

Rapid Plans [www.rapidplans.com.au](http://www.rapidplans.com.au)  
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BUILDING DESIGNERS  
ASSOCIATION OF AUSTRALIA

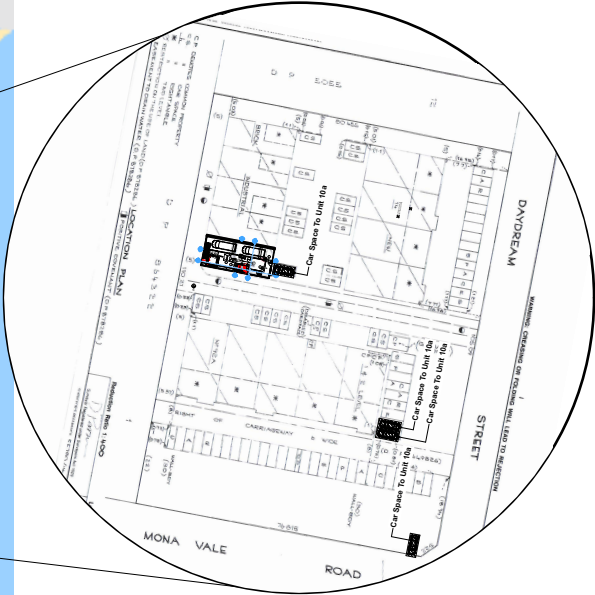


ACCREDITED  
BUILDING DESIGNER

**Change of Use & Alterations For Funeral**  
**Home & Mortuary To Existing Unit**  
**For Bob Wilson**

**10/92a Mona Vale Road, Warriewood**  
**Lot 10 S.P.57385**

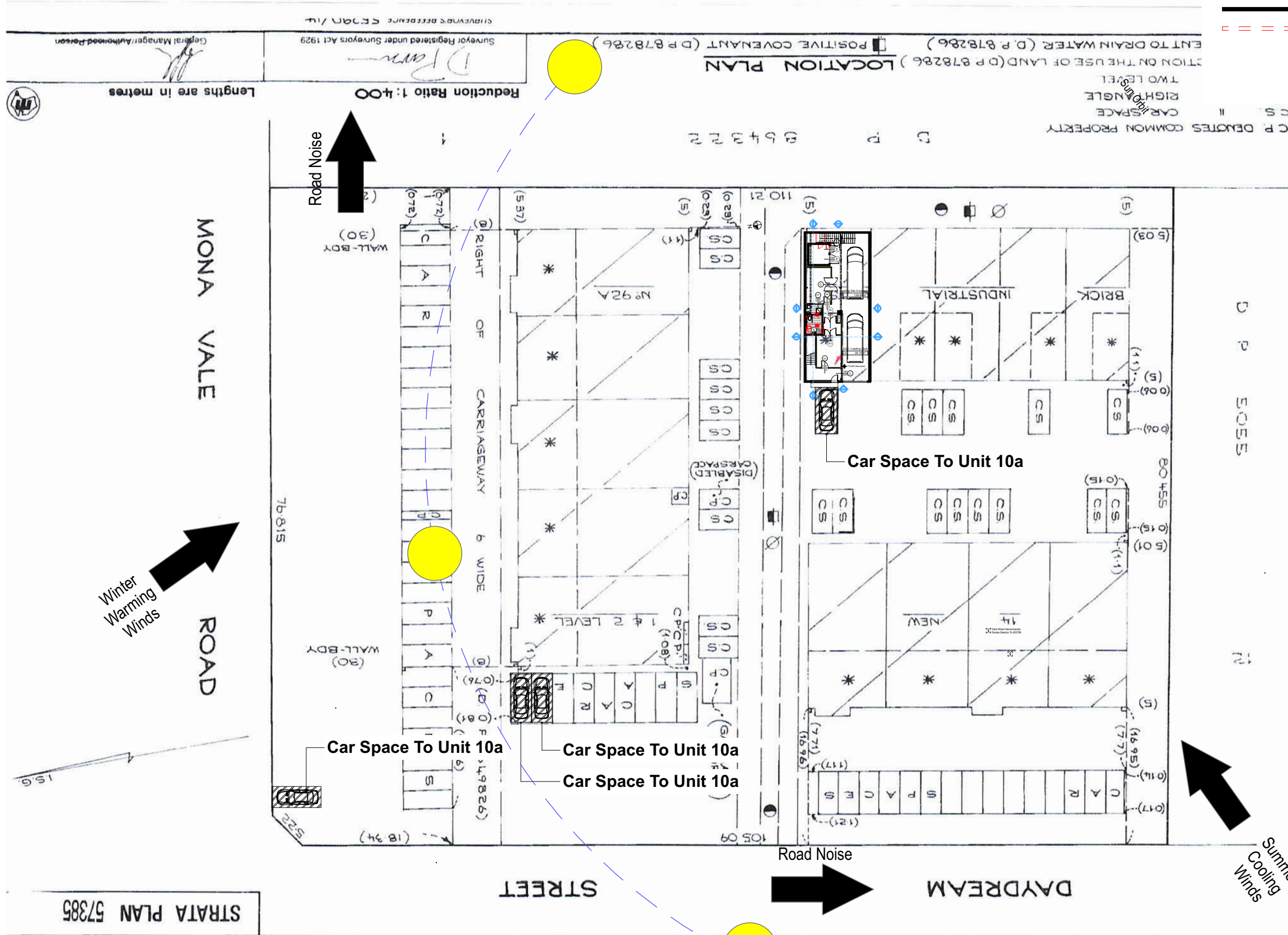
**Project Number: RP0120WIL**



DRAWING No.	DESCRIPTION	REV	ISSUED DATE
DA1000	Cover Sheet		- 18/03/2020
DA1001	A4 NOTIFICATION PLAN		- 18/03/2020
DA1002	SITE SURVEY		- 18/03/2020
DA1003	SITE PLAN		- 18/03/2020
DA1004	Existing Ground Floor Plan		- 18/03/2020
DA1005	Existing First Floor Plan		- 18/03/2020
DA1006	Existing Mezzanine Floor Plan		- 18/03/2020
DA1007	Demolition Ground Floor Plan		- 18/03/2020
DA1008	Demolition First Floor Plan		- 18/03/2020
DA1009	Demolition Mezzanine Floor Plan		- 18/03/2020
DA1010	Waste Management Plan		- 18/03/2020
DA1011	Sediment & Erosion Plan		- 18/03/2020
DA2001	GROUND FLOOR		- 18/03/2020
DA2002	FIRST FLOOR		- 18/03/2020
DA2003	MEZZANINE LEVEL		- 18/03/2020
DA2004	ROOF		- 18/03/2020
DA3000	SECTION 1		- 18/03/2020
DA4000	ELEVATIONS 1		- 18/03/2020
DA4001	ELEVATIONS 2		- 18/03/2020







- Denotes New Works
- Wall Legend**
- Denotes New Timber Framed Wall
- Denotes Existing Wall
- Denotes Demolished Item

Rapid Plans  
Building Design and Architectural Drafting

10/92a Mona Vale Road, Warriewood NSW 1555  
Tel: (02) 9555-8888 Mobile: 0414-845-024  
Email: gregg@rapidplans.com.au

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ASSOCIATION OF AUSTRALIA

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BUILDING DESIGNER

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**NOTES**

10/92a Mona Vale Road, Warriewood is zoned B7 - Business Park

10/92a Mona Vale Road, Warriewood is not considered a heritage item.

All Plans to be read in conjunction with Basic Certificate

New Works to be constructed shown in Shaded/Blue Construction

Steel & Timber Framed, Timber Framed Walls

Refer to Engineers drawings for structural details

All work to Engineers Specification and BCA

Timber framing to BCA and AS 1554

Termite Management to BCA and AS 3660.1

Glazing to BCA and AS1288-2004

Waterproofing to BCA and AS 3740

New Lighting to have minimum of 40% compact fluorescent lamps

All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

**Basic**

Basic Certificate Number N/A

**CDC Information**

Setbacks & Open Space Ratios have Been Determined As Follows:

**Setback Sth Property =**  
Built To Boundary (Exist.)

**Setback Nth Property =**  
Built To Boundary (Exist.)

**Average Front Setback =**  
Built To Boundary (Exist.)

**Rear Set Back Lwr Flr =**  
Built To Boundary (Exist.)  
Min Lwr N/A

**Rear Set Back Up Flr =**  
Built To Boundary (Exist.)  
Min Up N/A

**Side Set Back Lwr Flr =**  
Built To Boundary (Exist.)  
Min Lwr N/A

**Side Set Back Up Flr =**  
Built To Boundary (Exist.)  
Min Up N/A

Building Height = Existing  
Max 8.5m

Site Area = 8,802m<sup>2</sup>

Site Coverage = 138m<sup>2</sup> (Exist.)  
Max N/A

GFA =  
Existing = 295.3m<sup>2</sup>  
Proposed = 309.55m<sup>2</sup>

**Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans**

Project North

Drawn | Checked GBJ  
Plot Date: 18/3/20  
Project NO.: RP0120WIL  
Project Status DA Rev1

Client: Bob Wilson

Site: 10/92a Mona Vale Road, Warriewood

DRAWING TITLE:  
**SITE AND LOCATION  
SITE PLAN**

PROJECT NAME:  
**Change of Use & Alterations**

REVISION NO.

DRAWING NO.  
**DA1003**

Plot Date: 18/3/20  
Sheet Size: A3

**DA APPLICATION ONLY**  
**Not For Construction**

Wall Legend  
Denotes Existing Wall



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**NOTES**  
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**Construction**  
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Refer to Engineers drawing for structural details  
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Termite Management to BCA and AS 3660.1  
Glazing to BCA and AS1288-2004  
Waterproofing to BCA and AS 3740  
New Lighting to have minimum of 40% compact fluorescent lamps  
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

**Basic**  
Basic Certificate Number N/A

**CDC Information**  
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Follows:

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**Rear Set Back Lwr Flr** =  
Built To Boundary (Exist.)  
Min Lwr N/A  
**Rear Set Back Up Flr** =  
Built To Boundary (Exist.)  
Min Up N/A  
**Side Set Back Lwr Flr** =  
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Min Lwr N/A  
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Min Up N/A  
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Max 8.5m  
Site Area = 8,802m<sup>2</sup>  
Site Coverage = 138m<sup>2</sup> (Exist.)  
Max N/A  
GFA =  
Existing = 295.3m<sup>2</sup>  
Proposed = 309.55m<sup>2</sup>

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Drawn | Checked GBJ  
Plot Date: 18/3/20  
Project NO.: RP0120WIL  
Project Status DA Rev1

Client Bob Wilson

Site: 10/92a Mona Vale Road,  
Warriewood

**DRAWING TITLE**  
SITE AND LOCATION  
**Existing Ground Floor  
Plan**

**PROJECT NAME:**  
**Change of Use &  
Alterations**

REVISION NO.

