

APPLICATION FOR A CONSTRUCTION CERTIFICATE

Construction Certificate ☒
Modified Construction Certificate ☐

1. Applicant's details

It is important that we are able to contact you if we need more information. Please give us as much details as possible

Mr ☒ Mrs ☐ Ms ☐ Dr ☐ Other ☐

Given Names (or ACN)

MATT

Family Name (or Company)

CAROLAN

Postal Address (we will post all mail to this address)

c/- Antoniades Architects,

Site 1, level 2 24 BAY RD, Double Bay

Post Code 2028.

Daytime telephone

9328.1800

Alternate no.

Mobile no.

0425 229 999.

2. Owner's consent

Every owner of the land must sign this form. If the owner is a company the form must be signed by an authorised director and the common seal must be stamped on this form. If the property is a unit under the strata title or a lot in a community title, then in addition to the owner's signature, the common seal of the body corporate must be stamped on this form over the signature of the owner and signed by the Chairman or Secretary of the Owners Corporation or the appointed Managing Agent.

Owner(s)

MATT CAROLAN

Address

Site 2, 1st Floor 401-407 New South Head Rd,
Double Bay NSW 2028.

As owner(s) of the land to which this application relates, I/We consent to this application. I/We also consent for the Principal Certifying Authority and/or Accredited Certifier to enter the land to carry out inspections relating to this application.

Signature(s)



Without the owner's consent we will not accept the application. This is a very strict requirement for all applications. If you are signing on the owner's behalf as the owner's legal representative, you must state the nature of your legal authority and attach documentary evidence (eg. power of attorney, executor, trustee, company director, etc).

3. Location of property

Unit/Street no.

1825

Street name

Pittwater Road

Suburb

Bayview

Post code

2104.

Legal Property Description (these details are shown on your rate notices, property deeds, etc)

Lot no.

78+9

DP no.

6392

4. Description of work

What type of work do you propose to carry out?

Please describe briefly everything that you want approved.

Stage 1 - Demolition of existing buildings,
erection of builders shed and toilet, tree
protection, erosion control and site set up.

5. Estimated cost of work

The estimated cost of the development or contract price may be subject to review

Estimated cost of work

\$ 10,000.00

6. Development Consent

Council Consent no.

NO 834/05

Date of Determination

15.3.07

7. Building Code of Australia classification

This can be found on the development consent

BCA Classification

10a

8. Builder's details

If known, to be completed in the case of residential building work

Name

—

Licence no.

—

Owner/builder permit no.

—

9. Applicant's declaration

I apply for a Construction Certificate to carry out building works as described in this application. I declare that the above Development Consent is valid and that no building works associated with this application have commenced. To the best of knowledge, all the information in this application and checklist is true and correct.

Signature



Date

28/8/09.

SUBMISSION REQUIREMENTS

A. GENERAL

Are the plans submitted with the Construction Certificate Application in accordance with the Development Consent?

Yes ☐ No ☐

Have all the conditions of Development Consent relating to the issue of the Construction Certificate been fully complied with?

Yes ☐ No ☐

If you have answered NO to either of the above questions, then you will need to speak with the Accredited Certifier BEFORE LODGING YOUR APPLICATION.

B. ALL PROPOSALS (has the following required information been submitted?)

Yes	No	Not Applicable
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☒	☐	☐
☒	☐	☐

☒	☐	☐
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☒	☐	☐
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☒	☐	☐
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In the case of an application for a Construction Certificate for building work:

Three (3) copies of detailed architectural plans and specifications

The plan for the building must consist of a general plan drawn to a scale not less than 1:100 and a site plan drawn to a scale not less than 1:200. The general plan of the building is to:

- show a plan of each floor section
- show a plan of each elevation of the building
- show the levels of the lowest floor and of any yard or unbuilt on area belonging to that floor and the levels of the adjacent ground
- indicate the height, design, and full construction details
- indicate the provision for fire safety and fire resistance (if any)

Where the proposed building work involves any alteration or addition to, or rebuilding of, an existing building, all copies of the general plan are to be coloured or otherwise marked to the satisfaction of the Council to adequately distinguish the proposed alteration, addition or rebuilding with a separate letter listing the proposed changes being submitted.

3 copies of a specification:

- to describe the construction and materials of which the building is to be built and the method of drainage, sewerage and water supply
- state whether the materials proposed to be used are new or second hand and give particular

Where the proposed building work involves a modification to previously approved plans and specifications the general plans must be coloured or otherwise marked to the satisfaction of the Accredited Certifier to adequately distinguish the modification.

If the proposed building work involves a modification to previously approved plans and specification which were subject of a Development Consent, has the original Development Consent been modified by Council?

Except in the case of an application for, or in respect of domestic building work:

- a list of any fire safety measures that are proposed to be implemented in the building or on the land on which the building is situated, and
- if the application relates to a proposal to carry out any alteration or rebuilding of, or addition to, an existing building, a separate list of such of those measures as are currently implemented in the building or on the land on which the building is situated. This list must specify the standard of design of each of those fire safety measures to which they were originally installed.
- This list must describe the extent, capability and basis of design of each of the measures concerned.

Copy of BASIX Certificate & Schedule of BASIX Commitments.

Copy of signed BASIX Compliance Statement.

All other documentation to satisfy conditions of Development Consent.

HOME BUILDING ACT 1989 (as amended) OWNER/BUILDER REQUIREMENTS

Applicants for work at a residential property with a value of work over \$12,000 require insurance as specified in the Home Building Act 1989.

Owner Builders require Property Owner Builder's Permit issued by the Department of Fair Trading for all projects over \$5,000. In addition to this permit all projects valued in excess of \$12,000 may also require a contract of insurance under the provisions of the Home Building Act 1989 as amended. This requirement will take effect should the property owner offer the property for sale in the ensuing period of 7 years.

