

NORTHERN BEACHES BASED ON WARRINGAH DCP 2011	
SITE AREA:	696.7 SQM
PROPOSED ROOF COVERAGE	
ROOF COVERAGE AREA:	302.56 SQM
LANDSCAPED AREA	
TOTAL LANDSCAPED AREA:	317.10 SQM
EXCL. ALL HARD SURFACES,	
MINIMUM DIMENSION OF 2M	45.51%
MIN. REQUIRED BY COUNCIL:	40 %
STORMWATER CALCULATION	
HARD LANDSCAPE AREAS:	356.03 SQM
(INCL. ROOF/DRIVEWAY/PATHS ETC)	
SITE COVERAGE RATIO:	51.1 %
MAX. ALLOWABLE SITE COVERAGE PRIOR TO O.S.D. REQUIRED:	40 %
PRIVATE OPEN SPACE	
PRIVATE OPEN SPACE:	214.16 SQM
MIN. REQUIRED BY COUNCIL:	60 SQM
MINIMUM DIMENSION OF 5M	
BUILDING ENVELOPE	
PROVIDE 45 DEGREE PLANE	
PROJECTED AT 5.0M HIGH ABOVE SIDE	
BOUNDARY NATURAL GROUND LEVEL.	
BUILDING HEIGHT RESTRICTION	
MAXIMUM 8.5M RIDGE HEIGHT	
MAXIMUM 7.2M CEILING HEIGHT	
(F.F.L. MUST BE ACCURATE TO COMPLY)	
MAXIMUM 1000 MM CUT	
MAXIMUM 1000MM FILL	
DEEP EDGE BEAM TO NATURAL GROUND	
NO EXPOSED FILL PERMITTED	
BUILDING ADJACENT SEWER	
SEWER PEGOUT AND DETAILS REQUIRED	
EXISTING TREES TO BE LOPPED/REMOVED BY OWNER	
TREE REMOVAL REQUIREMENTS:	
SITE TO BE CLEARED BY OWNER OF ANY EXISTING TREES AND/OR PRUNE TREES WHICH WILL EFFECT THE BUILDING AREA PRIOR TO CONSTRUCTION	
IT IS THE RESPONSIBILITY OF THE OWNER TO OBTAIN SEPARATE COUNCIL APPROVAL IF REQUIRED	
DEMOLITION REQUIREMENTS:	
SITE TO BE CLEARED OF ALL EXISTING STRUCTURES, LEVELLED AND ALL SERVICES RELOCATED BY THE OWNER TO THE SATISFACTION OF METRICON HOMES P/L.	
SURVEYORS NOTES	
A. THIS SURVEY IS SPECIFICALLY FOR CONTOUR PURPOSES ONLY. THE BOUNDARIES OF THE SUBJECT PROPERTY HAVE NOT BEEN INVESTIGATED AND THE POSITION SHOWN IS APPROXIMATE ONLY.	
B. AREAS AND DIMENSIONS ARE SUBJECT TO SURVEY.	
C. SERVICES SHOWN HAVE BEEN DERIVED FROM VISUAL EVIDENCE APPARENT AT THE TIME OF SURVEY. THE RELEVANT SERVICE AUTHORITY SHALL BE CONTACTED TO VERIFY THE EXISTENCE AND POSITION OF ALL SERVICES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION.	
D. CONTOURS ARE INDICATIVE OF SURFACE TOPOGRAPHY ONLY. SURVEYED SPOT LEVELS ARE THE ONLY VALUES TO BE RELIED ON FOR REDUCED LEVELS ON PARTICULAR FEATURES.	