DRAWING NO.  
**DA1004**

Plot Date: 18/3/20  
Sheet Size: A3



Existing Masonry Wall

Existing Beam Over

Remove Exist Steel  
Column & Add  
Steel Support  
Brackets as per  
Eng Details

Existing Staircase

EXISTING GROUND FLOOR  
1:100

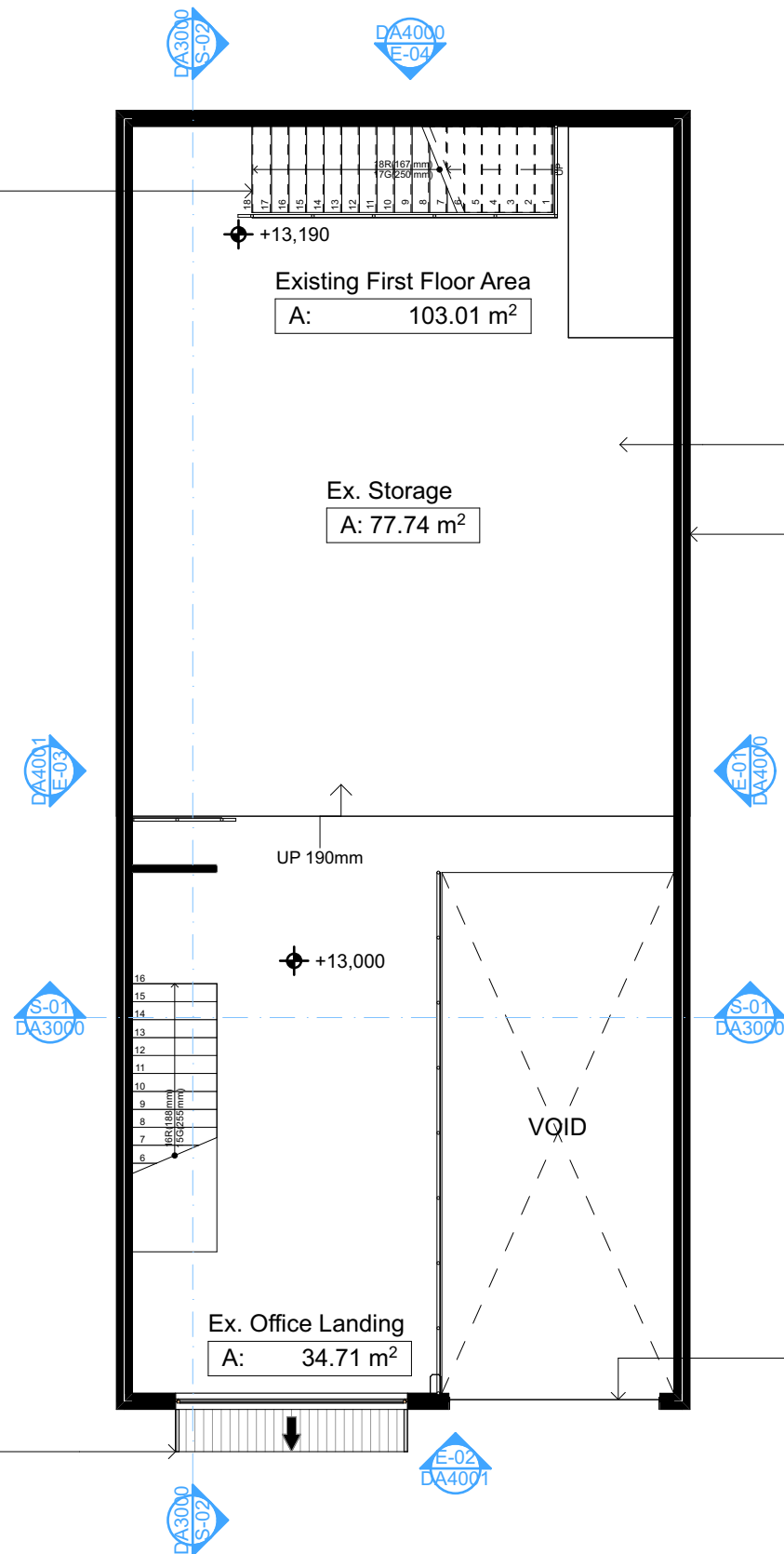
Builder To Check & Confirm Existing  
Measurements Prior to Commencement

**DA APPLICATION  
ONLY  
Not For Construction**



Existing Staircase

2 EXISTING FIRST FLOOR  
1:100



Existing Steel  
Floor Frame  
  
Existing  
Concrete Tilt  
Panel Party Wall

Existing Roll-A-  
Door Garage  
Door

Existing Sheet Metal  
Clad Roof

Wall Legend  
Denotes Existing Wall



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**Construction**  
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New Lighting to have minimum of 40% compact fluorescent lamps  
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Basic Certificate Number N/A

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Built To Boundary (Exist.)  
Min Lwr N/A  
**Rear Set Back Up Flr** =  
Built To Boundary (Exist.)  
Min Up N/A  
**Side Set Back Lwr Flr** =  
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Min Lwr N/A  
**Side Set Back Up Flr** =  
Built To Boundary (Exist.)  
Min Up N/A  
Building Height = Existing  
Max 8.5m  
Site Area = 8,802m<sup>2</sup>  
Site Coverage = 138m<sup>2</sup> (Exist.)  
Max N/A  
GFA =  
Existing = 295.3m<sup>2</sup>  
Proposed = 309.55m<sup>2</sup>

**Builder to Check and Confirm all  
Measurements Prior to  
Commencement of any works.  
Immediately Report any Discrepancies  
to Rapid Plans**



Drawn | Checked GBJ  
Plot Date: 18/3/20  
Project NO.: RP0120WVL  
Project Status DA Rev1

Client Bob Wilson

Site: 10/92a Mona Vale Road,  
Warriewood

**DRAWING TITLE :**  
SITE AND LOCATION  
**Existing First Floor Plan**

**PROJECT NAME :**  
**Change of Use &  
Alterations**

REVISION NO.

DRAWING NO.  
**DA1005**

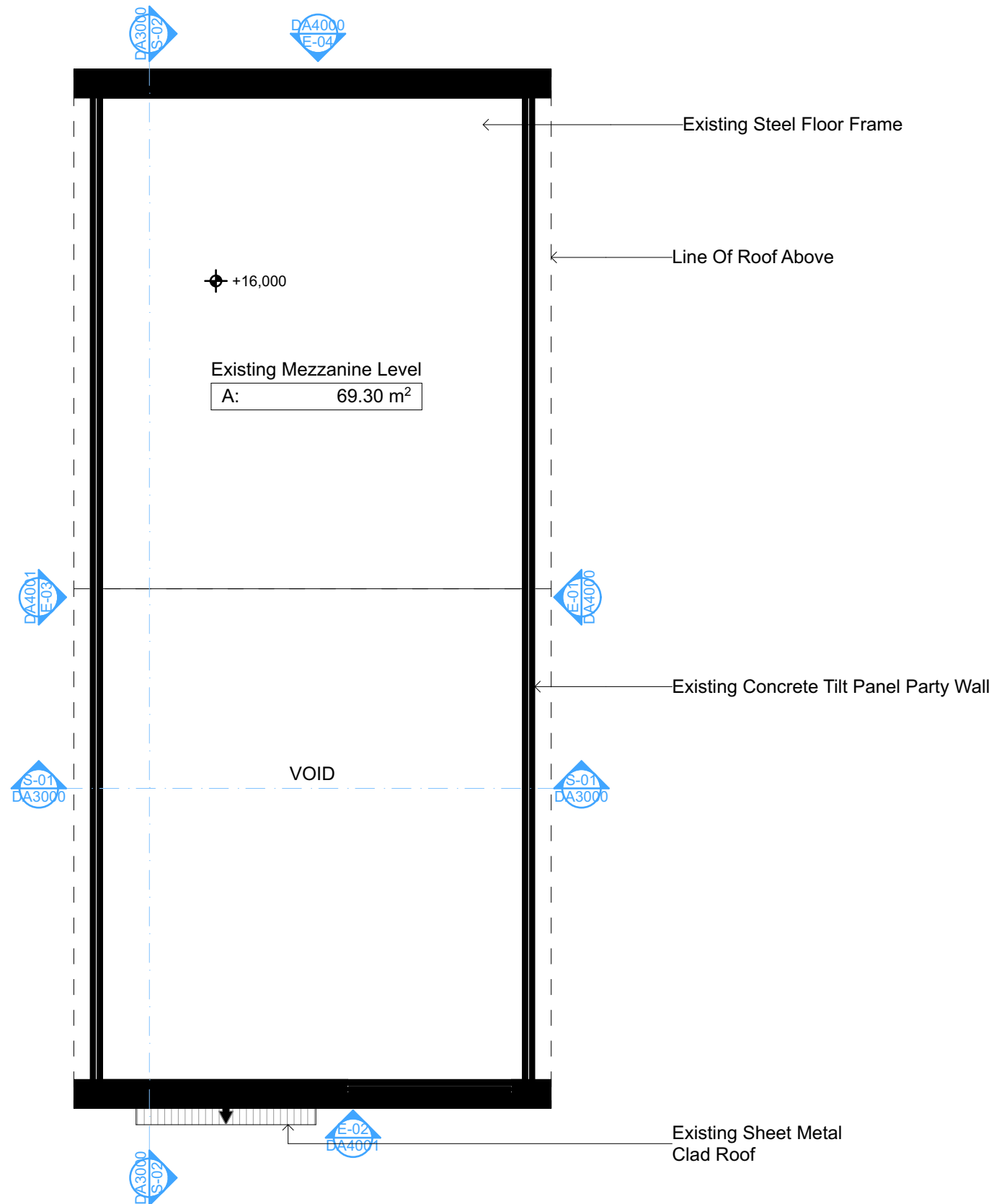
Plot Date: 18/3/20  
Sheet Size: A3

Builder To Check & Confirm Existing  
Measurements Prior to Commencement

**DA APPLICATION  
ONLY  
Not For Construction**



Wall Legend  
Denotes Existing Wall



3 EXISTING MEZZANINE FLOOR  
1:100

Builder To Check & Confirm Existing  
Measurements Prior to Commencement

**DA APPLICATION  
ONLY**  
**Not For Construction**



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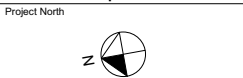
**NOTES**  
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New Works to be constructed shown in Shaded/Blue  
**Construction**  
Steel & Timber Framed, Timber Framed Walls  
Refer to Engineers drawings for structural details  
All work to Engineers Specification and BCA  
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Termite Management to BCA and AS 3660.1  
Glazing to BCA and AS1288-2004  
Waterproofing to BCA and AS 3740  
New Lighting to have minimum of 40% compact fluorescent lamps  
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

