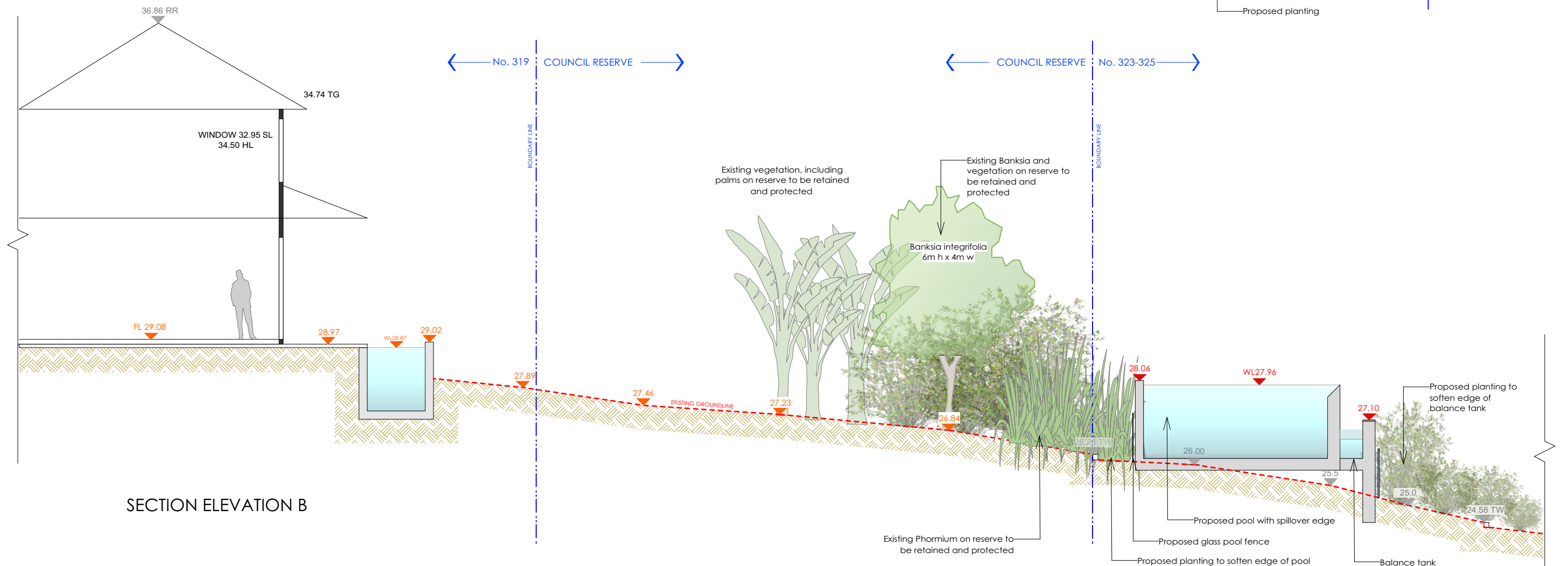


SECTION A-A



SECTION ELEVATION B

D 18/3/20 DA submission revised  
C 11/12/19 For DA submission  
B 19/11/19 For DA submission

**landart.**  
HOME + GARDEN + BEYOND

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F: (02) 9958 5426

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PROJECT  
323-325 Whale Beach Road, Palm Beach  
Lots 241 & 242 D.P. 16362

SECTIONS AND ELEVATIONS

28/08/2019

DRAWN  
KB

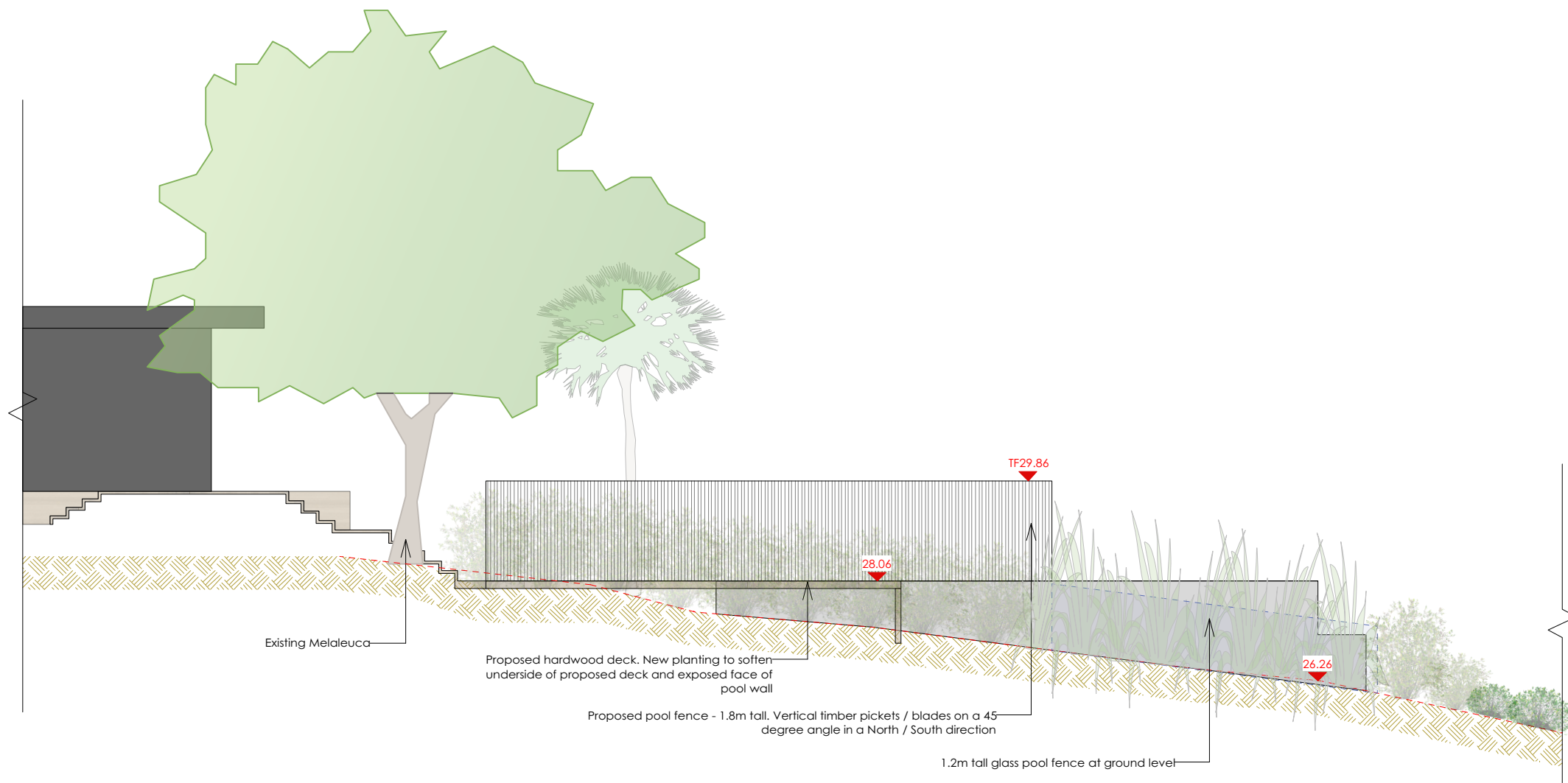
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DWG NO