TREE SCHEDULE			
No.	DIAMETER	SPREAD	HEIGHT
T1	0.1	2	4
T2	0.2	3	3
T3	0.1	2	3
T4	0.1	3	3
T5	0.2	3	5
T6	0.3	3	3
T7	0.3	4	4
T8	0.2	3	5
T9	0.1	2	3
T10	0.2	3	5
T11	0.1	2	4
T12	0.2	3	5
T13	0.1	3	4
T14	0.2	3	4
T15	0.3	5	5
T16	0.2	3	5
T17	0.3	3	6

PREFERRED LOCATION OF FUTURE
ABOVE GROUND RAINWATER TANK
(SUBJECT TO BASIX
& HYDRAULIC ASSESSMENTS)
APPROX. LOCATION OF
AIR-CONDITIONING UNIT
APPROX. LOCATION
OF HOT WATER UNIT
BY METRICON
APPROX. LOCATION OF
TIMBER RETAINING
WALL BY METRICON
(REFER TO ENGINEER'S
DETAILS)

BRICK RESIDENCE
TILE ROOF
No. 10

APPROX. LOCATION
OF HOT WATER UNIT
BY METRICON

METAL
CARPORT

DP

10690

PROVIDE CONCRETE LANDING BY METRICON

APPROX. LOCATION OF PRIVATE POWER POLE BY METRICON

94.77

94.67

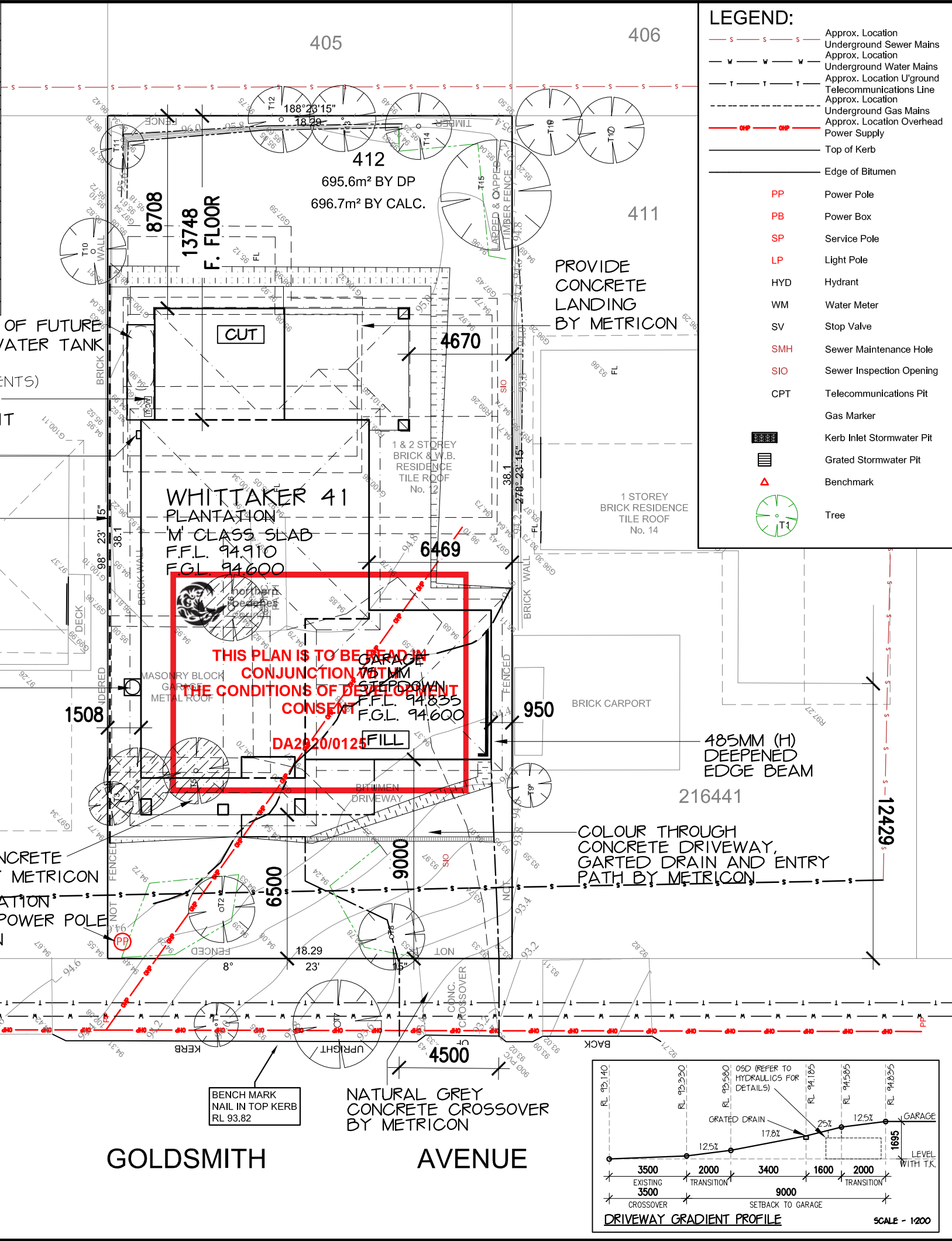
94.55

[illegible]