Enquiries on any matters relevant to this section should be taken up with the Department of Fair Trading at Level 21, Astra House, 227 Elizabeth Street, Sydney (ph: 133220).

LONG SERVICE LEVY (applies to all classes of buildings)

A Long Service Levy at 0.35% of the cost of works is payable on projects valued \$25,000 or more. This sum can be paid directly to the Long Service Payments Corporation or to Council acting as an agent to the Corporation. Partial exemption from the levy may be granted to non profit organizations, churches and to owner/builders. The levy may also be paid in instalments. Application forms for these exemptions are available from Council but all enquiries in this regard should be address to the Long Service Payments Corporation.

THE CONSTRUCTION CERTIFICATION CANNOT BE ISSUED UNLESS THE LONG SERVICE LEVY AND HOME BUILDING ACT 1989 INSURANCE (APPLICABLE TO RESIDENTIAL PROPERTIES) HAVE BEEN PAID, OR EVIDENCE OF THE EXEMPTION PROVIDED TO COUNCIL.

PARTICULARS OF THE PROPOSAL

What is the area of the land (m ²)?	Gross floor area of building (m ²) as proposed:
What are the current uses of all or parts of the building(s)/land?	Location: Use:
Does the site contain a dual occupancy?	What is the gross floor area of the proposed addition or new building (sq metres)?
What are the proposed uses of all parts of the building(s) land?	Number of pre-existing dwellings:
Number of dwellings to be demolished:	How many dwellings proposed?
How many storeys will the building consist of?	Will the new building be attached to the existing building? Will the new building be attached to any new building?

MATERIALS TO BE USED

The following information must be supplied for the Australian Bureau of Statistics:

Place a tick (✓) in the box which best describes the materials the new work will be constructed of:

WALLS		FLOOR		ROOF		FRAME	
Brick veneer	☐	Concrete	☐	Aluminium	☐	Timber	☐
Full brick	☐	Timber	☐	Concrete		Steel	☐
Single brick	☐	Other	☐	Concrete tile	☐	Other	☐
Concrete block	☐	Unknown	☐	Fibrous cement	☐	Unknown	☐
Concrete/masonry	☐			Fibreglass	☐		
Concrete	☐			Masonry/terracotta shingle	☐		
Steel	☐			Tiles	☐		
Fibrous cement	☐			Slate	☐		
Hardiplank	☐			Steel	☐		
Timber/weatherboard	☐			Terracotta tile	☐		
Cladding-aluminium	☐			Other	☐		
Curtain glass	☐			Unknown	☐		
Other	☐						
Unknown	☐						

Mr M Carolan
C/- Antoniades Architects
Suite 1, Level 2
24 Bay Rd
Double Bay NSW 2028

Construction Certificate

Certificate

I certify that if the work is completed in accordance with the attached plans and specifications which have been approved, it will comply with the requirements of the Environmental Planning and Assessment Regulation 2000 as referred to in Section 81A (5) of the Environmental Planning and Assessment Act 1979. This certificate is issued without any conditions for the following premises

Address of Property Lot 7, 8 & 9 DP6392, 1825 Pittwater Rd, Bayview

Plan Numbers Approved Project No AA RES 0801 - drawing no s A0 01 Rev A & A1 01 Rev A dated 22 6 09, A2 01 Rev D dated 10 7 09, A1 02 Rev A & A1 03 Rev A dated 7 8 09 & A3 01 Rev D dated 20 7 09 prepared by Antoniades Architects

NOTE REFER TO THE ATTACHED 'SCHEDULE A' LIST OF DETAILS TO BE READ IN CONJUNCTION WITH THIS CONSTRUCTION CERTIFICATE

Information attached to this decision



A Fire Safety Schedule



The Conditions of the Certificate

Construction Certificate No 1408CC1

Date of this Decision and Certificate

28th August 2009

Certifying Authority

John Briggs Insight Building Certifiers Pty Ltd

Signature

Name of accredited Certifier


John Briggs

Building Professionals Board Accreditation No BPB 0049

Proposal Stage 1 – Demolition of the existing buildings, erection of builders shed & toilet, tree protection, erosion control & site set-up

Development Consent No N0834/05

Date of Determination 15 3 07

Council Area Pittwater

Applicant's right of appeal – If the certifying authority is a council, a Minister or a public authority and the certifying authority has issued a construction certificate subject to conditions, you can appeal against these conditions to the Land and Environment Court within 12 months from the date of the decision

Construction Certificate No 1408CC1

Address Lots 7, 8 & 9 DP 6392, 1825 Pittwater Rd, Bayview

Applicant Mr M Carolan

SCHEDULE A

The following is a list of details/plan references that should be read in conjunction with Construction Certificate No 1408CC1

- Erosion and sediment control plan, drawing No 89022874- 207 Rev1, prepared by Cardno (NSW) Pty Ltd

