundry; Operation control: n/a
Artificial lighting
The applicant must ensure that the "primary type of artificial lighting" is fluorescent or light emitting diode (LED) lighting in each of the following rooms, and where the word "dedicated" appears, the fittings for those lights must only be capable of accepting fluorescent or light emitting diode (LED) lamps: <ul style="list-style-type: none">at least 5 of the bedrooms / study; dedicatedat least 2 of the living / dining rooms; dedicated

Energy Commitments
• the kitchen; dedicated
• all bathrooms/toilets; dedicated
• the laundry; dedicated
• all hallways; dedicated
Natural lighting
The applicant must install a window and/or skylight in the kitchen of the dwelling for natural lighting.
The applicant must install a window and/or skylight in 5 bathroom(s)/toilet(s) in the development for natural lighting.
Alternative energy
The applicant must install a photovoltaic system with the capacity to generate at least 7.5 peak kilowatts of electricity as part of the development. The applicant must connect this system to the development's electrical system.
Other
The applicant must install a gas cooktop & electric oven in the kitchen of the dwelling.
The applicant must construct each refrigerator space in the development so that it is "well ventilated", as defined in the BASIX definitions.
The applicant must install a fixed outdoor clothes drying line as part of the development.

Water Commitments
Landscaping
The applicant must plant indigenous or low water use species of vegetation throughout 272.25 square metres of the site.
Fixtures
The applicant must install showerheads with a minimum rating of 4 star (> 6 but <= 7.5 L/min plus spray force and/or coverage tests) in all showers in the development.
The applicant must install a toilet flushing system with a minimum rating of 3 star in each toilet in the development.
The applicant must install taps with a minimum rating of 4 star in the kitchen in the development.
The applicant must install basin taps with a minimum rating of 4 star in each bathroom in the development.
Alternative water
Rainwater tank
The applicant must install a rainwater tank of at least 5400 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.
The applicant must configure the rainwater tank to collect rain runoff from at least 277 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam).
The applicant must connect the rainwater tank to: <ul style="list-style-type: none">at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.)

Thermal Comfort Commitments
Simulation Method
The applicant must attach the certificate referred to under "Assessor Details" on the front page of this BASIX certificate (the "Assessor Certificate") to the development application and construction certificate application for the proposed development (or, if the applicant is applying for a complying development certificate for the proposed development, to that application). The applicant must also attach the Assessor Certificate to the application for an occupation certificate for the proposed development.
The Assessor Certificate must have been issued by an Accredited Assessor in accordance with the Thermal Comfort Protocol.
The details of the proposed development on the Assessor Certificate must be consistent with the details shown in this BASIX certificate, including the Cooling and Heating loads shown on the front page of this certificate.
The applicant must show on the plans accompanying the development application for the proposed development, all matters which the Assessor Certificate requires to be shown on those plans. Those plans must bear a stamp of endorsement from the Accredited Assessor to certify that this is the case. The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), all thermal performance specifications set out in the Assessor Certificate, and all aspects of the proposed development which were used to calculate those specifications.
The applicant must construct the development in accordance with all thermal performance specifications set out in the Assessor Certificate, and in accordance with those aspects of the development application or application for a complying development certificate which were used to calculate those specifications.
The applicant must construct the floors and walls of the dwelling in accordance with the specifications listed in the table below:

Wall Legend

Denotes New Timber Framed Wall

Denotes New Masonry Wall



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BUILDING DESIGNERS AUSTRALIA NSW

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NOTES
36 Myola Road, Newport is zoned R2 Low Density Residential
All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
36 Myola Road, Newport is not considered a heritage item

Construction
Concrete and Timber, Cladded and Masonry Walls
Roof Sheet Metal to have R5 Insulation
Insulation to External Cladded and Masonry Walls R2.7

Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS 288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Certifying
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Basix
Basix Certificate Number 1203317S_02
All Plans to be read in conjunction with Basix Certificate


The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.

Relevant overshadowing specifications must be satisfied for each window and glazed door.

For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door,

Project North 

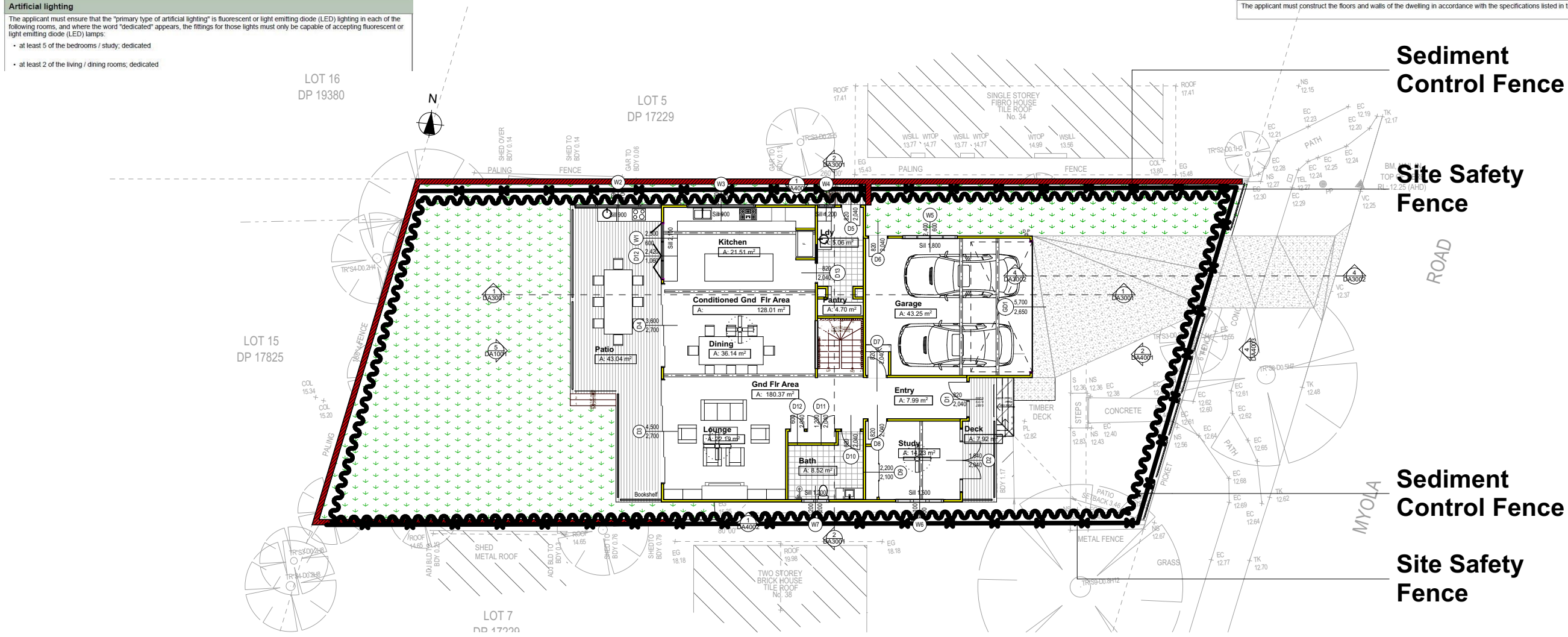
DA APPLICATION ONLY
NOT FOR CONSTRUCTION

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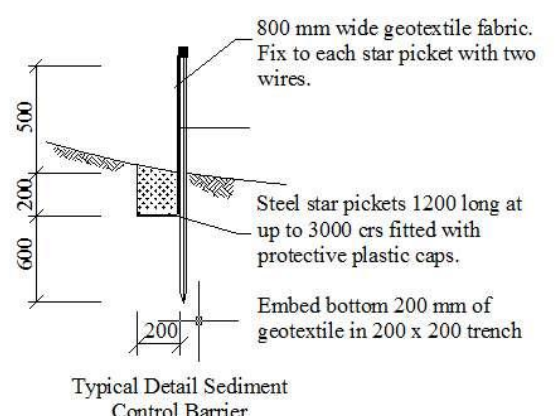
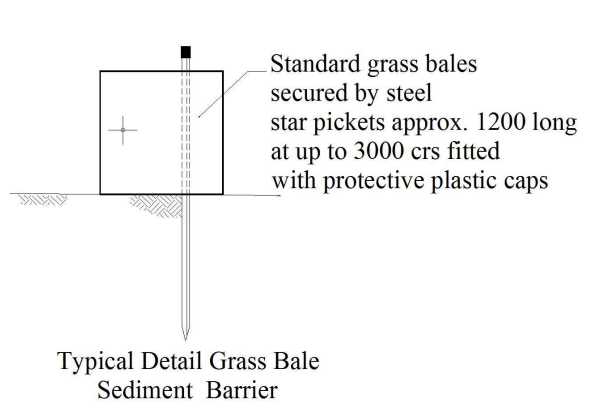
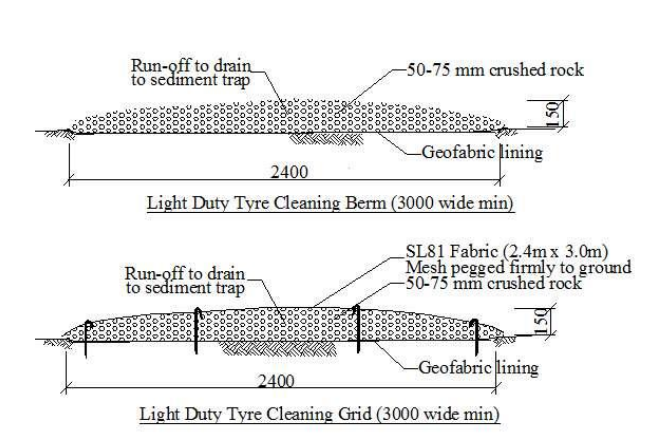
Client
Frank Kohlman
Project Name
New Dwelling
36 Myola Road, Newport

Lot 6 D.P. 17229
Drawing Title:
Site Plans - Sediment & Erosion Control Plan
Scale: A3 as noted
Status: DA
Project No: **RP0920KOH**

Date: 5/5/21
Checked By: **GBJ**
Drawing No: **DA1008**



Sediment & Erosion Control Plan
1:200



Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	555.1m ²	Yes	Building envelope	8.5m@45Deg	Variation
Housing Density (dwelling/m ²)	1	Yes	% of landscape open space (50% min)	50%	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes	Impervious area (m ²)	50%	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes	Maximum cut into gnd (m)	N/A	Yes
Front Setback (Min.)	6.5m	Yes	Maximum depth of fill (m)	658mm	Yes
Rear Setback (Min.)	6.0m	Yes	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	0.9m	Variation			