**Basic**  
Basic Certificate Number N/A

**CDC Information**  
Setbacks & Open Space Ratios  
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Built To Boundary (Exist.)  
Min Lwr N/A  
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Min Up N/A  
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Built To Boundary (Exist.)  
Min Lwr N/A  
**Side Set Back Up Flr** =  
Built To Boundary (Exist.)  
Min Up N/A  
Building Height = Existing  
Max 8.5m  
**Site Area** = 8,802m<sup>2</sup>  
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Max N/A  
**GFA** =  
Existing = 295.3m<sup>2</sup>  
Proposed = 309.55m<sup>2</sup>

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Drawn | Checked GBJ  
Plot Date: 18/3/20  
Project NO.: RP0120WIL  
Project Status DA Rev1

Client Bob Wilson

Site: 10/92a Mona Vale Road,  
Warriewood

**DRAWING TITLE SITE AND LOCATION**  
**Existing Mezzanine Floor  
Plan**

**PROJECT NAME:**  
**Change of Use &  
Alterations**

REVISION NO.

DRAWING NO.  
**DA1006**

Plot Date: 18/3/20  
Sheet Size: A3





**Wall Legend**

———— Denotes Existing Wall

- - - - - Denotes Demolished Item

Existing Masonry Wall

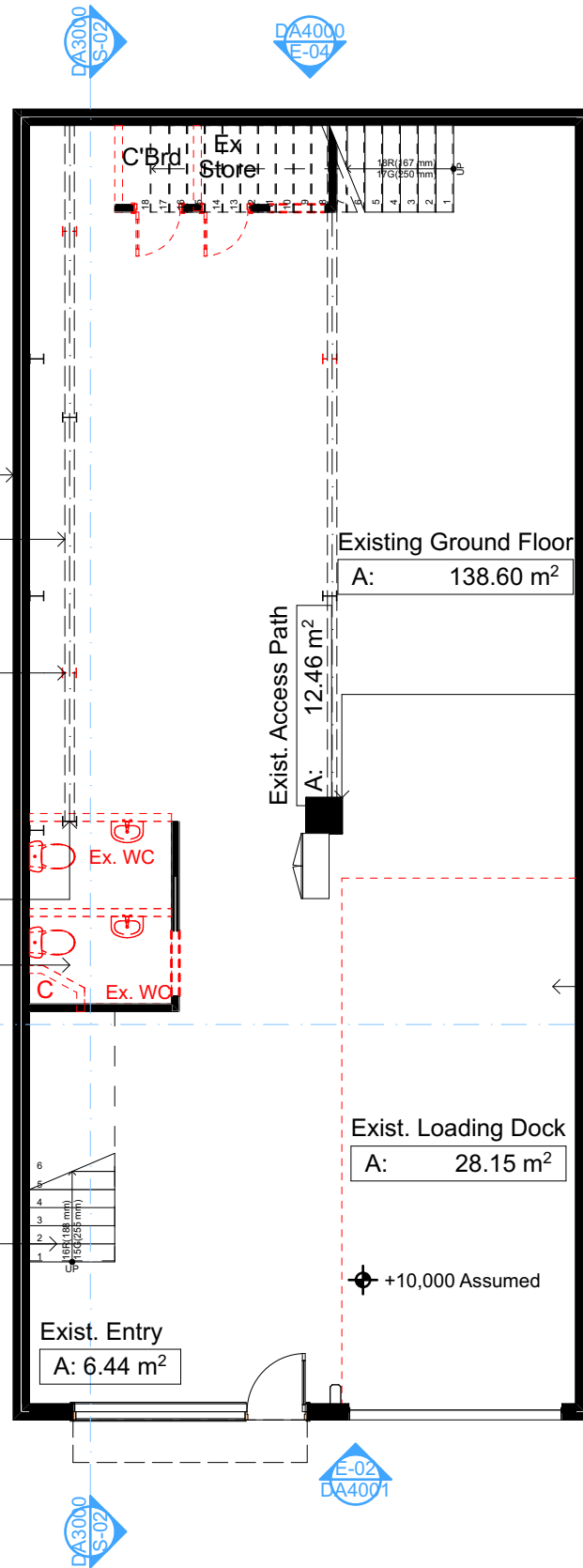
Existing Beam Over

Remove Exist Steel Column & Add Steel Support Brackets as per Eng Details

New Steel Post

Remove Existing Wet Areas

Existing Staircase



1

DEMOLITION GROUND FLOOR  
1:100

All Demolition to be done in Accordance with Australian Standards, BCA and Workcover Regulations

**DA APPLICATION ONLY**  
**Not For Construction**



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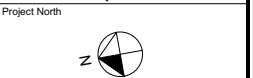
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New Lighting to have minimum of 40% compact fluorescent lamps  
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

**Basic**  
Basic Certificate Number N/A

**CDC Information**  
Setbacks & Open Space Ratios  
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**Setback Nth Property** =  
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Built To Boundary (Exist.)  
Min Lwr N/A  
**Rear Set Back Up Flr** =  
Built To Boundary (Exist.)  
Min Up N/A  
**Side Set Back Lwr Flr** =  
Built To Boundary (Exist.)  
Min Lwr N/A  
**Side Set Back Up Flr** =  
Built To Boundary (Exist.)  
Min Up N/A  
Building Height = Existing  
Max 8.5m  
Site Area = 8,802m<sup>2</sup>  
Site Coverage = 138m<sup>2</sup> (Exist.)  
Max N/A  
GFA =  
Existing = 295.3m<sup>2</sup>  
Proposed = 309.55m<sup>2</sup>

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to Rapid Plans**



Drawn | Checked GBJ  
Plot Date: 18/3/20  
Project NO: RP0120WIL  
Project Status DA Rev1

Client Bob Wilson

Site: 10/92a Mona Vale Road,  
Warriewood

**DRAWING TITLE**  
SITE AND LOCATION  
**Demolition Ground Floor  
Plan**

**PROJECT NAME:**  
**Change of Use &  
Alterations**

REVISION NO.

DRAWING NO.  
**DA1007**

Plot Date: 18/3/20  
Sheet Size: A3



Existing Staircase



Existing First Floor Area  
A: 103.01 m<sup>2</sup>

Ex. Storage  
A: 77.74 m<sup>2</sup>

Male Bench

Locker

Female

Locker

UP 190mm  
+13,000

VOID

Ex. Office Landing  
A: 34.71 m<sup>2</sup>

Existing Sheet Metal  
Clad Roof



Remove Floor Frame  
For Box Lift Void

Existing Steel  
Floor Frame

Existing  
Concrete Tilt  
Panel Party Wall

Existing Roll-A-  
Door Garage  
Door

2 DEMOLITION FIRST FLOOR  
1:100

All Demolition to be done in Accordance with Australian  
Standards, BCA and Workcover Regulations

Wall Legend

— Denotes Existing Wall  
= = = = Denotes Demolished Item



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Glazing to BCA and AS 1288-2004  
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New Lighting to have minimum of 40% compact fluorescent lamps  
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**Basic**  
Basic Certificate Number N/A  
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**Setback Nth Property** =  
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Min Up N/A  
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Built To Boundary (Exist.)  
Min Lwr N/A  
**Side Set Back Up Flr** =  
Built To Boundary (Exist.)  
Min Up N/A  
Building Height = Existing  
Max 8.5m  
Site Area = 8,802m<sup>2</sup>  
Site Coverage = 138m<sup>2</sup> (Exist.)  
Max N/A  
GFA =  
Existing = 295.3m<sup>2</sup>  
Proposed = 309.55m<sup>2</sup>

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Drawn | Checked GBJ  
Plot Date: 18/3/20  
Project NO.: RP0120WIL  
Project Status DA Rev1

Client Bob Wilson

Site: 10/92a Mona Vale Road,  
Warriewood

**DRAWING TITLE**  
SITE AND LOCATION  
**Demolition First Floor  
Plan**

**PROJECT NAME:**  
**Change of Use &  
Alterations**

REVISION NO.

DRAWING NO.  
**DA1008**

Plot Date: 18/3/20  
Sheet Size: A3

**DA APPLICATION  
ONLY  
Not For Construction**





**Wall Legend**  
— Denotes Existing Wall  
- - - Denotes Demolished Item

Existing Steel Framed  
Mezzanine Level To Be  
Removed

Existing Mezzanine Level  
A: 69.30 m<sup>2</sup>

Line Of Roof Above

Existing Concrete Tilt Panel Party Wall

Existing Sheet Metal  
Clad Roof

3

DEMOLITION MEZZANINE FLOOR  
1:100

All Demolition to be done in Accordance with Australian  
Standards, BCA and Workcover Regulations

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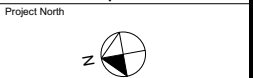
**NOTES**  
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New Lighting to have minimum of 40% compact fluorescent lamps  
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**Basic**  
Basic Certificate Number N/A

**CDC Information**  
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Site Area = 8,802m<sup>2</sup>  
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Max N/A  
GFA =  
Existing = 295.3m<sup>2</sup>  
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Drawn | Checked GBJ  
Plot Date: 18/3/20  
Project NO.: RP0120WIL  
Project Status DA Rev1