NO.	HEAD RL	FLOOR RL
D1	95.96	93.87

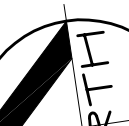
NO.	HEAD RL	SILL RL
W1	99.84	98.34
W2	97.16	96.13
W3	95.96	95.04
W4	96.32	95.02

N/A - NOT ACCESSIBLE



LEGEND:

	Approx. Location Underground Sewer Mains
	Approx. Location Underground Water Mains
	Approx. Location U'ground Telecommunications Line
	Approx. Location Underground Gas Mains
	Approx. Location Overhead Power Supply
	Top of Kerb
	Edge of Bitumen
PP	Power Pole
PB	Power Box
SP	Service Pole
LP	Light Pole
HYD	Hydrant
WM	Water Meter
SV	Stop Valve
SMH	Sewer Maintenance Hole
SIO	Sewer Inspection Opening
CPT	Telecommunications Pit
	Gas Marker
	Kerb Inlet Stormwater Pit
	Grated Stormwater Pit
	Benchmark
	Tree

	LOT NO: 412	
	DEPOSITED PLAN: 216441	
	COUNCIL / LGA: NORTHERN BEACHES	
	SLAB CLASS:	M
	WIND SPEED:	N1

EXCAVATION NOTES:
50MM (+/-) TOLERANCE TO NOMINATED RL'S
 EXCAVATE APPROX. **550MM** ON RL. **94.600**
 AND RETAIN FILL WITH DEEP EDGE BEAM
 EXCAVATIONS ARE TO START A MINIMUM OF
 1000MM FROM THE EDGE OF THE BUILDING
 AND ARE TO BE BATTERED BACK TO SUIT
 IT IS THE RESPONSIBILITY OF THE
 OWNER TO PROVIDE A GRATED DRAIN
 ACROSS GARAGE OPENINGS (IF REQUIRED)
 DUE TO CONSTRUCTION OF DRIVEWAY

IMPORTANT NOTES:
SITE CUTS ARE SUBJECT TO COUNCIL APPROVAL
& NOT TO BE USED BY ANY OTHER CONTRACTORS
OTHER THAN METRICON HOMES PTY LTD

**STORMWATER TO DRAIN TO
STREET VIA ON-SITE DETENTION
AND RAINWATER TANK(S)**
REFER TO HYDRAULIC ENGINEER'S DETAILS

TEMPORARY SITE FENCING:
METRICON TO PROVIDE FENCING
TO ANY UNFENCED BOUNDARIES
(AS REQUIRED)

