

The following reference notes must be read in conjunction with the architectural plans and construction notes, contained herein. Some of these notes may not be applicable to the scope of works.

STORMWATER DRAINS.

SUPPLY, INSTALL AND CONNECT NEW STORMWATER DRAINS FROM NEW DOWNPIPES TO EXISTING SERVICE AS NECESSARY.
NOTE: BUILDER ASSUMES AN EXISTING STORMWATER DRAIN SYSTEM CURRENTLY EXISTS ON SITE AND IS DISCHARGED TO A LEGAL POINT. BUILDER HAS MADE NO ALLOWANCE TO PROVIDE NEW **SWD** SYSTEM AND / OR LEGAL POINT OF DISCHARGE SHOULD NO SYSTEM EXIST

ASBESTOS.

UNLESS OTHERWISE SPECIFIED IN THESE SPECIFICATIONS. NO ALLOWANCE HAS BEEN MADE FOR THE REMOVAL OR HANDLING OF ANY ASBESTOS PRODUCTS. SHOULD ANY ASBESTOS BE ENCOUNTERED ANY COSTS INVOLVED IN REMOVING OR HANDLING THESE PRODUCTS WILL BE THE CLIENTS RESPONSIBILITY.

GUTTERS AND DOWNPIPES.

ALL GUTTERS AND DOWNPIPES HAS BEEN ALLOWED AS ZINCALUME QUADRANT DURAKOTE. **NO** ALLOWANCE HAS BEEN MADE TO MATCH EXISTING ALUMINIUM GUTTERS AND DOWNPIPES UNLESS SPECIFICALLY NOTED OTHERWISE.

GLAZING.

ALL NEW GLAZING TO COMPLY WITH **AS 1288 (2006) - GLASS IN BUILDINGS.** WINDOW SIZE & CONFIGURATION SUBJECT TO MANUFACTURERS CONSTRAINTS.

DOOR FURNITURE.

INSTALLATION OF MORTICE LOCKS WILL BE AT EXTRA CHARGE.

BASIX Certificate

Certificate number: **A1796622**

Fixtures and systems

Lighting

The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent or light-emitting-diode (LED) lamps.

Fixtures

The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3-star water rating.

The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3-star water rating.

The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3-star water rating.

Insulation requirements.

Construction	Additional insulation required (R-value)
Suspended Floor above Garage: Framed (0.7)	NIL
Floor above Existing Dwelling or Building	NIL
External Wall: external insulated façade System (EIFS) (façade panel: 75mm)	NIL
Flat Ceiling, Pitched Roof:	Ceiling: R2.50 (up), roof: foil/sarking and other specification are medium (solar absorptance 0.475 - 0.70)

Windows and glazed doors glazing requirements.

W8, W9, & W10	Improved Aluminium, Single Pyrolytic Low-E, (U-value: 4.48, SHGC: 0.46)
W1, W2, W3, W4, W5, W6, W7, W11, W12, W13 & W14	Improved Aluminium, Single Clear, (U-value: 6.44, SHGC: 0.75)

ELECTRICALS

EXISTING CABLES WILL BE INSPECTED WHEN WORK COMMENCES.
ANY UPGRADE OR RECTIFICATION WORK REQUIRED WILL BE QUOTED ON SITE.
EXISTING POWER & LIGHT POINTS DISCONNECTED AS A RESULT OF RENOVATION WORK WILL NOT BE RELOCATED.

METER BOX.

NO ALLOWANCE HAS BEEN MADE TO UPGRADE METER BOX.

RELOCATION OF METER BOX.

NO ALLOWANCE HAS BEEN MADE TO RELOCATE EXISTING METER BOX.

EXISTING TREES AND VEGETATION

NO ALLOWANCE HAS BEEN MADE TO CLEAR THE AREA OF THE PROPOSED ADDITION (INCLUDING SCAFFOLDING OR WORK MATERIAL STORAGE BAYS) OF ANY TREES, SHRUBS OR OTHER VEGETATION.

FLOOR REPAIRS.

MAKE GOOD FLOOR WITH ONE PIECE OF TIMBER FLOORING LAID IN THE SAME DIRECTION OF THE WALL BEING DEMOLISHED.

SKYLIGHTS AND SOLAR TUBES.

ACTUAL POSITION MAY CHANGE ON SITE, DEPENDING ON STRUCTURAL CONDITIONS.

ALL TIMBER SIZES ARE NOMINAL

CONCRETE FOOTINGS & SLABS.

NO ALLOWANCE FOR ANY PIERING.

TERMITE TREATMENT.

KORDON OR SIMILAR TERMITE TREATMENT TO EXTERNAL SLAB EDGES AND PENETRATIONS.

CARPORT & AWNINGS

(unless specified)
NO ALLOWANCE HAS BEEN MADE TO REMOVE & RE-ERECT. THIS WILL BE THE CLIENT'S RESPONSIBILITY IF IT RESTRICTS ACCESS TO DELIVER BUILDING MATERIAL OR ERECT SCAFFOLDING. DISCUSS OPTIONS WITH SUPERVISOR.

WHERE EXISTING WALLS ARE TO BE DEMOLISHED

IF THE REMAINING CEILINGS ARE NOT THE SAME LEVEL OR MATERIAL ADDITIONAL REMEDIAL WORKS MAY BE REQUIRED AND MUST BE DISCUSSED WITH YOUR SUPERVISOR

CEMENT RENDER

NO ALLOWANCE HAS BEEN MADE TO REPAIR CRACKED OR FALLEN RENDER AS A CONSEQUENCE OF RENOVATION WORK

SMOKE ALARM.

ALL NEW SMOKE ALARMS TO COMPLY WITH **AUSTRALIAN STANDARDS.**

LANDSCAPING

ANY LANDSCAPING REQUIRED TO COMPLY WITH THE BCA BY OWNER

STACK & VENTS

FINAL POSITION MAY CHANGE DEPENDING ON THE ONSITE CONDITIONS. (TO BE DISCUSSED WITH ADDBUILD SUPERVISOR.)

PATHS & DRIVEWAYS

UNLESS NOTED ON THE PLANS, WHERE CONCRETE AND/OR PAVING IS REQUIRED TO BE CUT OUT & REMOVED IN ORDER TO LAY NEW SEWER OR STORMWATER PIPES NO ALLOWANCE HAS BEEN MADE TO REINSTATE AND/OR REPAIR THESE AREAS. ALL REQUIRED REPAIRS WILL NEED TO BE DISCUSSED & QUOTED ON SITE.

AIR CONDITIONING DUCTING.

UNLESS NOTED ON THE PLANS, PLASTERBOARD LINED FRAMING REQUIRED FOR AIR CONDITIONING DUCTING HAS NOT BEEN ALLOWED FOR. AN ON-SITE VARIATION WILL NEED TO BE COSTED & AGREED TO PRIOR TO ANY FRAMING BEING DONE.