insight

building certifiers pty ltd

CONSTRUCTION CERT. NO. 1408001

CONSTRUCTION CERTIFICATE
PLANS

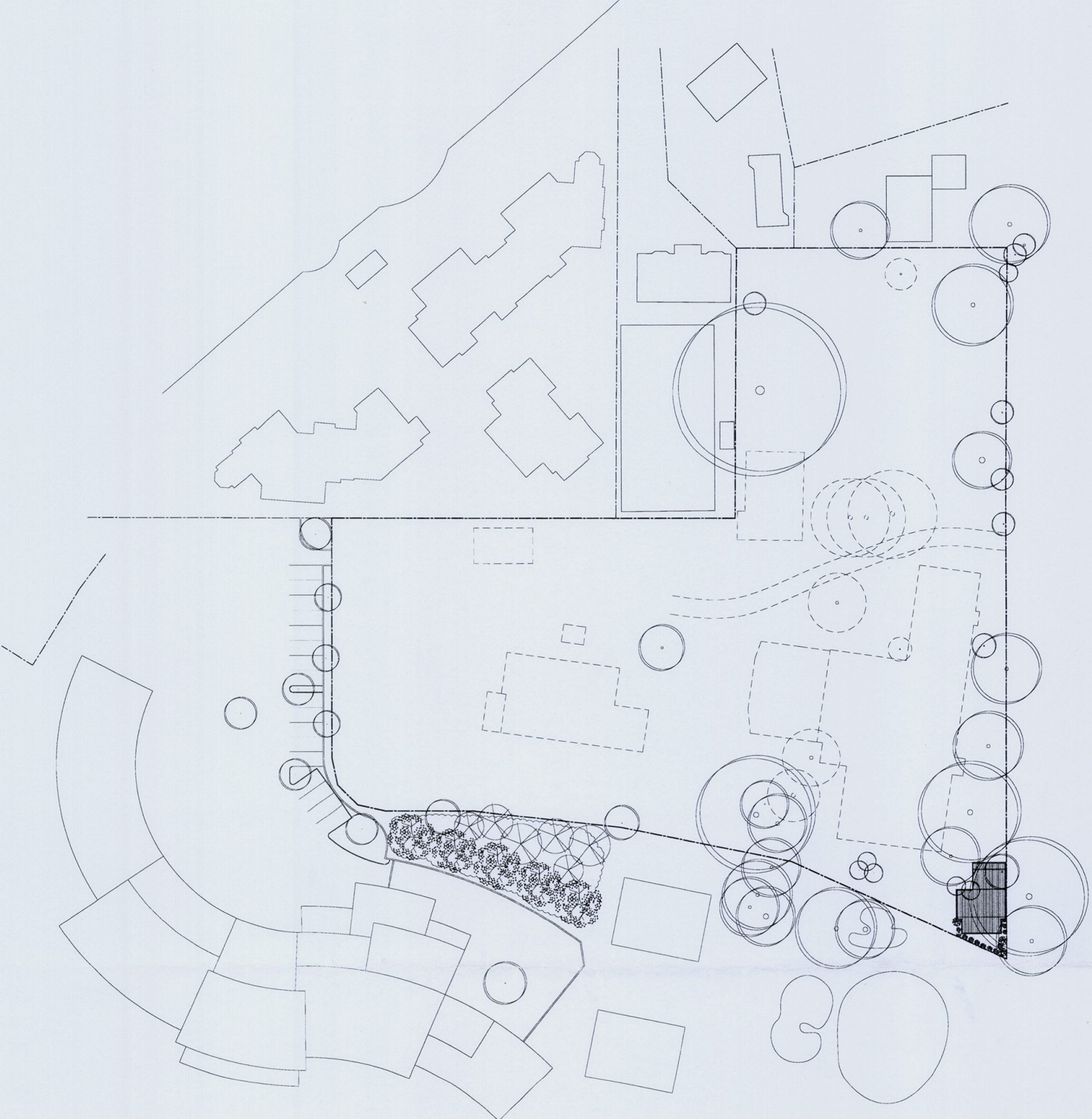
I certify that the work has been done in accordance with these plans & specifications and comply with the regulations referred to in clause 41A(5) of the Environmental Planning & Assessment Act 1979

J. Briggs Accredited

190049

LIST OF DRAWINGS

Dwg. No.	Title	Scale
A0.00	Cover	NTS
A0.01	Cover Sheet	
A1.00	Site Plan	1:100
A1.01	Site Plan / Roof Plan	
A2.00	Plans	1:50
A2.01	Floor Plan + Reflected Ceiling Plan	
A3.00	Sections + Elevations	1:50
A3.01	Sections + Elevations	
A4.00	Details	1:20
A4.01	Kitchen Details	
A4.02	Joinery Details - Fire Place	
A4.03	Timber Fin Detail	
A4.04	Bathroom Detail	1:20
A5.00	Schedules	1:50
A5.01	Windows and Doors Schedule	



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All dimensions in millimetres unless otherwise shown.

Use figured dimensions only.

Do not scale from drawings.

Report any discrepancies to Antoniaades Architects Pty Ltd.

To be used in conjunction with all other documents.

Design & Schedule Agreement by: Markham & Partners International Pty Ltd

Level 7, 107 Mount Street North Sydney NSW 2060

TENDER
PRELIMINARY

ANTONIAADES ARCHITECTS

•••

Scale 1:1, 24 Bay St, Double Bay NSW 2008
Tel: 9328 3339 Fax: 9328 3369
www.antoniaades.com.au
A/N/1 123 73 559

PROJECT

THE MASTERS - SITE OFFICE

Darley Street West, Bayview
Bayview Investment Group Pty Ltd

DRAWING TITLE
COVER SHEET

REV.

A

REVISION DESCRIPTION

Issued for information

CHK.

AA

APPR.

AA

DATE

22.06.09

DATE

JUNE 2009

DRAWN

KM

PROJECT NO.

AA.RES.0801

CHECKED

AA

DRAWING NO.