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans



4.6
The more stars, the more energy efficient

74.3 MJ/m²

For more information on green building ratings visit www.nathers.gov.au

Energy Commitments
Hot water
The applicant must install the following hot water system in the development, or a system with a higher energy rating: solar (gas boosted, flat plate) with a performance of 26 to 30 STCs or better.
Cooling system
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: ceiling fans + 3-phase airconditioning. Energy rating: EER 2.5 - 3.0
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom: ceiling fans + 3-phase airconditioning. Energy rating: EER 2.5 - 3.0
The cooling system must provide for day/night zoning between living areas and bedrooms.
Heating system
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area: gas fixed flued heater. Energy rating: 3 Star
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The applicant must install the following exhaust systems in the development: At least 1 Bathroom: no mechanical ventilation (i.e. natural); Operation control: n/a
Kitchen: individual fan, ducted to façade or roof; Operation control: manual switch on/off
Laundry: natural ventilation only, or no laundry; Operation control: n/a
Artificial lighting
The applicant must ensure that the "primary type of artificial lighting" is fluorescent or light emitting diode (LED) lighting in each of the following rooms, and where the word "dedicated" appears, the fittings for those lights must only be capable of accepting fluorescent or light emitting diode (LED) lamps:
• at least 5 of the bedrooms / study; dedicated
• at least 2 of the living / dining rooms; dedicated

Energy Commitments
• the kitchen; dedicated
• all bathrooms/toilets; dedicated
• the laundry; dedicated
• all hallways; dedicated
Natural lighting
The applicant must install a window and/or skylight in the kitchen of the dwelling for natural lighting.
The applicant must install a window and/or skylight in 5 bathroom(s)/toilet(s) in the development for natural lighting.
Alternative energy
The applicant must install a photovoltaic system with the capacity to generate at least 7.5 peak kilowatts of electricity as part of the development. The applicant must connect this system to the development's electrical system.
Other
The applicant must install a gas cooktop & electric oven in the kitchen of the dwelling.
The applicant must construct each refrigerator space in the development so that it is "well ventilated", as defined in the BASIX definitions.
The applicant must install a fixed outdoor clothes drying line as part of the development.

Thermal Comfort Commitments
Simulation Method
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Wall Legend

- Denotes New Timber Framed Wall
- Denotes New Masonry Wall

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Building Design and Architectural Drafting

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NOTES
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Construction
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Roof Sheet Metal to have R5 Insulation
Insulation to External Cladded and Masonry Walls R2.7
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Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS 2288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Certifying
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Basix
Basix Certificate Number 1203317S_02
All Plans to be read in conjunction with Basix Certificate
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Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door,

Project North N

DA APPLICATION ONLY
NOT FOR CONSTRUCTION

The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

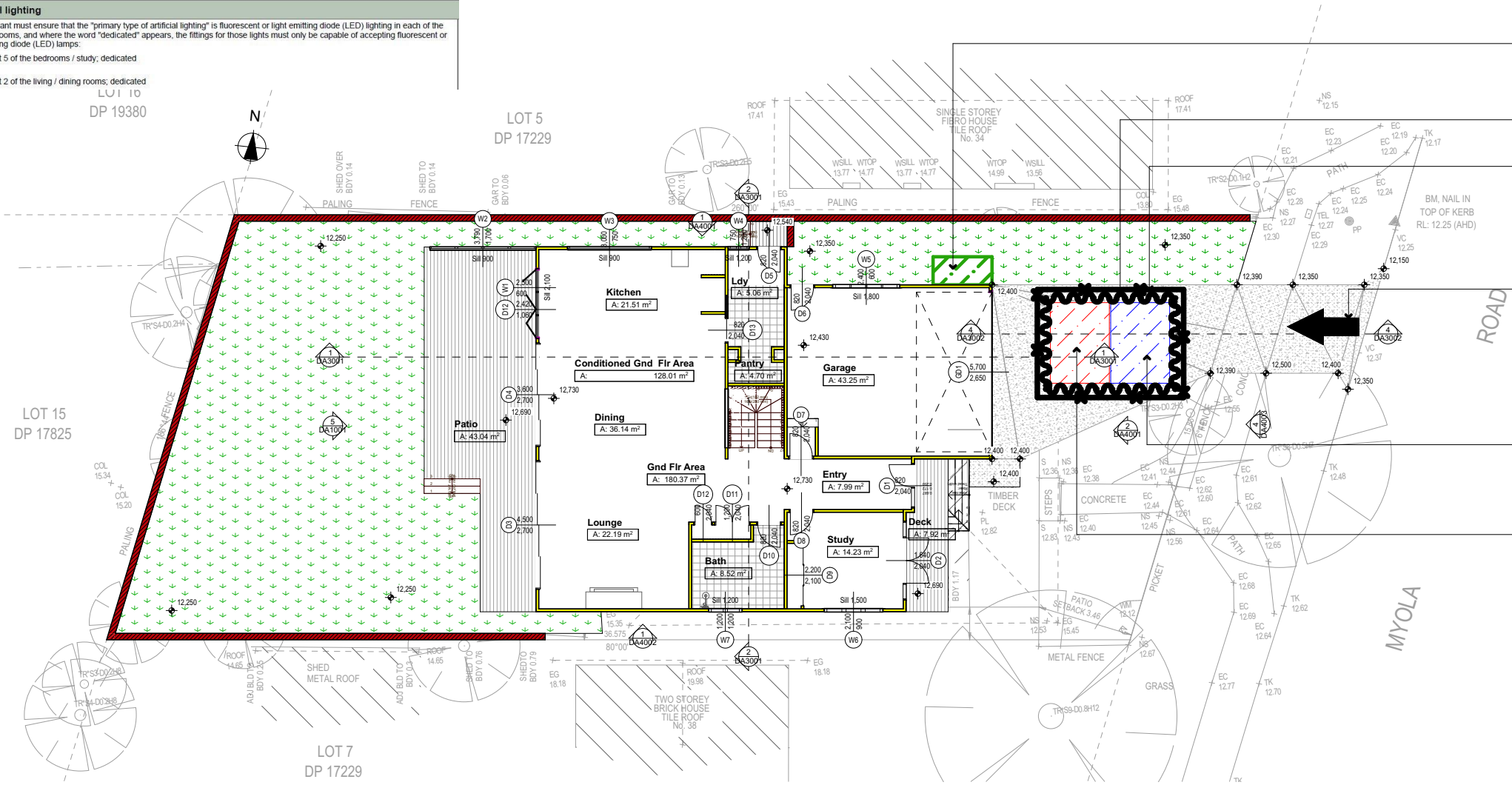
Client
Frank Kohlman
Project Name
New Dwelling
36 Myola Road, Newport

Lot 6 D.P. 17229
Drawing Title:

Site Plans - Waste Management Plan
Waste Management Plan

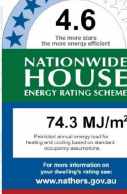
Scale: A3 as noted Date: 5/5/21
Status: DA Checked By: GBJ

Project No: RP0920KOH
Drawing No: DA1009



1 Waste Management Plan
1:200

Water Commitments
Landscape
The applicant must plant indigenous or low water use species of vegetation throughout 272.25 square metres of the site.
Fixtures
The applicant must install showerheads with a minimum rating of 4 star (> 6 but <= 7.5 L/min plus spray force and/or coverage tests) in all showers in the development.
The applicant must install a toilet flushing system with a minimum rating of 3 star in each toilet in the development.
The applicant must install taps with a minimum rating of 4 star in the kitchen in the development.
The applicant must install basin taps with a minimum rating of 4 star in each bathroom in the development.
Alternative water
Rainwater tank
The applicant must install a rainwater tank of at least 5400 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.
The applicant must configure the rainwater tank to collect rain runoff from at least 277 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam).
The applicant must connect the rainwater tank to:
• at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.)



Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	555.1m ²	Yes	Building envelope	8.5m@45Deg	Variation
Housing Density (dwelling/m ²)	1	Yes	% of landscape open space (50% min)	50%	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes	Impervious area (m ²)	50%	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes	Maximum cut into gnd (m)	N/A	Yes
Front Setback (Min.)	6.5m	Yes	Maximum depth of fill (m)	658mm	Yes
Rear Setback (Min.)	6.0m	Yes	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	0.9m	Variation			

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Thermal Comfort Commitments
Simulation Method
The applicant must attach the certificate referred to under "Assessor Details" on the front page of this BASIX certificate (the "Assessor Certificate") to the development application and construction certificate application for the proposed development (or, if the applicant is applying for a complying development certificate for the proposed development, to that application). The applicant must also attach the Assessor Certificate to the application for an occupation certificate for the proposed development.
The Assessor Certificate must have been issued by an Accredited Assessor in accordance with the Thermal Comfort Protocol.
The details of the proposed development on the Assessor Certificate must be consistent with the details shown in this BASIX certificate, including the Cooling and Heating loads shown on the front page of this certificate.
The applicant must show on the plans accompanying the development application for the proposed development, all matters which the Assessor Certificate requires to be shown on those plans. Those plans must bear a stamp of endorsement from the Accredited Assessor to certify that this is the case. The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), all thermal performance specifications set out in the Assessor Certificate, and all aspects of the proposed development which were used to calculate those specifications.
The applicant must construct the development in accordance with all thermal performance specifications set out in the Assessor Certificate, and in accordance with those aspects of the development application or application for a complying development certificate which were used to calculate those specifications.
The applicant must construct the floors and walls of the dwelling in accordance with the specifications listed in the table below.