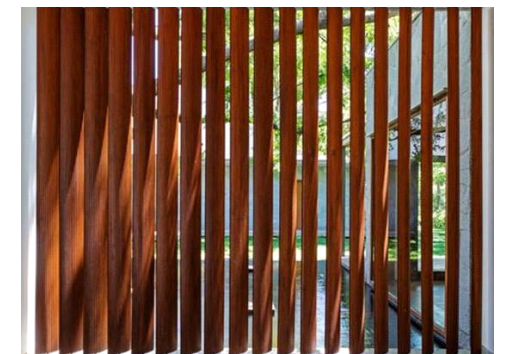
SE 01

REVISION

D



SECTION C-C  
SOUTHERN BOUNDARY LINE OF REAR GARDEN



Style of pool fence above the deck on the southern boundary. Vertical timber blades / pickets to 1.8m high (allowed to silver off), spaced 100mm apart for pool compliance

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PROJECT  
323-325 Whale Beach Road, Palm Beach  
Lots 241 & 242 D.P. 16362

SECTIONS AND ELEVATIONS

28/08/2019

DRAWN  
KB

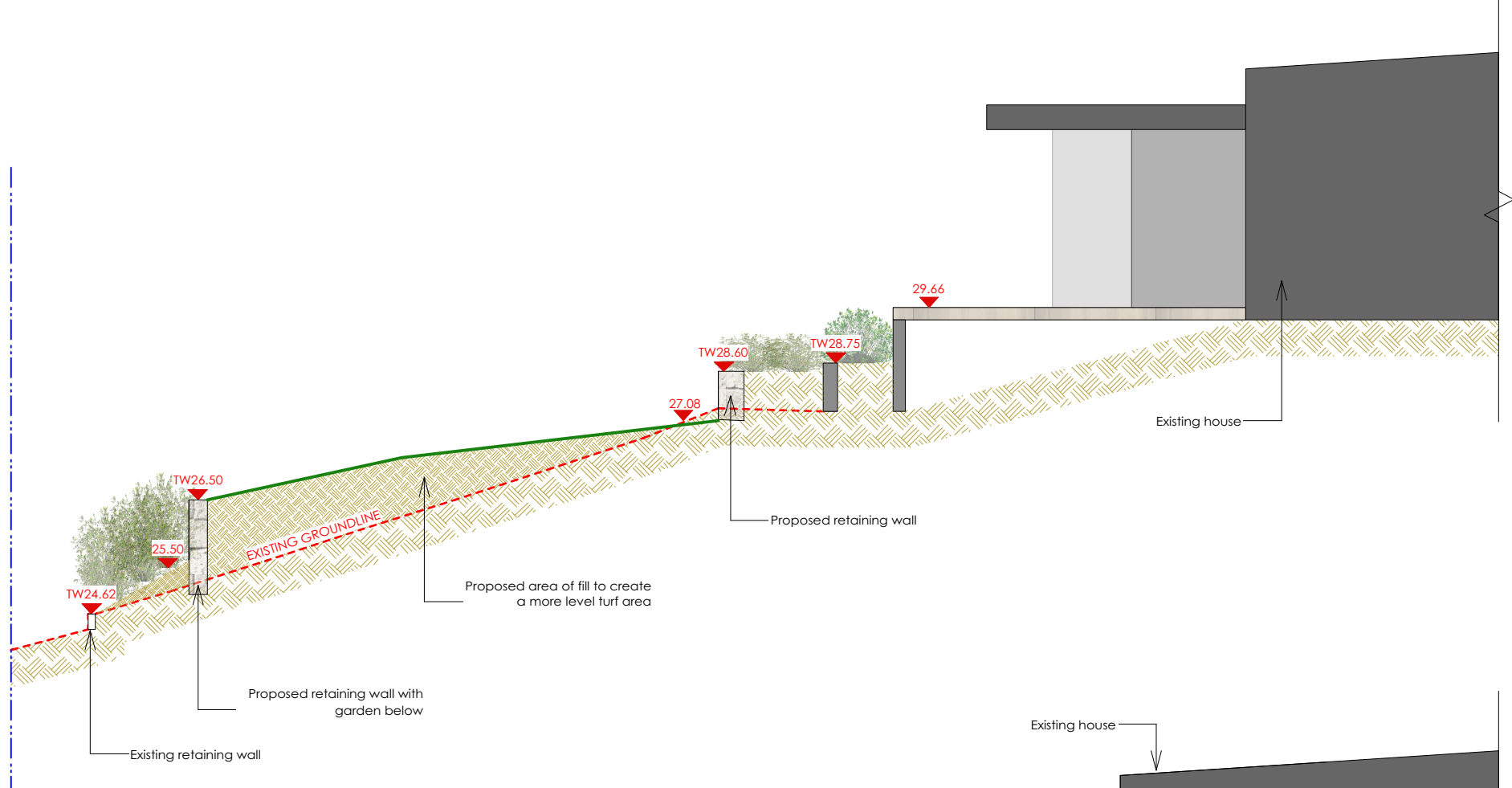
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B 18/3/20 DA submission revised  
A 10/2/20 Additional Elevation for Council  
DWG NO