PLUMBING PIPES IN THE EXISTING ROOF CAVITY OR WALLS.

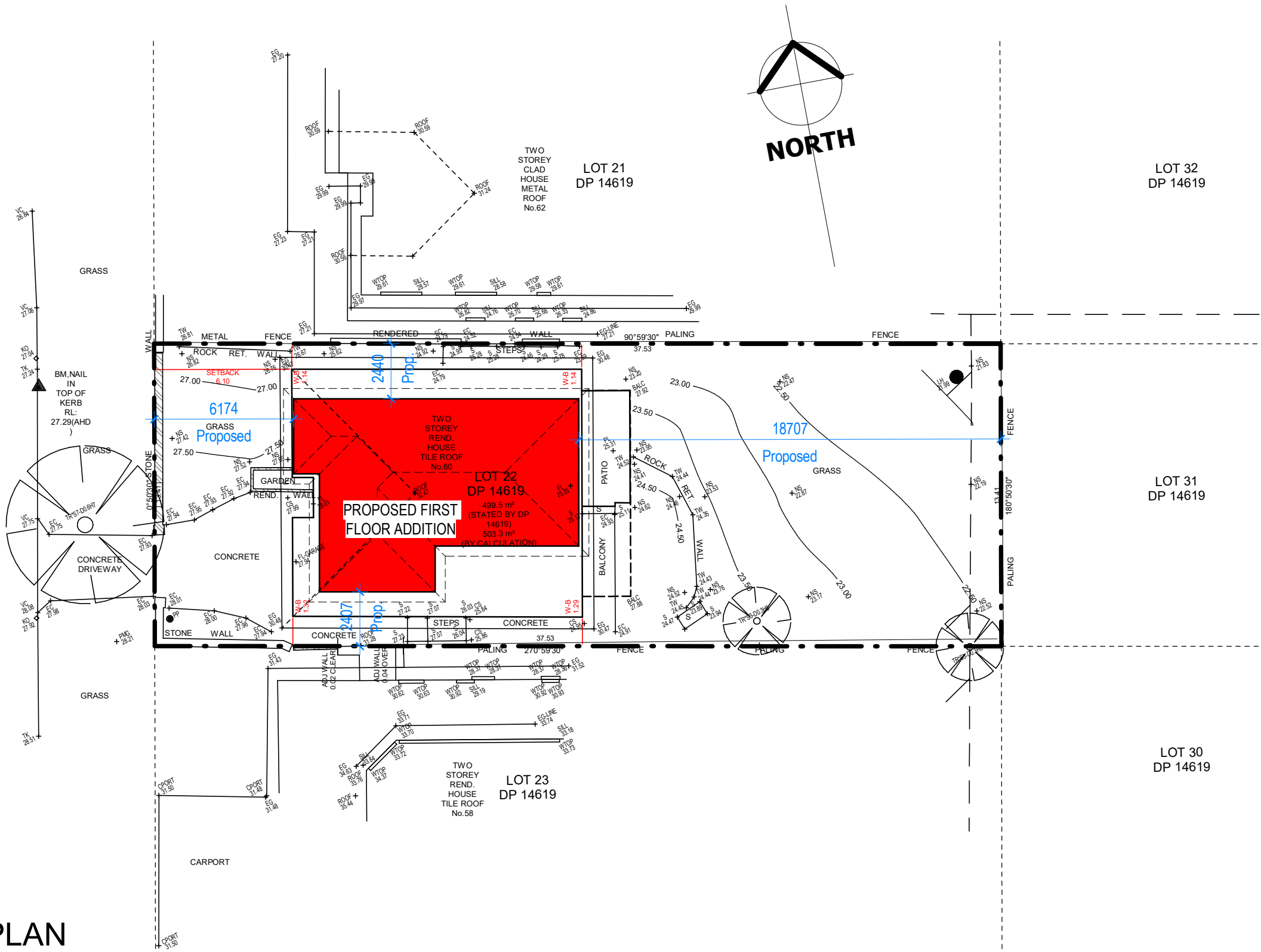
EXISTING PLUMBING PIPES WILL BE INSPECTED WHEN WORK COMMENCES. ANY UPGRADE OR RECTIFICATION (INCL. RELOCATION) WORK REQUIRED WILL BE QUOTED ON SITE.