Wall Legend

Denotes New Timber Framed Wall



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BUILDING
DESIGNERS
AUSTRALIA NSW

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NOTES
36 Myola Road, Newport is zoned R2 Low Density Residential
All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
36 Myola Road, Newport is not considered a heritage item

Construction
Concrete and Timber, Cladded and Masonry Walls
Roof Sheet Metal to have R5 Insulation
Insulation to External Cladded and Masonry Walls R2.7
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS 283-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Certifying
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Basix
Basix Certificate Number 1203317S_02
All Plans to be read in conjunction with Basix Certificate
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.
Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door,

Project North
N

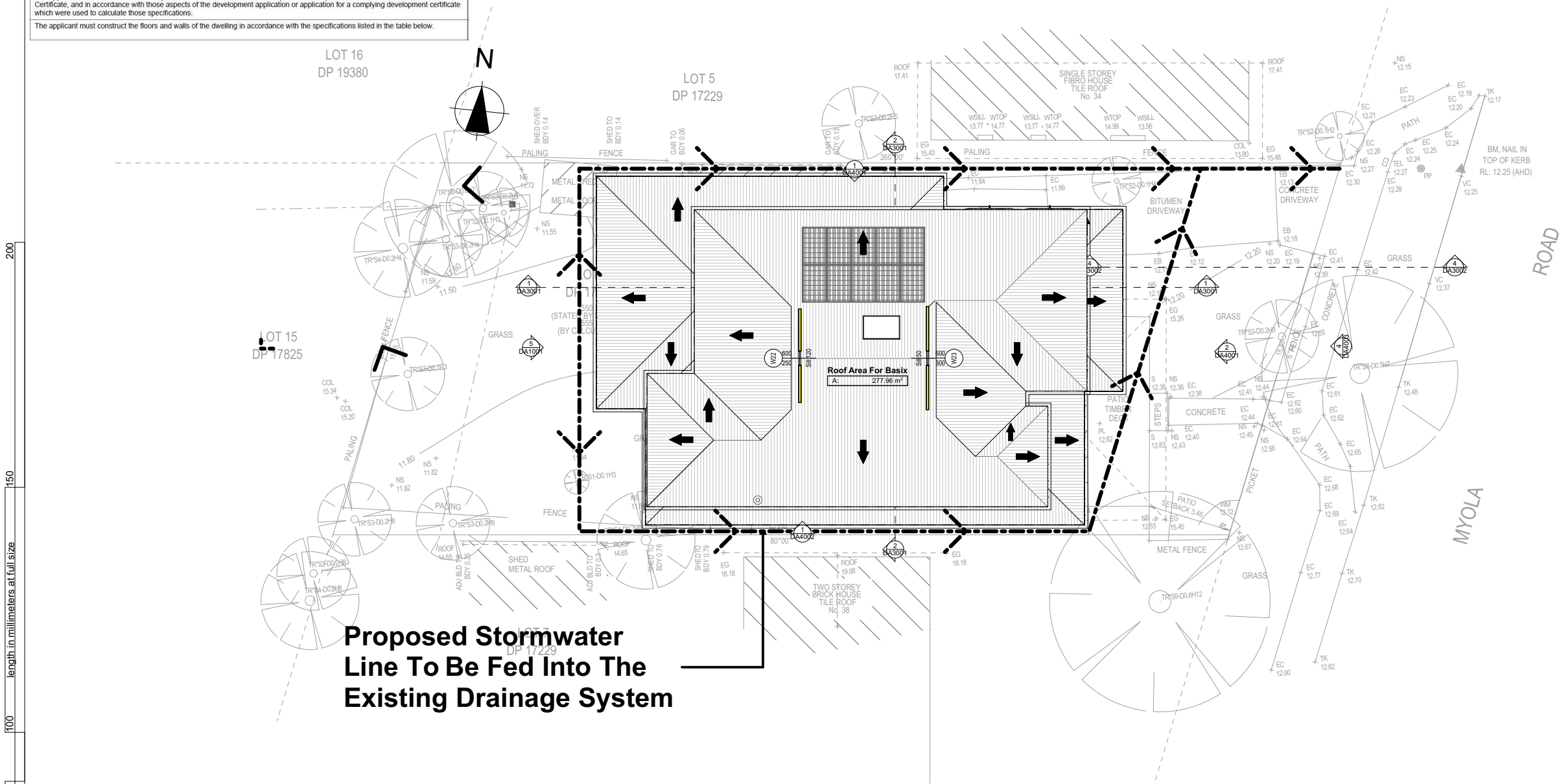
DA APPLICATION ONLY
NOT FOR CONSTRUCTION

The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

Client
Frank Kohlman
Project Name
New Dwelling
36 Myola Road, Newport

Lot 6 D.P. 17229
Drawing Title:

Site Plans - Stormwater Plan			
Stormwater Plan			
Scale: A3 as noted	Date: 5/5/21		
Status: DA	Checked By: GBJ		
Project No: RP0920KOH	Drawing No. DA1010		



Stormwater Plan
1:200

1

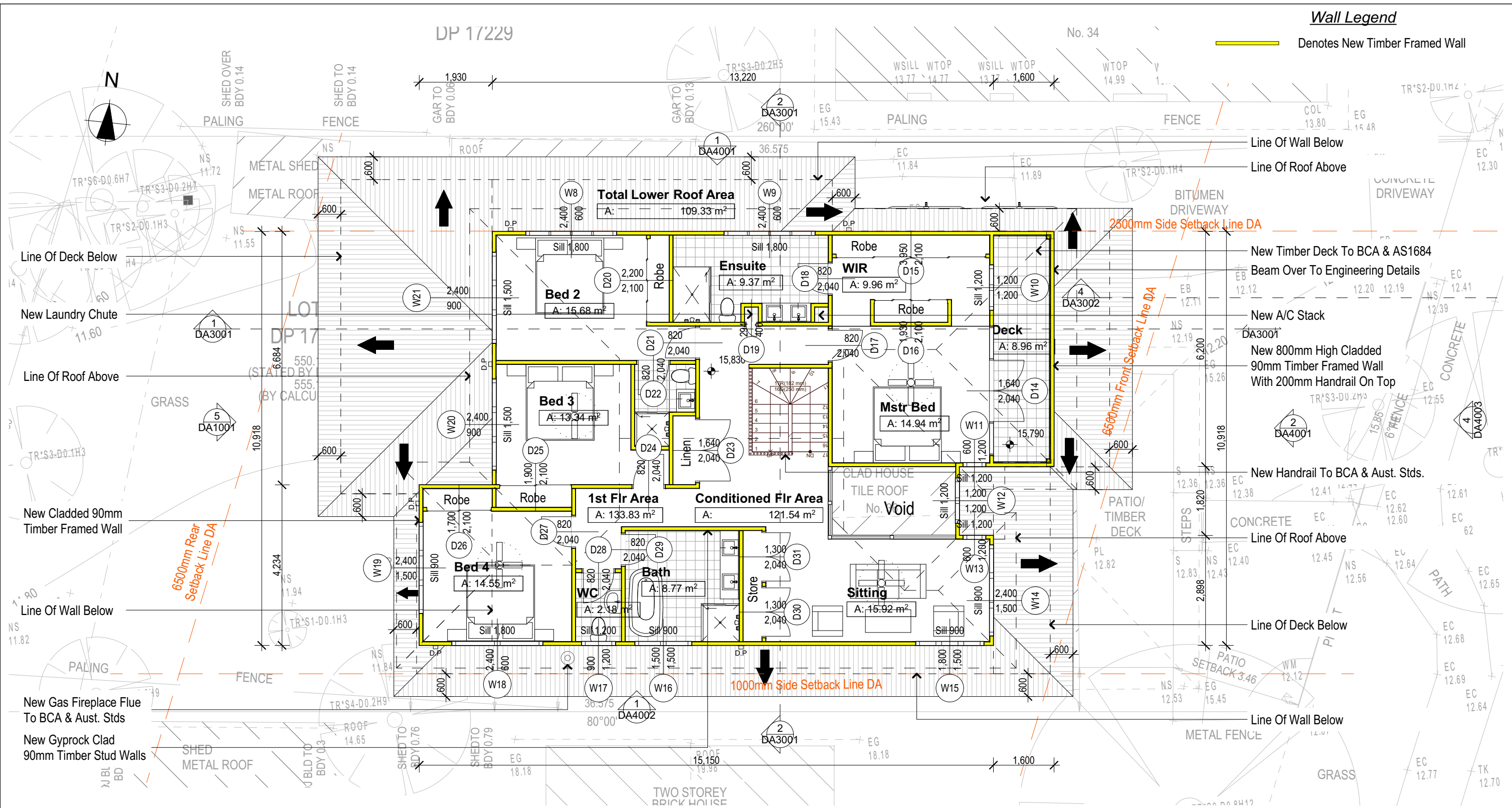
Water Commitments
Landscape
The applicant must plant indigenous or low water use species of vegetation throughout 272.25 square metres of the site.
Fixtures
The applicant must install showerheads with a minimum rating of 4 star (> 6 but <= 7.5 L/min plus spray force and/or coverage tests) in all showers in the development.
The applicant must install a toilet flushing system with a minimum rating of 3 star in each toilet in the development.
The applicant must install taps with a minimum rating of 4 star in the kitchen in the development.
The applicant must install basin taps with a minimum rating of 4 star in each bathroom in the development.
Alternative water
Rainwater tank
The applicant must install a rainwater tank of at least 5400 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.
The applicant must configure the rainwater tank to collect rain runoff from at least 277 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam).
The applicant must connect the rainwater tank to:
• at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.)

Energy Commitments
Hot water
The applicant must install the following hot water system in the development, or a system with a higher energy rating: solar (gas boosted, flat plate) with a performance of 26 to 30 STCs or better.
Cooling system
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: ceiling fans + 3-phase airconditioning: Energy rating: EER 2.5 - 3.0
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom: ceiling fans + 3-phase airconditioning: Energy rating: EER 2.5 - 3.0
The cooling system must provide for day/night zoning between living areas and bedrooms.
Heating system
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area: gas fixed fuel heater: Energy rating: 3 Star
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 bedroom: 3-phase airconditioning: Energy rating: EER 2.5 - 3.0
Ventilation
The applicant must install the following exhaust systems in the development:
At least 1 Bathroom: no mechanical ventilation (ie. natural): Operation control: n/a
Kitchen: individual fan, ducted to façade or roof: Operation control: manual switch on/off
Laundry: natural ventilation only, or no laundry: Operation control: n/a
Artificial lighting
The applicant must ensure that the "primary type of artificial lighting" is fluorescent or light emitting diode (LED) lighting in each of the following rooms, and where the word "dedicated" appears, the fittings for those lights must only be capable of accepting fluorescent or light emitting diode (LED) lamps:
• at least 5 of the bedrooms / study; dedicated
• at least 2 of the living / dining rooms; dedicated

Energy Commitments
• the kitchen; dedicated
• all bathrooms/toilets; dedicated
• the laundry; dedicated
• all hallways; dedicated
Natural lighting
The applicant must install a window and/or skylight in the kitchen of the dwelling for natural lighting.
The applicant must install a window and/or skylight in 5 bathroom(s)/toilet(s) in the development for natural lighting.
Alternative energy
The applicant must install a photovoltaic system with the capacity to generate at least 7.5 peak kilowatts of electricity as part of the development. The applicant must connect this system to the development's electrical system.
Other
The applicant must install a gas cooktop & electric oven in the kitchen of the dwelling.
The applicant must construct each refrigerator space in the development so that it is "well ventilated", as defined in the BASIX definitions.
The applicant must install a fixed outdoor clothes drying line as part of the development.

