

# Greer Residence

38 Lindley Avenue, Narrabeen, 2101

Mia and Mike Greer

## General Notes

### Coordination

Where applicable refer to and coordinate information contained in the architectural drawings, and the documentation of other consultants. Notify discrepancies between architectural and/or other consultant's documentation for direction prior to proceeding with the works.

### Specifications and Schedules

Where applicable refer to and coordinate with relevant Specifications and Schedules. Written specifications and schedules take precedence to the extent of any discrepancy. Notify discrepancies between documents for direction prior to proceeding with the works.

### Detail Drawings

Unless noted otherwise, refer to detail drawings for set-out information. Drawings at larger scales take precedence over drawings at smaller scales. Notify discrepancies for direction prior to proceeding with the works.

### Execution of the works (Standards)

Execute the works in compliance with the current edition of the Building Code of Australia (as amended), current editions of relevant Australian and other applicable published Standards and the relevant requirements of Local and Statutory Authorities.

### Units of measurement

Unless noted otherwise:  
- Dimensions are shown in millimetres; and  
- Levels are shown in meters

### To detail

Where a notation refers to an item as "...to detail" the applicable item is to be in accordance with the relevant Architect's detail.

### Materials handling and storage

Unless noted otherwise material, fixtures and fittings are to be handled, stored and installed in accordance with the Manufacturer's current written instructions.

### Structure

Foundations, footings, reinforced concrete, slabs, retaining walls, framing, bracing, tie-down and other structural elements are to be designed and constructed in accordance with the Structural Engineer's details and specifications.

### Hydraulics

Stormwater drainage, waste water drainage, fresh water, gas supply and other hydraulic services are to be designed and constructed in accordance with the Local Authority, Statutory Authority, Hydraulic and/or Civil Works Consultant's requirements.

### Erosion & Sediment Control

Apply erosion and sediment control measures in accordance with the Local Authority and, where applicable, Hydraulic or Civil Works Consultant's requirements to avoid erosion, sedimentation and/or contamination of the site, surrounds and stormwater drainage system. Apply measures to ensure that the site remains free of water and to prevent water flow over the new work . Erosion & sediment control measures are to be effective from commencement of the works (including demolition) and maintained throughout the course of the works until the site is fully stabilised.

### Services (existing & proposed)

Confirm location of existing under and above-ground services and coordinate with the relevant service authority to ensure that services are handled in accordance with the relevant authorities instructions prior to commencement of demolition, excavation and/or construction works.

### Levels

Levels shown are consistent with the datum and benchmarks shown on the associated detail survey. In most instances the surveyed levels will be indicated relative to Australian Height Datum. However the existing site levels and datum are to be confirmed on site with reference to the site survey documents.

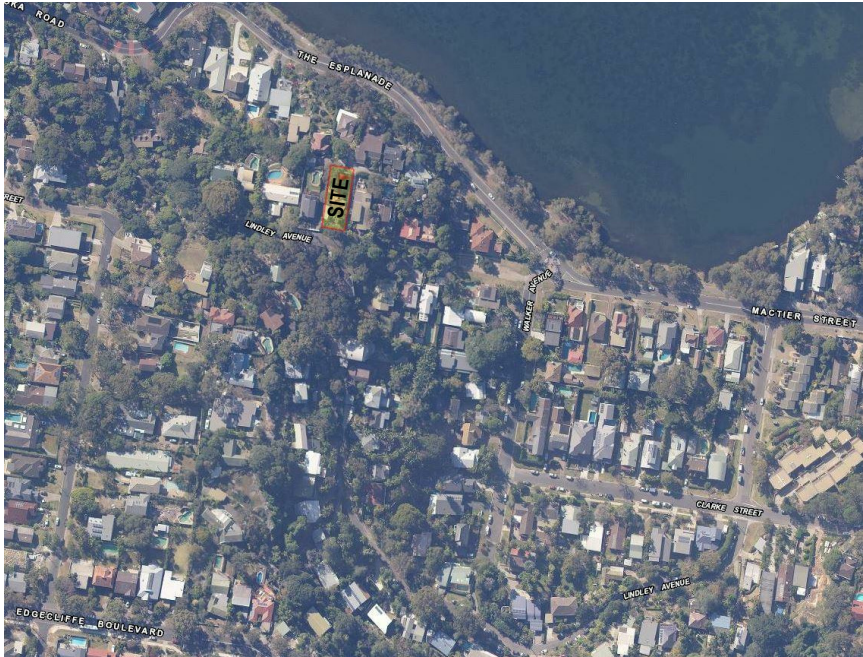
### Interpretation

"Provide" means to supply and install.  
"Required" means required by the contract documents or by the Local or Statutory Authorities.  
"Proprietary" means identifiable by naming the manufacturer, supplier, installer, trade name, brand name, catalogue or reference number.