SPECIFICATION		SPECIAL NOTES				
<div><div><div><div><div><div>○</div><div>2 / 90 X 38 EXTERNAL TOP PLATES</div></div><div><div>○</div><div>90 X 45 EXTERNAL BOTTOM PLATES</div></div><div><div>○</div><div>90 X 38 EXT STUDS @ 450 CTRS MAX</div></div><div><div>○</div><div>70 X 45 INT TOP & BOTTOM PLATES</div></div><div><div>○</div><div>70 X 45 INT STUDS @450 CTRS MAX</div></div><div><div>○</div><div>HJ 200 ENGINEERED FLOOR JOISTS @ 450 CTRS MAX</div></div><div>UNLESS OTHERWISE SPECIFIED BY ENGINEER</div></div></div></div></div>		<div><div><div><div><div>○</div><div>ALL BUILDING WORK TO COMPLY WITH THE NATIONAL CONSTRUCTION CODE OF AUSTRALIA.</div></div><div><div>○</div><div>ALL DOOR FURNITURE TO BE SUPPLIED BY OWNER AND FIXED BY BUILDER.</div></div><div><div>○</div><div>BATHROOM FIXTURES, FITTINGS, TAPS AND TILES TO BE SUPPLIED BY OWNER AND FIXED BY BUILDER.</div></div><div><div>○</div><div>SHOWER SCREENS & MIRROR SUPPLIED AND FIXED BY BUILDER</div></div><div><div>○</div><div>WALL TILES TO FIRST FLOOR SHOWER ROOM & ENSUITE TO CEILING.</div></div></div></div></div>				
FLOORING	FIRST FLOOR: STRUCTURAL SHEET.(UNSANDED). SCYON SECURA FLOORING TO WET AREAS.					
FASCIA	180 X 25 TREATED PINE.					
EAVE SOFFIT	4.5 mm F.C. SHEET.					
BARGE	N/A.					
WINDOWS AND EXTERNAL DOORS	ALUMINIUM WINDOWS, WITH ALUMINIUM FRAMED NYLON MESH FLYSCREENS. (FROM BUILDERS STANDARD RANGE). ALUMINIUM SLIDING DOORS, WITH ALUMINIUM FRAMED NYLON MESH SLIDING FLYSCREEN. (FROM BUILDERS STANDARD RANGE).	WORKS BY OWNER <div><div><div>○</div><div>RELOCATION OF TV ANTENNA & RAINWATER TANK IF REQUIRED.</div></div><div><div>○</div><div>ALL WORK TO NEW & EXISTING AIR CONDITIONING TO BE CARRIED OUT PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.</div></div></div>				
BRICKWORK	N/A.	DO NOT SCALE OFF DRAWINGS ALL FINISHED GROUND LEVELS AND DIMENSIONS AS SHOWN ON PLAN ARE THEORETICAL ONLY AND ARE SUBJECT TO SITE CONDITIONS				
CLADDING	FIRST FLOOR: 75mm RENDERED LIGHTWEIGHT CLADDING WITH TEXTURE COAT FINISH. LAID OVER FOIL SARKING.	1.2	TO ESTIMATING	RFA		19.02.25
ROOF PLUMBING	100 X 75 OR 100 X 50 POWDERCOATED DOWNPIPES POWDERCOATED MINI-LINE GUTTERS	2.1	TO CONTRACTS	RFA		24.02.25
ROOF COVERING	FIRST FLOOR: NEW MONIER TUDOR CONCRETE ROOF TILES FROM STANDARD RANGE. LAY OVER FOIL SARKING.	2.4	TO VARIATION No. 1, Added Info	RFA		22.05.25
INTERNAL LININGS	INT. WALL = 10 mm PLASTERBOARD CEILINGS - 10 mm PLASTERBOARD WET AREA - 6 mm VILLABOARD CORNICE - 90mm COVE CORNICE					
INTERNAL FIXINGS	JAMBS - EX 90 X 38 REBATED SKIRTING - EX 68 X 18 SQUARE D.A.R. ARCHITRAVE - EX 68 X 18 SQUARE D.A.R.					
BUILT IN CUPBOARDS	ALL WARDROBE SHELVEING AND HANGING RAILS TO BE SUPPLIED AND INSTALLED BY OWNER.					
DOORS	CORINTHIAN MODA WHITE OAK (AMOD1) FOR STAINING BY OWNER. DOOR HEIGHT 2040 UNLESS NOTED OTHERWISE. PRIMED FLUSH HOLLOW CORE FOR ACCESS & LINEN CUPBOARD DOORS IF REQUIRED.					
ELECTRICAL TO ADDITIONS	TWO WAY LIGHT SWITCH ×—○—× LIGHT POINTS ○—× DOUBLE G.P.O. ⌒ SMOKE ALARM ⊙ REFER TO SEPARATE ELECTRICAL LAYOUT FOR FURTHER INFORMATION. CIRCUITS 2.OFF RCD safety switch to new power circuit 2.OFF					
HOT WATER SYSTEM	CONNECT TO EXISTING HOT WATER UNIT					
STAIRCASE AND HANDRAILS	TYPE: MAPLE CLOSED RISER TIMBER STRINGER NOMINAL WIDTH: 900mm RISE: 17No. x 171 TREAD: 240mm FINISH: MAPLE TREADS & MAPLE RISERS, MAPLE SQUARE BALUSTRADE. PLASTERBOARD LINING UNDER TREADS.					
METALWORK	INTERNAL: PRIMED, EXTERNAL: PRIMED					
EXCAVATION	EXCAVATION HAS BEEN ASSUMED TO BE IN SOIL, CLAY OR OTHER MATERIAL REASONABLY CAPABLE OF EXCAVATION WITH HAND TOOLS					
INSULATION TO ADDITIONS ONLY	CEILING TO FIRST FLOOR ADDITION: R 3.0 INSULATION. EXTERNAL WALL TO FIRST FLOOR ADDITION: R 2.0 INSULATION. INTERNAL WALL TO FIRST FLOOR ADDITION: R 2.0 THERMAL/ACOUSTIC INSULATION FLOOR TO FIRST FLOOR ADDITION: R 3.1 ACOUSTIC INSULATION.					
PAINTING	ALL EXTERNAL PAINTING TO FIRST FLOOR ADDITION BY: BUILDER NO OTHER PAINTING, INTERNAL OR EXTERNAL, HAS BEEN ALLOWED FOR UNLESS SPECIFICALLY NOTED OTHERWISE.					
		PROPOSED GROUND FLOOR AND FIRST FLOOR ADDITIONS & ALTERATIONS				
		FOR: Mr. Ben & Mrs. Karen NORRIS				
		AT: 60 BUNGALOE AVENUE, BALGOWLAH, NSW, 2093				
		<div><div><div><div><div><div>A</div><div>addbuild</div></div></div><div>Master Builders Pty. Ltd</div></div></div></div>				
		Suite OC / 9 Blaxland Road, RHODES, NSW, 2138 Phone: 8765 1555 / Fax: 8765 1778				
		www.addbuild.com.au Email: info@addbuild.com.au Builders Licence No. 114851C A.B.N. 47 092 812 649				
		SCALE: 1:100 1:200	SHEET No: 01	JOB No: 1999/2.4		

Area Calculations:	
Site Area	-- 499.50 m ²
Existing Ground Floor Area	-- 102.91 m ²
Existing Lower Level Floor Area (Excluding Garage)	-- 61.25 m ²
Existing Other Structure -	
Rear Patio Area	-- 10.85 m ²
Garage	-- 23.34 m ²
Balcony	-- 19.65 m ²
Driveway	-- 31.13 m ²
Existing Hardstand Area	
Concrete Paths (Combined)	-- 31.37 m ²
Existing Gross Floor Area.	-- 164.16 m ²
Existing Floor Space Ratio (FSR)	-- 0.33 : 1
Total Existing Site Coverage	-- 158.80 m ² or 32 %
Total Existing Landscape Area	-- 282.12 m ² or 56 %
Proposed Lower Level Floor Area.	-- 61.25 m ²
Proposed Ground Floor Area.	-- 102.91 m ²
Proposed First Floor Area.	-- 78.20 m ²
Total Proposed Gross Area	-- 242.36 m ²
Proposed Floor Space Ratio (FSR)	-- 0.49 : 1
Total Proposed Site Coverage	-- 158.80 m ² or 32 % (Not Affected)
Total Proposed Landscape Area	-- 282.12 m ² or 56 % (Not Affected)
Proposed Landscaping to Front	-- 52.53 m ²
Proposed Landscaping to Rear	-- 229.59 m ²
Private Open Space	-- 249.24 m ² or 50 %