Client Bob Wilson

Site: 10/92a Mona Vale Road,  
Warriewood

**DRAWING TITLE**  
SITE AND LOCATION  
**Demolition Mezzanine  
Floor Plan**

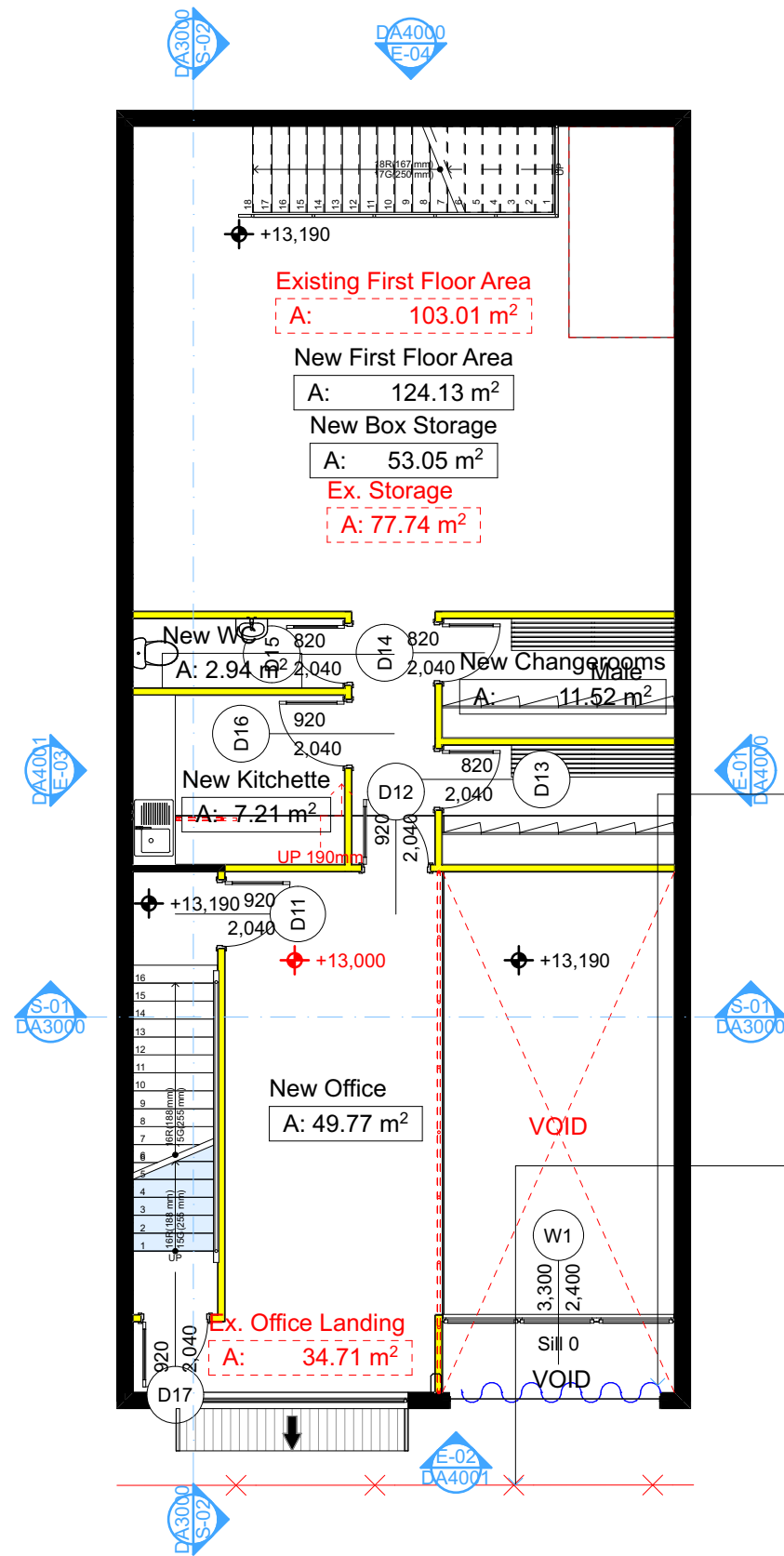
**PROJECT NAME:**  
**Change of Use &  
Alterations**

REVISION NO.

DRAWING NO.  
**DA1009**

Plot Date: 18/3/20  
Sheet Size: A3

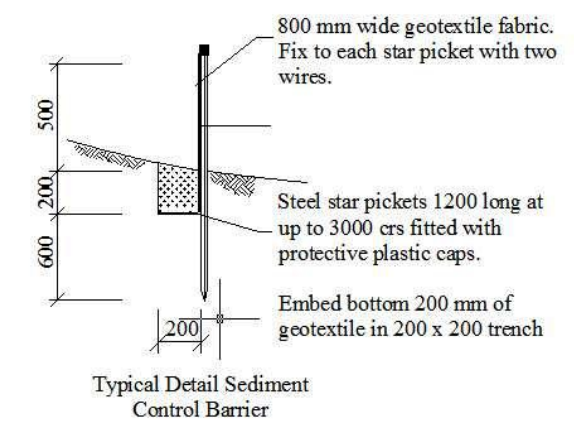
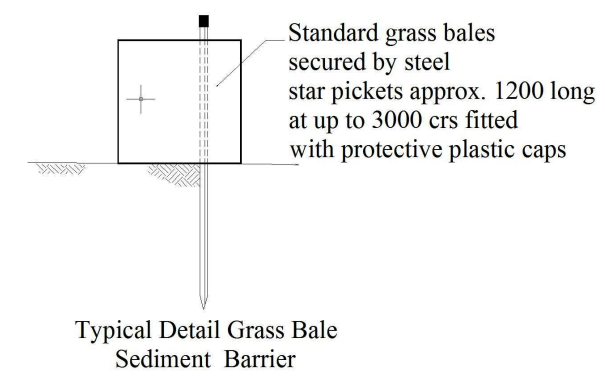
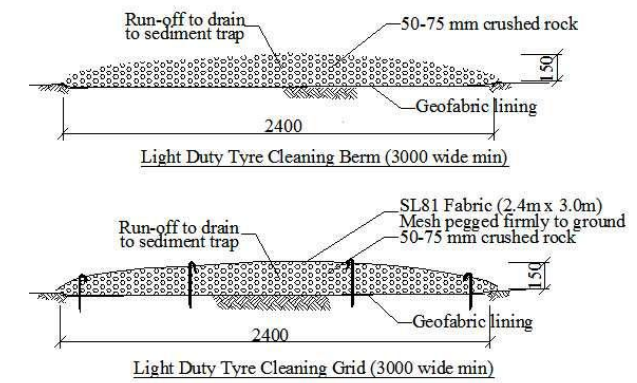




# Sediment Control Fence

# Site Safety Fence

- Denotes New Works
- Denotes New Timber Framed Wall
- Denotes Existing Wall
- Denotes Demolished Item



**DA APPLICATION ONLY**  
**Not For Construction**

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**NOTES**

10/92a Mona Vale Road, Warriewood is zoned B7 - Business Park

New Works to be constructed shown in Shaded/Blue Construction

Steel & Timber Framed, Timber Framed Walls

Refer to Engineers drawing for structural details

All work to Engineers Specification and BCA

Timber framing to BCA and AS 1554

Termite Management to BCA and AS 3660.1

Glazing to BCA and AS 1288-2007

Waterproofing to BCA and AS 3740

New Lighting to have minimum of 40% compact fluorescent lamps

All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Basic Certificate Number N/A

**CDC Information**

Setbacks & Open Space Ratios have Been Determined As Follows:

**Setback Sth Property** = Built To Boundary (Exist.)

**Setback Nth Property** = Built To Boundary (Exist.)

**Average Front Setback** = Built To Boundary (Exist.)

**Rear Set Back Lwr Flr** = Built To Boundary (Exist.)

**Rear Set Back Up Flr** = Built To Boundary (Exist.)

**Side Set Back Lwr Flr** = Built To Boundary (Exist.)

**Side Set Back Up Flr** = Built To Boundary (Exist.)

**Min Up N/A**

**Building Height** = Existing

**Max 8.5m**

**Site Area** = 8,802m<sup>2</sup>

**Site Coverage** = 138m<sup>2</sup> (Exist.)

**Max N/A**

**GFA** = Existing = 295.3m<sup>2</sup> Proposed = 309.55m<sup>2</sup>

**Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans**

Project North

Drawn | Checked GBJ  
Plot Date: 18/3/20  
Project NO.: RP0120WIL  
Project Status DA Rev1

Client: Bob Wilson

Site: 10/92a Mona Vale Road, Warriewood

**DRAWING TITLE:**  
**SITE AND LOCATION**  
**Sediment & Erosion Plan**

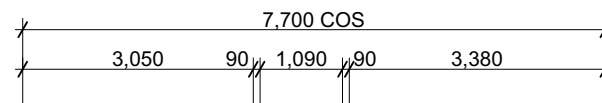
**PROJECT NAME:**  
**Change of Use & Alterations**

REVISION NO.

DRAWING NO.  
**DA1011**

Plot Date: 18/3/20  
Sheet Size: A3





Relocate exist Steel Post

New Refridgerator To Manufacturers Details. Non-Trafficable Slab Slide Fridge or Similar

Existing Masonry Wall

Existing Beam Over

Remove Exist Steel Column & Add Steel Support Brackets as per Eng Details

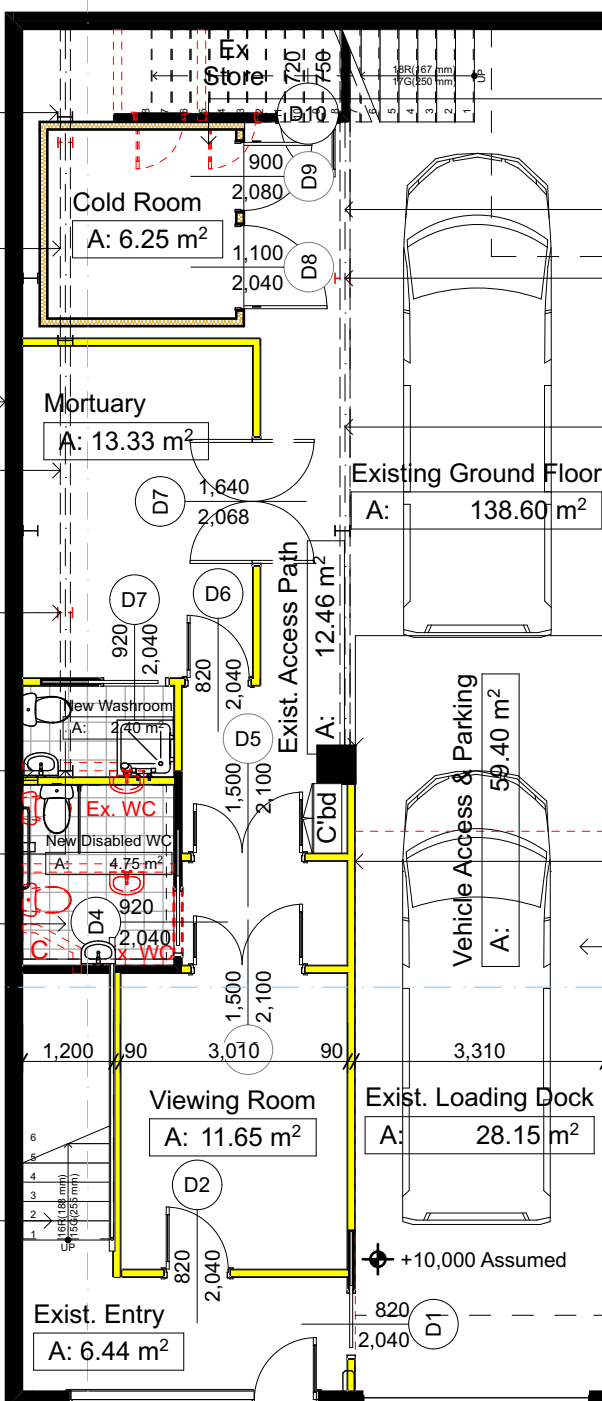
Wet Areas To Be Waterproofed To BCA & Aust. Stds.