## Standard Abbreviations

AW	Accordance with
AFFL	Above finished floor level
AP	Access Panel
Awn	Awning
Bal	Balustrade
Bdy	(Property) Boundary
Bhd	Bulkhead
Bldg	Building
Bldr	Builder or building contractor
CJ	Control / construction joint
CL	Centre line
COS	Check / confirm on site
Crs	Centres
Dp	Downpipe
D,Dr	Door
Dwg	Drawing
Eng	Engineer('s)
Est	Estimated
Exst	Existing
Ext	External
FFL	Finished floor level
FGL	Finished ground level
FR	Fire rated
Fxd	Fixed
Gnd	Ground
Hr	Handrail
Hyd	Hydraulic
Inst	Instruction(s)
Int	Internal
Man	Manufacturer('s)
Nom	Nominal
NTS	Not to scale
O/A	Overall
O/H	Overhead
Own	Owner   Proprietor   Principal
Req	Requirement(s)
RL	Relative Level (to Datum)
Schd	Schedule(s)
SFL	Structural floor level
Sld	Sliding
Spec	Specification(s)
SSL	Structural slab level
Std	Standard
SDr	Surface drainage
SSD	Sub-surface drainage
TBA	To be advised
TBC	To be confirmed
TBD	To be demolished
TBR	To be removed
TOW	Top of wall
Typ	Typical
U/G	Under ground
UNO	Unless noted otherwise
U/S	Underside
W,Win	Window
W/	With
W/O	Without

## Location Plan



Source: Sixmaps NSW



Perspective view from Lindley Avenue

## Architectural Drawings

No.	Name	Rev	Date
D000	Cover Sheet, Title Page & Notes	3	24 Oct 2019
D001	Specifications	1	24 Oct 2019
D002	BASIX Commitments	1	24 Oct 2019
D010	Site Layout - Existing & Demo	2	24 Oct 2019
D011	Site Layout & Site Analysis	3	24 Oct 2019
D050	Compliance Plan	1	24 Oct 2019
D055	Landscape Plan	1	24 Oct 2019
D060	Erosion, Sediment, Stormwater Control & Waste Management Plan	1	24 Oct 2019
D100	Ground Floor Plan - Existing & Demolition	1	24 Oct 2019
D101	Ground Floor Plan - Proposed	3	24 Oct 2019
D110	First Floor Plan - Proposed	3	24 Oct 2019
D300	Sections - Existing & Proposed	3	24 Oct 2019
D301	Sections - Existing & Proposed	3	24 Oct 2019
D400	Elevations North	3	24 Oct 2019
D401	Elevations South	3	24 Oct 2019
D402	Elevations East	3	24 Oct 2019
D403	Elevations West	3	24 Oct 2019
D900	Shadow Diagrams	1	24 Oct 2019
D901	Perspectives & Materials	1	24 Oct 2019
D905	Notification Plans	1	24 Oct 2019

## Applicable Controls:

Warringah Local Environmental Plan 2011 - Version from 01 July 2019

Warringah Development Control Plan 2011 Amendment 14

General Notes	Development Application	Rev	Date	Description	Project Issue Date	Date
The copyright of this design remains the property of buck&simple. This design is not to be used, copied or reproduced without the authority of buck&simple. Do not scale from drawings. Confirm dimensions on site prior to the commencement of works. Where a discrepancy arises, seek direction prior to proceeding with the works. This drawing is only to be used by the stated Client in the stated location for the purpose it was created. Do not use this drawing for construction unless designated.	Contact: info@buckandsimple.com ABN : 86 106 604 025 www.buckandsimple.com	1 2 3	18 Sept 2019 04 Oct 2019 24 Oct 2019	Issue for Client Review Issue for Information Issue for DA	21 Oct 2019 Scale @ A3 Project #	24 Oct 2019 By BS Drawing #
						BS
					1138	D000
						3

#### General

##### General Notes and Abbreviations

Refer also to the General Notes and Abbreviations where included with this drawing set.

**This specification table forms a non-exhaustive list of the Standards and provisions applicable to the works. Where an Australian Standard (AS/NZ/int) or provision of the NCC has been omitted, superseded or replaced the contractor is to ensure all works are carried out, completed and warranted in accordance with the most current form of the standard or provision. Where a discrepancy arises, notify the contract administrator immediately**  
\*refer to Execution of Works.

##### Coordination

Where applicable refer to and coordinate information contained in the architectural drawings, and the documentation of other consultants. Notify the project administrator of any discrepancies between architectural and/or other consultant's documentation for direction prior to proceeding with the affected part of the works.