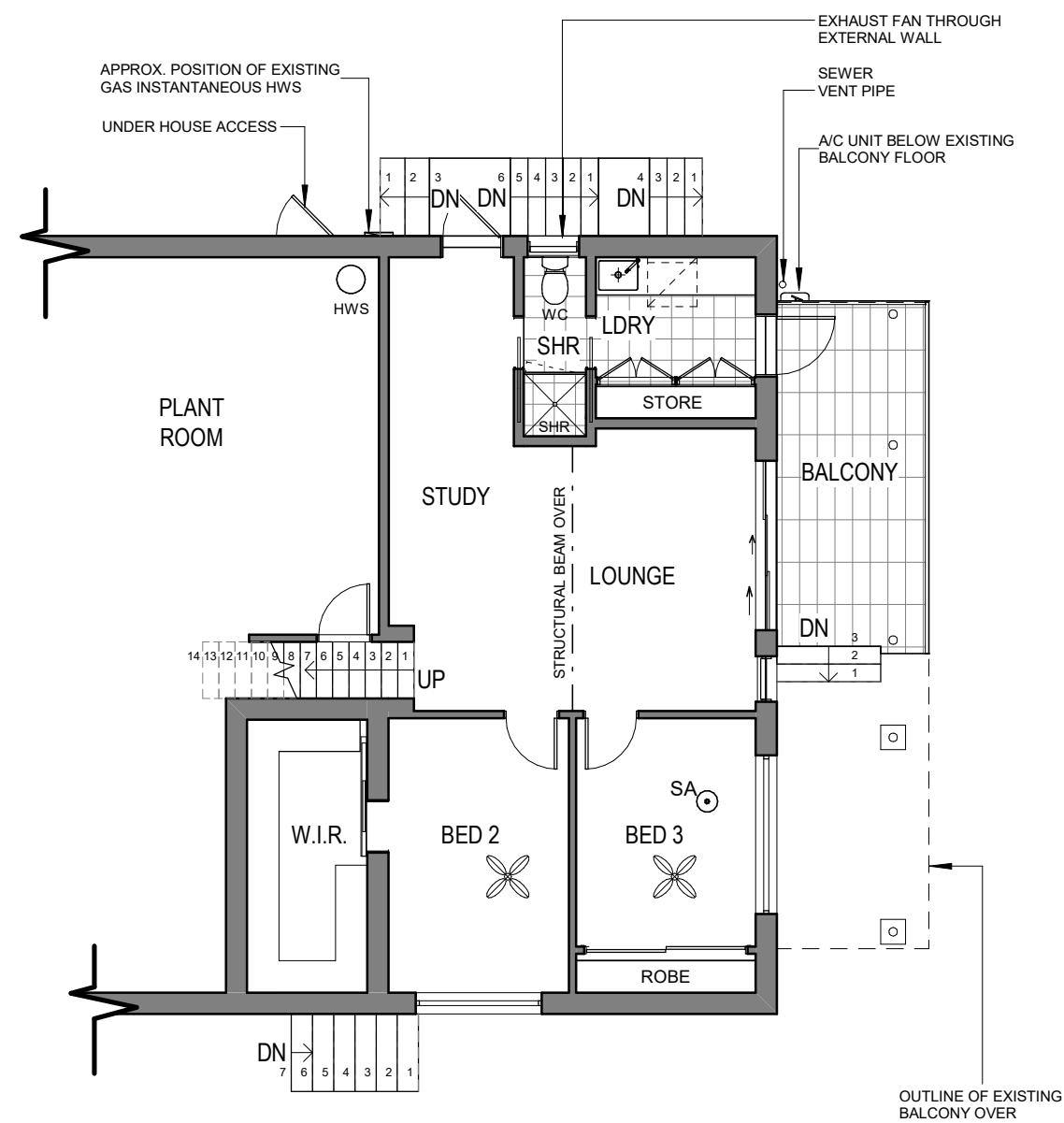
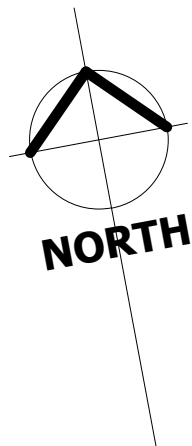
SITE PLAN
SCALE - 1 : 200

BUNGALOE AVENUE



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02	AT: 60 BUNGALOE AVENUE, BALGOWLAH, NSW, 2093	1999/2.4



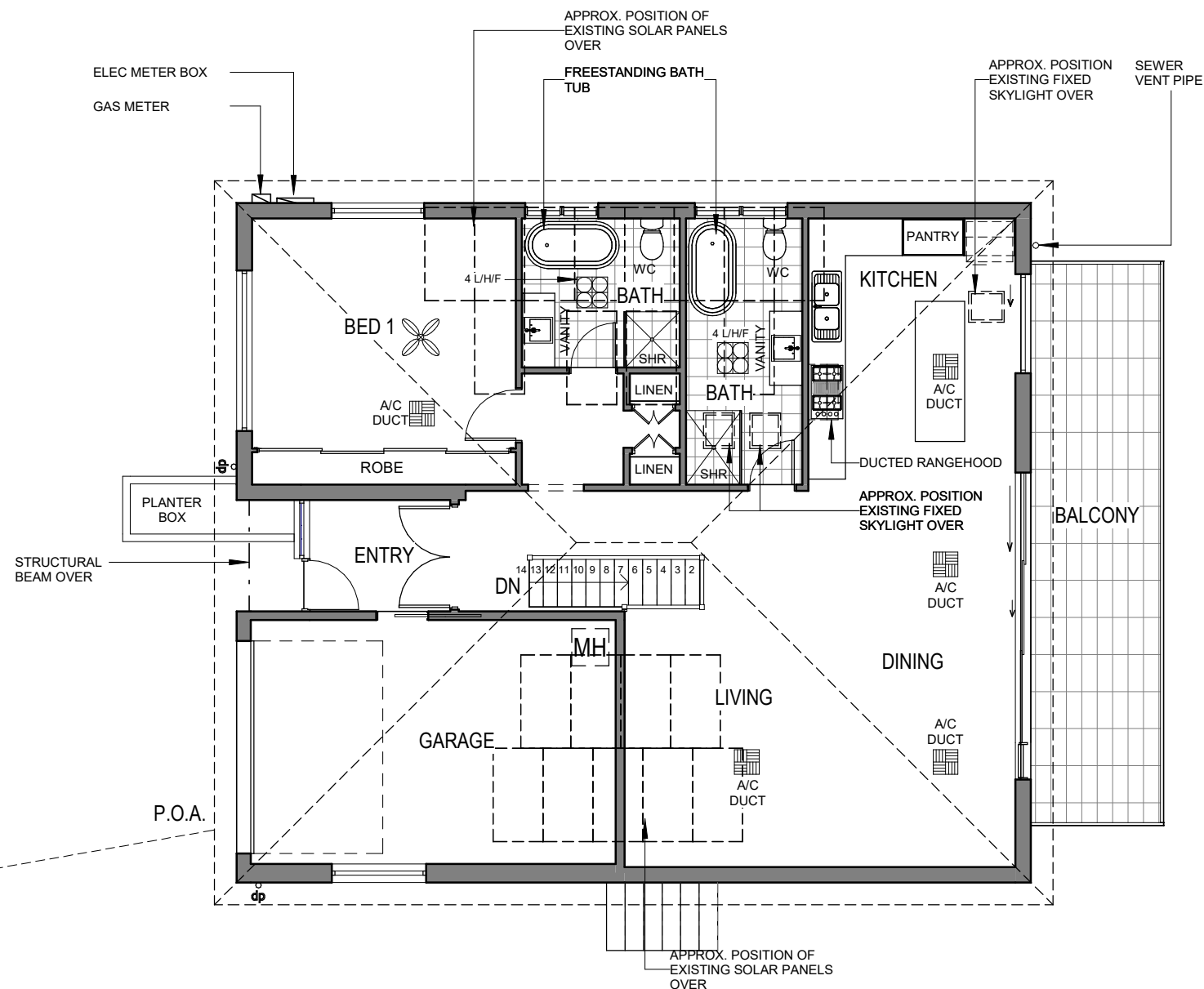
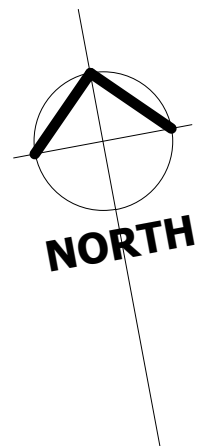
EXISTING STRUCTURE