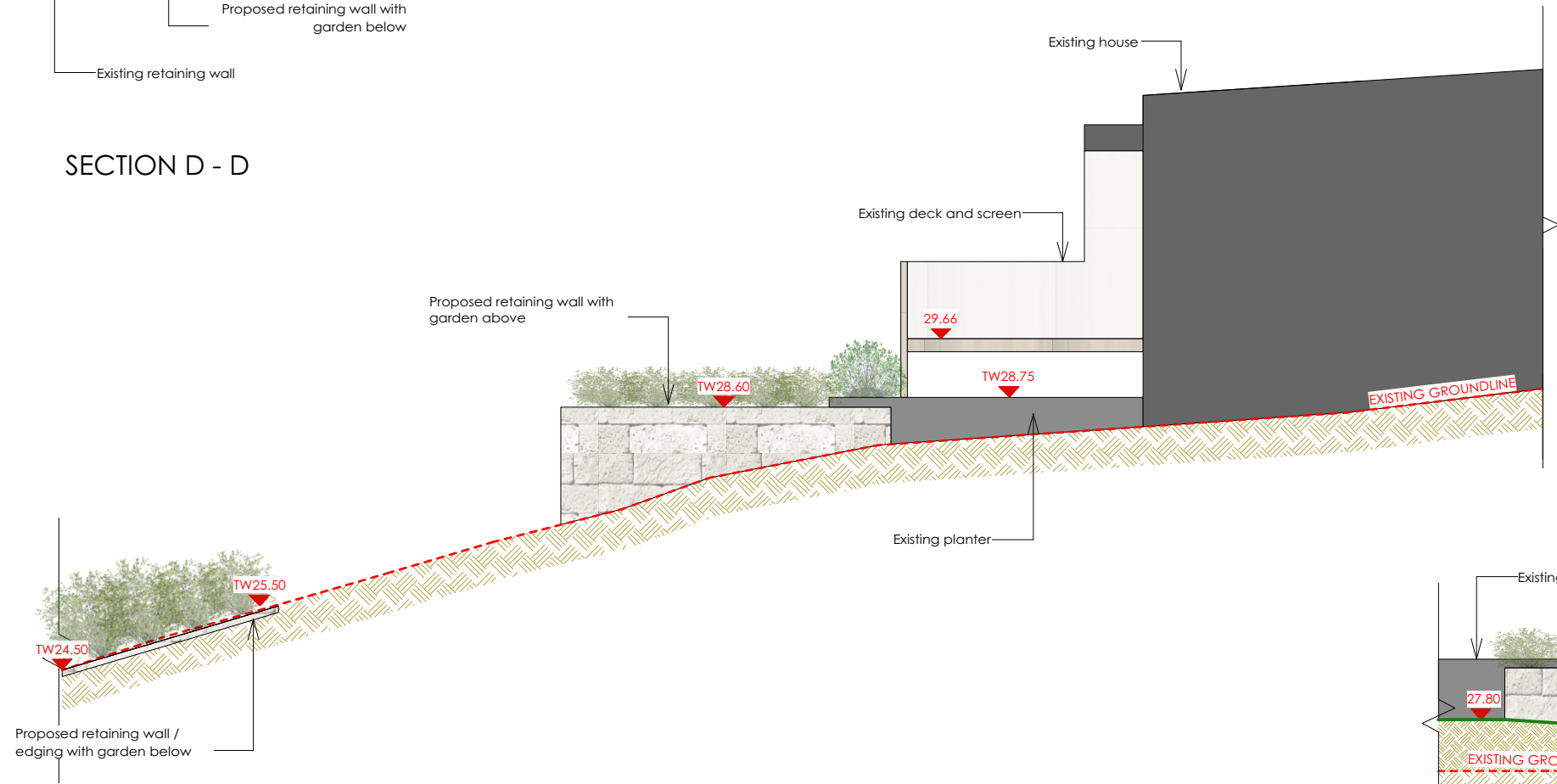
SE 02

B





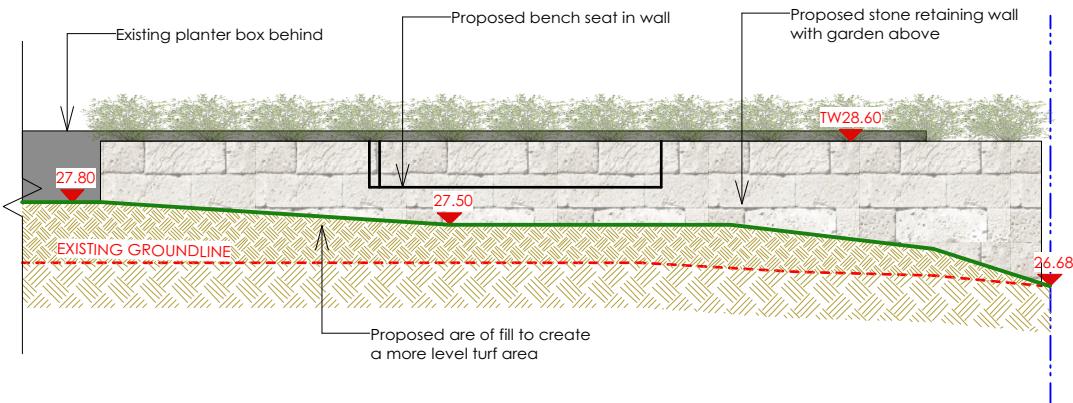
SECTION D - D



SECTION E - E

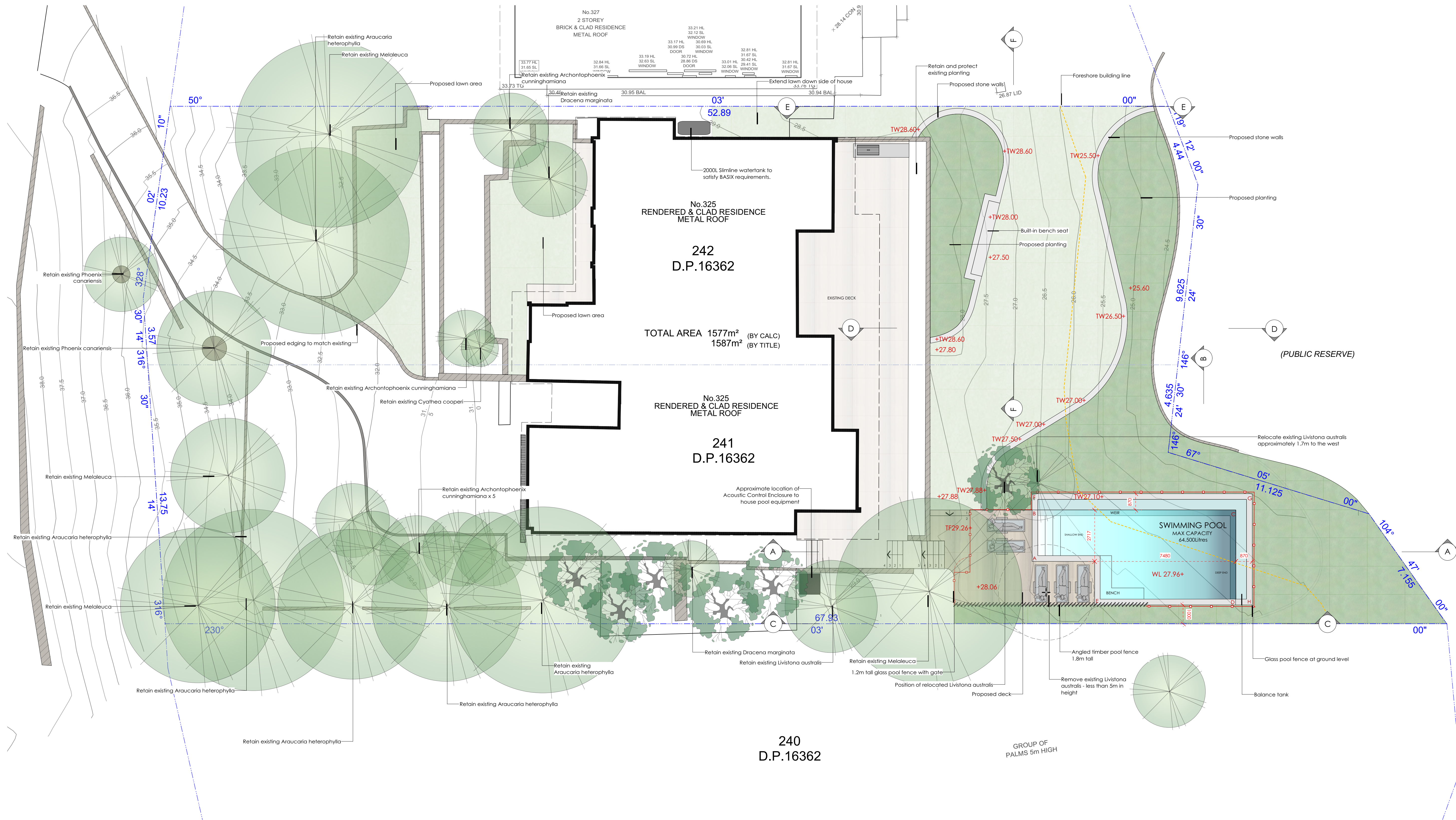


Style of stone wall



SECTION F - F





## LEGEND

	BENCHMARK ON KERB RL 93.95		EXISTING WALLING TO BE RETAINED (TW=TOP OF WALL)		PROPOSED TIMBER DECKING		EXISTING TREE TO BE RETAINED
	EXISTING SPOT LEVEL / PROPOSED SPOT LEVEL + 96.68		PROPOSED MASONRY WALLING (TW= TOP OF WALL)		PROPOSED STEPPING STONES WITH PLANTING		EXISTING TREE TO BE REMOVED
	BOUNDARY LINE (APPROX LOCATION)		POOL SAFETY FENCING (NOM. 1200MM HIGH)		LAWN AREA		PROPOSED TREE
	FORESHORE BUILDING LINE (APPROX LOCATION)				GARDEN AREA		

## GENERAL NOTES

- All civil, structural and hydraulic work associated with this project shall be to consulting engineer's details.
- All levels have been taken from the survey prepared by C.M.S Surveyors on 25 September 18.
- Exact location of site boundaries are to be confirmed on site by client or client's surveyor prior to commencement of work.
- This pool has not been designed for diving. Children should not be allowed in pool enclosure without adequate adult supervision.
- The design of this project is Copyright and shall not be copied or reproduced in any way without the prior written permission of Landart Landscapes Pty. Ltd.

## CONSTRUCTION NOTES

- Note 1:** All materials and workmanship shall be in accordance with the latest relevant Australian standard and building code of Australia. All plumbing and drainage works shall also be in accordance with the by-laws of Sydney Water.
- Note 2:** Written dimensions shall take precedence over scaled measurements. All dimensions and levels shall be verified by contractor on site, and initial setout approved by construction manager prior to commencement of work. If in doubt, contact Landscape Architect / Designer.