##### Detail Drawings

Unless noted otherwise, refer to detail drawings for set-out information. Drawings at larger scales take precedence over drawings at smaller scales to the extent of any discrepancy. Notify the project administrator of any discrepancies prior to proceeding with the affected part of the works.

##### Units of measurement

Unless noted otherwise:  
- Dimensions are shown in millimetres; and  
- Levels are shown in meters

##### To detail

Where a notation refers to an item as "...to detail" the applicable item is to be in accordance with the relevant Architect's detail.

##### Materials handling and storage

Unless noted otherwise material, fixtures and fittings are to be handled, stored and installed in accordance with the Manufacturer's current written instructions.

##### Erosion & Sediment Control

Apply erosion and sediment control measures in accordance with the Local Authority and, where applicable, Hydraulic or Civil Works Consultant's requirements to avoid erosion, sedimentation and/or contamination of the site, surrounds and stormwater drainage system. Apply measures to ensure that the site remains free of water and to prevent water flow over the new work. Erosion & sediment control measures are to be effective from commencement of the site works (including demolition) and maintained throughout the course of the works until the site is fully stabilised.

##### Services (existing & proposed)

Confirm location of existing under and above-ground services and coordinate with the relevant service authority to ensure that services are handled in accordance with the relevant authorities instructions prior to commencement of demolition, excavation and/or construction works.

##### Levels

Levels shown are consistent with the datum and benchmarks shown on the associated detail survey. In most instances the surveyed levels will be indicated relative to Australian Height Datum. However the existing site levels and datum are to be confirmed on site with reference to the site survey documents.

##### Falls

Finish surfaces typically to fall as required to facilitate effective drainage.

##### Interpretation

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"Required" means required by the contract documents or by the Local or Statutory Authorities.  
"Proprietary" means identifiable by naming the manufacturer, supplier, installer, trade name, brand name, catalogue or reference number.

##### Specifications and schedules

Where a written specification and/or schedule exist and a discrepancy between documents is identified, the written documents take precedence over this document to the extent of the discrepancy. Where a discrepancy is identified notify the project administrator for direction prior to proceeding with the part of the works affected by the discrepancy.

##### Execution of the works (Specifications)

Execute the works in compliance with:  
- The relevant deemed-to-satisfy provisions of the current edition of the Building Code of Australia (Volume 2- Housing Provisions) (as amended at the time of execution of the works);  
- Current editions of relevant Australian and other applicable building Standards; and  
- The relevant requirements of Local and/or Statutory Authorities applicable to the execution of the works.  
The specification of codes and standards included herein outlines the minimum acceptable standards.

##### Termite protection

Provide termite protection:  
In accordance with the BCA (Volume 2) Part 3.1.3, Termite Risk Management and to AS/NZS 3660.1\_ Termite management - New building work.  
Upon completion, a durable notice must be permanently fixed to the building in a prominent location, such as a meter box or the like, indicating: The method of termite protection, the date of installation of the system, where a chemical barrier is used, its life expectancy as listed on the National Registration Authority label and the installer's or manufacturer's recommendations for the scope and frequency of future inspections for termite activity.  
Provide professional certification of the termite protection measures to the principal certifying authority, confirming compliance with the relevant provisions of the BCA and Australian Standards.

##### Flashings and damp-proof courses

Flashings and damp-proof courses: To AS/NZS 2904\_Damp-proof courses and flashings

##### Fasteners

Steel nails: Hot-dip galvanized to AS/NZS 4680\_Hot-dip galvanized (zinc) coatings on fabricated ferrous articles.  
Self-drilling screws: To AS 3566\_Self-drilling screws for the building and construction industries - General requirements and mechanical properties

##### Metal finishes

Corrosion protection:  
In accordance with the BCA (Volume 2) Part 3.4.2.2\_Steel framing - General.  
Preparation of metal surfaces:  
To AS 1627 (Various)\_Metal finishing - Preparation and pretreatment of surfaces.  
Zinc plating:  
To AS 1789\_Electroplated zinc (electrogalvanized) coatings on ferrous articles (batch process), at least service condition number 2.  
Anodising:  
To AS 1231\_Aluminium and aluminium alloys - Anodic oxidation coatings, at least class AA10.  
Thermoset powder coating: To AS 3715\_Metal finishing - Thermoset powder coating for architectural applications of aluminium and aluminium alloys.  
Galvanize mild steel components (including fasteners): To AS 1214\_Hot-dip galvanized coatings on threaded fasteners (ISO metric coarse thread series) (ISO 10684:2004, MOD) or AS/NZS 4680\_Hot-dip galvanized (zinc) coatings on fabricated ferrous articles, as appropriate, if exposed to weather, embedded in masonry or in contact with chemically treated timber.  
Galvanized other components:  
To AS/NZS 4680\_Hot-dip galvanized (zinc) coatings on fabricated ferrous articles.  
Durability requirements:  
To AS/NZS 2699.2\_Built-in components for masonry construction - Connectors and accessories  
Steel sheeting:  
To AS/NZS 2728\_Prefinished/prepainted sheet metal products for interior/exterior building applications - Performance requirements.  
Cold-form sections from metallic-coated steel:  
To AS 1397\_Continuous hot-dip metallic coated steel sheet and strip - Coatings of zinc and zinc alloyed with aluminium and magnesium.  
Steel framing:  
Zinc-coated or aluminium/zinc alloy coated steel;  
To AS 1397 (Steel sheet and strip - Hot dipped zinc-coated or aluminium/zinc-coated) Z450 or AZ150.