New Steel Post

Remove Existing Wet Areas

Existing Staircase

Line Of Roof Above



Block In Door To Match Existing

New Beam Over To Engineering Details  
Demolish Items Shown Red Dashed

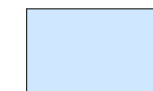
Existing Beam Over

Existing Concrete Tilt Panel Party Wall

Existing Concrete Column

New Timber or Steel Framed Plasterboard Lining Partion Walls

Existing Concrete Slab



Denotes New Works

Wall Legend



Denotes Existing Wall



Denotes Demolished Item



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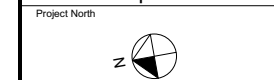
**NOTES**  
10/92a Mona Vale Road, Warriewood is zoned B7 - Business Park  
10/92a Mona Vale Road, Warriewood is not considered a heritage item.  
All Plans to be read in conjunction with Basic Certificate  
New Works to be constructed shown in Shaded Blue  
**Construction**  
Steel & Timber Framed, Timber Framed Walls  
Refer to Engineers drawings for structural details  
All work to Engineers Specification and BCA  
Timber framing to BCA and AS 1554  
Termite Management to BCA and AS 3660.1  
Glazing to BCA and AS 1288-2004  
Waterproofing to BCA and AS 3740  
New Lighting to have minimum of 40% compact fluorescent lamps  
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

**Basic**  
Basic Certificate Number N/A

**CDC Information**  
Setbacks & Open Space Ratios have Been Determined As Follows:

**Setback Sth Property** = Built To Boundary (Exist.)  
**Setback Nth Property** = Built To Boundary (Exist.)  
**Average Front Setback** = Built To Boundary (Exist.)  
**Rear Set Back Lwr Flr** = Built To Boundary (Exist.)  
Min Lwr N/A  
**Rear Set Back Up Flr** = Built To Boundary (Exist.)  
Min Up N/A  
**Side Set Back Lwr Flr** = Built To Boundary (Exist.)  
Min Lwr N/A  
**Side Set Back Up Flr** = Built To Boundary (Exist.)  
Min Up N/A  
Building Height = Existing  
Max 8.5m  
**Site Area** = 8,802m<sup>2</sup>  
**Site Coverage** = 138m<sup>2</sup> (Exist.)  
Max N/A  
**GFA** =  
Existing = 295.3m<sup>2</sup>  
Proposed = 309.55m<sup>2</sup>

**Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans**



Drawn | Checked GBJ  
Plot Date: 18/3/20  
Project NO.: RP0120WIL  
Project Status DA Rev1

Client Bob Wilson

Site: 10/92a Mona Vale Road, Warriewood

**DRAWING TITLE:**  
PLANS  
**GROUND FLOOR**

**PROJECT NAME:**  
**Change of Use & Alterations**

REVISION NO.

DRAWING NO.  
**DA2001**

Plot Date: 18/3/20  
Sheet Size: A3

1

**GROUND FLOOR**  
1:100

**DA APPLICATION ONLY**  
**Not For Construction**



Existing Staircase

Wet Areas To Be  
Waterproofed To BCA &  
Aust. Stds.

New Floor Over  
Existing Steel Frame. RL To  
Match Box Storage RL

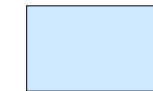
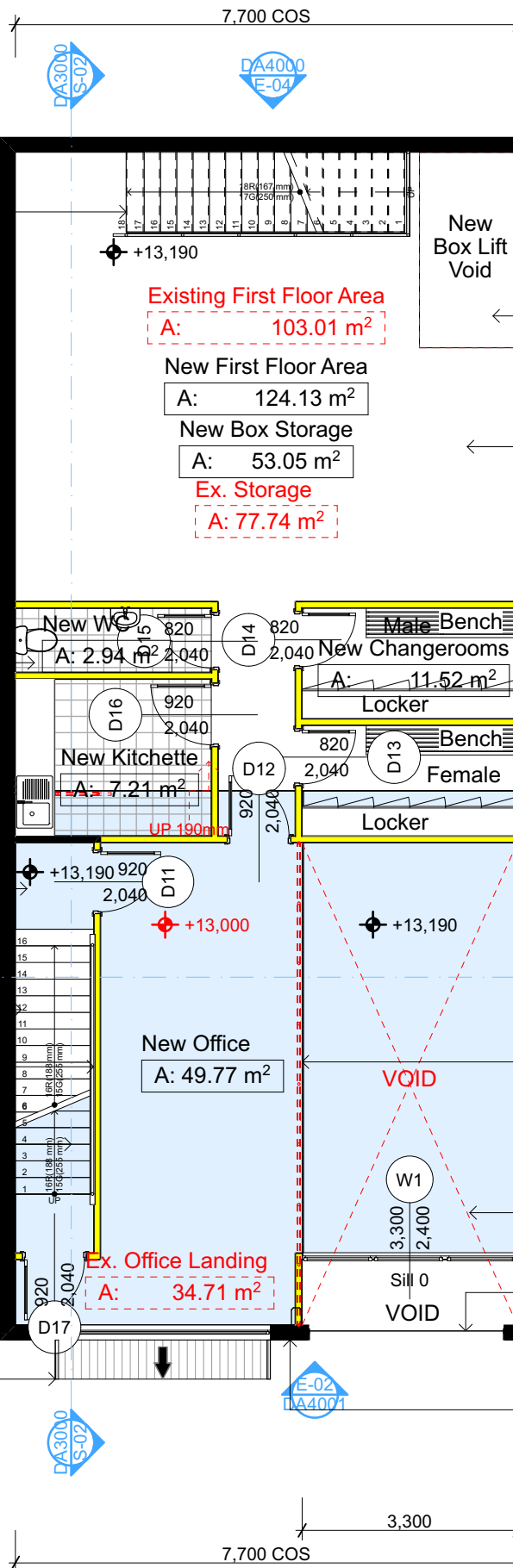
Existing Staircase

New Gyprock Clad 90mm  
Timber Stud Walls

New Steel Frame Stairs  
To Eng. Details

Existing Sheet Metal  
Clad Roof

FIRST FLOOR  
1:100



Denotes New Works



Wall Legend

Denotes New Timber Framed Wall



Denotes Existing Wall



Denotes Demolished Item

Remove Floor Frame  
For Box Lift Void

Existing Steel  
Floor Frame

Existing  
Concrete Tilt  
Panel Party Wall

Demolish Items Shown  
Red Dashed

New Steel Floor Frame  
To Eng. Details

Existing Roll-A-  
Door Garage  
Door

New Signage To  
Manufacturers Details

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ONLY**  
**Not For Construction**



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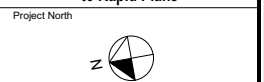
**NOTES**  
10/92a Mona Vale Road, Warriewood is zoned B7 - Business Park  
10/92a Mona Vale Road, Warriewood is not considered a heritage item.  
All Plans to be read in conjunction with Basic Certificate  
New Works to be constructed shown in Shaded Blue  
**Construction**  
Steel & Timber Framed, Timber Framed Walls  
Refer to Engineers drawings for structural details  
All work to Engineers Specification and BCA  
Timber framing to BCA and AS 1554  
Termite Management to BCA and AS 3660.1  
Glazing to BCA and AS 1288-2004  
Waterproofing to BCA and AS 3740  
New Lighting to have minimum of 40% compact fluorescent lamps  
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

**Basic**  
Basic Certificate Number N/A

**CDC Information**  
Setbacks & Open Space Ratios  
have Been Determined As  
Follows:

**Setback Sth Property** =  
Built To Boundary (Exist.)  
**Setback Nth Property** =  
Built To Boundary (Exist.)  
**Average Front Setback** =  
Built To Boundary (Exist.)  
**Rear Set Back Lwr Flr** =  
Built To Boundary (Exist.)  
Min Lwr N/A  
**Rear Set Back Up Flr** =  
Built To Boundary (Exist.)  
Min Up N/A  
**Side Set Back Lwr Flr** =  
Built To Boundary (Exist.)  
Min Lwr N/A  
**Side Set Back Up Flr** =  
Built To Boundary (Exist.)  
Min Up N/A  
Building Height = Existing  
Max 8.5m  
Site Area = 8,802m<sup>2</sup>  
Site Coverage = 138m<sup>2</sup> (Exist.)  
Max N/A  
GFA =  
Existing = 295.3m<sup>2</sup>  
Proposed = 309.55m<sup>2</sup>

**Builder to Check and Confirm all  
Measurements Prior to  
Commencement of any works.  
Immediately Report any Discrepancies  
to Rapid Plans**



Drawn | Checked GBJ  
Plot Date: 18/3/20  
Project NO.: RP0120WIL  
Project Status DA Rev1