- Note 3:** Contractor shall confirm extent of existing vegetation to be removed / transplanted on site, prior to commencement of works.

**Note 4:** Excavator shall strip approved topsoil from all areas to be excavated and shall store material in an approved location on site. All excavation shall be carried out as necessary, including over-excavation in lawn areas (as required) to ensure min. 200mm depth of topsoil is able to be provided and for garden areas (as required) to ensure that min. 350mm topsoil depth is able to be provided. Topsoil depths refer to depth over subsoil, not over rock or concrete.

**Note 5:** Contractor shall ensure that damp proof courses on buildings are not breached and that air vents are not blocked or restricted.

**Note 6:** Retaining walls shall be constructed to heights as necessary to retain existing/proposed ground levels, with final extent of all walling to be as required and to construction manager's on-site approval.

**Note 7:** Waterproofing and drainage line in gravel filled trench, or other approved drainage layer, shall be installed to rear of all walls where retaining.

## Comparative levels

Approx height of pool surrounds relative to existing ground levels at points A - F are as follows:

A: + 1.06  
B: + 1.31  
C: + 2.81  
D: + 2.06  
E: + 1.16  
F: + 0.35  
G: + 2.1  
H: + 1.1

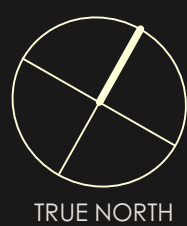


SCALE 1:100  
D 18/3/20 DA submission revised  
C 9/12/19 For DA submission  
B 19/11/19 For DA submission

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LANDSCAPE MASTER PLAN  
(LANDSCAPE AND POOL)