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	555.1m ²	Yes	Building envelope	8.5m@45Deg	Variation
Housing Density (dwelling/m ²)	1	Yes	% of landscape open space (50% min)	50%	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes	Impervious area (m ²)	50%	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes	Maximum cut into gnd (m)	N/A	Yes
Front Setback (Min.)	6.5m	Yes	Maximum depth of fill (m)	658mm	Yes
Rear Setback (Min.)	6.0m	Yes	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	0.9m	Variation			

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans



Wall Legend

Denotes New Timber Framed Wall

DA APPLICATION ONLY
NOT FOR CONSTRUCTION

NOTES

36 Myola Road, Newport is zoned R2 Low Density Residential
All Plans to be read in conjunction with Basic Certificate
New Works to be constructed shown in Shaded/Blue
36 Myola Road, Newport is not considered a heritage item

Certifying

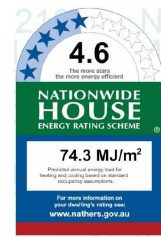
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Construction

Concrete and Timber, Cladded and Masonry Walls
Roof Sheet Metal to have R5 Insulation
Insulation to External Cladded and Masonry Walls R2.7
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS 1288-2014
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix

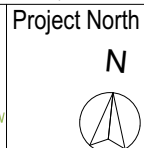
Basix Certificate Number 1203317S_02
All Plans to be read in conjunction with Basic Certificate
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Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.



Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	555.1m ²	Yes	Building envelope	3.5m/45Deg	Variation
Housing Density (dwelling/m ²)	1	Yes	% of landscape open space (50% min)	50%	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes	Impervious area (m ²)	50%	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes	Maximum cut into grd (m)	N/A	Yes
Front Setback (Min.)	6.5m	Yes	Maximum depth of fill (m)	658mm	Yes
Rear Setback (Min.)	6.0m	Yes	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	0.9m	Variation			



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The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.
Client:
Frank Kohlman
Sheet Size: A3

Client
Frank Kohlman
Project Name
New Dwelling
36 Myola Road, Newport

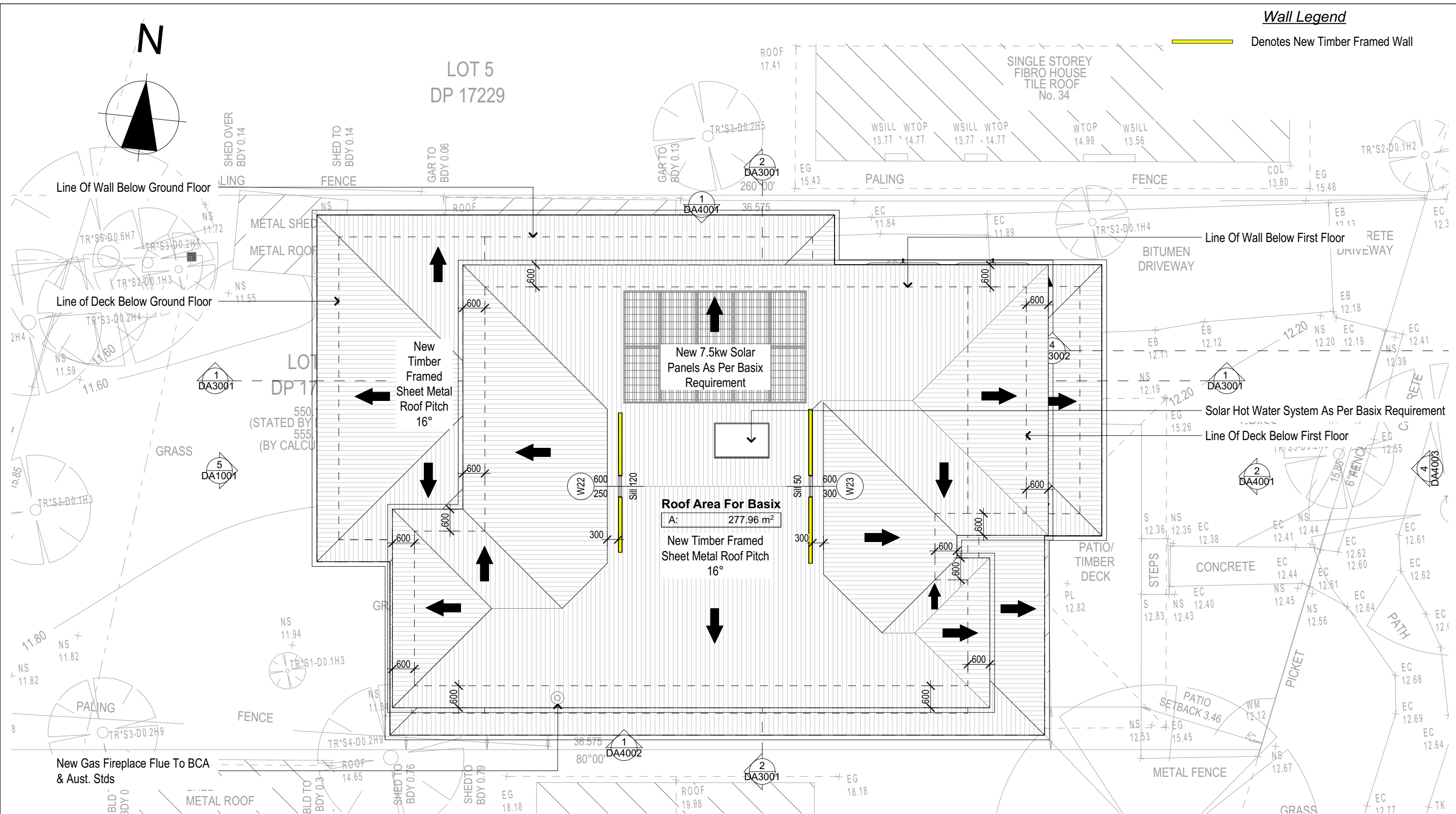
Lot 6 D.P.17229
Drawing Title:
Plans - 1st Floor Plan
1st Floor Plan

Scale: A3 as noted
Status: DA
Project No.
RP0920KOH

Date: 5/5/21
Checked By: GBJ
Drawing No.
DA2002

Wall Legend

Denotes New Timber Framed Wall



1

Roof Plan
1:100

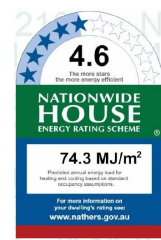
**DA APPLICATION
ONLY
NOT FOR CONSTRUCTION**

Construction

Concrete and Timber, Cladded and Masonry Walls
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Insulation to External Cladded and Masonry Walls R2.7
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All work to Engineers Specification and BCA
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Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix

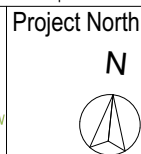
Basix Certificate Number 1203317S_02
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Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	555.1m2	Yes	Building envelope	3.5m@45Deg	Variation
Housing Density (dwelling/m2)	1	Yes	% of landscape open space (50% min)	50%	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes	Impervious area (m2)	50%	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes	Maximum cut into grd (m)	N/A	Yes
Front Setback (Min.)	6.5m	Yes	Maximum depth of fill (m)	658mm	Yes
Rear Setback (Min.)	6.0m	Yes	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	0.9m	Variation			



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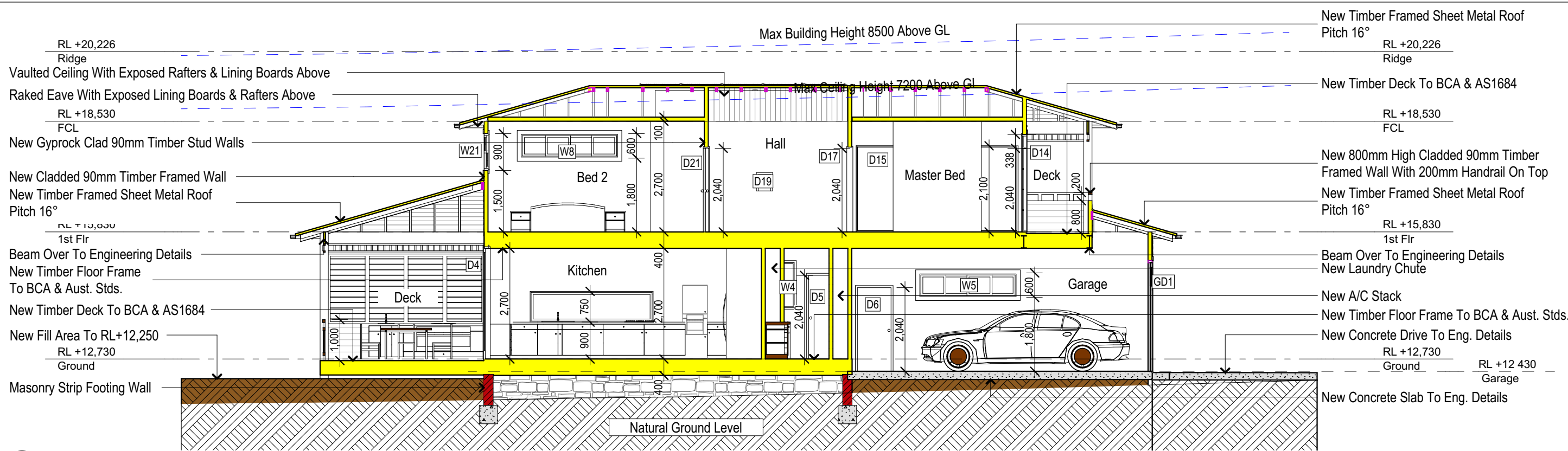
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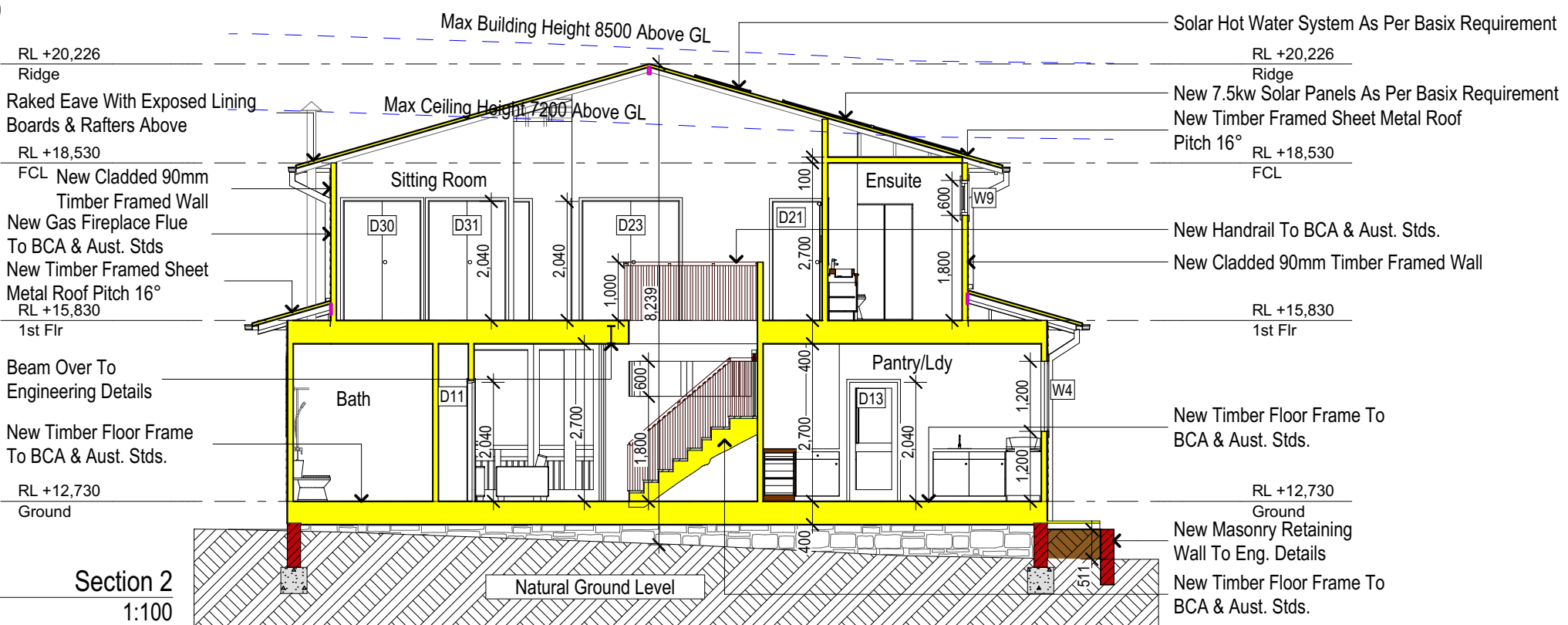
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Client:
Frank Kohlman
Sheet Size: A3