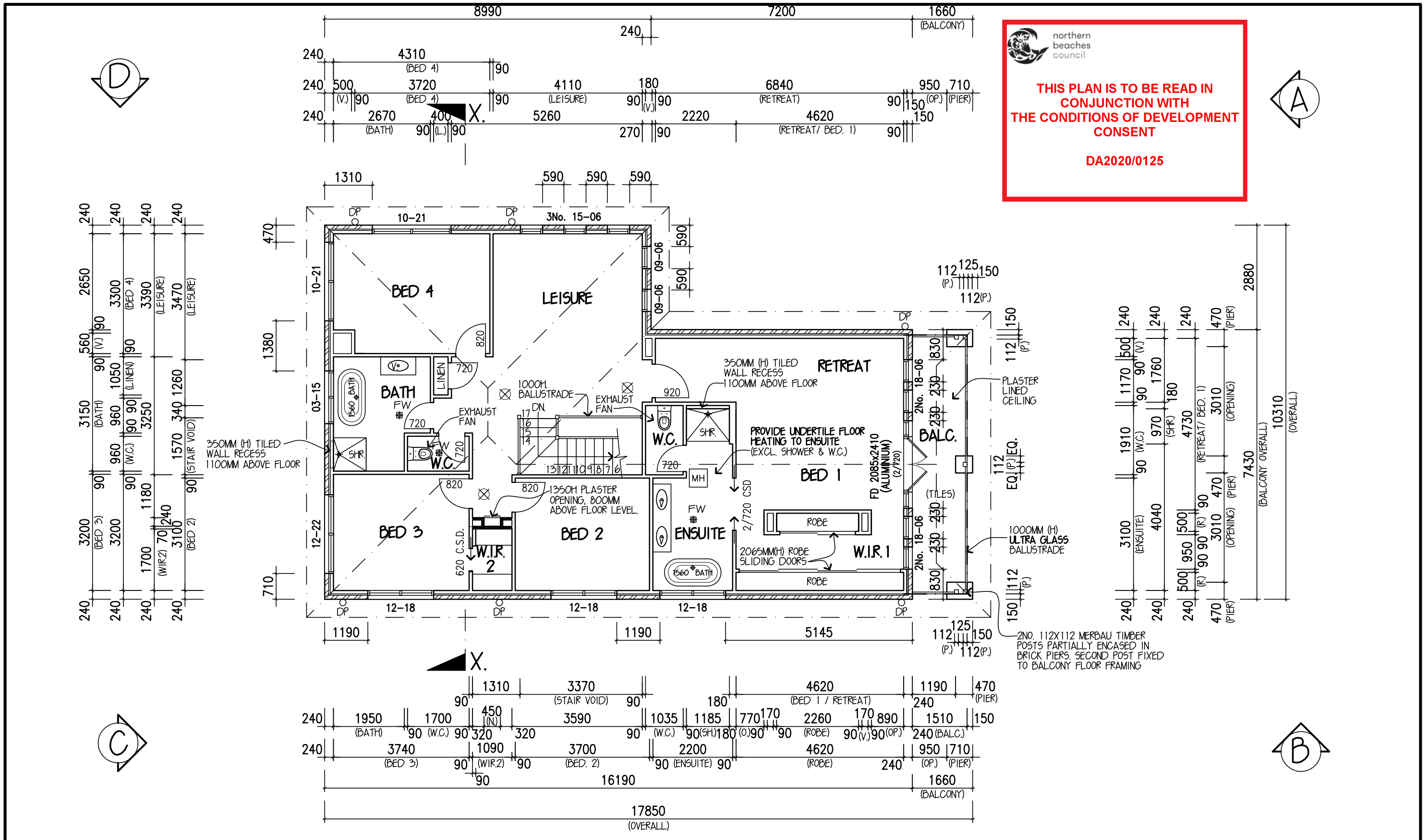
ALL WEATHER ACCESS:
METRICON TO SUPPLY UP TO 5M SUITABLE
ALL WEATHER ACCESS TO BUILDING
PLATFORM DURING CONSTRUCTION

SURVEY LEGEND			
	GULLY PIT	 —	SEWER LINE
	HYDRANT		VEHICLE CROSSING
	SURFACE INLET PIT		STOP VALVE
	SEWER INSPECTION COVER		DEEP EDGE BEAM
	SEWER MANHOLE		GAS METER
	WATER METER		LIGHT POLE
	ELECTRICITY BOX		INVERT
	STORMWATER MANHOLE		TOP OF KERB
	TELSTRA PIT		KERB OUTLET

INTRAX SURVEY DATE: 18.09.19	
CONTOUR INTERVALS: 200MM	
LEVELS TO: AHD	
SITE PLAN	
	Build E, Level 4, 32 Lexington Dr, Baulkham Hills NSW 2153 P.O. Box 7510, Norwest Business Park NSW 2153 Tel: 02 8887 9000 Fax: 02 8079 5901 Contractor Licence No: 174 6399 A.C.N. 005 108 752 www.metricron.com.au

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MR CHO	
LOT 412 NO.12 GOLDSMITH AVENUE, KILLARNEY HEIGHTS	
JOB No. 704765	
DATE: 03.10.19	DRAWN: CADDRAFT
SCALE: 1/200	SHEET: 1 OF 11
UBD REF: SYD XX XX	