A0.01

APPROVED

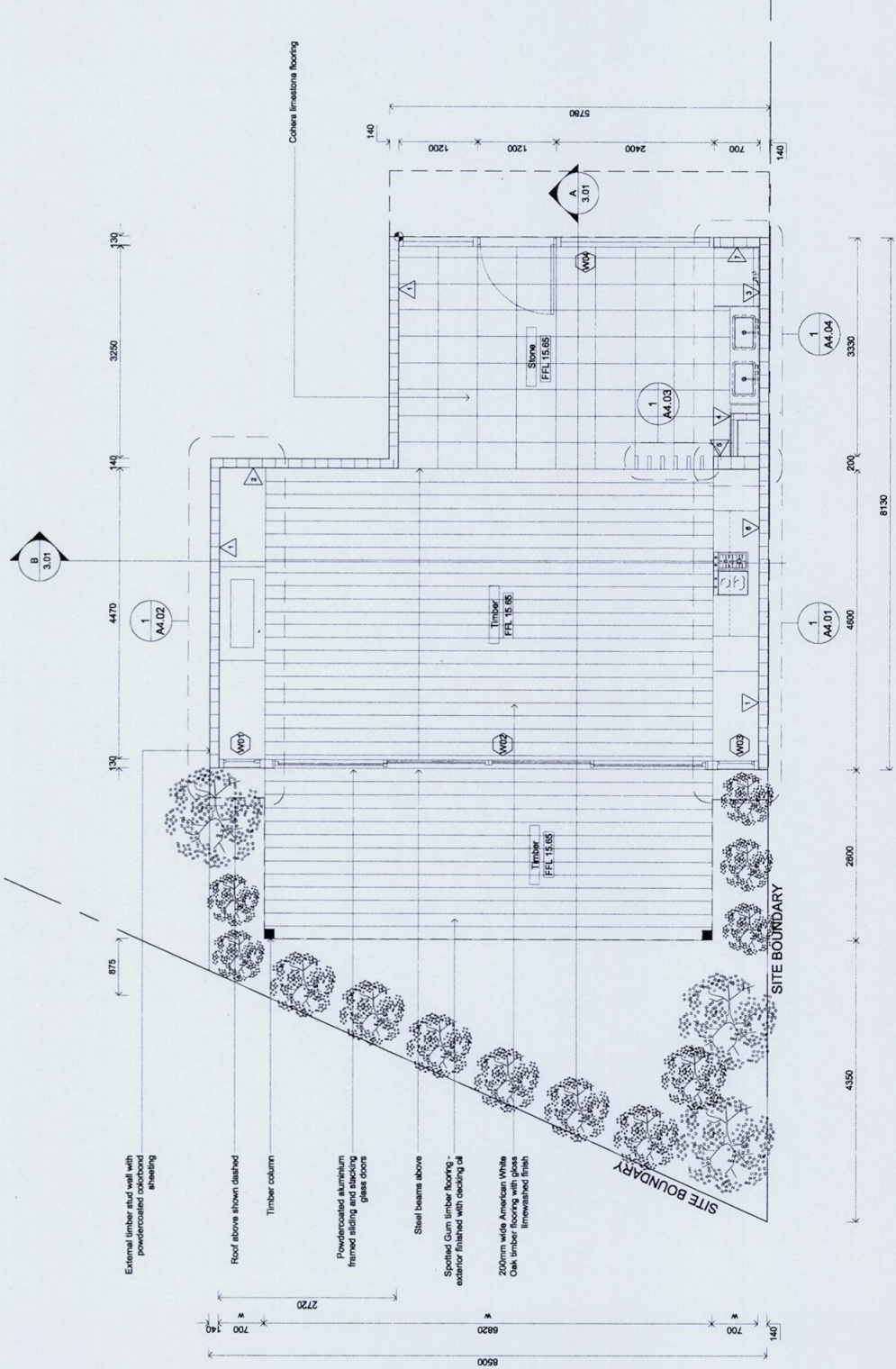
AA

REVISION

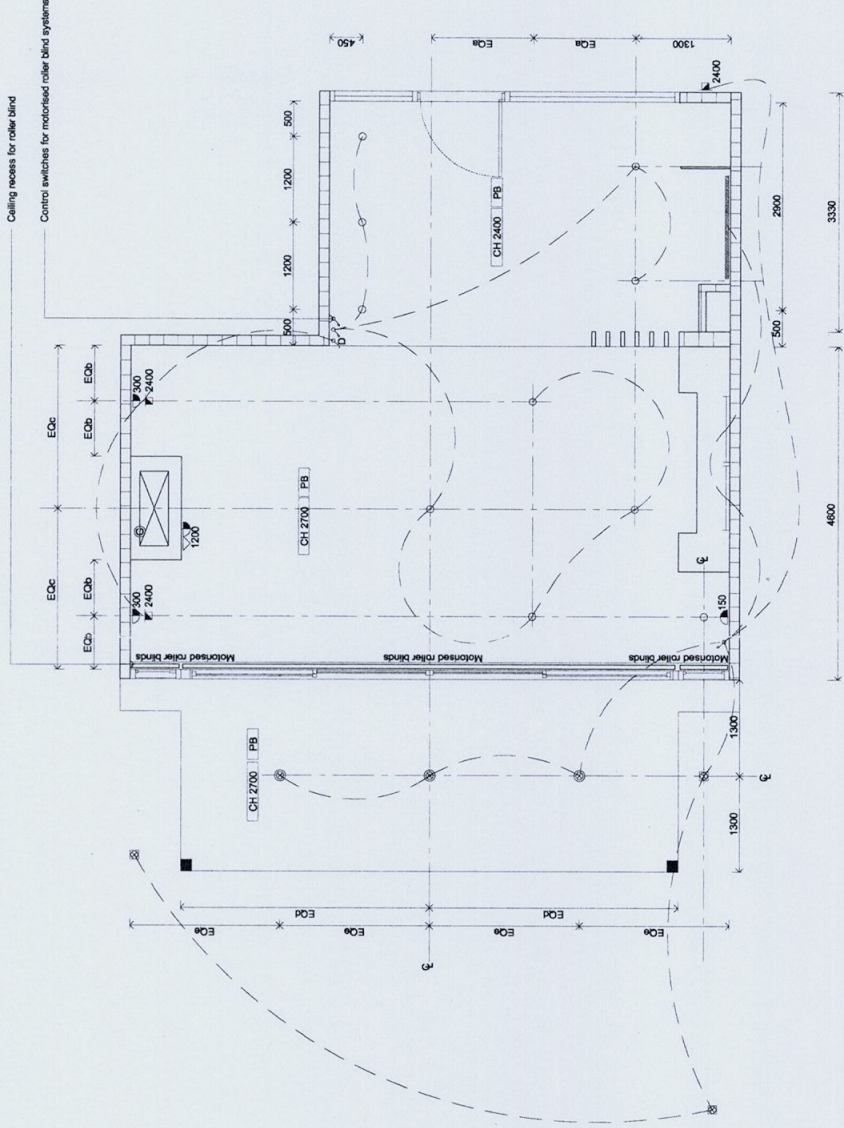
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T:\PROJECTS\AA.0108.RES - Bayview\04 Documents\04 Drawings\03\AA.01