Client
Frank Kohlman
Project Name
New Dwelling
36 Myola Road, Newport

Lot 6 D.P.17229	Scale: A3 as noted	Date: 5/5/21
Drawing Title:	Status: DA	Checked By: GBJ
Plans - Roof Plan Roof Plan	Project No. RP0920KOH	Drawing No. DA2003



1 Section 1
1:100



2 Section 2
1:100

Wall Legend

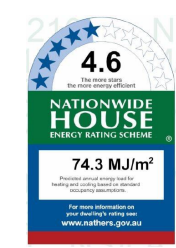
	Denotes New Timber Framed Wall
	Denotes New Concrete
	Denotes New Masonry Wall

DA APPLICATION ONLY
NOT FOR CONSTRUCTION

NOTES
36 Myola Road, Newport is zoned R2 Low Density Residential
All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
36 Myola Road, Newport is not considered a heritage item
Certifying
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Construction
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Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

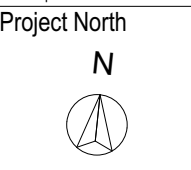
Basix
Basix Certificate Number 1203317S_02
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Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	555.1m2	Yes	Building envelope	3.5m@45Deg	Variation
Housing Density (dwelling/m2)	1	Yes	% of landscape open space (50% min)	50%	Yes
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Max Bldg Ht Above Nat. GL	8.5m	Yes	Maximum cut into gnd (m)	N/A	Yes
Front Setback (Min.)	6.5m	Yes	Maximum depth of fill (m)	658mm	Yes
Rear Setback (Min.)	6.0m	Yes	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	0.9m	Variation			



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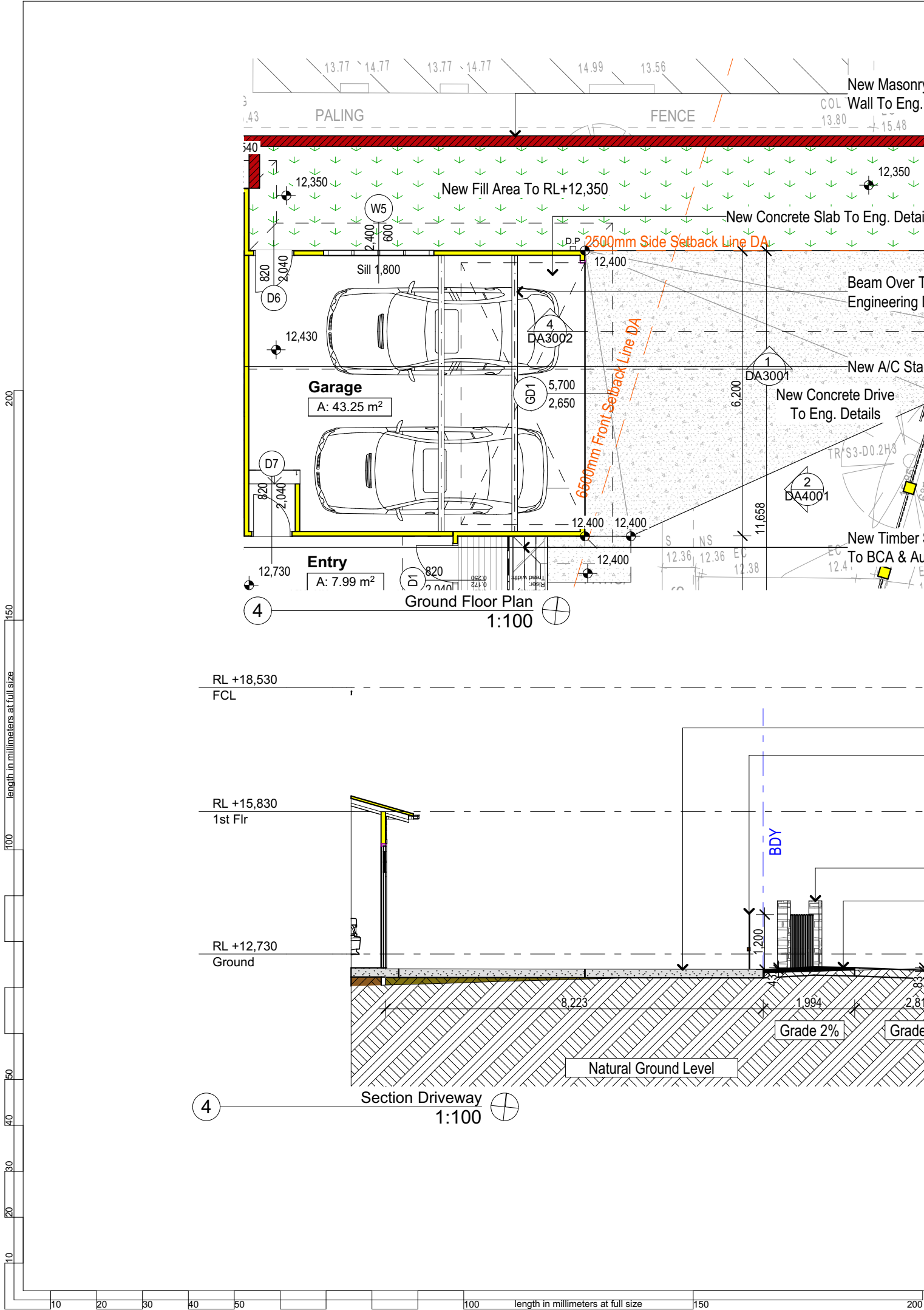
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Client:
Frank Kohlman
Sheet Size: A3

Client
Frank Kohlman
Project Name
New Dwelling
36 Myola Road, Newport

Lot 6 D.P.17229	Scale: A3 as noted	Date: 5/5/21
Drawing Title:	Status: DA	Checked By: GBJ
Sections - Section 1 Section 1, Section 2	Project No. RP0920KOH	Drawing No. DA3001



- Wall Legend**
- Denotes New Timber Framed Wall
 - Denotes New Concrete
 - Denotes New Masonry Wall

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bda BUILDING DESIGNERS AUSTRALIA NSW

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NOTES
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All Plans to be read in conjunction with Basic Certificate New Works to be constructed shown in Shaded/Blue 36 Myola Road, Newport is not considered a heritage item

Construction
Concrete and Timber, Cladded and Masonry Walls
Roof Sheet Metal to have R5 Insulation
Insulation to External Cladded and Masonry Walls R2.7
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS 01283-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Certifying
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Basix
Basix Certificate Number 1203317S_02
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Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door,

Project North N

DA APPLICATION ONLY
NOT FOR CONSTRUCTION

The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

Client
Frank Kohlman
Project Name
New Dwelling
36 Myola Road, Newport

Lot 6 D.P. 17229
Drawing Title:

Sections - Section Drive
Ground Floor Plan, Section Driveway

Scale: A3 as noted
Status: DA
Date: 5/5/21
Checked By: GBJ

Project No:
Drawing No:
RP0920KOH DA3002

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	555.1m ²	Yes	Building envelope	3.5m@45Deg Variation	
Housing Density (dwelling/m ²)	1	Yes	% of landscape open space (50% min)	50%	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes	Impervious area (m ²)	50%	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes	Maximum cut into gnd (m)	N/A	Yes
Front Setback (Min.)	6.5m	Yes	Maximum depth of fill (m)	658mm	Yes
Rear Setback (Min.)	6.0m	Yes	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	0.9m	Variation			

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

New 7.5kw Solar Panels As Per
Basix Requirement

RL +20,226
Ridge

Raked Eave With Exposed Lining
Boards & Rafters Above

RL +18,530
FCL

RL +17,870
Garage

Beam Over To Engineering Details

New Timber Post

RL +15,830
1st Flr

New 800mm High Cladded
90mm Timber Framed Wall
With 200mm Handrail On Top

New Concrete Drive
To Eng. Details

RL +12,730
Ground

New Masonry Retaining
Wall To Eng. Details

Max Building Height 8500 Above GL

Max Ceiling Height 7200 Above GL

Solar Hot Water System As Per Basix Requirement

RL +20,226
Ridge

New Timber Framed Sheet Metal Roof Pitch
RL +18,530
FCL

New Cladded 90mm Timber Framed Wall

New Timber Framed Sheet Metal Roof Pitch

RL +15,830
1st Flr

New Timber Post

New Cladded 90mm Timber Framed Wall

New Fill Area To RL+12,250

RL +12,730
Ground

Masonry Strip Footing Wall

North
1:100

Natural Ground Level

RL +20,226
Ridge

New Gas Fireplace Flue
To BCA & Aust. Stds

RL +18,530
FCL

RL +15,830
1st Flr

New Timber Post

New Timber Deck To
BCA & AS1684

New Handrail To BCA & Aust. Stds.