28/08/2019

DRAWN  
KB

SCALE  
1:100@A1

DWG NO

LMP 01

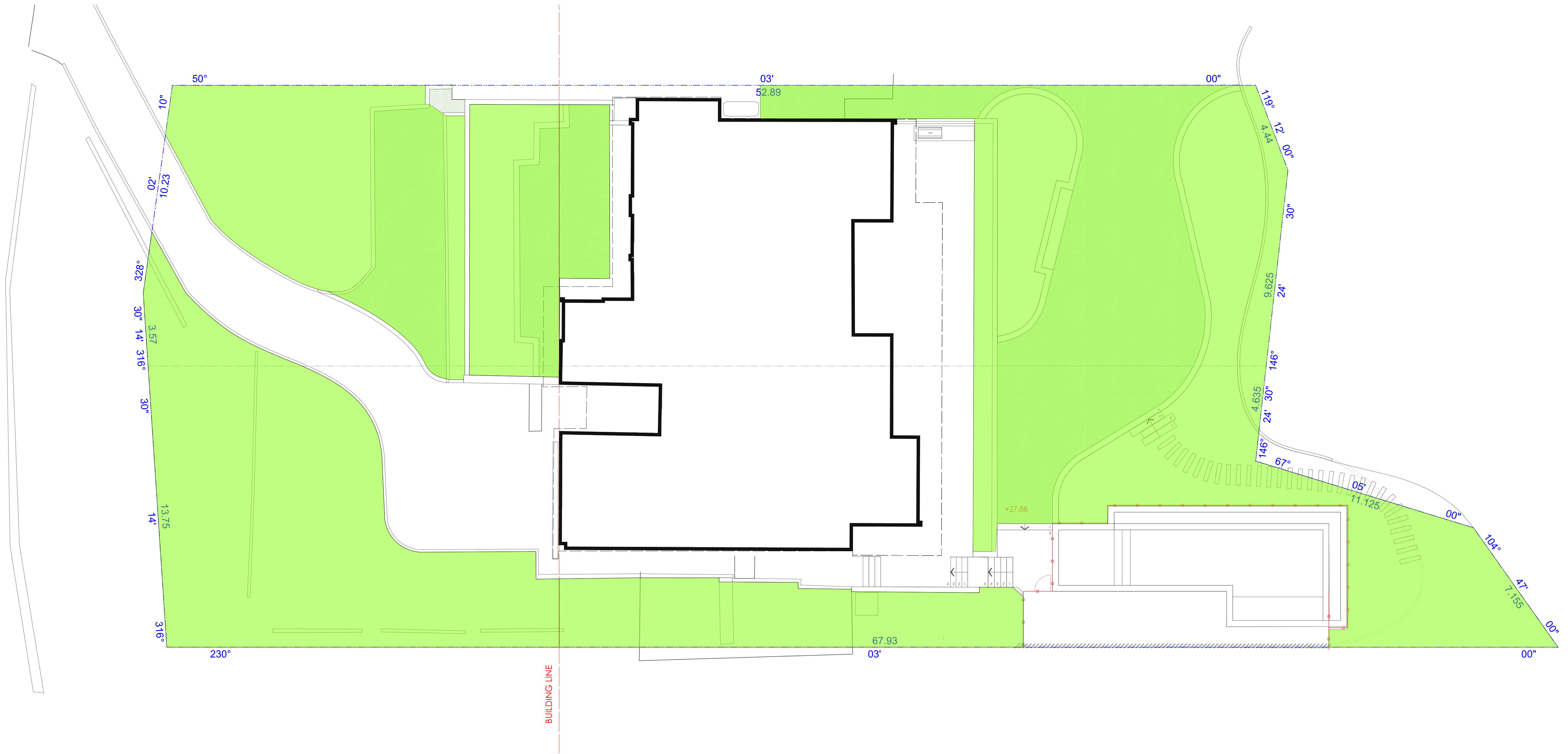
REVISION

D









TOTAL SITE:				FRONT SETBACK:			
SITE AREA:				TOTAL FRONT AREA:			
MINIMUM REQUIREMENT:				MINIMUM REQUIREMENT:			
DCP CLAUSE D12.10 ii) IMPERVIOUS VARIATION:				PROPOSED FRONT LANDSCAPED AREA:			
TOTAL MINIMUM REQUIREMENT:				399.9m2 meets requirement			
TOTAL PROPOSED LANDSCAPE AREA:							
871.9m2 - meets requirement							



SCALE 1:100



WHALE BEACH ROAD

+

RESIDENTIAL HOUSE  
243  
D.P.16362

No.327  
2 STOREY  
BRICK & CLAD RESIDENCE  
METAL ROOF

No.325  
RENDERED & CLAD RESIDENCE  
METAL ROOF

242  
D.P.16362

TOTAL AREA 1577m<sup>2</sup> (BY CALC)  
1587m<sup>2</sup> (BY TITLE)

No.325  
RENDERED & CLAD RESIDENCE  
METAL ROOF

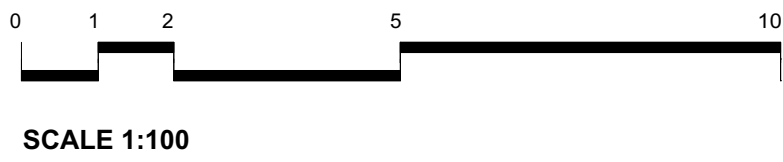
241  
D.P.16362

RESERVE  
240  
D.P.16362

(PUBLIC RESERVE)

LEGEND

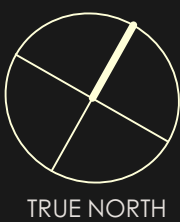
 BENCHMARK ON KERB RL 93.95	 BOUNDARY LINE (APPROX LOCATION)	 EXISTING LAWN AREA	 EXISTING WALLING	 EXISTING PAVING
 EXISTING SPOT LEVEL	 FORESHORE BUILDING LINE (APPROX LOCATION)	 EXISTING GARDEN AREA	 EXISTING TIMBER DECKING	 EXISTING CONCRETE PATH