SYMBOL LEGEND		DESIGNER		OWNER: MR CHO	
DP DOWNPIPE 90mm ROUND PVC DP DOWNPIPE 100x50mm RECT. C/BOND DP+SPR DOWNPIPE WITH SPREADER RWH DOWNPIPE WITH RAINWATER HEAD EXHAUST FAN. INSTALLED AS PER B.C.A. 3.8.5. & TO COMPLY WITH A.S.1668.2.	⊕ GARDEN TAP ⊕ GAS BAYONET + COLD WATER POINT FW FLOOR WASTE ELEC. METERBOX 600x600 RECESSED A/C U AIR COND. UNIT MH MANHOLE FOR CEILING ACCESS	⊕ SMOKE ALARM APPROX. POSITION INSTALLED AS PER N.C.C. 3.7.2. & TO COMPLY WITH AS 3786. SMOKE ALARMS TO BE INTERCONNECTED AJ ARTICULATION JOINT WHERE ARTICULATION JOINTS ARE NOT SHOWN REFER TO STRUCTURAL ENGINEER'S DETAILS LOAD BEARING WALL 70mm STUD WALL 120mm STUD WALL	DESIGN: WHITTAKER 41 FACADE: PLANTATION CEILING: 27, R GARAGE: DOUBLE LOCATION: F FIRST FLOOR PLAN METRICON HOMES OWNS COPYRIGHT IN THIS DRAWING. UNAUTHORISED USE, REPRODUCTION OR ADAPTATION IS FORBIDDEN AND WILL BE PROSECUTED.	metricon Build. E, Level 4, 32 Lexington Dr, Baulkham Hills NSW 2153 P.O. Box 7510, Norwest Business Park NSW 2153 Tel: 02 8887 9000 Fax: 02 8079 5901 Contractor Licence No: 174 699 A.C.N. 005 108 752 © COPYRIGHT The ideas and the concepts contained within all drawings and documents is the sole property of Metricon Homes	LOT 412 NO.12 GOLDSMITH AVENUE, KILLARNEY HEIGHTS JOB No: 704765 DATE: 02.10.2019 FC DATE: DD.MM.YYYY MST VER: 29.09.2017 SCALE: 1:100 ON A3 SHEET REVISION: E DRAWN: CAD01 CHECK: JF9 SHEET: 3 of 11

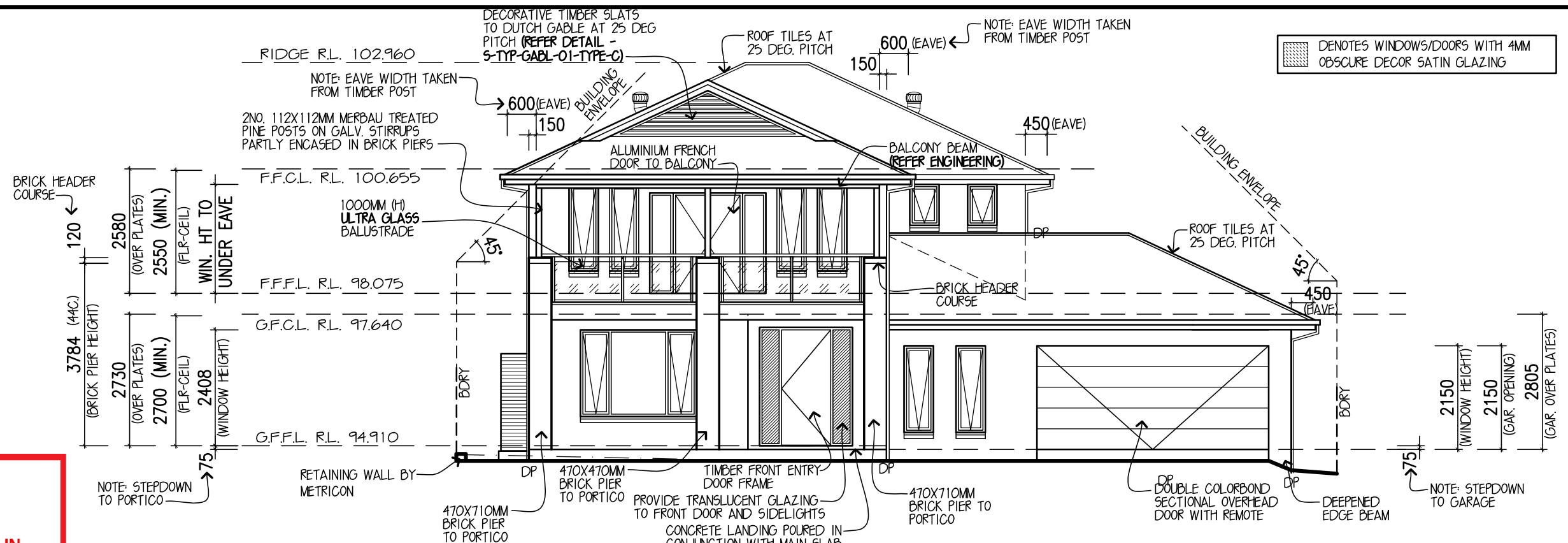
PROVIDE SELECTED FACE BRICKWORK
TO ALL ELEVATIONS
(UNLESS NOTED OTHERWISE)