FLOOR - BEARERS & JOISTS
EXTERNAL WALLS - CAVITY BRICKWORK 300mm
INTERNAL WALLS - SINGLE BRICK RENDERED 140mm &
GYPROCK LINED TIMBER FRAMED 100mm

LOWER GROUND FLOOR - EXISTING
SCALE - 1 : 100

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03	Mr. Ben & Mrs. Karen NORRIS	1999/2.4
	AT: 60 BUNGALOE AVENUE, BALGOWLAH, NSW, 2093	



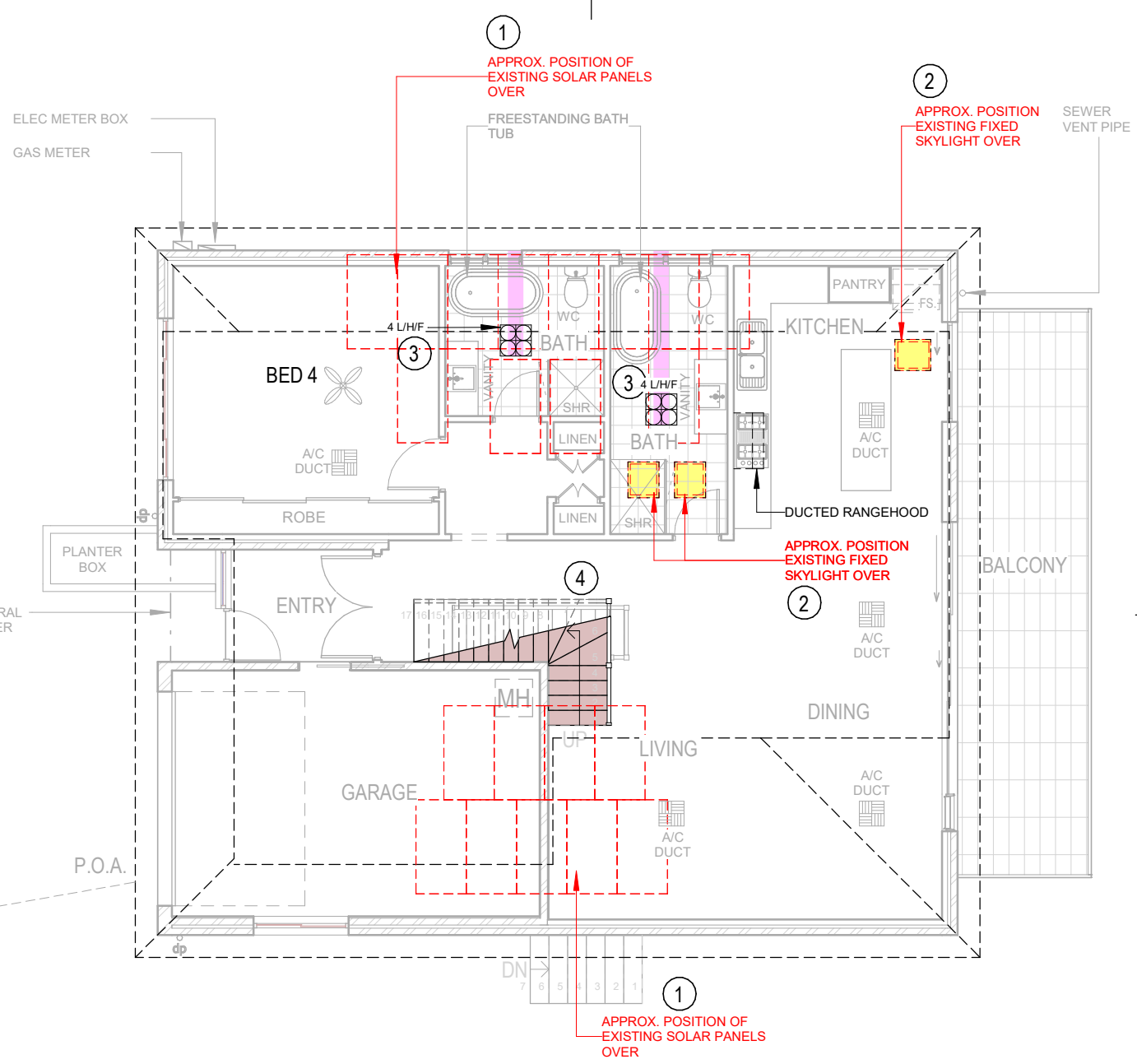
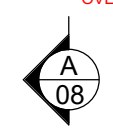
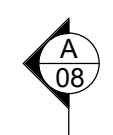
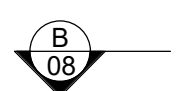
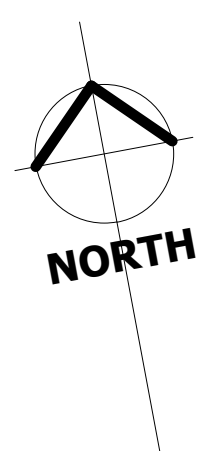
EXISTING STRUCTURE

FLOOR - FLOOR JOISTS, CONCRETE SLAB TO THE GARAGE
EXTERNAL WALLS - BRICK VENEER 250mm
INTERNAL WALLS - GYPROCK LINED TIMBER FRAME 100mm
ROOF - TRUSSED ROOF, CONCRETE TILE, 17° PITCH

GROUND FLOOR - EXISTING
SCALE - 1 : 100

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NOTE: WHERE DUCTING TO AN EXISTING EXHAUST FAN HAS BEEN SPECIFIED, ONLY STANDARD FLEXIBLE DUCTING HAS BEEN ALLOWED FOR. SHOULD THE EXISTING EXHAUST FAN **NOT** BE COMPATIBLE WITH STANDARD FLEXIBLE DUCTING, THE OWNER IS TO SUPPLY A NEW EXHAUST FAN FOR INSTALLATION BY THE BUILDER OR OTHER DUCTING METHODS TO BE QUOTED ON SITE.