Building Envelope

RL +12,730
Ground

Max Building Height 8500 Above GL

Max Ceiling Height 7200 Above GL

RL +20,226
Ridge

Raked Eave With Exposed
Lining Boards & Rafters Above

New Timber Framed Sheet Metal Roof Pitch 16°
RL +18,530
FCL

New Timber Post

New 800mm High Cladded 90mm Timber
Framed Wall With 200mm Handrail On Top

New Timber Framed Sheet Metal Roof Pitch 16°

RL +15,830
1st Flr

New Cladded 90mm Timber Framed Wall

New Concrete Drive To Eng. Details

New Fill Area To RL+12,250

RL +12,730
Ground

Wall Legend

Denotes New Timber Framed Wall/Floor

Denotes New Masonry Wall

NOTES

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Certifying

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Construction

Concrete and Timber, Cladded and Masonry Walls
Roof Sheet Metal to have R5 Insulation
Insulation to External Cladded and Masonry Walls R2.7
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix

Basix Certificate Number 1203317S_02

All Plans to be read in conjunction with Basix Certificate

The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:

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b) insulation specified is not required for parts of altered construction where insulation already exists.

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.

For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door,

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NOT FOR CONSTRUCTION**



Rapid Plans
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PO Box 6193 Frenchs Forest
DC NSW 2086
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Email: gregg@rapidplans.com.au



Project North
N

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Client:
Frank Kohlman
Sheet Size: A3

Client:
Frank Kohlman
Project Name
New Dwelling
36 Myola Road, Newport



Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	555.1m ²	Yes	Building envelope	3.5m@45Deg	Variation
Housing Density (dwelling/m ²)	1	Yes	% of landscape open space (50% min)	50%	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes	Impervious area (m ²)	50%	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes	Maximum cut into grd (m)	N/A	Yes
Front Setback (Min.)	6.5m	Yes	Maximum depth of fill (m)	658mm	Yes
Rear Setback (Min.)	6.0m	Yes	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	0.9m	Variation			

Lot 6 D.P.17229	Scale: A3 as noted	Date: 5/5/21
Drawing Title:	Status: DA	Checked By: GBJ
Elevations - Elevations 1 North, East	Project No. RP0920KOH	Drawing No. DA4001

New Gas Fireplace Flue To BCA & Aust. Stds

RL +20,226

Ridge

New Timber Framed Sheet Metal Roof Pitch 16°

Raked Eave With Exposed Lining Boards & Rafters Above

RL +18,530

FCL

New Cladded 90mm Timber Framed Wall

New Timber Framed Sheet Metal Roof

Pitch 16°

RL +15,830

1st Flr

New Timber Post

New Timber Deck To

BCA & AS1684

New Masonry Retaining

Wall To Eng. Details/ Low

RL +12,730

Ground

Max Building Height 8500 Above GL

Max Ceiling Height 7200 Above GL

RL +20,226

Ridge

RL +18,530

FCL

New Timber Post

New 800mm High Cladded 90mm Timber
Framed Wall With 200mm Handrail On Top

New Timber Framed Sheet Metal Roof Pitch 16°

RL +15,830

1st Flr

Beam Over To Engineering Details

New Handrail To BCA & Aust. Stds.

New Timber Post

RL +12,730

Ground

RL +12 430

Garage

Natural Ground Level

South
1:100

Solar Hot Water System As Per Basix
Requirement

RL +20,226

Ridge

New 7.5kw Solar Panels As
Per Basix Requirement

RL +18,530

FCL

Max Building Height 8500 Above GL

Max Ceiling Height 7200 Above GL

RL +20,226

Ridge

New Timber Framed Sheet Metal Roof Pitch 16°

RL +18,530

FCL

New Cladded 90mm Timber Framed Wall

New Timber Framed Sheet Metal Roof Pitch 16°

RL +15,830

1st Flr

New Cladded 90mm Timber Framed Wall

New Timber Deck To BCA & AS1684

New Handrail To BCA & Aust. Stds.

RL +12,730

Ground

New Masonry Wall

Natural Ground Level

West
1:100

NOTES

36 Myola Road, Newport is zoned R2 Low Density Residential
All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
36 Myola Road, Newport is not considered a heritage item

Certifying

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without the written permission of Rapid Plans or the supply of authorised Construction
Certificate drawings by Rapid Plans

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Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact
fluorescent lamps

Basix

Basix Certificate Number 1203317S_02

All Plans to be read in conjunction with Basix Certificate

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Client:

Frank Kohlman

Sheet Size: A3

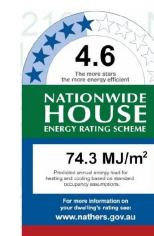
Client:

Frank Kohlman

Project Name

New Dwelling

36 Myola Road, Newport

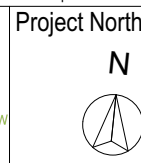


Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	555.1m ²	Yes	Building envelope	3.5m@45Deg	Variation
Housing Density (dwelling/m ²)	1	Yes	% of landscape open space (50% min)	50%	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes	Impervious area (m ²)	50%	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes	Maximum cut into grd (m)	N/A	Yes
Front Setback (Min.)	6.5m	Yes	Maximum depth of fill (m)	658mm	Yes
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Min. side bdy setback (Min.)	0.9m	Variation			

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Date: 5/5/21

Checked By: GBJ

Drawing No.

DA4002

Lot 6 D.P.17229

Drawing Title:

Elevations - Elevations 2
South, West

Scale: A3 as noted

Status: DA

Project No.

RP0920KOH

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Plans 2021

NOTES
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Glazing to BCA and AS 01288-2047
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New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Certifying
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Project North N

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Client
Frank Kohlman
Project Name
New Dwelling
36 Myola Road, Newport

Lot 6 D.P.-17229
Drawing Title:

Elevations - Elevation Front Fence

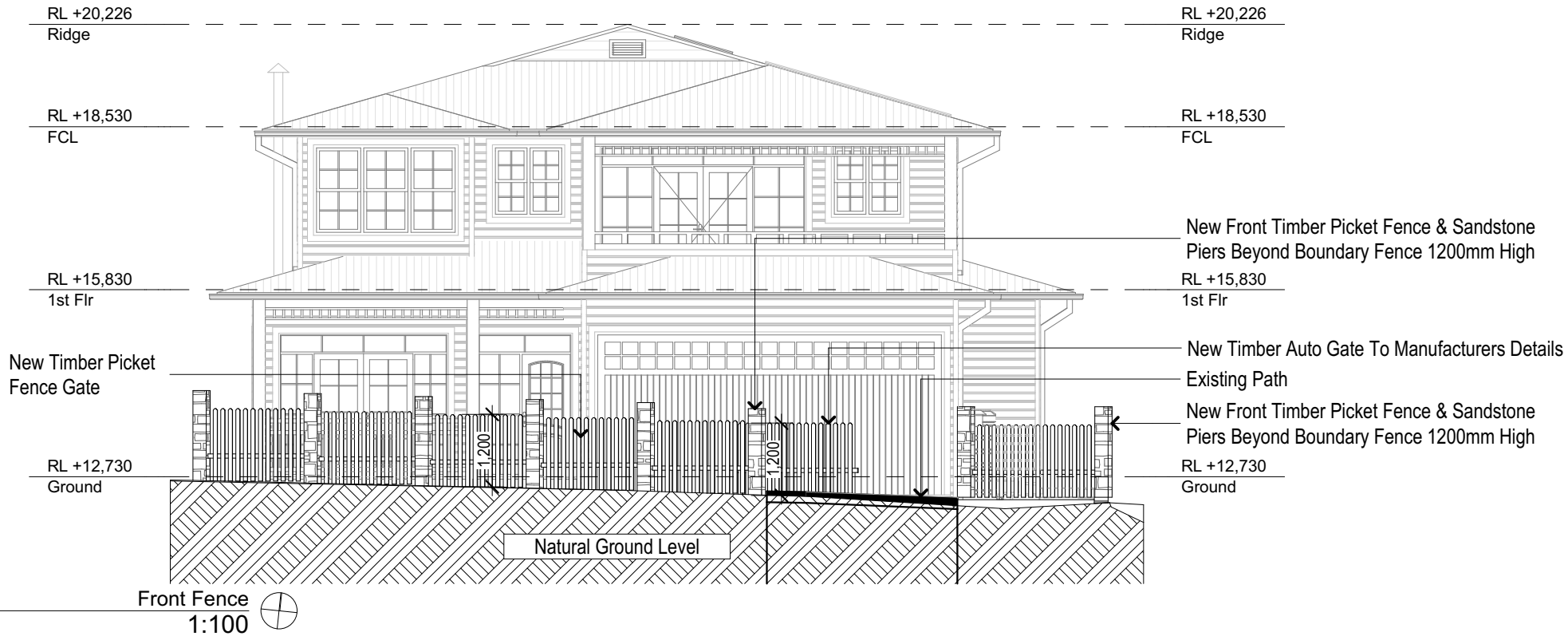
Front Fence

Scale: A3 as noted Date: 5/5/21

Status: DA Checked By: GBJ

Project No: RP0920KOH Drawing No.

DA4003



Typical Type Sliding
Gate System. Easy Gate
or Similar



Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	555.1m ²	Yes	Building envelope	3.5m@45Deg Variation	
Housing Density (dwelling/m ²)	1	Yes	% of landscape open space (50% min)	50%	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes	Impervious area (m ²)	50%	Yes
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Rear Setback (Min.)	6.0m	Yes	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	0.9m	Variation			

Builder to Check and Confirm all Measurements Prior to Commencement
of any works. Immediately Report any Discrepancies to Rapid Plans



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NOTES

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Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix

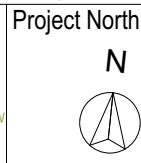
Basix Certificate Number 1203317S_02
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Min. side bdy setback (Min.)	0.9m	Variation			



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Client:
Frank Kohlman
Sheet Size: A3

Client
Frank Kohlman
Project Name
New Dwelling
36 Myola Road, Newport

Lot 6 D.P.17229	Scale: A3 as noted	Date: 5/5/21
Drawing Title: Sunstudy - Perspective 1, 2	Status: DA Project No. RP0920KOH	Checked By: GBJ Drawing No. DA5001



Denotes Sandstone Footing Strip Wall (Typical). Owner To Confirm Type & Colour.



Denotes Timber Deck Floor (Typical). Owner To Confirm Type & Colour.



Denotes Cladded Wall (Typical). Owner To Confirm Type & Colour.



Denotes Metal Framed Windows & Doors (Typical). Owner To Confirm Type & Colour.



Denotes Garage Door (Typical). Owner To Confirm Type & Colour.



Denotes Sheet Metal Roof (Typical). Owner To Confirm Type & Colour.