Client Bob Wilson

Site: 10/92a Mona Vale Road,  
Warriewood

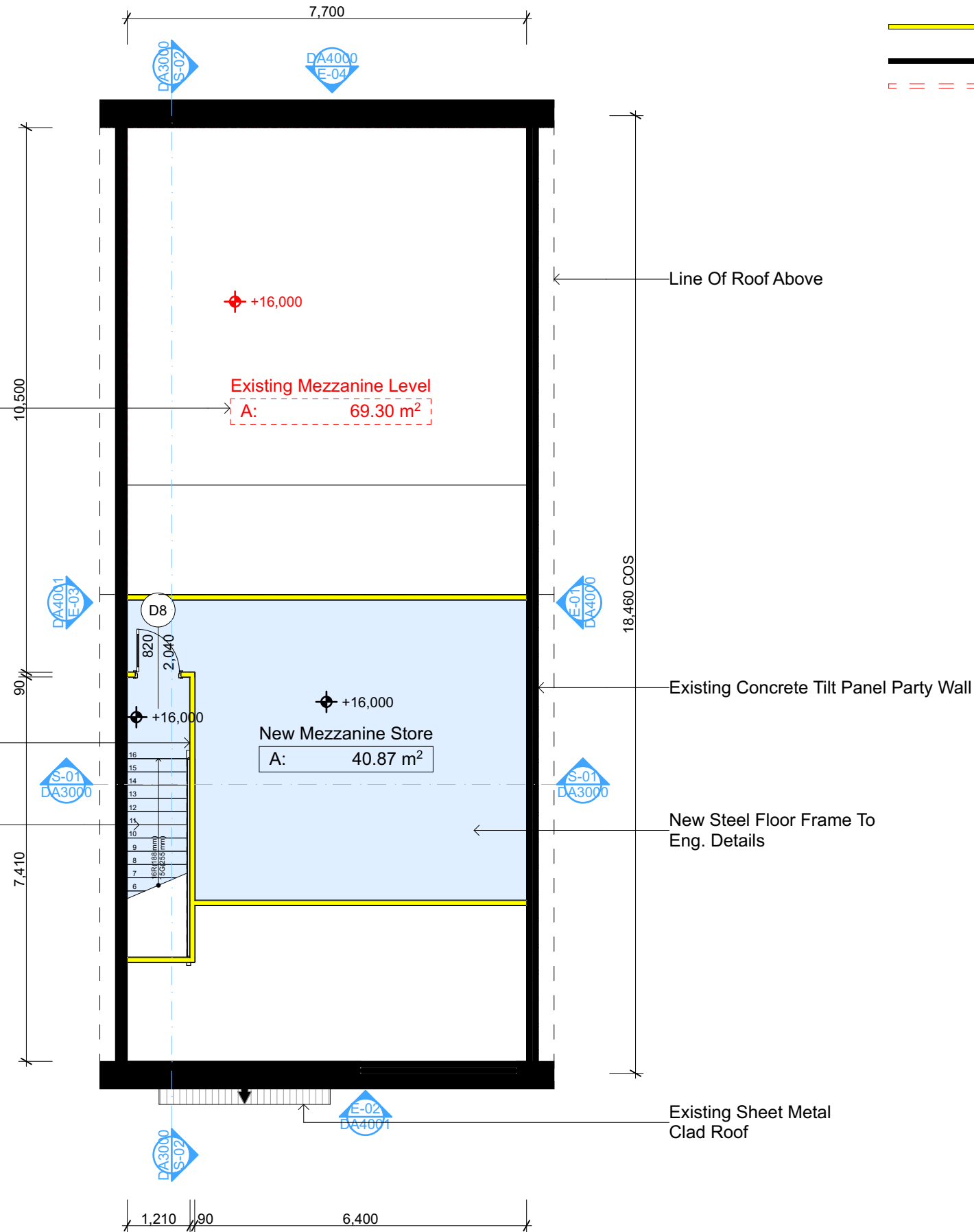
DRAWING TITLE:  
PLANS  
**FIRST FLOOR**

PROJECT NAME:  
**Change of Use &  
Alterations**

REVISION NO.

DRAWING NO.  
**DA2002**

Plot Date: 18/3/20  
Sheet Size: A3



3 MEZZANINE FLOOR  
1:100



Denotes New Works



Denotes New Timber Framed Wall



Denotes Existing Wall



Denotes Demolished Item

### Wall Legend

**DA APPLICATION  
ONLY  
Not For Construction**



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**NOTES**  
10/92a Mona Vale Road, Warriewood is zoned B7 - Business Park  
10/92a Mona Vale Road, Warriewood is not considered a heritage item.  
All Plans to be read in conjunction with Basic Certificate  
New Works to be constructed shown in Shaded/Blue  
**Construction**  
Steel & Timber Framed, Timber Framed Walls  
Refer to Engineers drawings for structural details  
All work to Engineers Specification and BCA  
Timber framing to BCA and AS 1554  
Termite Management to BCA and AS 3660.1  
Glazing to BCA and AS 1288-2007  
Waterproofing to BCA and AS 3740  
New Lighting to have minimum of 40% compact fluorescent lamps  
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

**Basic**  
Basic Certificate Number N/A

**CDC Information**  
Setbacks & Open Space Ratios  
have Been Determined As  
Follows:

**Setback Sth Property** =  
Built To Boundary (Exist.)  
**Setback Nth Property** =  
Built To Boundary (Exist.)  
**Average Front Setback** =  
Built To Boundary (Exist.)  
**Rear Set Back Lwr Flr** =  
Built To Boundary (Exist.)  
Min Lwr N/A  
**Rear Set Back Up Flr** =  
Built To Boundary (Exist.)  
Min Up N/A  
**Side Set Back Lwr Flr** =  
Built To Boundary (Exist.)  
Min Lwr N/A  
**Side Set Back Up Flr** =  
Built To Boundary (Exist.)  
Min Up N/A  
Building Height = Existing  
Max 8.5m  
**Site Area** = 8,802m<sup>2</sup>  
**Site Coverage** = 138m<sup>2</sup> (Exist.)  
Max N/A  
**GFA** =  
Existing = 295.3m<sup>2</sup>  
Proposed = 309.55m<sup>2</sup>

**Builder to Check and Confirm all  
Measurements Prior to  
Commencement of any works.  
Immediately Report any Discrepancies  
to Rapid Plans**



Drawn | Checked GBJ  
Plot Date: 18/3/20  
Project NO.: RP0120WIL  
Project Status DA Rev1

Client Bob Wilson

Site: 10/92a Mona Vale Road,  
Warriewood

DRAWING TITLE: PLANS  
**MEZZANINE LEVEL**

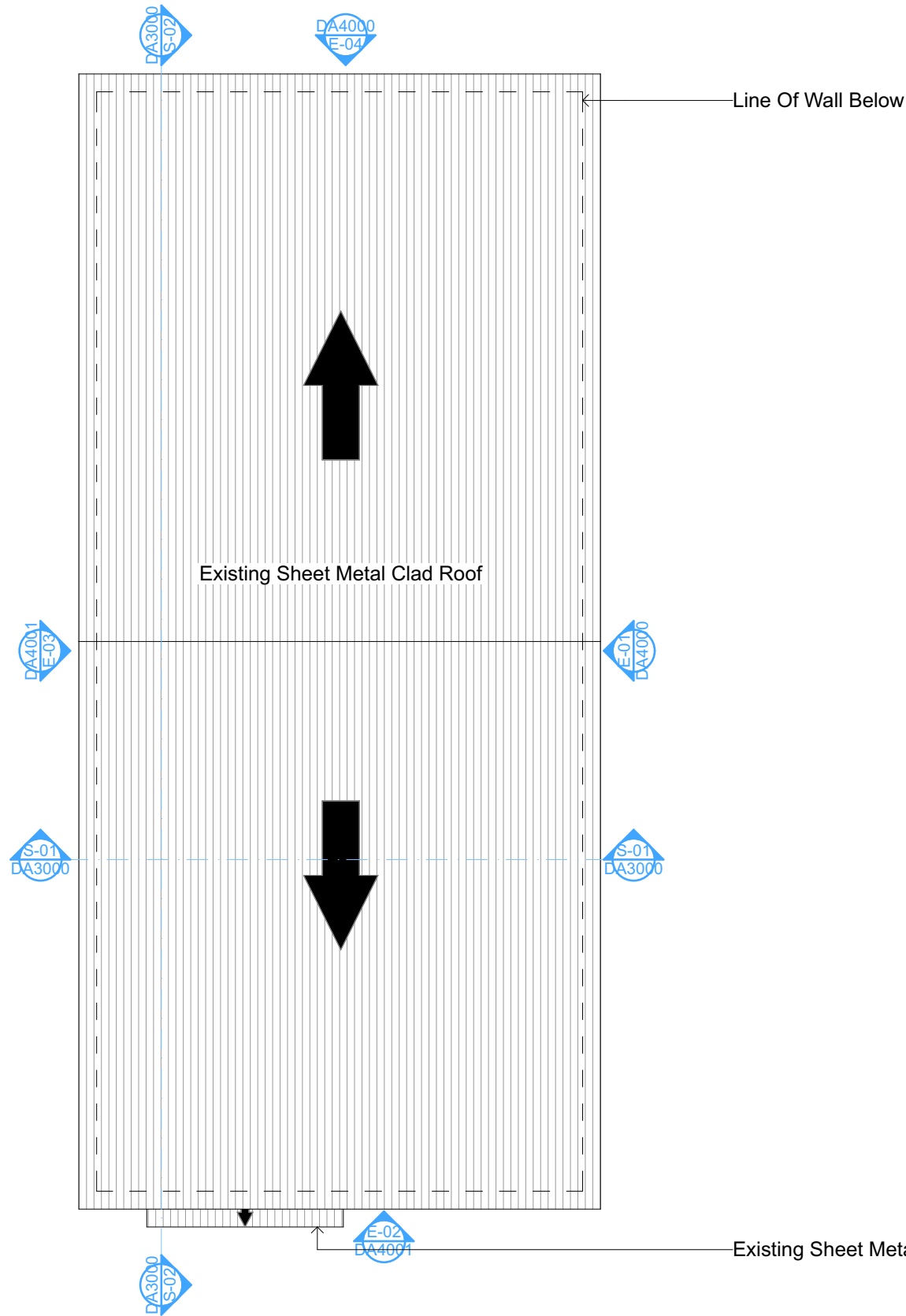
PROJECT NAME:  
**Change of Use &  
Alterations**

REVISION NO.

DRAWING NO.  
**DA2003**

Plot Date: 18/3/20  
Sheet Size: A3





- Denotes New Works
- Wall Legend**
- Denotes New Timber Framed Wall
  - Denotes New Masonry Wall
  - Denotes New Concrete Block Wall
  - Denotes New Concrete
  - Denotes Existing Wall
  - Denotes Demolished Item

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**NOTES**

10/92a Mona Vale Road, Warriewood is zoned B7 - Business Park

10/92a Mona Vale Road, Warriewood is not considered a heritage item.