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EXISTING SITE PLAN

28/08/2019

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KB

SCALE  
1:100@A1

A 20/11/19 For DA submission

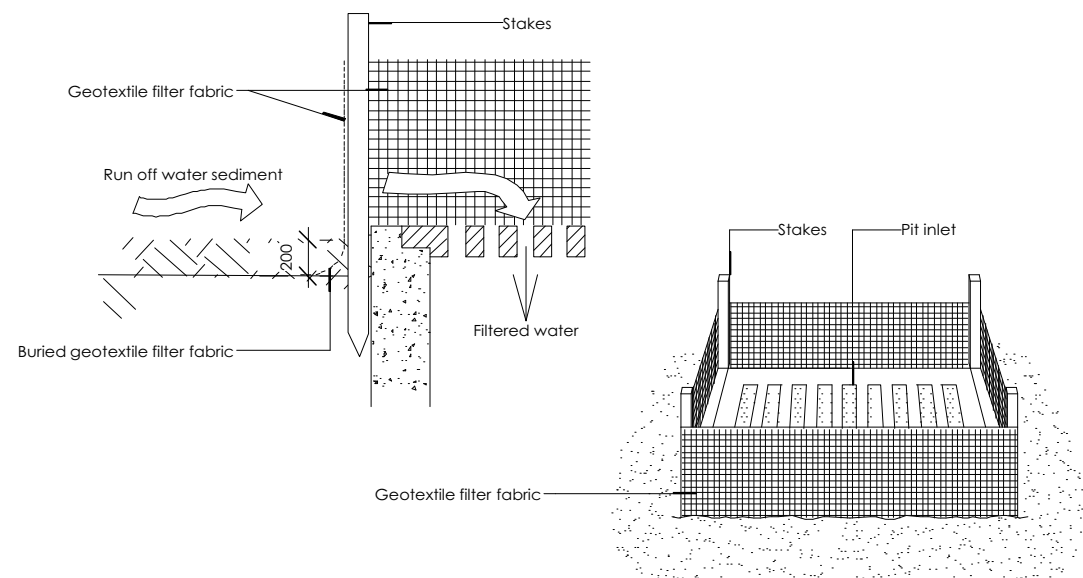
DWG NO

SP 01

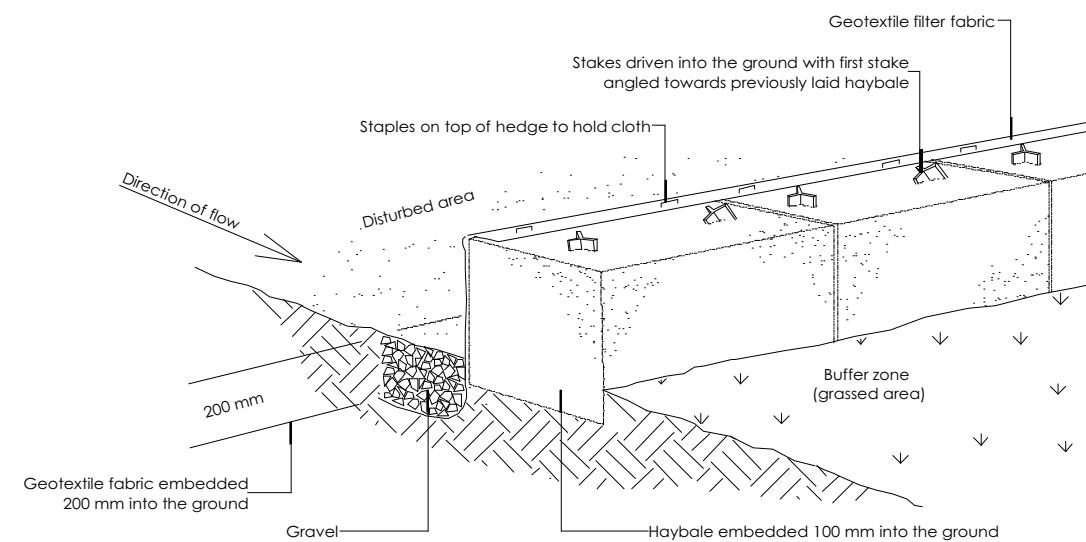
REVISION

A

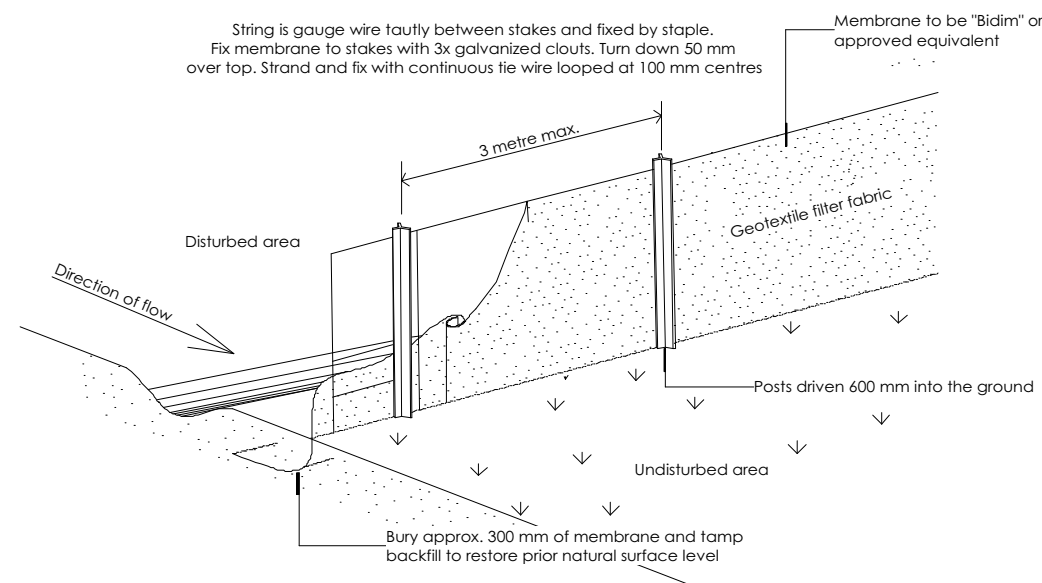




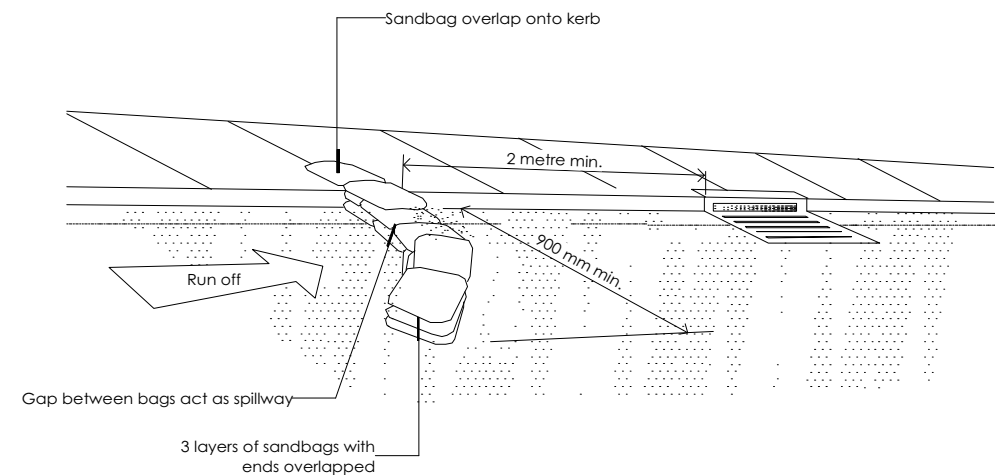
**GEOTEXTILE FILTER FABRIC SURROUND**



**STRAW BALE AND GEOTEXTILE SEDIMENT FILTER**



**SEDIMENT FENCE**



**SANDBAG SEDIMENT TRAP FOR KERB INLET ON GRADE**

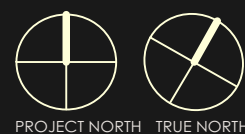
### General Notes:

- All work shall be generally carried out in accordance with:
  - Local authority requirements
  - EPA requirements
  - NSW department of housing manual
- Maintain the erosion control devices to the satisfaction of the superintendent and the local authority.
- When stormwater pits are constructed, prevent site run off entering unless silt fences are erected around pits.
- Contractor is to ensure all erosion & sedimentation control devices are maintained in good working order and operate effectively. Repairs and/or maintenance shall be undertaken as required, particularly following storm events.
- Clean behind fence each major storm or otherwise as directed and remove all silt from the site.
- Silt fence is to be installed & approved by Council's supervising engineers before overburden is removed. this fence may require replacement at times if located within or nearby construction zones.
- 'Bidim' is supplied by Geofabrics Australia Pty. Ltd.