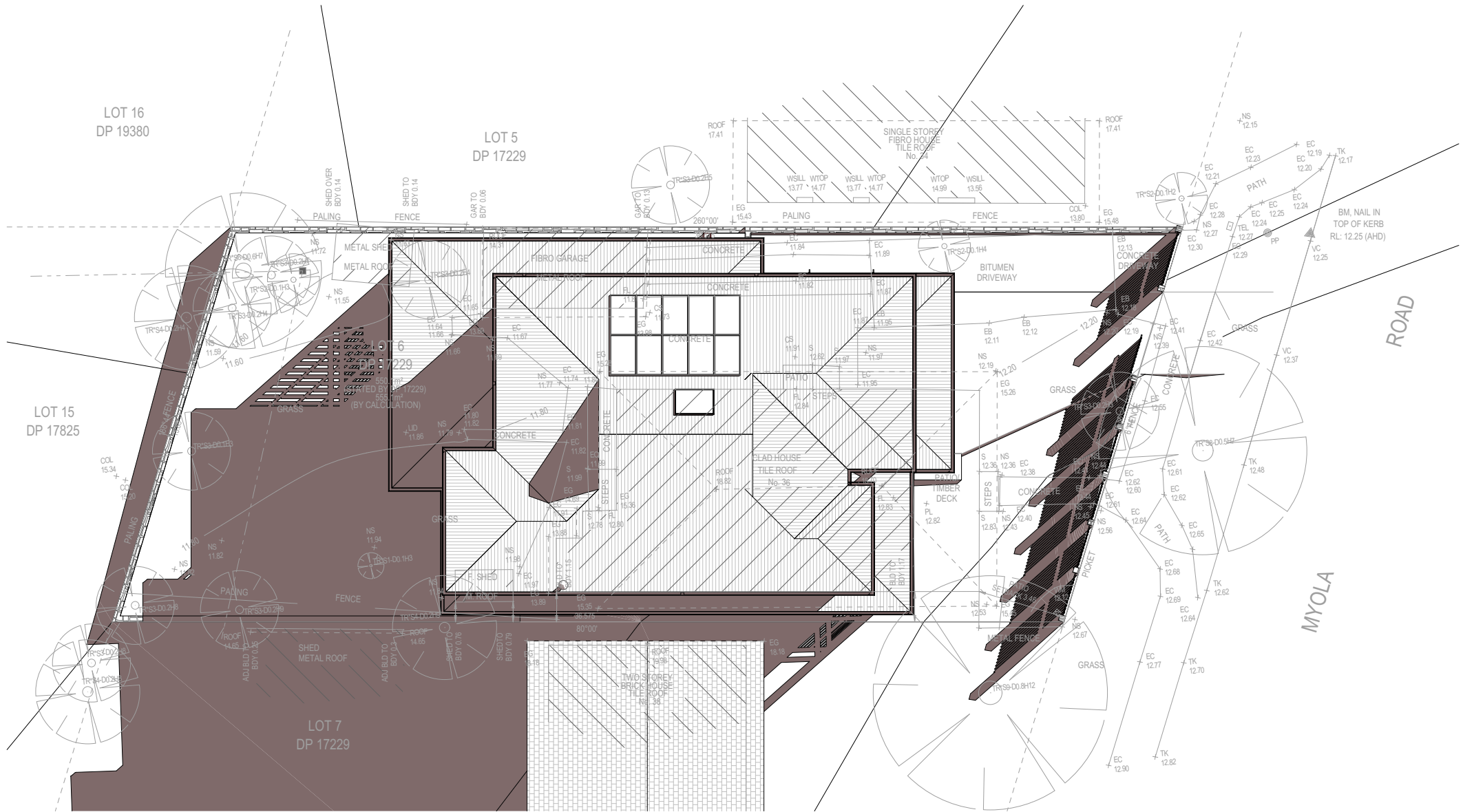
Denotes Colonial Handrail (Typical). Owner To Confirm Type & Colour.



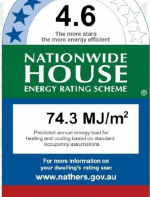
Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	555.1m ²	Yes	Building envelope	3.5m@45Deg	Variation
Housing Density (dwelling/m ²)	1	Yes	% of landscape open space (50% min)	50%	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes	Impervious area (m ²)	50%	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes	Maximum cut into gnd (m)	N/A	Yes
Front Setback (Min.)	6.5m	Yes	Maximum depth of fill (m)	658mm	Yes
Rear Setback (Min.)	6.0m	Yes	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	0.9m	Variation			

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Denotes Proposed Shadow



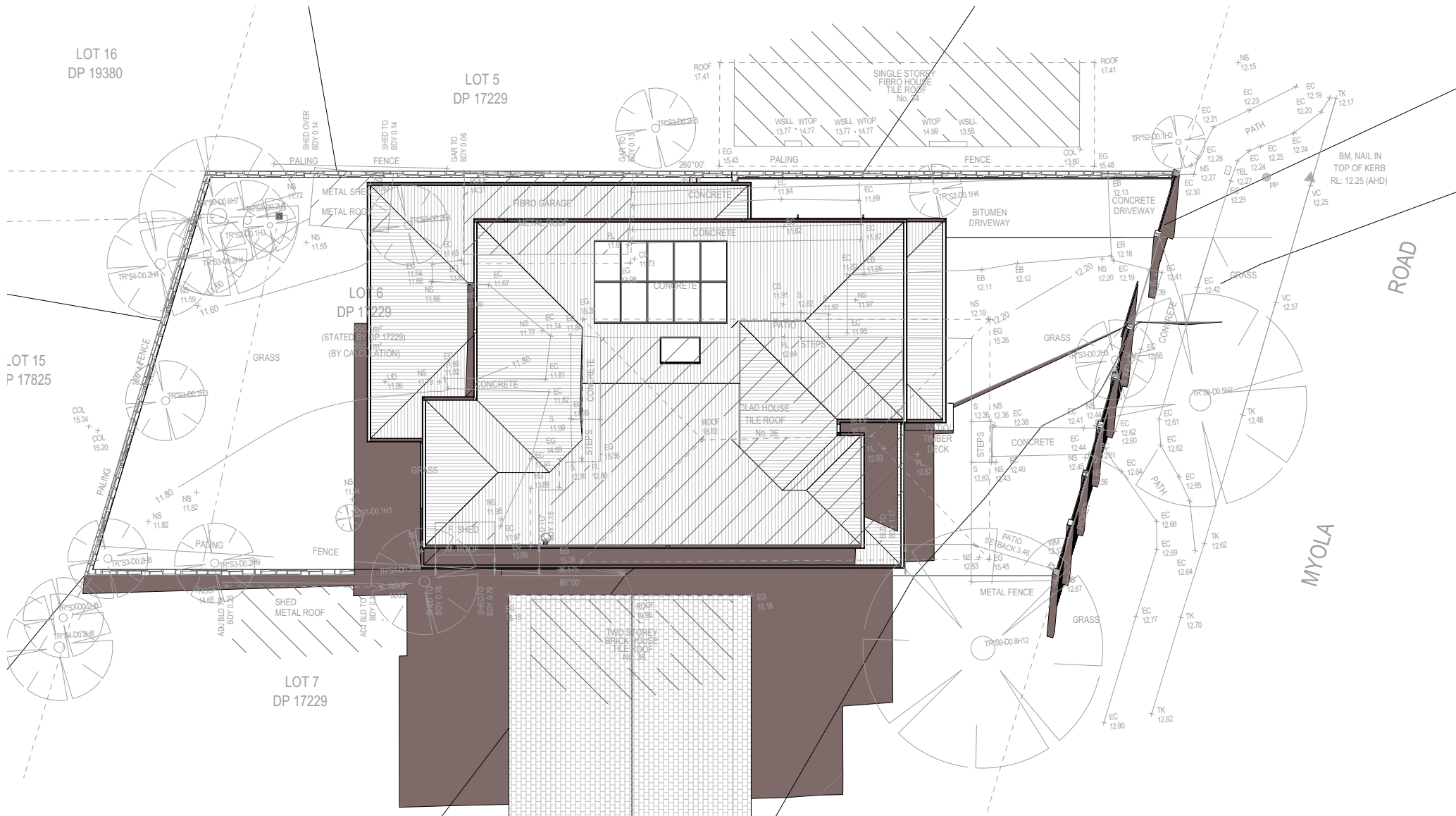
1 Jun-21-9am 1:200



Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
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Housing Density (dwelling/m ²)	1	Yes	% of landscape open space (50% min)	50%	Yes
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Min. side bdy setback (Min.)	0.9m	Variation			

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Denotes Proposed Shadow



1 Jun-21-12pm 1:200

4.6

the more energy efficient

NATIONWIDE HOUSE ENERGY RATING SCHEME

74.3 MJ/m²

For more information on energy ratings visit www.nathers.gov.au

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	555.1m ²	Yes	Building envelope	3.5m@45Deg Variation	
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Min. side bdy setback (Min.)	0.9m	Variation			

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Denotes Proposed Shadow



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NOTES
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Project North N

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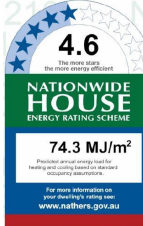
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Client
Frank Kohlman
Project Name
New Dwelling
36 Myola Road, Newport

Lot 6 D.P. 17229
Drawing Title:
Sunstudy - June 21st Shadow - 3pm
Jun-21-3pm

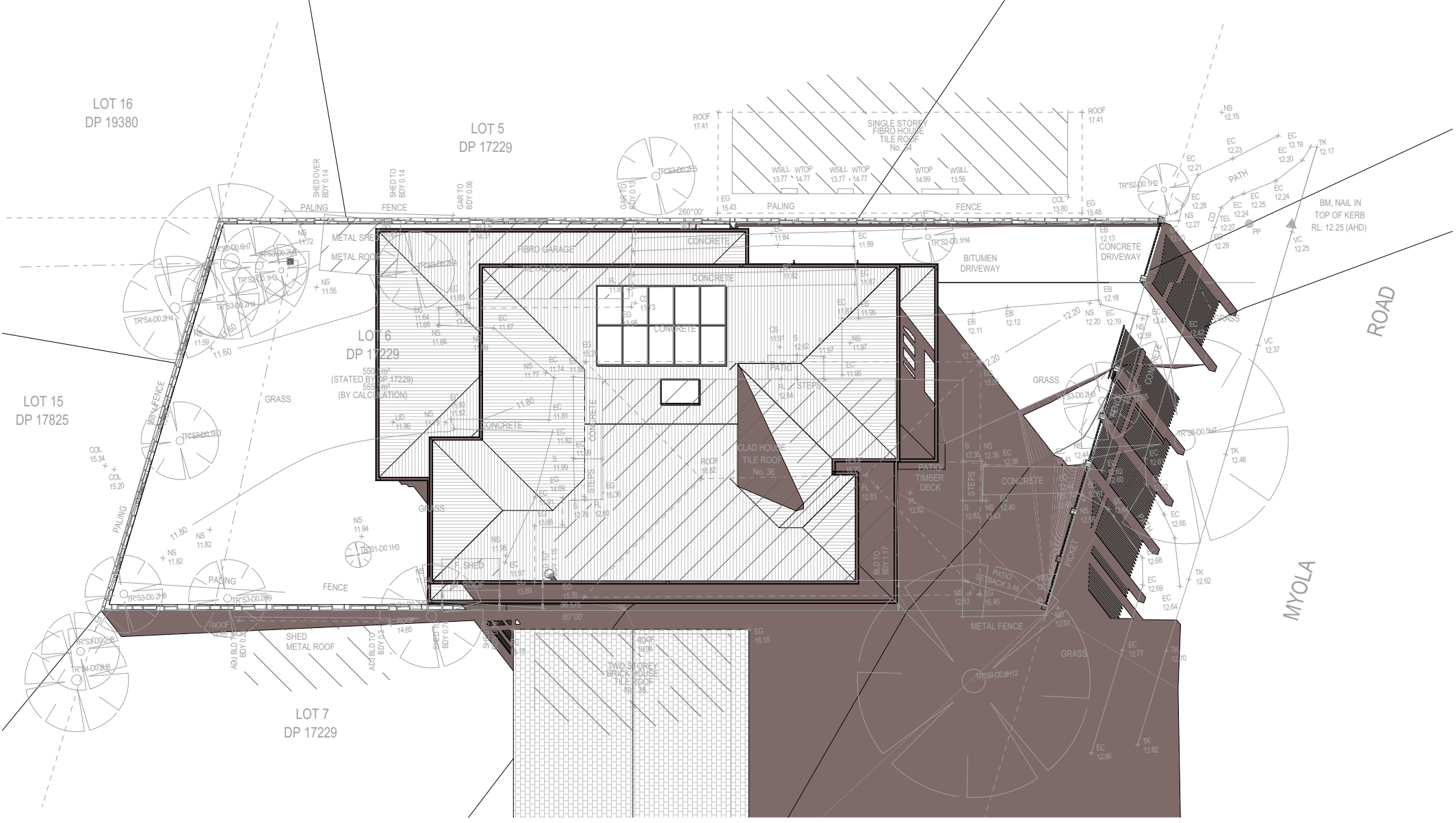
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Status: DA
Checked By: GBJ