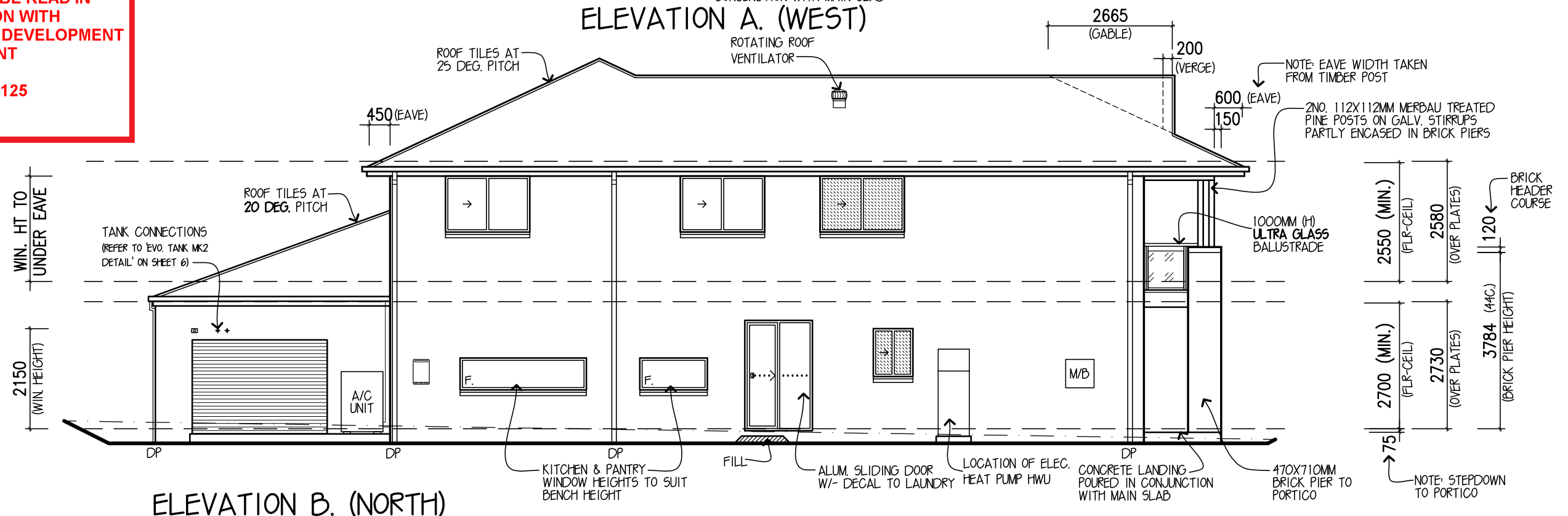
northern
beaches
council

**THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT**

DA2020/0125



ELEVATION A. (WEST)

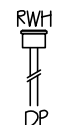


ELEVATION B. (NORTH)