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Lots 241 & 242 D.P. 16362

EROSION & SEDIMENT CONTROL PLAN  
  
DRAWN  
KB  
  
SCALE  
NTS @A3

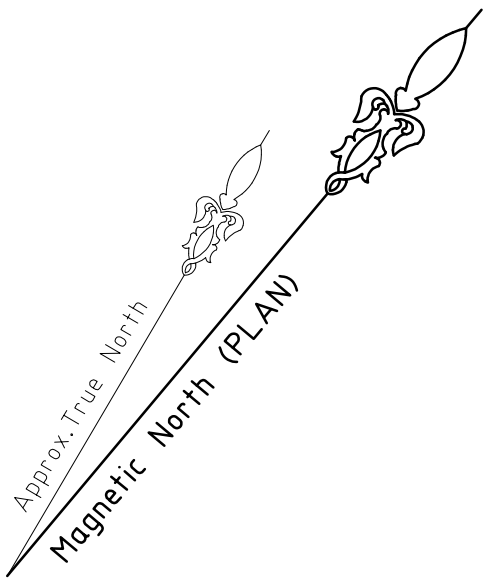
A 19/11/19 DA submission  
DWG NO

**ESCP 01**

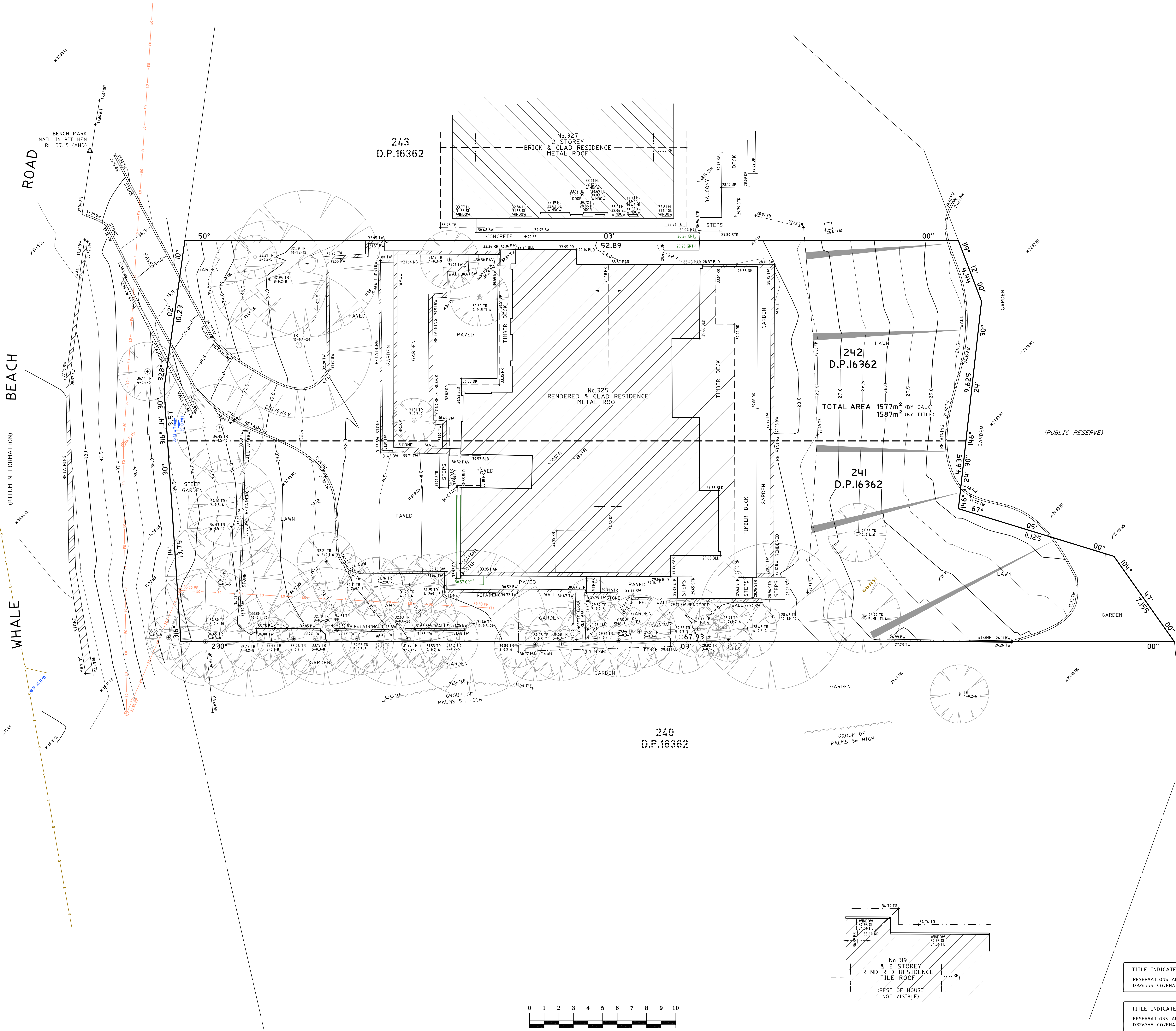
REVISION

**A**





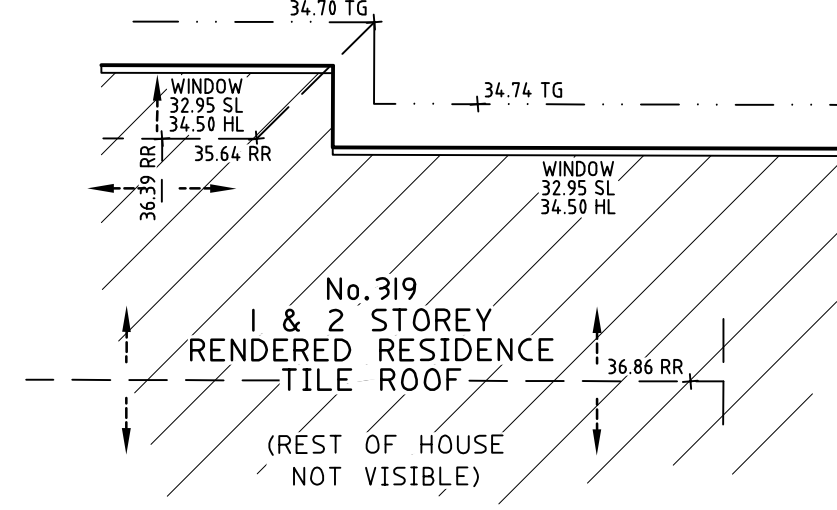
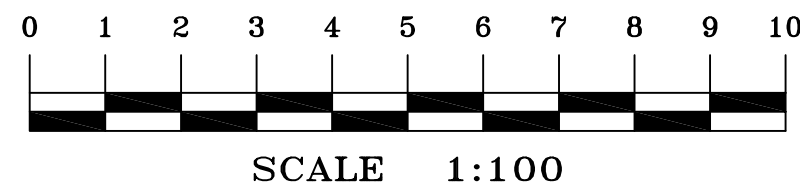
SEWER MAIN PLOTTED FROM SYDNEY WATER DIAGRAM APPROXIMATE POSITION ONLY



**LEGEND:**

BAL = BALCONY  
BB = BOTTOM OF BANK  
BIT = BITUMEN  
BLD = EXTERNAL BUILDING  
BW = BOTTOM WALL  
CL = CENTRELINE  
CON = CONCRETE  
DK = DECK  
DS = DOOR SILL LEVEL  
FCE = FENCE  
FL = FLOOR LEVEL  
GAPL = GARAGE FLOOR LEVEL  
GRT = GRATE  
HL = HOOD LEVEL  
HYD = HYDRANT  
LID = MISCELLANEOUS PIT LID  
NS = NATURAL SURFACE  
PAR = PARAPET  
PAY = PAVING  
RIP = ROOF INSPECTION PIT  
SL = SILL LEVEL  
STR = STAIRS  
TB = TOP OF BANK  
TG = TOP OF GUTTER  
TLE = TREE LINE  
TR = TREE  
TW = TOP OF WALL  
WM = WATER METER  
ELECTRICITY OVERHEAD  
SEWER UNDERGROUND