This Plan / Detail is
to be read in
conjunction with
CONSTRUCTION CERTIFICATE
APPROVAL NO 1408 CC1



FLOOR PLAN



REFLECTED CEILING PLAN

WALL SCHEDULE			REMARKS
TYPE	FIRE RATING	DESCRIPTION	
1	180/180/180	140 mm external timber stud wall with painted plasterboard lining on internal side and powdercoated colorbond sheathing on the external side	
2	180/180	140 mm external timber stud wall with painted plasterboard lining on internal side and painted CFC lining on the external side	
3	180/180/180	140 mm external timber stud wall with colour back glass lining on internal side and powdercoated colorbond sheathing on the external side	
4	120/120	140 mm internal timber stud wall with ironstone tile lining on internal side	
5	120/120	140 mm internal timber stud wall with painted plasterboard lining both sides	
6	180/180/180	140 mm external timber stud wall with powdercoated colorbond sheathing on internal side and powdercoated colorbond sheathing on the external side	
7	180/180/180	140 mm external timber stud wall with ironstone tile lining on internal side and powdercoated colorbond sheathing on the external side	

LEGEND

Timber Floor Finish
FFL 27/28 Finished Floor Level

ELECTRICAL LEGEND

- LOW VOLTAGE RECESSED DOWNLIGHT
- EXTERIOR WATERPROOF RECESSED DOWNLIGHT
- EXTERIOR WATERPROOF UPLIGHT
- WALL LIGHT
- CONTINUOUS LINABLE FLUORESCENT LIGHTING
- CONTINUOUS HIGH STRENGTH LED LIGHTING
- DOUBLE GPO (number indicates height from FFL)
- TELEVISION, DATA, TELEPHONE OUTLET
- GAS POINT
- SINGLE DIMMER LIGHT SWITCH
- DOUBLE LIGHT SWITCH
- TRIPLE LIGHT SWITCH
- WATERPROOF

CEILING FINISHES LEGEND

- SUSPENDED CEILING HEIGHT ABOVE 2.400
- SUSPENDED SET PLASTERBOARD CEILING
- SUSPENDED SET WATERPROOF PLASTERBOARD CEILING
- GLAZING

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Design + Statutory Approvals by: Merchase + Partners International Pty Ltd
Level 7, 107 Mount Street North Sydney NSW 2060

TENDER
PRELIMINARY

REV.	REVISION DESCRIPTION	CHK.	APPR.	DATE
A	Issued for information	AA	AA	15.06.09
B	Issued for information	AA	AA	22.06.09
C	Issued for information	AA	AA	07.07.09
D	Issued for information	AA	AA	10.07.09

ANTONIADES ARCHITECTS

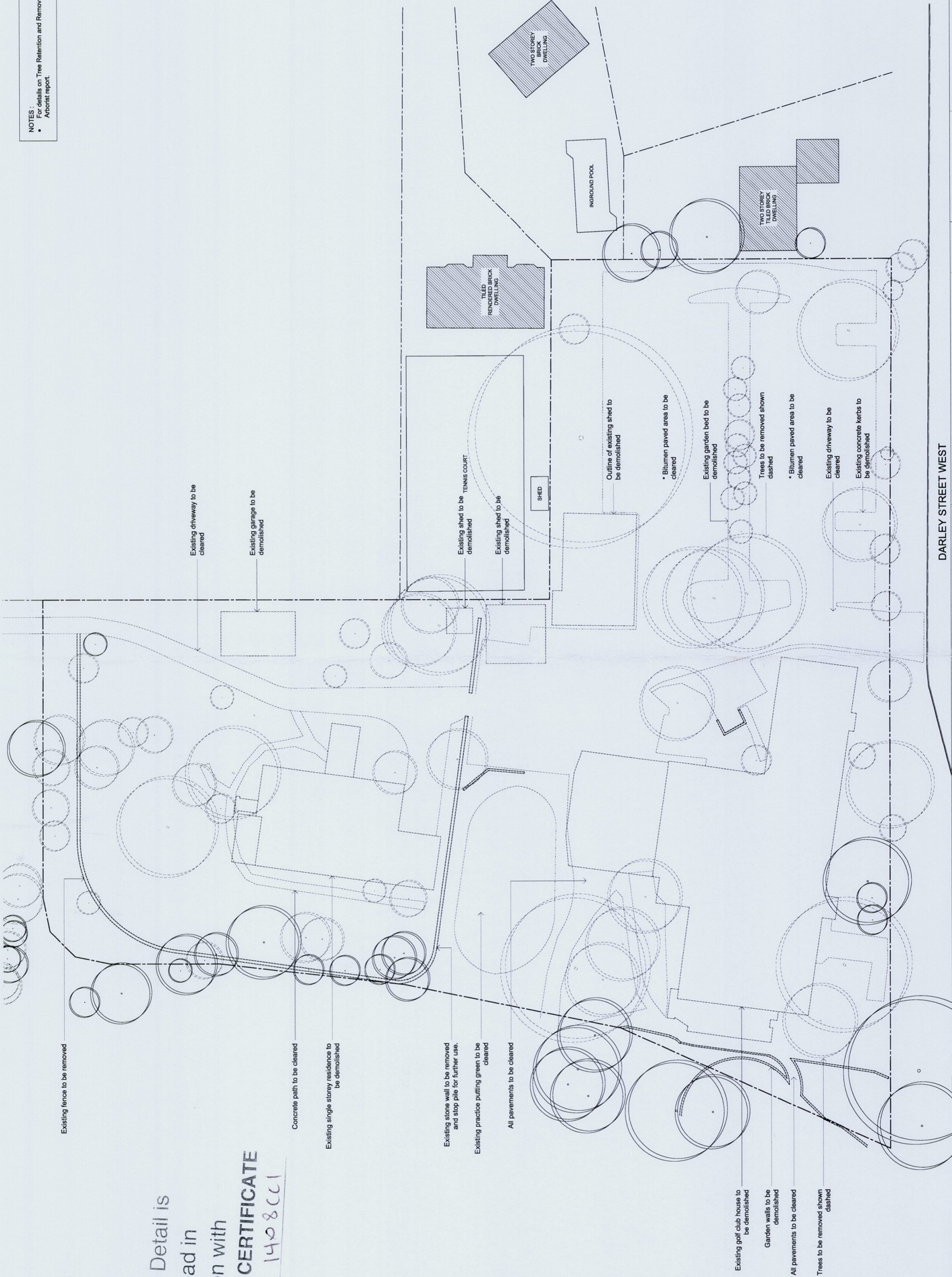
Suite 1.12, 24 Bay St, Double Bay NSW 2028
Tel: 9228 3339 Fax: 9338 3369
www.antoniades.com.au
ACN 128 731 056

