

STRATUM NOTES (SP 90989)

THE STRATUM OF THE TERRACES & TIMBER DECK IS LIMITED IN HEIGHT TO 3m ABOVE THE UPPER SURFACE OF THEIR RESPECTIVE BASE, EXCEPT WHERE COVERED WITHIN THESE LIMITS.

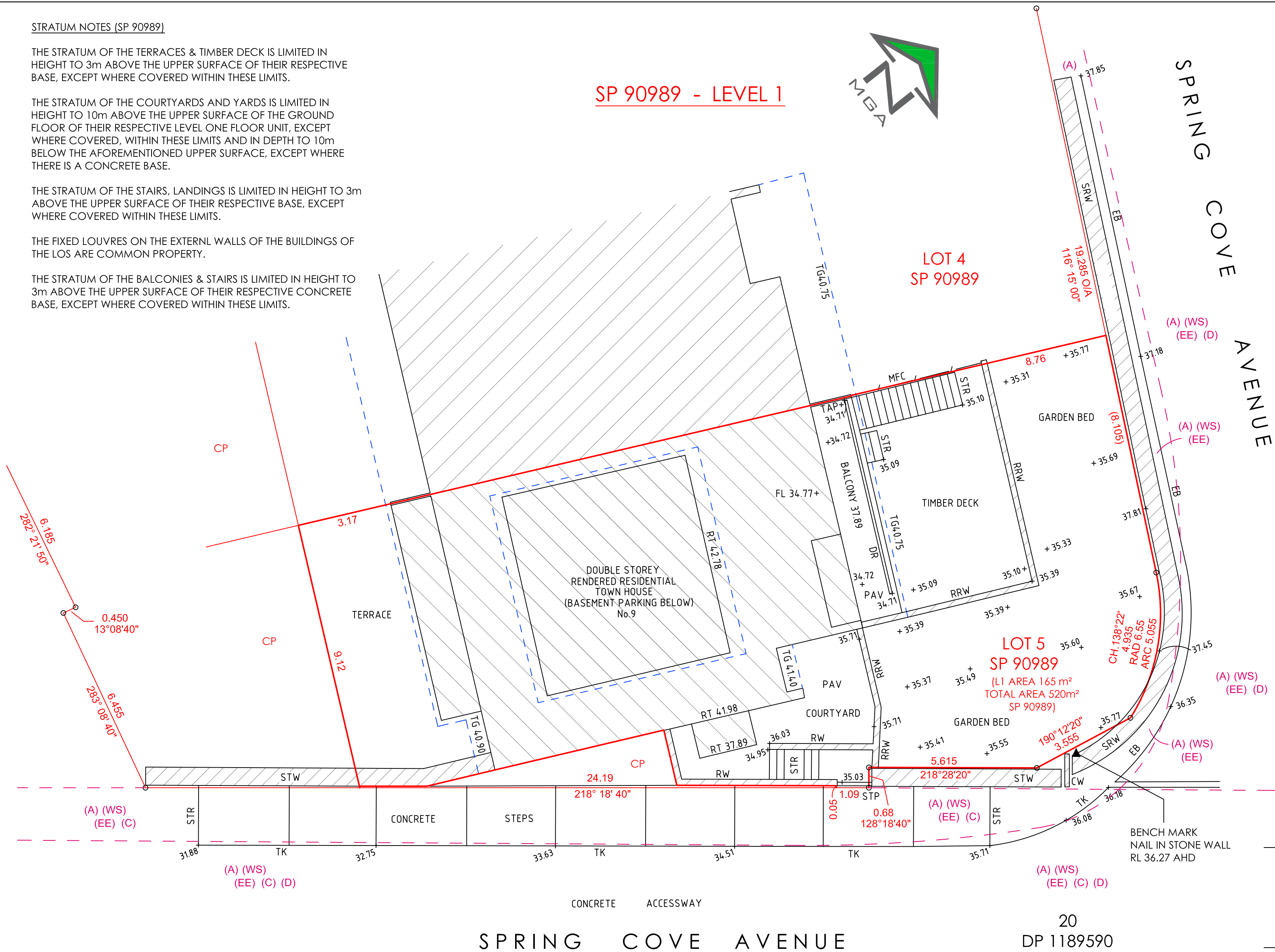
THE STRATUM OF THE COURTYARDS AND YARDS IS LIMITED IN HEIGHT TO 10m ABOVE THE UPPER SURFACE OF THE GROUND FLOOR OF THEIR RESPECTIVE LEVEL ONE FLOOR UNIT, EXCEPT WHERE COVERED, WITHIN THESE LIMITS AND IN DEPTH TO 10m BELOW THE AFOREMENTIONED UPPER SURFACE, EXCEPT WHERE THERE IS A CONCRETE BASE.

THE STRATUM OF THE STAIRS, LANDINGS IS LIMITED IN HEIGHT TO 3m ABOVE THE UPPER SURFACE OF THEIR RESPECTIVE BASE, EXCEPT WHERE COVERED WITHIN THESE LIMITS.