Project No:
RP0920KOH
Drawing No:
DA5005



Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	555.1m ²	Yes	Building envelope	3.5m@45Deg Variation	
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Rear Setback (Min.)	6.0m	Yes	No. of car spaces provided	2	Yes
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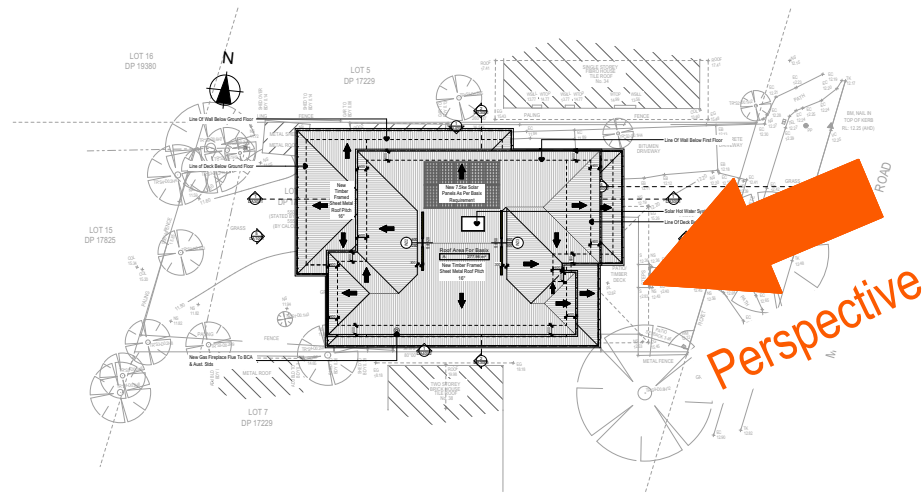
Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans



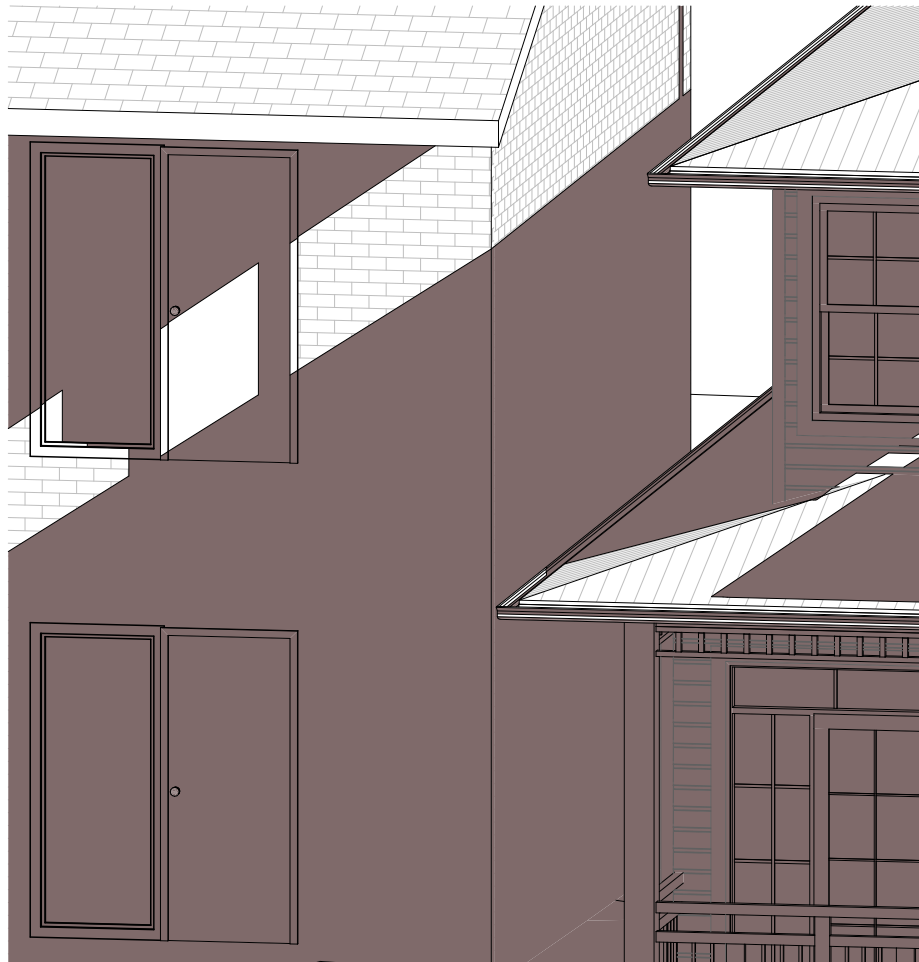
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length in millimeters at full size

length in millimeters at full size



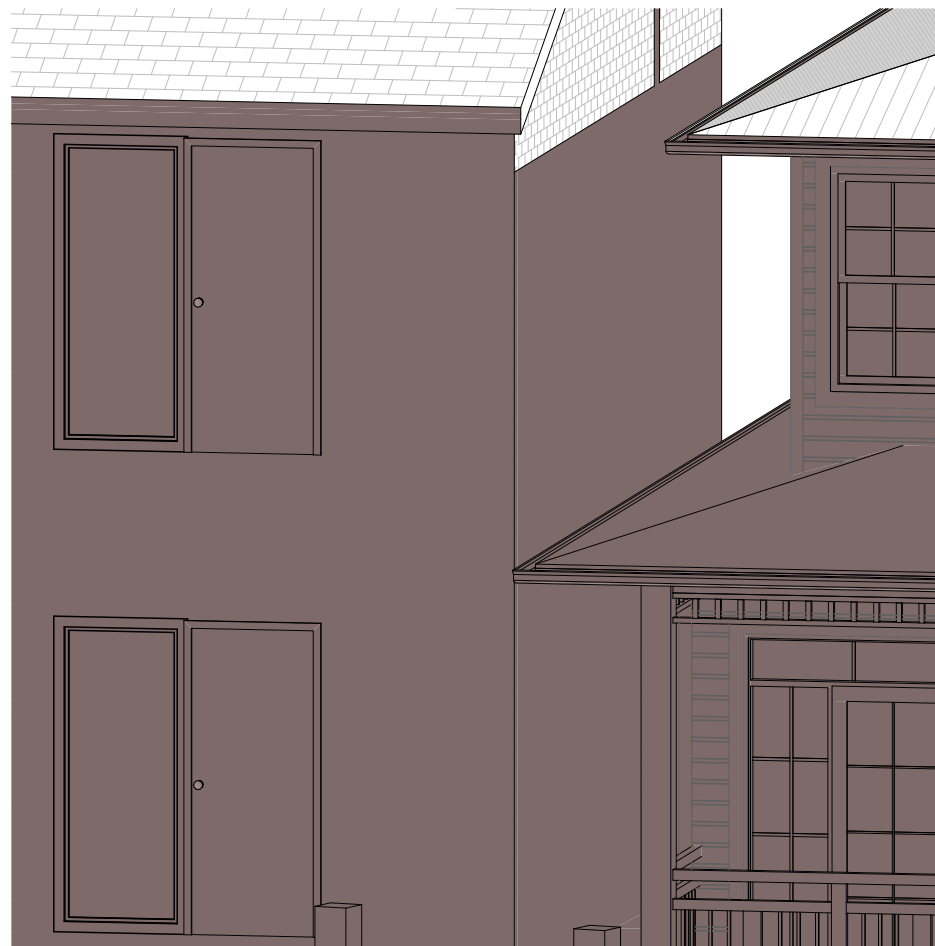
4 Roof Plan 1:500



4 Wall Elev 12pm 1:50



4 Wall Elev 9am 1:50



4 Wall Elev 3pm 1:50



Denotes Proposed Shadow



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NOTES
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The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.
Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door,

Project North N

DA APPLICATION ONLY
NOT FOR CONSTRUCTION

The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

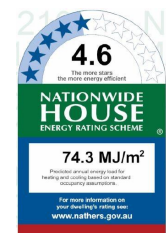
Client
Frank Kohlman
Project Name
New Dwelling
36 Myola Road, Newport

Lot 6 D.P. 17229
Drawing Title:

Sunstudy - Wall Elevation Shadow
Wall Elev 9am, Wall Elev 12pm, Wall Elev 3pm,

as noted Date: 5/5/21
Status: DA Checked By: GBJ

Project No: RP0920KOH
Drawing No: DA5006



Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	555.1m ²	Yes	Building envelope	3.5m@45Deg Variation	
Housing Density (dwelling/m ²)	1	Yes	% of landscape open space (50% min)	50%	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes	Impervious area (m ²)	50%	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes	Maximum cut into gnd (m)	N/A	
Front Setback (Min.)	6.5m	Yes	Maximum depth of fill (m)	658mm	Yes
Rear Setback (Min.)	6.0m	Yes	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	0.9m	Variation			

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans