

EXISTING SITE AREA - 711.20 sqm

SITE COVER = 405 sqm

SOFT LANDSCAPED AREA = 303.50 sqm (42.5 %)

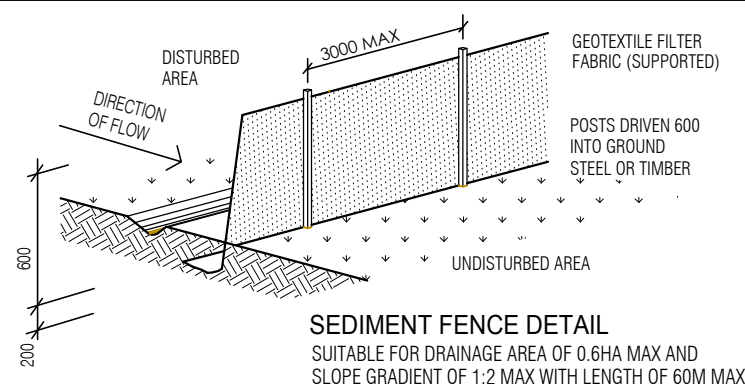
TOTAL PRIVATE OPEN SPACE AREA - 158 sqm

GROUND FLOOR GFA	=	149.00 sqm
FIRST FLOOR GFA	=	137.50 sqm
TOTAL GFA	=	286.50 sqm

INSTALL SEDIMENT CONTROL STRUCTURES IN LOCATIONS INDICATED ON THIS DRAWING AND AS OTHERWISE REQUIRED TO CONTROL SEDIMENT DURING ALL EXCAVATIONS AND WHICH EVER AREAS OF THE SITE ARE EXPOSED TO EROSION. CONTROL STRUCTURES TO BE AS DETAILED OR AS OTHERWISE REQUIRED.

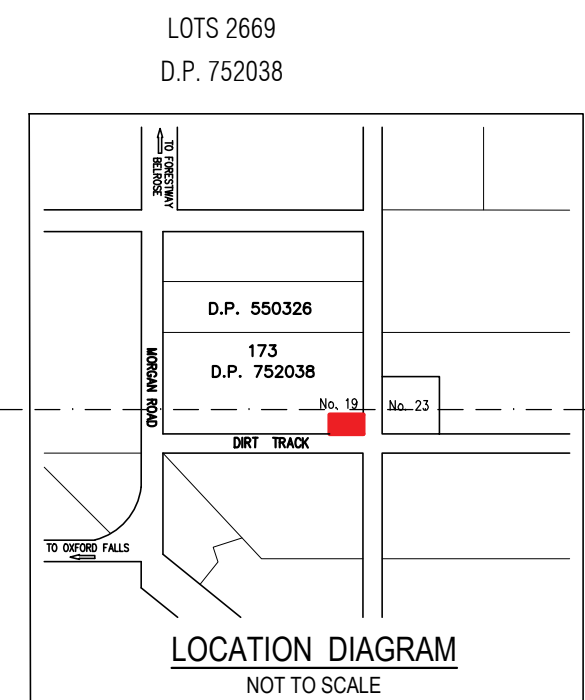
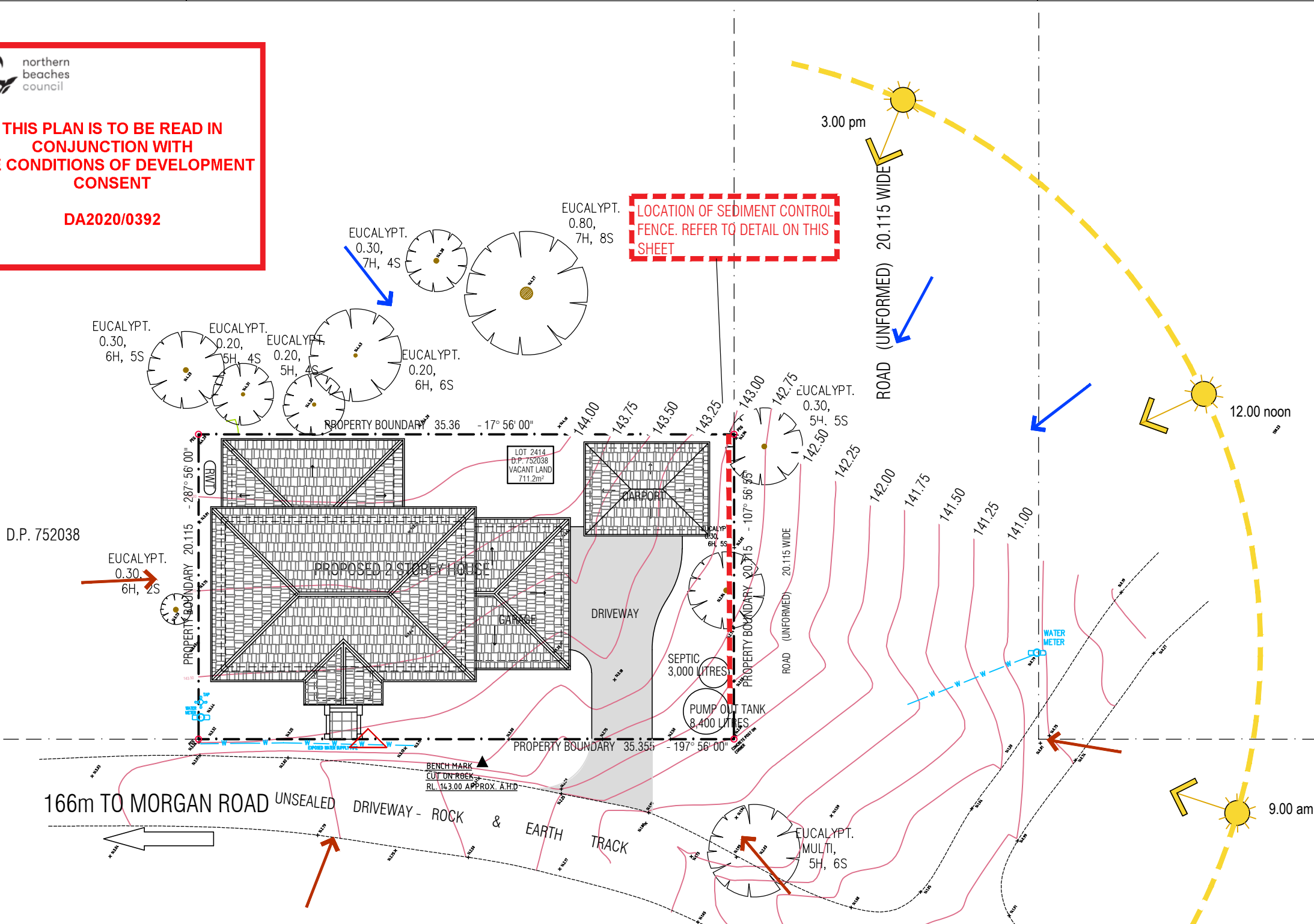
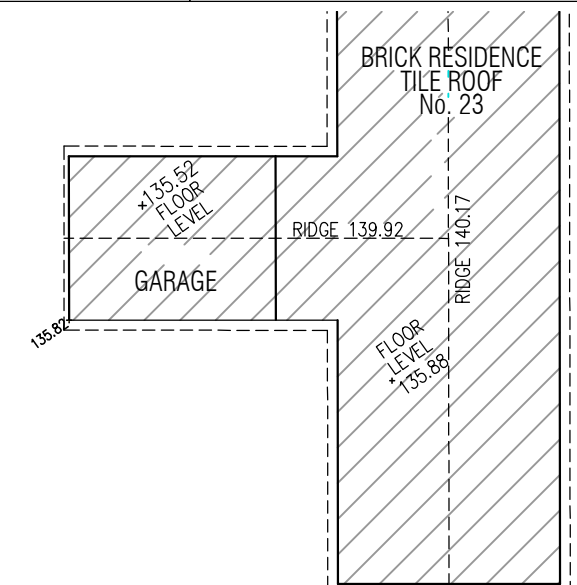
REVIEW CONTROL MEASURES AND MAINTAIN STRUCTURES DURING CONSTRUCTION.

IF ADDITIONAL MEASURES ARE REQUIRED FOR EROSION CONTROL OR BY COUNCIL REQUIREMENTS REFER TO "URBAN EROSION AND SEDIMENT CONTROL" GUIDELINES PREPARED BY DEPARTMENT OF CONSERVATION AND LAND MANAGEMENT.



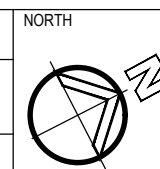
1. STORMWATER DRAINAGE DESIGN NOT SHOWN. RAINWATER COLLECTION TANKS TO RE-USE FOR GARDEN AND AS PER BASIX REPORT
2. FOR MORE DETAILED SITE INFORMATION REFER TO GROUND FLOOR PLANS
3. REFER TO SEPERATE BASIX REPORT FOR ENERGY REQUIREMENTS
4. REFER TO ENVIROTECH REPORT FOR WASTEWATER TREATMENT DETAILS
5. REFER TO BUSHFIRE REPORT FOR FLAME ZONE CONDITIONS
6. REFER TO STATEMENT OF ENVIRONMENTAL EFFECTS FOR DEVELOPMENT DETAILS AND PLANNING CONSIDERATIONS

	SUN DIRECTION - 21st JUNE
	SITE ENTRY
	PREVAILING SUMMER WINDS
	PREVAILING WINTER WINDS
	EXISTING GROUND LEVEL
	PROPOSED NEW LEVEL
	EXISTING TREES TO REMAIN



A	09.04.20	ISSUED FOR DEVELOPMENT APPLICATION
No	DATE	REVISION

CLIENT	DAVID AND LANDI CONWAY
PROJECT	PROPOSED NEW RESIDENCE 19 MORGAN ROAD, BELROSE
TITLE	SITE PLAN & SITE ANALYSIS



DRAWN SL	DATE April 2020	SCALE 1:100 @ A3
CHECKED	DATE	ISSUE
JOB No. 1904	DRAWING No. DA01	REV. A

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beaches
council**

**THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT**

DA2020/0392

01 GROUND FLOOR PLAN
1:100 @ A3

A	09.04.20	ISSUED FOR DEVELOPMENT APPLICATION
No	DATE	REVISION

ARCHITECT

muri

ARCHITECTS + INTERIOR DESIGNERS

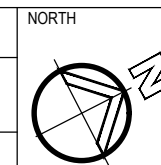
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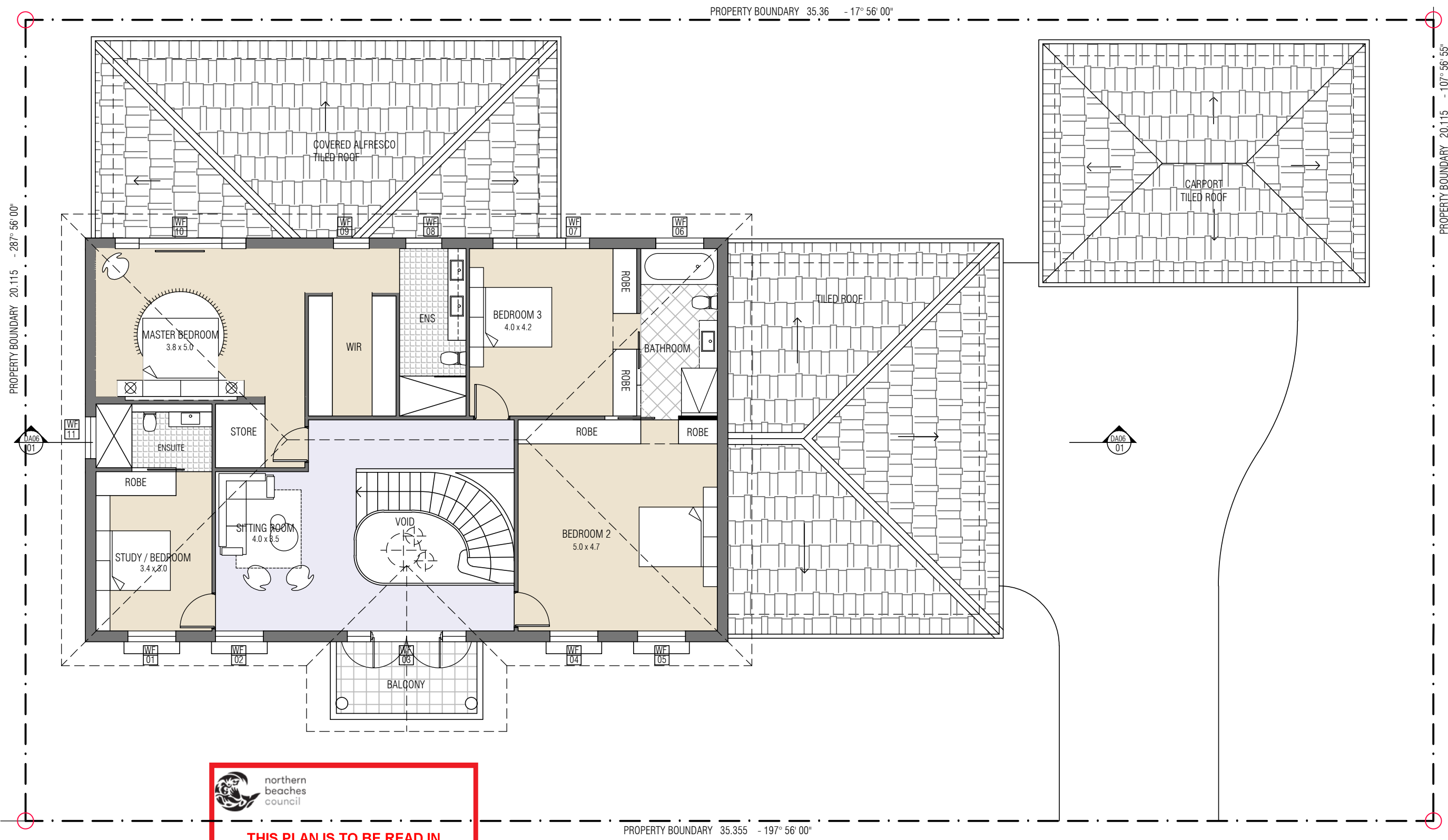
CLIENT
DAVID AND LANDI CONWAY

PROJECT
PROPOSED NEW RESIDENCE
19 MORGAN ROAD, BELROSE

TITLE
PROPOSED GROUND FLOOR PLAN



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JOB No. 1904	DRAWING No. DA02	REV. A



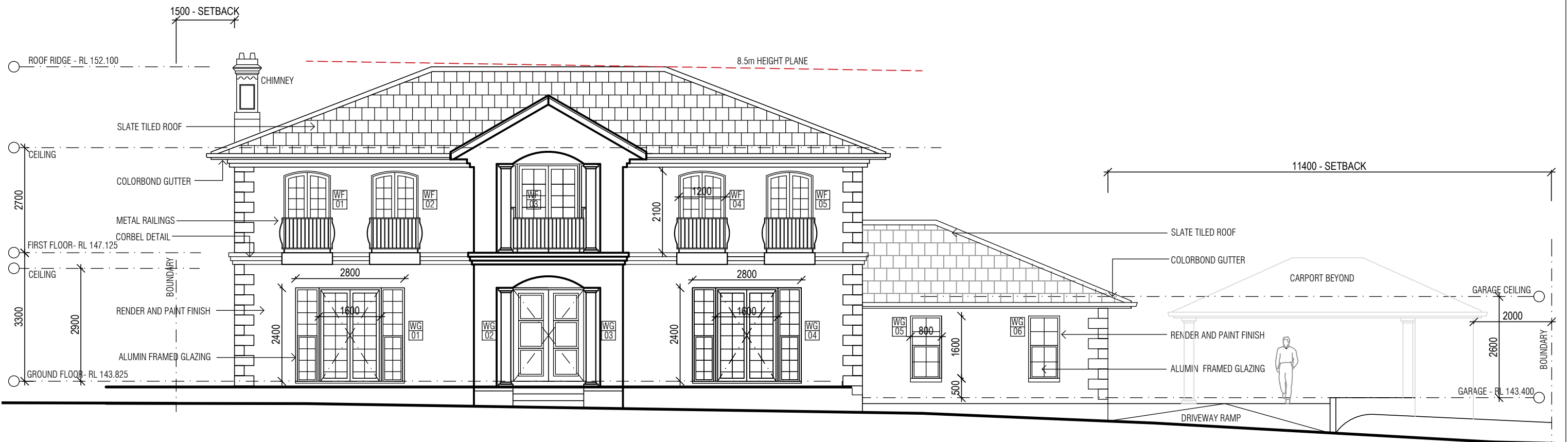
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01 FIRST FLOOR PLAN
1:100 @ A3

ARCHITECT			CLIENT		DRAWN		DATE	SCALE
			DAVID AND LANDI CONWAY		SL		April 2020	1:100 @ A3
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A			TITLE		PROPOSED FIRST FLOOR PLAN			
No								
09.04.20			ISSUED FOR DEVELOPMENT APPLICATION					
DATE			REVISION					

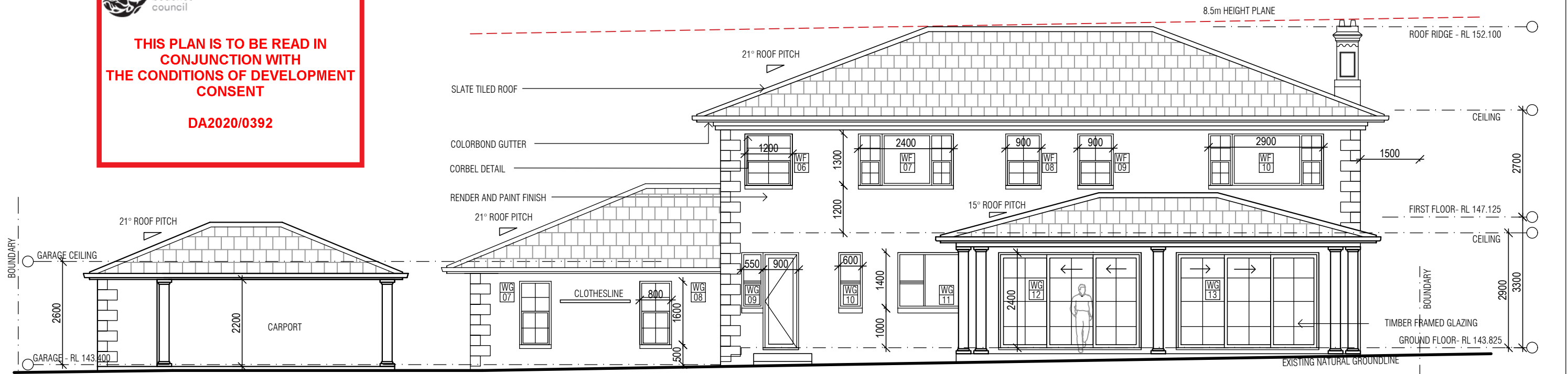


01 EAST ELEVATION
1:100 @ A3

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02 WEST ELEVATION
1:100 @ A3

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ARCHITECTS + INTERIOR DESIGNERS

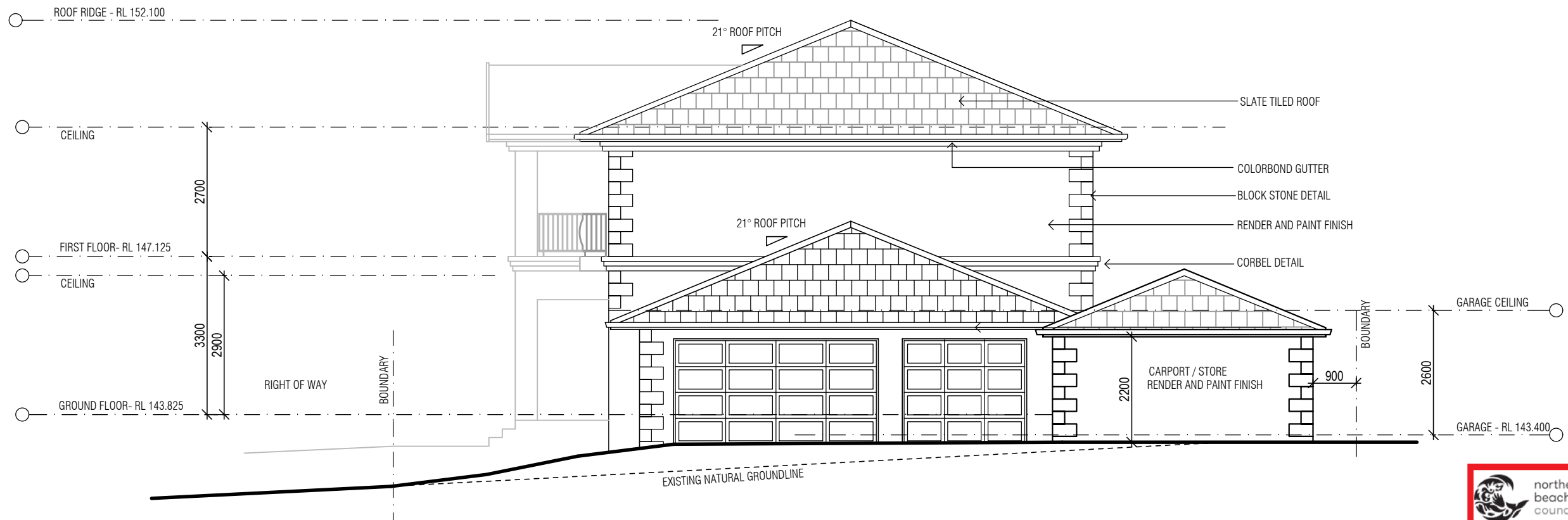
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CLIENT	DAVID AND LANDI CONWAY
PROJECT	PROPOSED NEW RESIDENCE 19 MORGAN ROAD, BELROSE
TITLE	PROPOSED ELEVATIONS

NORTH	DRAWN SL	DATE April 2020	SCALE 1:100 @ A3
	CHECKED	DATE	ISSUE
JOB No.	DRAWING No.	REV.	
	1904	DA04	A

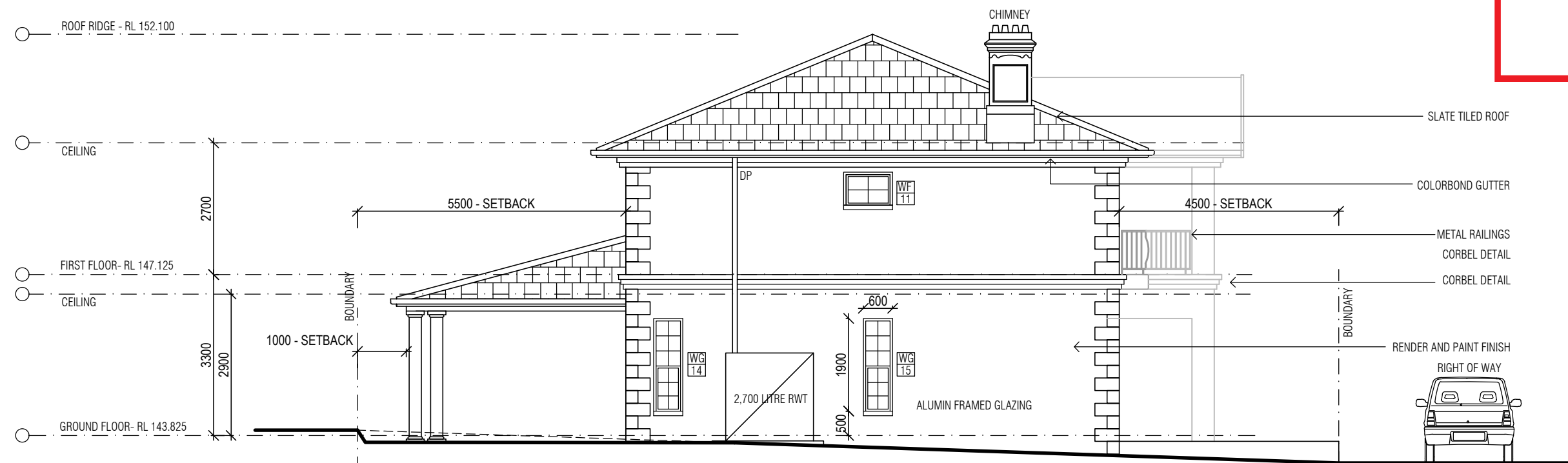


01 NORTH ELEVATION
1:100 @ A3



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02 SOUTH ELEVATION
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No	DATE	REVISION

ARCHITECT
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CLIENT
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PROJECT
PROPOSED NEW RESIDENCE
19 MORGAN ROAD, BELROSE
TITLE
PROPOSED ELEVATIONS

NORTH	DRAWN SL	DATE April 2020	SCALE 1:100 @ A3
	CHECKED	DATE	ISSUE
JOB No. 1904	DRAWING No. DA05	REV. A	