GROUND FLOOR CONSTRUCTION NOTES

- ① OWNER TO REMOVE & RELOCATE EXISTING SOLAR PANELS ON THE ROOF.
- ② EXISTING SKYLIGHTS TO BE REMOVED WITH THE GROUND FLOOR CEILING TO BE PATCHED & REPAIRED FOR PAINTING BY THE OWNER.
- ③ DUCT EXISTING EXHAUST FAN TO OUTSIDE AIR. PLEASE SEE NOTE ABOVE FOR FURTHER INFORMATION.
- ④ NO ALLOWANCE FOR MODIFICATION TO THE EXISTING HANDRAIL TO THE STAIR VOID. WORK REQUIRED TO BE DETERMINED & QUOTED ON SITE.

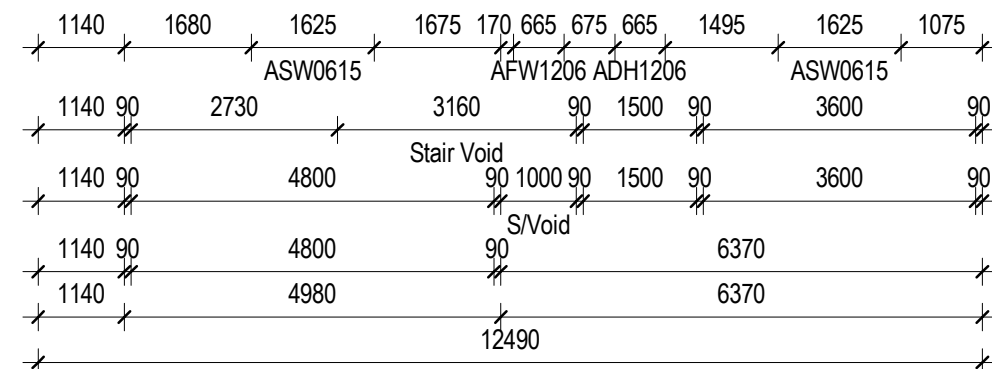
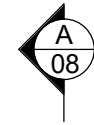
GROUND FLOOR - PROPOSED

SCALE - 1 : 100

NOTE: THE AREAS SHOWN IN GREY ARE EXISTING & INDICATIVE ONLY. NO REMEDIAL OR RENOVATION WORK IS TO BE CARRIED OUT IN THESE AREAS UNLESS DISCUSSED WITH THE SUPERVISOR & THE OWNER **PRIOR** TO THE COMMENCEMENT OF ANY WORK.

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04A	Mr. Ben & Mrs. Karen NORRIS	1999/2.4
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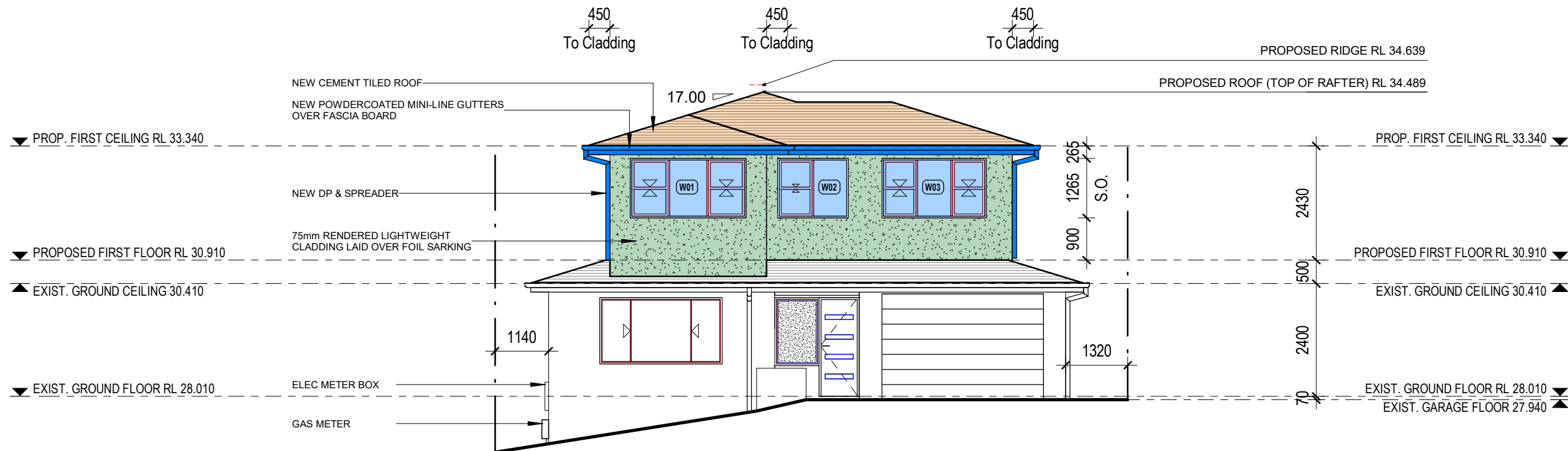


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05	AT: 60 BUNGALOE AVENUE, BALGOWLAH, NSW, 2093	1999/2.4