TREE  
SPREAD-DIAMETER-HEIGHT



TITLE INDICATES THAT LOT 241 IN D.P.16362 IS SUBJECT TO:  
- RESERVATIONS AND CONDITIONS IN THE CROWN GRANT(S)  
- D326355 COVENANT

TITLE INDICATES THAT LOT 242 IN D.P.16362 IS SUBJECT TO:  
- RESERVATIONS AND CONDITIONS IN THE CROWN GRANT(S)  
- D326355 COVENANT (NOT INVESTIGATED)

- NOTES**
- BOUNDARIES HAVE NOT BEEN REFINED (TITLE DIMENSIONS ONLY) - BOUNDARY DEFINITION IS SUBJECT TO FURTHER SURVEY.
  - A BASIC BOUNDARY SURVEY HAS BEEN UNDERTAKEN SUITABLE FOR COUNCIL DA SUBMISSION (TITLE DIMENSIONS ONLY) - BOUNDARY DEFINITION IS SUBJECT TO FURTHER SURVEY.
  - IF CONSTRUCTION ON OR NEAR BOUNDARIES IS REQUIRED IT IS RECOMMENDED THAT THE BOUNDARIES OF THE LAND BE MARKED.
  - THIS DETAIL SURVEY IS NOT A "SURVEY" AS DEFINED BY THE SURVEYING AND SPATIAL INFORMATION ACT, 2002.
  - AREA IS APPROXIMATE ONLY AND HAS BEEN CALCULATED BY TITLE DIMENSIONS. ALL TITLE DIMENSIONS OF THE LAND HAVE NOT BEEN CONFIRMED BY SURVEY. IF AREAS ARE CRITICAL WE RECOMMEND A BOUNDARY SURVEY FOR PUBLIC RECORD.
  - TREE SIZES ARE ESTIMATES ONLY.
  - THIS PLAN HAS BEEN PREPARED FOR THE EXCLUSIVE USE OF DAVID WEBSTER & CHRISTINE BLAMPIED
  - RELATIONSHIP OF IMPROVEMENTS TO BOUNDARIES IS DIAGNOSTIC ONLY. WHERE OFFSETS ARE CRITICAL THEY SHOULD BE CONFIRMED BY FURTHER SURVEY.
  - EXCEPT WHERE SHOWN BY DIMENSION LOCATION OF DETAIL WITH RESPECT TO BOUNDARIES IS INDICATIVE ONLY.
  - ONLY VISIBLE SERVICES HAVE BEEN LOCATED. UNDERGROUND SERVICES HAVE NOT BEEN LOCATED. DIAL BEFORE YOU DIG SERVICES (DN 1100) SHOULD BE USED AND A FULL UTILITY INVESTIGATION INCLUDING A UTILITY LOCATION SURVEY, SHOULD BE UNDERTAKEN BEFORE CARRYING OUT ANY CONSTRUCTION ACTIVITY IN OR NEAR THE SURVEYED AREA.
  - SEWER MAIN PLOTTED FROM SYDNEY WATER SEWER DIAGRAM. LOCATION SHOULD BE MARKED ON SITE IF CRITICAL.
  - CRITICAL SPOT LEVELS SHOULD BE CONFIRMED WITH SURVEYOR.
  - THIS PLAN IS ONLY TO BE USED FOR THE PURPOSE OF DESIGNING NEW CONSTRUCTIONS.
  - CONTOURS SHOWN DEPICT THE TOPOGRAPHY. THEY DO NOT REPRESENT THE EXACT LEVEL AT ANY PARTICULAR POINT. ONLY SPOT LEVELS SHOULD BE USED FOR CALCULATIONS OF QUANTITIES WITH CAUTION.
  - CONTOUR INTERVAL - 0.5 metre. SPOT LEVELS SHOULD BE ADOPTED.
  - POSITION OF RIDGE LINES ARE DIAGNOSTIC ONLY (NOT TO SCALE).
  - THE INFORMATION IS ONLY TO BE USED AT A SCALE ACCURACY OF 1:100.
  - DO NOT SCALE OFF THIS PLAN / FIGURED DIMENSIONS TO BE TAKEN IN PREFERENCE TO SCALED READINGS.
  - COPYRIGHT © C.M.S. SURVEYORS 2018.
  - NO PART OF THIS SURVEY MAY BE REPRODUCED, STORED IN A RETRIEVAL SYSTEM OR TRANSMITTED IN ANY FORM WITHOUT THE WRITTEN PERMISSION OF THE COPYRIGHT OWNER EXCEPT AS PERMITTED BY THE COPYRIGHT ACT 1968.
  - ANY PERMITTED DOWNLOADING, ELECTRONIC STORAGE, DISPLAY, PRINT, COPY OR REPRODUCTION OF THIS SURVEY SHOULD CONTAIN NO ALTERATION OR ADDITION TO THE ORIGINAL SURVEY.
  - THIS NOTICE MUST NOT BE ERASED.

HORIZONTAL DATUM:  
CO-ORDINATE SYSTEM: ASSUMED  
MARKS ADOPTED: N/A

VERTICAL DATUM:  
DATUM: AUSTRALIAN HEIGHT DATUM (AHD)  
B.M. ADOPTED: PM 6902  
R.L. 51.412 (ORDER L2)  
SOURCE: S.C.I.M.S. (24/09/18)

**CLIENT:** DAVID WEBSTER & CHRISTINE BLAMPIED  
c/- WYER & Co, SUITE 4.09  
46A MACLEAY STREET,  
POTTS POINT NSW 2011

**SURVEY PLAN**  
SHOWING DETAIL & LEVELS  
OVER LOTS 241 & 242 IN D.P.16362  
323-325 WHALE BEACH ROAD  
PALM BEACH NSW 2108

**C.M.S. Surveyors Pty Limited**  
ACN: 096 240 201  
PO Box 463 Dee Why NSW 2099  
2/39A South Creek Road, Dee Why NSW 2099  
Telephone: (02) 9971 4802  
Facsimile: (02) 9971 4822  
E-mail: info@cmsurveyors.com.au

LGA: NORTHERN BEACHES		SHEET 1 OF 1	
SURVEYED H.C.	DRAWN R.N.	CHECKED H.C.	APPROVED MDL
SURVEY INSTRUCTION 18080		SCALE 1:100 IN AD	DATE OF SURVEY 25/09/18
DRAWING NAME 18080detail		ISSUE 1	
CAD FILE 18080detail.dwg			