SYMBOL LEGEND



RECESSED
ELECTRICITY
METER BOX



DOWNPIPE W/-
RAINWATER HEAD



ROTATING ROOF VENTILATOR

ARTICULATION JOINT
WHERE ARTICULATION
JOINTS ARE NOT SHOWN
REFER TO STRUCTURAL
ENGINEER'S DETAILS

DESIGN: WHITTAKER 41

FACADE: **PLANTATION** CEILING: **27, R**

GARAGE: DOUBLE LOCATION: F

DESIGNER



OWNER: MR CHO
LOT 412 NO.12 GOLDSMITH AVENUE,
KILLARNEY HEIGHTS

JOB No: **704765**

DATE: 02.10.2019

FC DATE: DD.MM.YYYY	MST VER: 29.09.2017
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SCALE: 1:100 ON A3 SHEET

REVISION: E

DRAWN: CAD01

CHECK: JF9

SHEET: 4 of 11

ELEVATIONS

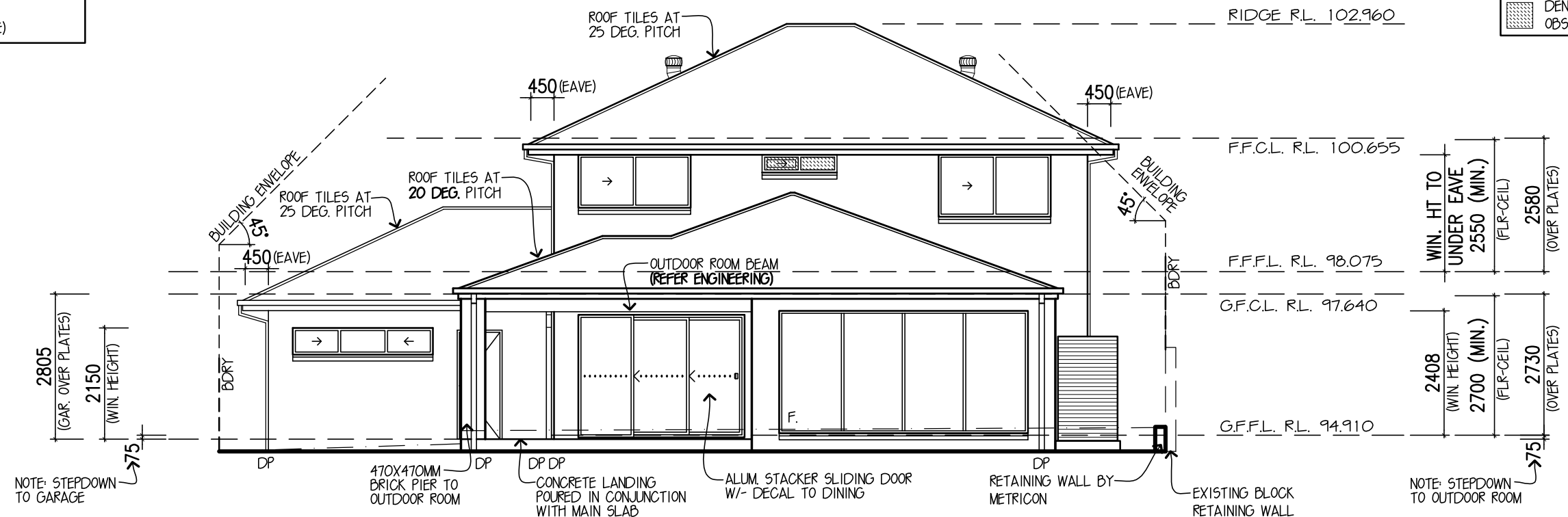
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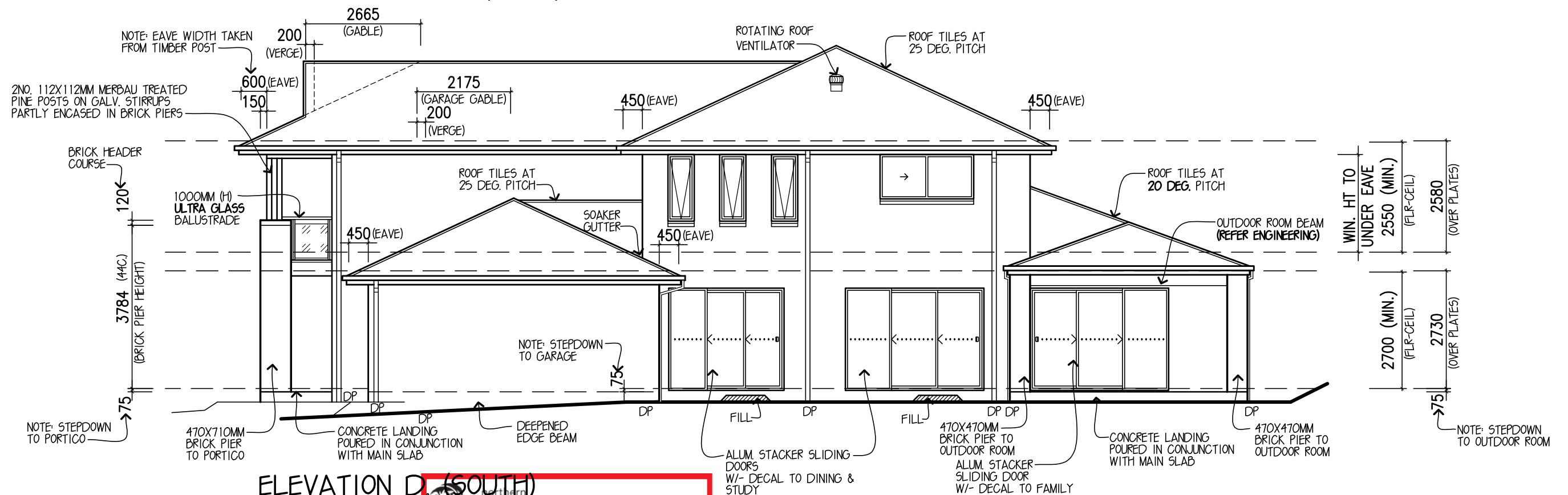
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P.O. Box 7510, Norwest Business Park NSW 2153
Tel: 02 8887 9000 Fax: 02 8079 5901
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PROVIDE **SELECTED FACE BRICKWORK**
TO ALL ELEVATIONS
(UNLESS NOTED OTHERWISE)