PROJECT
THE MASTERS - SITE OFFICE
Darley Street West, Bayview
Bayview Investment Group Pty Ltd
DRAWING TITLE
FLOOR PLAN + REFLECTED CEILING PLAN

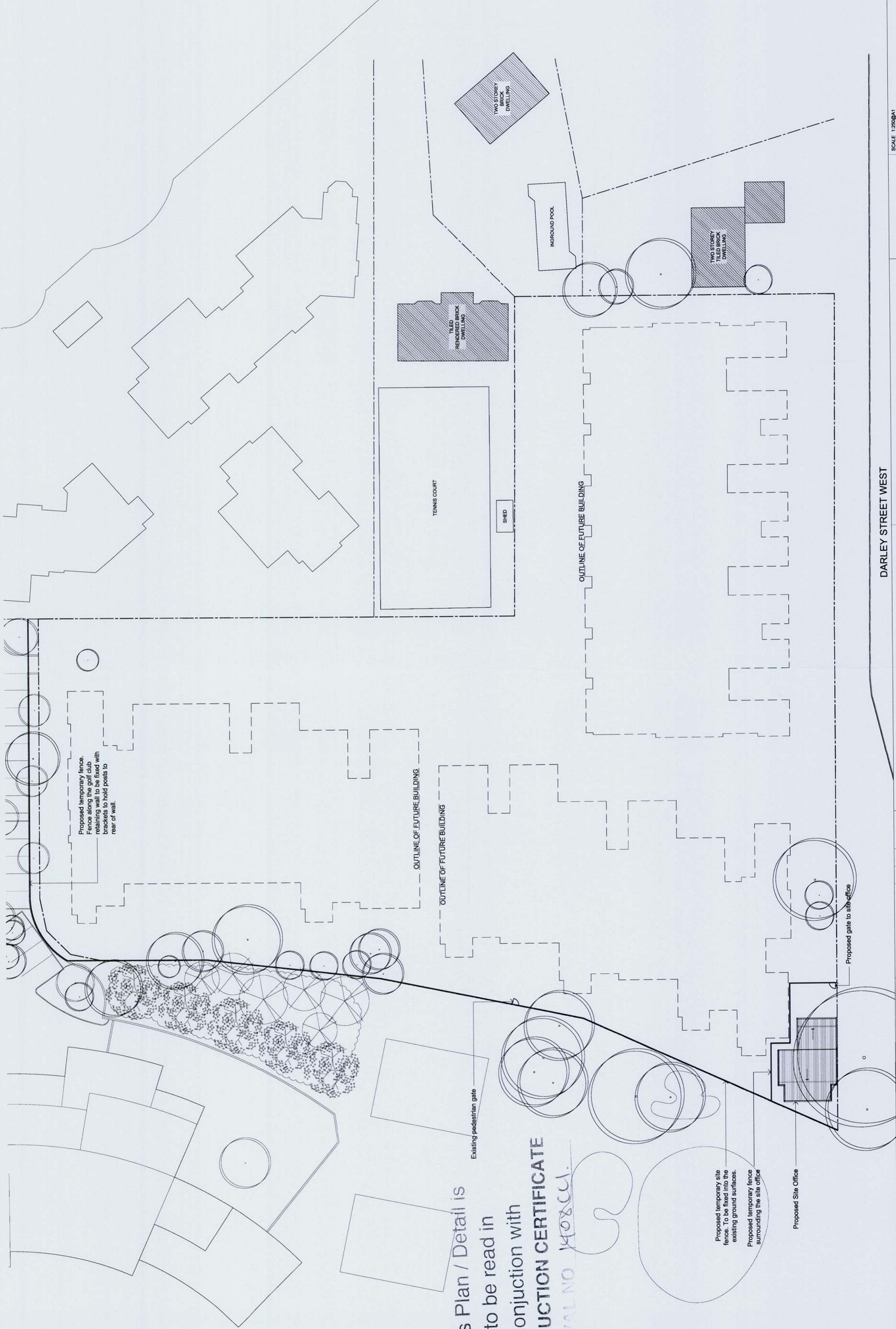
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DATE	
PROJECT NO.	AA.RES.
DRAWING NO.	A2.0

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APPROVAL NO 1408CC1

- NOTES :
- For details on Tree Retention and Removal, refer to Arborist report.