All Plans to be read in conjunction with Basic Certificate

New Works to be constructed shown in Shaded/Blue

**Construction**

Steel & Timber Framed, Timber Framed Walls

Refer to Engineers drawing for structural details

All work to Engineers Specification and BCA

Timber framing to BCA and AS 1554

Termite Management to BCA and AS 3660.1

Glazing to BCA and AS 1288-2004

Waterproofing to BCA and AS 3740

New Lighting to have minimum of 40% compact fluorescent lamps

All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

**Basic**

Basic Certificate Number N/A

**CDC Information**

Setbacks & Open Space Ratios have Been Determined As Follows:

**Setback Sth Property =**  
Built To Boundary (Exist.)

**Setback Nth Property =**  
Built To Boundary (Exist.)

**Average Front Setback =**  
Built To Boundary (Exist.)

**Rear Set Back Lwr Flr =**  
Built To Boundary (Exist.)  
Min Lwr N/A

**Rear Set Back Up Flr =**  
Built To Boundary (Exist.)  
Min Up N/A

**Side Set Back Lwr Flr =**  
Built To Boundary (Exist.)  
Min Lwr N/A

**Side Set Back Up Flr =**  
Built To Boundary (Exist.)  
Min Up N/A

Building Height = Existing  
Max 8.5m

Site Area = 8,802m<sup>2</sup>

Site Coverage = 138m<sup>2</sup> (Exist.)  
Max N/A

GFA =  
Existing = 295.3m<sup>2</sup>  
Proposed = 309.55m<sup>2</sup>

**Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans**

Project North

Drawn | Checked GBJ  
Plot Date: 18/3/20  
Project NO.: RP0120WIL  
Project Status DA Rev1

Client Bob Wilson

Site: 10/92a Mona Vale Road, Warriewood

DRAWING TITLE :  
PLANS  
ROOF

PROJECT NAME :  
**Change of Use & Alterations**

REVISION NO.

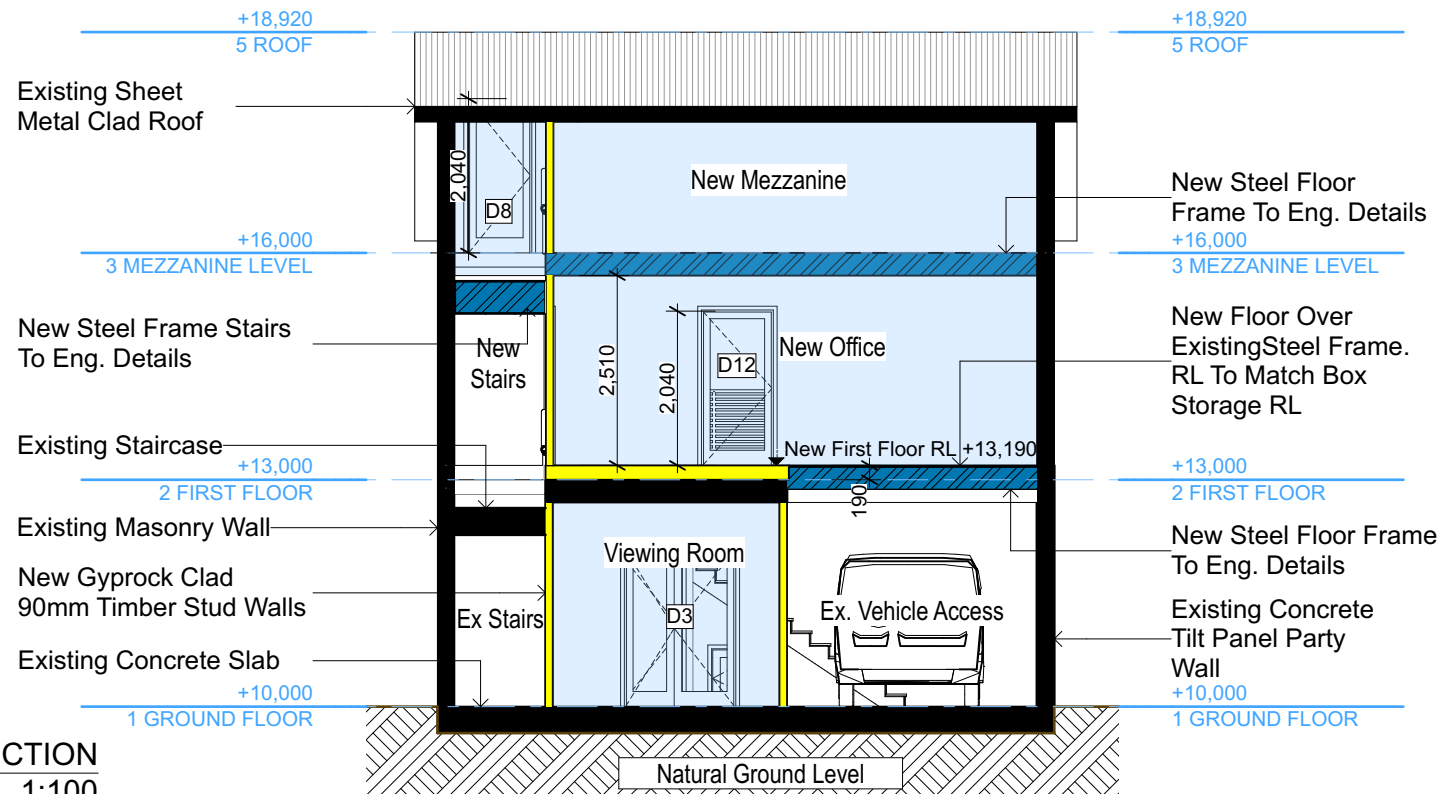
DRAWING NO.:  
**DA2004**

Plot Date: 18/3/20  
Sheet Size: A3

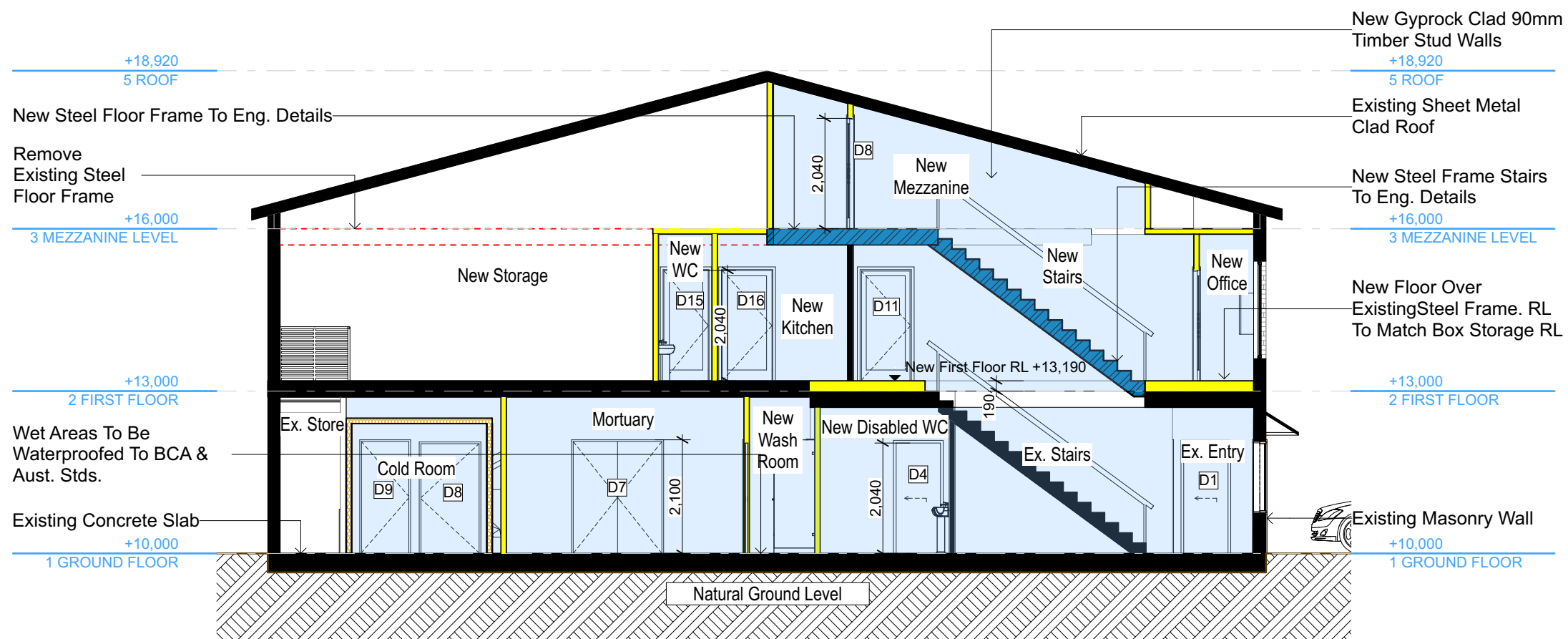
4 Roof Plan  
1:100

**DA APPLICATION ONLY**  
**Not For Construction**

S-01 SECTION  
1:100




S-02 SECTION  
1:100



- Legend**
- Denotes New Works
  - Denotes New Timber Framed Wall
  - Denotes New Steel Floor
  - Denotes New Concrete
  - Denotes Existing Wall
  - Denotes Demolished Item

**DA APPLICATION  
ONLY  
Not For Construction**



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**NOTES**

10/92a Mona Vale Road, Warriewood is zoned B7 - Business Park

10/92a Mona Vale Road, Warriewood is not considered a heritage item.