 DENOTES WINDOWS/DOORS WITH 4MM
OBSCURE DECOR SATIN GLAZING



ELEVATION C. (EAST)



ELEVATION D. (SOUTH)

SYMBOL LEGEND

 RECESSED
ELECTRICITY
METER BOX

 DOWNPIPE W/
RAINWATER HEAD

 ROTATING ROOF
VENTILATOR

ARTICULATION JOINT
WHERE ARTICULATION
JOINTS ARE NOT SHOWN
REFER TO STRUCTURAL
ENGINEER'S DETAILS



**THIS PLAN IS TO BE READ IN
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THE CONDITIONS OF DEVELOPMENT
CONSENT**

DA2020/0125

DESIGN: WHITTAKER 41
FACADE: PLANTATION CEILING: 27, R
GARAGE: DOUBLE LOCATION: F

ELEVATIONS

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DESIGNER



BY METRICON

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OWNER: MR CHO
LOT 412 NO.12 GOLDSMITH AVENUE,
KILLARNEY HEIGHTS

JOB No: 704765	DATE: 02.10.2019
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FC DATE: DD.MM.YYYY	MST VER: 29.09.2017
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SCALE: 1:100 ON A3 SHEET		REVISION: E
DRAWN: CAD01	CHECK: JF9	SHEET: 5 of 11



'EVOLUTION' MK2 TANK DETAIL

(NOT SUITABLE FOR TANKS EXCEEDING 2020MM HIGH)

SECTION

DESIGNER



BY METRICON

OWNER: MR CHO
LOT 412 NO.12 GOLDSMITH AVENUE,
KILLARNEY HEIGHTS

JOB No: 704765		DATE: 02.10.2019
FC DATE: DD.MM.YYYY		MST VER: 29.09.2017
SCALE: 1:100 ON A3 SHEET		REVISION: E
DRAWN: CAD01	CHECK: JF9	SHEET: 6 of 6