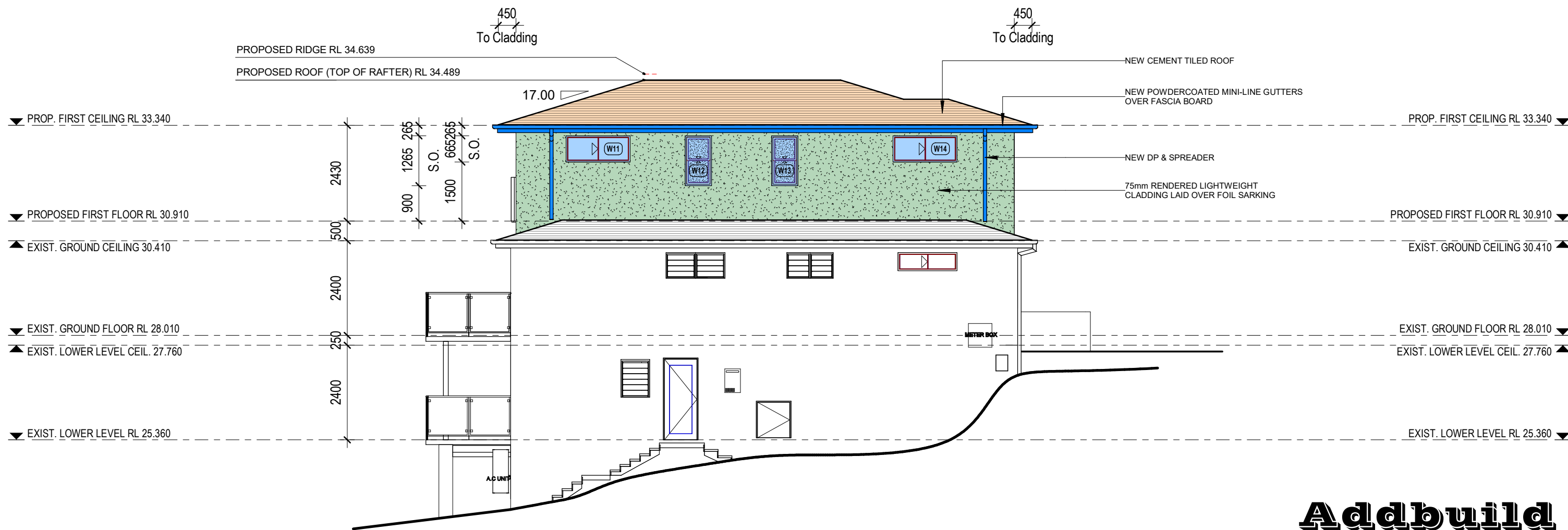
WINDOW & SLIDING DOOR Schedule - Standard Domestic Range												
Window No.	Stud Opening Height	Stud Opening Width	Frame Height	Frame Width	Assembly Code	Window Style	Glazing	Comments	Restricted Opening	Notes	Basix	Flyscreen
W01	1265	2465	1200	2410	ADH1224	DOUBLE HUNG	CLEAR		Yes	LAMINATED GLAZING		Yes
W02	1265	1505	1200	1450	ADH1215	DOUBLE HUNG	CLEAR		No	LAMINATED GLAZING		Yes
W03	1265	2225	1200	2170	ADH1221	DOUBLE HUNG	CLEAR		Yes	LAMINATED GLAZING		Yes
W04	665	1625	600	1570	ASW0615	SLIDING	CLEAR		Yes	LAMINATED GLAZING		Yes
W05	1265	665	1200	610	AFW1206	FIXED	CLEAR		No	LAMINATED GLAZING		No
W06	1265	665	1200	610	ADH1206	DOUBLE HUNG	CLEAR		No	LAMINATED GLAZING		Yes
W07	665	1625	600	1570	ASW0615	SLIDING	CLEAR		Yes	LAMINATED GLAZING		Yes
W08	2122	665	2057	610	ADH2106	DOUBLE HUNG	CLEAR	COUPLED TO W09	Yes	LAMINATED GLAZING	LOW-E	Yes
W09	2140	3280	2100	3225	ASD2132/3	SLIDING DOOR	CLEAR	COUPLED TO W08 & W10	No	LAMINATED GLAZING	LOW-E	Yes
W10	2122	665	2057	610	ADH2106	DOUBLE HUNG	CLEAR	COUPLED TO W09	Yes	LAMINATED GLAZING	LOW-E	Yes
W11	665	1625	600	1570	ASW0615	SLIDING	CLEAR		Yes	LAMINATED GLAZING		Yes
W12	1265	665	1200	610	ADH1206	DOUBLE HUNG	TRANSLUCENT		No	LAMINATED GLAZING		Yes
W13	1265	665	1200	610	ADH1206	DOUBLE HUNG	TRANSLUCENT		No	LAMINATED GLAZING		Yes
W14	665	1625	600	1570	ASW0615	SLIDING	CLEAR		Yes	LAMINATED GLAZING		Yes

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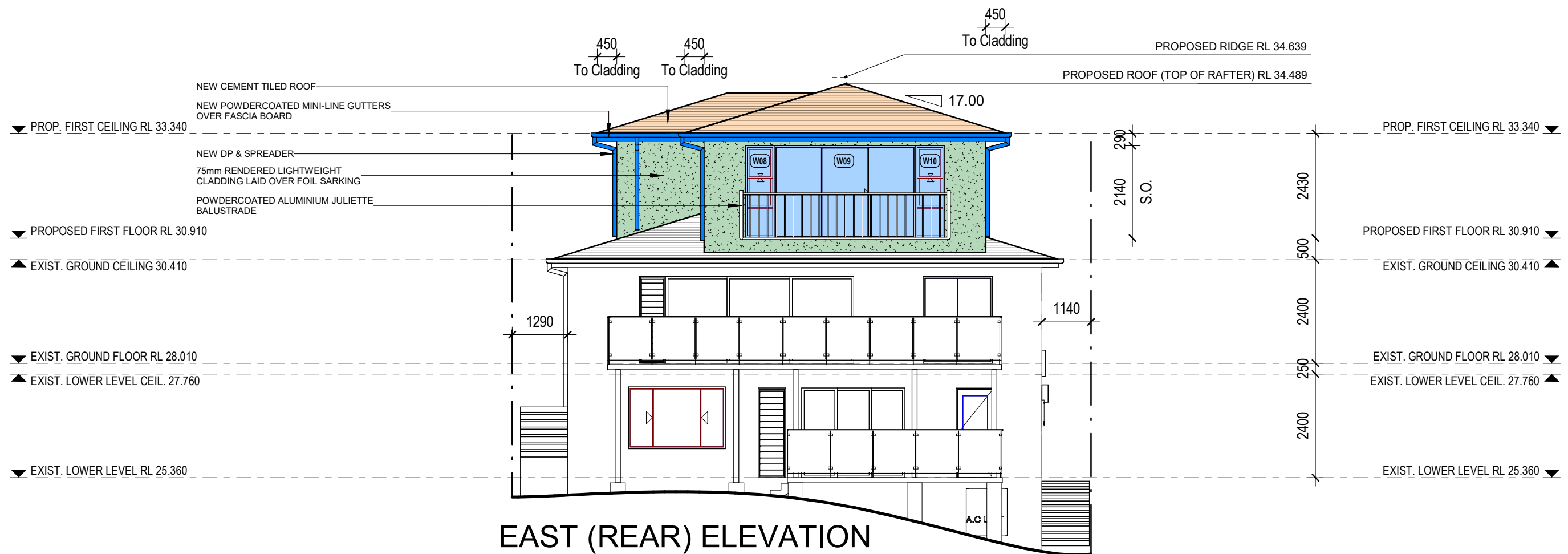
WEST (FRONT) ELEVATION
SCALE - 1 : 100