All Plans to be read in conjunction with Basic Certificate

New Works to be constructed shown in Shaded/Blue

**Construction**

Steel & Timber Framed, Timber Framed Walls

Refer to Engineers drawings for structural details

All work to Engineers Specification and BCA

Timber framing to BCA and AS 1554

Termite Management to BCA and AS 3660.1

Glazing to BCA and AS2042-2007

Waterproofing to BCA and AS 3740

New Lighting to have minimum of 40% compact fluorescent lamps

All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

**Basic**

Basic Certificate Number N/A

**CDC Information**

Setbacks & Open Space Ratios have Been Determined As Follows:

**Setback Sth Property =**  
Built To Boundary (Exist.)

**Setback Nth Property =**  
Built To Boundary (Exist.)

**Average Front Setback =**  
Built To Boundary (Exist.)

**Rear Set Back Lwr Fir =**  
Built To Boundary (Exist.)

**Min Lwr N/A**

**Rear Set Back Up Fir =**  
Built To Boundary (Exist.)

**Min Up N/A**

**Side Set Back Lwr Fir =**  
Built To Boundary (Exist.)

**Min Lwr N/A**

**Side Set Back Up Fir =**  
Built To Boundary (Exist.)

**Min Up N/A**

**Building Height = Existing**  
Max 8.5m

**Site Area = 8,802m<sup>2</sup>**

**Site Coverage = 138m<sup>2</sup> (Exist.)**  
Max N/A

**GFA =**  
Existing = 295.3m<sup>2</sup>  
Proposed = 309.55m<sup>2</sup>

**Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans**

Project North

Drawn | Checked GBJ  
Plot Date: 18/3/20  
Project NO.: RP0120WVL  
Project Status DA Rev1

Client Bob Wilson

Site: 10/92a Mona Vale Road, Warriewood

**DRAWING TITLE :**  
SECTIONS  
**SECTION 1**

**PROJECT NAME :**  
**Change of Use & Alterations**

REVISION NO.

DRAWING NO.  
**DA3000**

Plot Date: 18/3/20  
Sheet Size: A3



**Rapid Plans**  
Building Design and Architectural Drafting

Rapid Plans  
[www.rapidplans.com.au](http://www.rapidplans.com.au)  
PO Box 6180 Frenchs Forest NSW 1588  
Fax: (02) 9905-8865 Mobile: 0414-945-024  
Email: [gregg@rapidplans.com.au](mailto:gregg@rapidplans.com.au)



The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

Plans to be read in conjunction with Basic Certificate  
Works to be constructed shown in Shaded/Blue  
**Instruction**  
Steel & Timber Framed, Timber Framed Walls  
work to Engineers drawings for structural details  
work to Engineers Specification and BCA  
Requirements to be met in accordance with AS 1584  
Termite Management to BCA and AS 3660.1  
Zoning to BCA and AS01288-2047  
interpolating to BCA and AS 3740  
Low Lighting to have minimum of 40% compact fluorescent lamps  
workmanship and materials shall be in accordance with the  
requirements of Building Codes of Australia.

usix Certificate Number N/A

DC Information  
Setbacks & Open Space Ratios  
Have Been Determined As  
Follows:

**Back Sth Property** =  
 uilt To Boundary (Exist.)  
**Back Nth Property** =  
 uilt To Boundary (Exist.)  
**verage Front Setback** =  
 uilt To Boundary (Exist.)  
**ear Set Back Lwr Fir** =  
 uilt To Boundary (Exist.)  
 in Lwr N/A  
**ear Set Back Up Fir** =  
 uilt To Boundary (Exist.)  
 in Lwr N/A  
**ide Set Back Lwr Fir** =  
 uilt To Boundary (Exist.)  
 in Lwr N/A  
**ide Set Back Up Fir** =  
 uilt To Boundary (Exist.)  
 in Lwr N/A  
 ilding Height = Existing  
 ax 8.5m  
**ite Area** = 8,802m<sup>2</sup>  
**ite Coverage** = 138m<sup>2</sup> (Exist.)  
 ax N/A  
**FA** =  
 isting = 295.3m<sup>2</sup>  
 ropsed = 309.55m<sup>2</sup>

**Builder to Check and Confirm all Measurements Prior to Commencement of any works.  
Immediately Report any Discrepancies to Rapid Plans**

Project North



A circular diagram representing a sphere with a vertical axis labeled 'Z'. The sphere is divided into four quadrants by a vertical line and a horizontal line. The bottom-left quadrant is shaded black, representing the 'Project North' direction.

Drawn | Checked GBJ  
Plot Date: 18/3/20  
Project NO. RP0120WIL  
Project Status DA Rev1

Client	Bob Wilson
Site:	10/92a Mona Vale Road, Warriewood

DRAWING TITLE :  
ELEVATIONS  
**ELEVATIONS 1**

PROJECT NAME : **Change of Use & Alterations**

REVISION NO.

DRAWING NO.

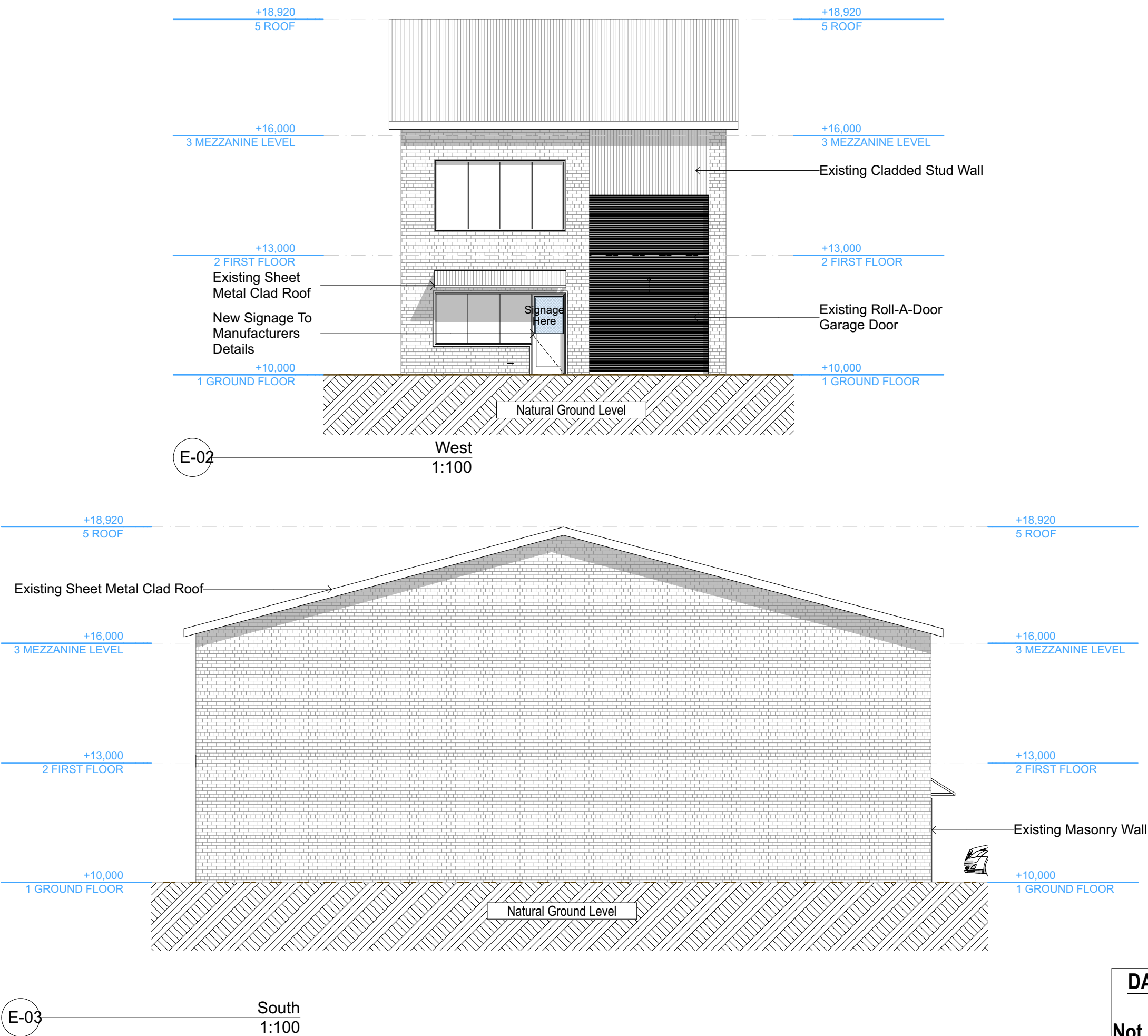
**DA4000**

Plot Date: 18/3/20  
 Sheet Size: A3  
 Volume: RAPID PLANS GREGG/Current  
 Job: WILSON Katakoro/CAD Design/WATE  
 WILSON - DAFinal Rev1.pn






\*Note: External Built Form To Remain The Same.



**DA APPLICATION  
ONLY  
Not For Construction**



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**bdca**  
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BUILDING DESIGNER

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The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

**NOTES**  
10/92a Mona Vale Road, Warriewood is zoned B7 - Business Park  
10/92a Mona Vale Road, Warriewood is not considered a heritage item.  
All Plans to be read in conjunction with Basic Certificate  
New Works to be constructed shown in Shaded/Blue  
**Construction**  
Steel & Timber Framed, Timber Framed Walls  
Refer to Engineers drawings for structural details  
All work to Engineers Specification and BCA  
Timber framing to BCA and AS 1554  
Termite Management to BCA and AS 3660.1  
Glazing to BCA and AS1288-2004  
Waterproofing to BCA and AS 3740  
New Lighting to have minimum of 40% compact fluorescent lamps  
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Basic Certificate Number N/A

**CDC Information**  
Setbacks & Open Space Ratios  
have Been Determined As  
Follows:

**Setback Sth Property =**  
Built To Boundary (Exist.)  
**Setback Nth Property =**  
Built To Boundary (Exist.)  
**Average Front Setback =**  
Built To Boundary (Exist.)  
**Rear Set Back Lwr Flr =**  
Built To Boundary (Exist.)  
Min Lwr N/A  
**Rear Set Back Up Flr =**  
Built To Boundary (Exist.)  
Min Up N/A  
**Side Set Back Lwr Flr =**  
Built To Boundary (Exist.)  
Min Lwr N/A  
**Side Set Back Up Flr =**  
Built To Boundary (Exist.)  
Min Up N/A  
Building Height = Existing  
Max 8.5m  
Site Area = 8,802m<sup>2</sup>  
Site Coverage = 138m<sup>2</sup> (Exist.)  
Max N/A  
GFA =  
Existing = 295.3m<sup>2</sup>  
Proposed = 309.55m<sup>2</sup>

**Builder to Check and Confirm all  
Measurements Prior to  
Commencement of any works.  
Immediately Report any Discrepancies  
to Rapid Plans**

Project North

Drawn | Checked GBJ  
Plot Date: 18/3/20  
Project NO.: RP0120WIL  
Project Status DA Rev1

Client Bob Wilson

Site: 10/92a Mona Vale Road,  
Warriewood

DRAWING TITLE :  
ELEVATIONS  
**ELEVATIONS 2**

PROJECT NAME :  
**Change of Use &  
Alterations**

REVISION NO.

DRAWING NO.  
**DA4001**

Plot Date: 18/3/20  
Sheet Size: A3