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REV.	REVISION DESCRIPTION	CHK.	APPR.	DATE																				
A	Issued for information	AA	AA	07.08.09																				



This Plan / Detail is
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CONSTRUCTION CERTIFICATE
APPROVAL NO 1408001.

Proposed temporary fence.
Fence along the golf club
retaining wall to be fixed with
wooden posts to hold posts to
rear of wall.

OUTLINE OF FUTURE BUILDING

OUTLINE OF FUTURE BUILDING

OUTLINE OF FUTURE BUILDING

TENNIS COURT

SHED

INGROUND POOL

TWO STOREY
BRICK
DWELLING

Proposed temporary site
fence. To be fixed into the
existing ground surfaces.
Proposed temporary fence
surrounding the site office

Proposed Site Office

Proposed gate to site office

SCALE 1:250@A1				0 2.5 5 12.5 25m			
PROJECT				DATE			
THE MASTERS				JULY 2008			
Darley Street West, Bayview				DRAWN			
Bayview Investment Group Pty Ltd				CHECKED			
DRAWING TITLE				APPROVED			
STAGE 1 SITE PLAN				REVISION			
A1.03				A			

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CONSTRUCTION CERTIFICATE
APPROVAL NO 1408CC1

Existing clubhouse building
to be demolished later
Line of future building
footprint
Existing trees
Kliploek 700 Hi-Strength
galvanised metal roof

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Design - Statutory Approvals by: Macquarie • Partners International Pty Ltd
Level 7, 107 Mount Street North Sydney NSW 2060

**TENDER
PRELIMINARY**

REV.	REVISION DESCRIPTION	CHK.	APPR.	DATE
A	Issued for information	AA	AA	22.06.09

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A/CN 152 751 559

THE MASTERS - SITE OFFICE

Darley Street West, Bayview
Bayview Investment Group Pty Ltd

DRAWING TITLE
SITE/ROOF PLAN

SCALE 1:100@A1



DATE: JUNE 2009

PROJECT NO. AA.RES.0801

DRAWING NO. A1.01

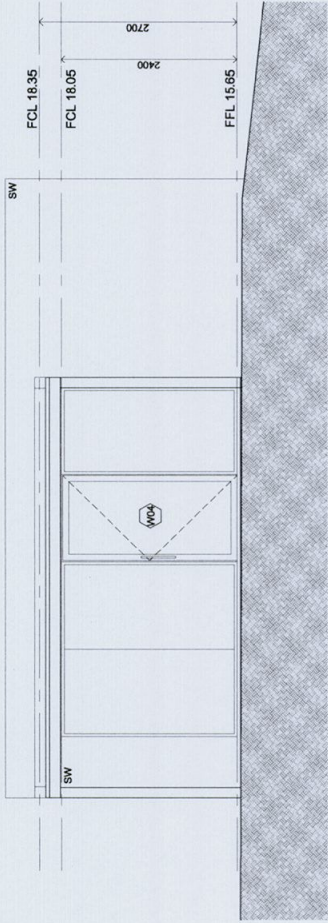
REVISION

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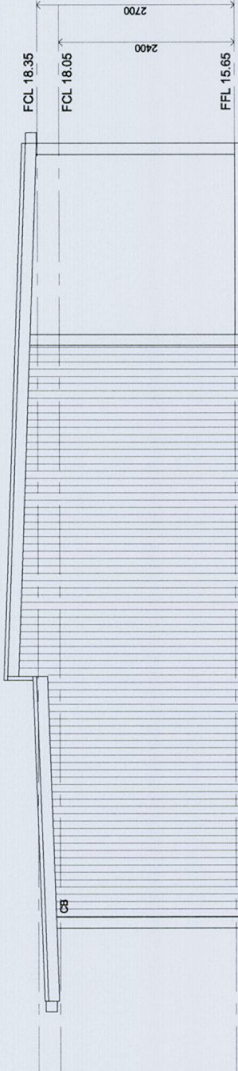
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conjunction with

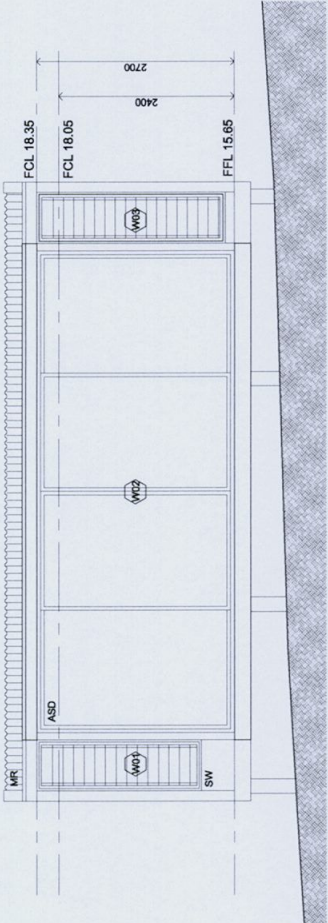
CONSTRUCTION CERTIFICATE
APPROVAL NO 1408PCC1