NORTH (LEFT) ELEVATION
SCALE - 1 : 100

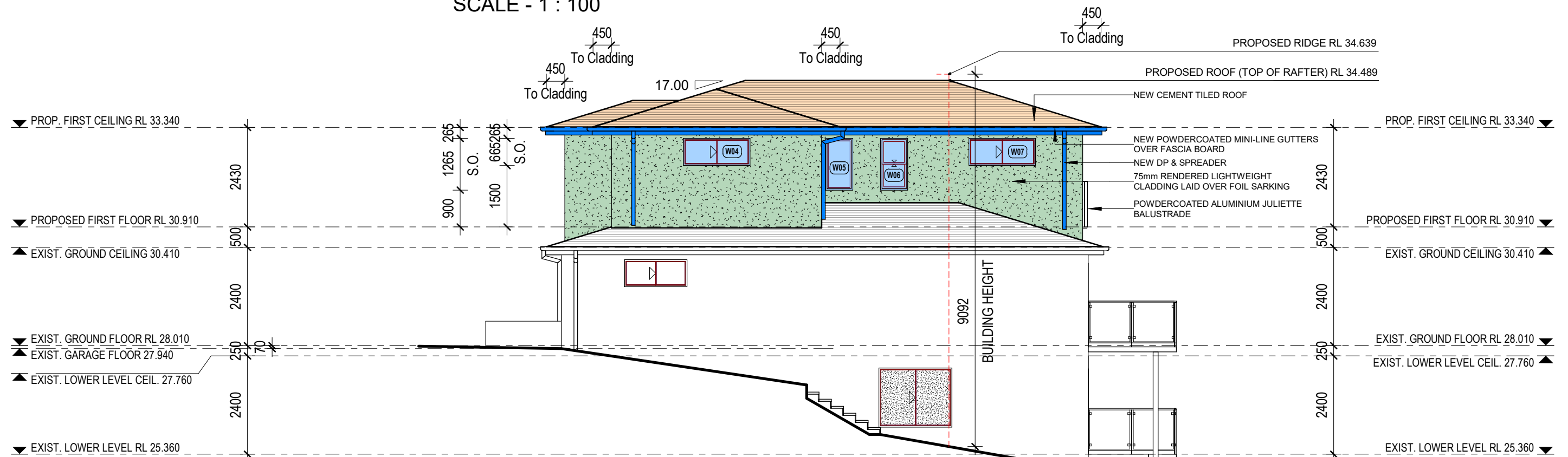
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EAST (REAR) ELEVATION

SCALE - 1 : 100

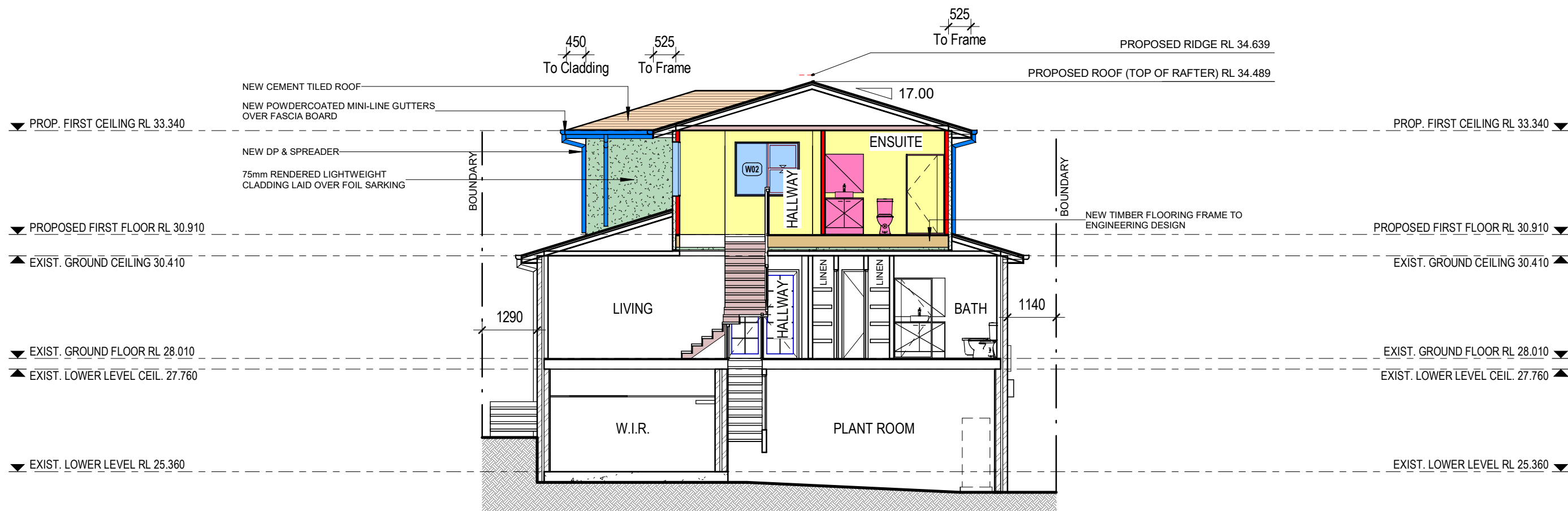


SOUTH (RIGHT) ELEVATION

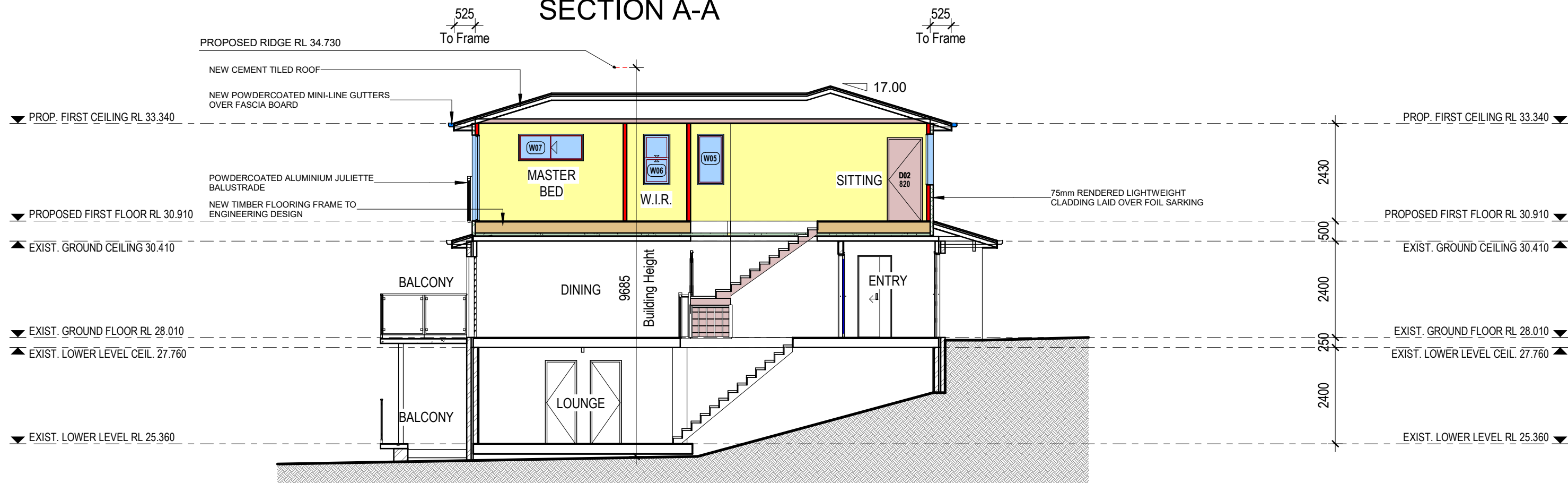
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SECTION A-A



SECTION B-B

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08	Mr. Ben & Mrs. Karen NORRIS	1999/2.4
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