THE FIXED LOUVRES ON THE EXTERNL WALLS OF THE BUILDINGS OF THE LOS ARE COMMON PROPERTY.

THE STRATUM OF THE BALCONIES & STAIRS IS LIMITED IN HEIGHT TO 3m ABOVE THE UPPER SURFACE OF THEIR RESPECTIVE CONCRETE BASE, EXCEPT WHERE COVERED WITHIN THESE LIMITS.

SP 90989 - LEVEL 1



GENERAL NOTES

THESE NOTES ARE AN INTEGRAL PART OF THIS PLAN. THE INFORMATION SHOWN ON THIS PLAN OR IN THE ASSOCIATED CAD FILE IS SUPPLIED ON THE CONDITION THAT THESE GENERAL NOTES ARE ALWAYS SHOWN\KEPT ON ANY COPY OR EXTRACT OF THE HARD COPY\DATA FILE.

THE LOCATION OF PROPERTY BOUNDARIES HAVE BEEN IDENTIFIED FROM FIELD SURVEY MEASUREMENTS & REGISTERED SURVEY PLANS OBTAINED FROM NSW LAND REGISTRY SERVICES & ARE AN EVIDENCE BASED OPINION OF THE PROPERTY BOUNDARY LOCATION.

ANY CONSTRUCTION OR WORKS RELYING ON CRITICAL SETBACKS FROM BOUNDARIES WILL REQUIRE ADDITIONAL BOUNDARY SURVEY & PLACEMENT OF BOUNDARY/SETOUT MARKS PRIOR TO COMMENCEMENT OF ANY WORKS. WUMARA GROUP WILL NOT BE HELD LIABLE FOR ANY ISSUES RESULTING FROM NON COMPLIANCE WITH THIS ADVICE.

NO EASEMENTS BENEFITING OR BURDENING THE SUBJECT LAND ARE NOTED ON THE CERTIFICATE OF TITLE FOR LOT 5 AS AT 13.10.2021.

THE RECORDS OF THE SERVICE AUTHORITIES HAVE NOT BEEN INVESTIGATED. ONLY THOSE SERVICES VISIBLE AT THE TIME OF SURVEY HAVE BEEN SHOWN.

LEVELS ARE BASED ON AUSTRALIAN HEIGHT DATUM (AHD) THE ORIGIN OF WHICH IS PM 884 RL 35.022 AHD (SOURCE: NSW SPATIAL SERVICES).

ABBREVIATIONS

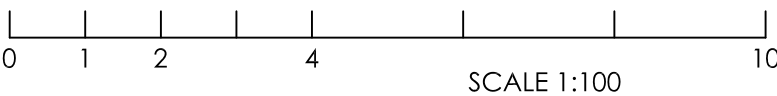
- CP - COMMON PROPERTY
- DR - DRAIN
- EB - EDGE OF BITUMEN
- FL - FLOOR
- L1 - LEVEL 1
- MFC - METAL FENCE
- PAV - PAVING
- RRW - RENDERED RETAINING WALL
- RT - ROOF TOP
- RW - RENDERED WALL
- SRW - STONE RETAINING WALL
- STP - STEP
- STR - STAIR
- STW - STONE WALL
- TG - TOP OF ROOF GUTTER
- TK - TOP OF KERB

Boundary Identification + Partial Feature & Level Survey

PART LOT 5 IN SP 90989
9 SPRING COVE AVENUE, MANLY NSW

| | |
|--------------------------|------------------|
| CLIENT: TONY CLEMENS | REF: 290921DF2 |
| SCALE: 1:100 @ A2 | DATE: 13-10-2021 |
| DATUM: AHD | REVISION: - |
| ORIGIN OF LEVELS: PM 884 | SURVEY: DB SN |
| CONTOUR INTERVAL: N/A | DRAWN: SN |
| LOCALITY: MANLY | CHECKED: DM |
| LGA: NORTHERN BEACHES | SHEET No. 1 OF 1 |

- (A) EASEMENT FOR DRAINAGE OF WATER VARIABLE WIDTH (DP1189590)
- (A) EASEMENT FOR SERVICES VARIABLE WIDTH (DP1189590)
- (A) RIGHT OF ACCESS VARIABLE WIDTH (DP1189590)
- (C) RIGHT OF FOOTWAY 10 WIDE (OVER AXIAL PATHWAY) - (DP1189590)
- (D) EASEMENT FOR OVERLAND FLOW 5 WIDE (DP 1189590)
- (EE) EASEMENT FOR ELECTRICITY PURPOSES VARIABLE WIDTH (DP1189590)
- (WS) EASEMENT FOR WATER SUPPLY PURPOSES 2 WIDE & VARIABLE (DP1189590)



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Surveyor ID: 125

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SYDNEY | BLUE MOUNTAINS | TWEED COAST