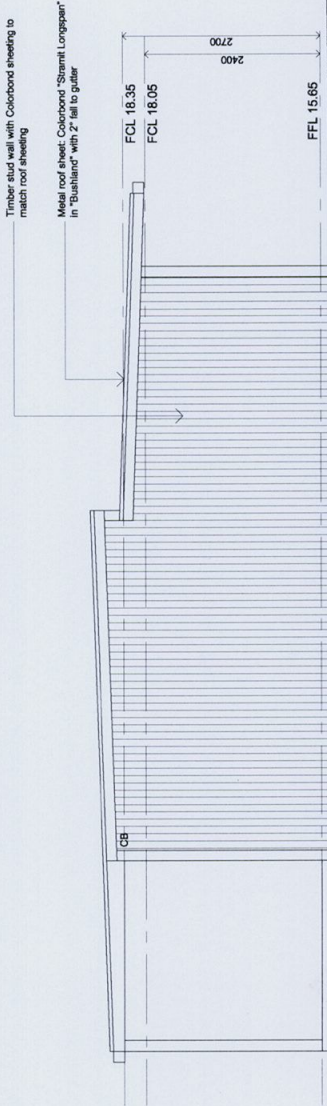
1 EAST ELEVATION
1:50



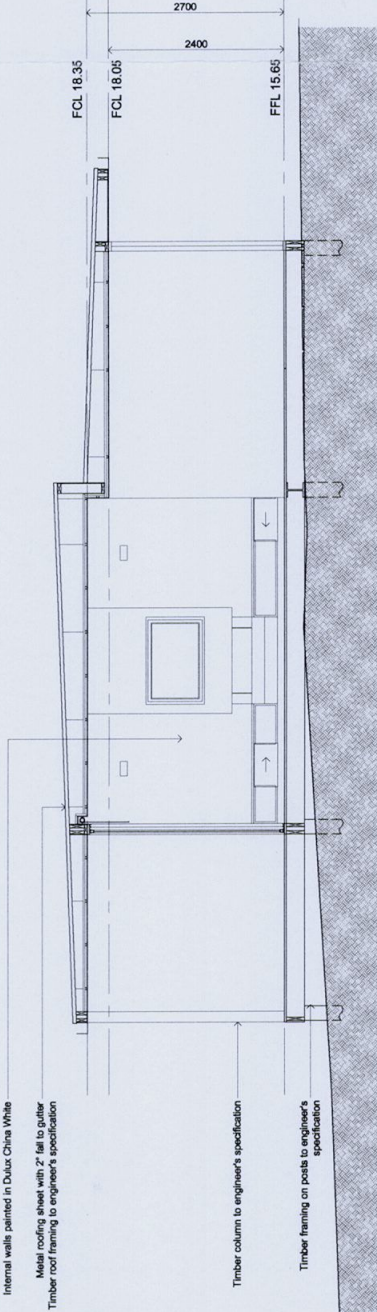
2 NORTH ELEVATION
1:50



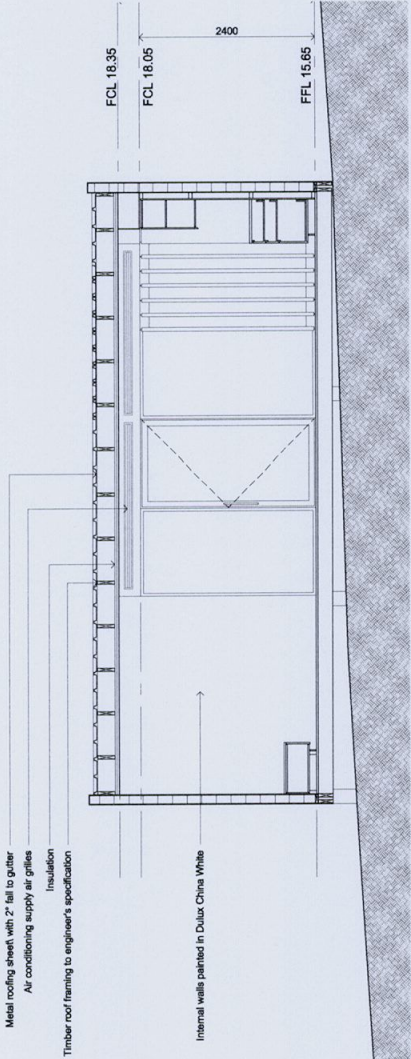
3 WEST ELEVATION
1:50



4 SOUTH ELEVATION
1:50



5 SECTION A-A
1:50



6 SECTION B-B
1:50

KEY	
ASD	Aluminium framed sliding door
CC	Concrete counterweight
GB	Glass balustrade
MR	Metal roof sheet
SW	Stud wall with Colobond Sheeting
MR	Metal roof sheet

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This drawing is for construction purposes only.
To be read in conjunction with all other documents.
Report any discrepancies to Antoniades Architects Pty Ltd.
Antoniades Architects Pty Ltd is not responsible for any errors or omissions in this drawing and does not warrant the accuracy or completeness of the information provided herein.

Design & Drafting Approved by: Marchewicz & Partners International Pty Ltd
Level 7, 107 Balfour Street North Sydney NSW 1585

TENDER
PRELIMINARY

ANTONIADES ARCHITECTS

Suite 1.12.24 Bay St, Double Bay NSW 2008
Tel: 02 9391 1234
www.antonides.com.au
ACN 129 731 559

PROJECT
THE MASTERS - SITE OFFICE
Darley Street West, Bayview
Bayview Investment Group Pty Ltd
DRAWING TITLE
ELEVATIONS + SECTIONS

SCALE 1:50(8A1)
0 0.5 1 2.5 5m
DATE JUNE 2009
DRAWN GG, KM
CHECKED AA
APPROVED AA
REVISION
A3.01
D

T:\PROJECTS\AA\0108 RES - Bayview\04 Documents\Cad Drawings\SSA3.01