##### Building in bushfire prone areas

Provide certification that **all construction methods** and any required bushfire prevention measures are installed in accordance with the approvals documentation, the NSW Rural Fire Service and **AS 3959**.

In order to provide a suitable combination of bush fire protection measures the NSW Rural Fire Service also requires additional construction requirements beyond those prescribed in AS3959 as deemed appropriate.

Construction methods must comply with these requirements, including, but not limited to: *Addendum Appendix 3 of Planning for bushfire fire protection*, including, but not limited to the relevant provisions of A3.7 and the nominated Australian Standard clauses.

Specify all measures installed on the certification.

##### Demolition

Demolish existing structures as shown: To AS 2601 (The demolition of structures)  
Temporary Support: Provide temporary support for part(s) of the existing structure as required where part(s) of the works to be altered rely on work to be demolished for support .  
Temporary Cover: Provide temporary cover as necessary to prevent damage from the weather and ensure that the site remains secure so as to prevent unauthorised entry.  
Secure Site: Prior to the commencement of demolition works ensure that the site is secure and that erosion and other environmental protection measures are in place and operational.  
Asbestos: Demolition involving the removal of asbestos or materials containing asbestos fibre must only be carried out by persons licensed by Workcover NSW and be in accordance with the National Occupational Health and Safety Commission (WorkSafe Australia), Code of practice for the safe removal of asbestos.

##### Earthworks

To be carried out in accordance with:  
- The requirements of the Environmental Planning & Assessment Act 1979;  
- Relevant conditions of development consent; and  
- The relevant requirements of BCA (Volume 2) Part 3.1.1 of the BCA (volume 2)  
Excavation adjacent to existing buildings:  
To comply with BCA (Volume 2) Part 3.1.1.3  
Excavation for drains adjacent to existing footings: To be in accordance with BCA (Volume 2) Part 3.1.2.2 & Figure 3.1.2.1.

##### Piling

Timber piled footing systems: Proprietary System designed to AS 2870 (Residential slabs and footings - Construction).  
Screw-in foundations: Proprietary System designed to AS 2159 (Piling - Design and installation).

##### Structural design

Foundations, footings, reinforced concrete, slabs, retaining walls, framing, bracing, tie-down and other structural elements are to be designed and constructed in accordance with the Structural Engineer's details and specifications and in accordance with the relevant provisions of the following structural design manuals.

##### Site classification

To be in accordance with Part 3.2.4 of the BCA (volume 2)

##### Structural design manuals

AS 1170.1 (Dead and live loads and load combinations)  
AS 1170.2 (Wind loads) or AS 4055 (Wind loads for housing)  
AS 1170.4 (Earthquake loads)  
AS 1720.1 (Timber structures code)  
AS 2870 (Residential slabs and footings)  
AS 2159 (Piling - design and installation)  
AS 2327.1 (Composite structures)  
AS 3600 (Concrete structures)  
AS 3700 (Masonry Structures)  
AS 4100 (Steel structures)  
AS 4773 (Masonry in small buildings)

##### Structural design certification

Submit structural engineer's design certification, in accordance with Local Authority requirements, to the Principal Certifying Authority prior to the commencement of works.

##### Concrete construction

Concrete structures generally: To AS 3600 (Concrete structures).  
Ground slabs and footings: To AS 2870 (Residential slabs and footings - Construction).  
Ready mixed supply: To AS 1379 (Specification and supply of concrete).  
Concrete construction is to comply with Spec A2.4, B1.4 & AS 3600

##### Footings and slabs

Design and construct footings and slabs: In accordance with Part 3.2 of the BCA (volume 2) and AS 2870(Residential slabs and footings), AS 3600 (Concrete structures) and AS 2159(Piling - Design and installation).

##### Brick & block construction (masonry)

Masonry construction: To be in accordance with Part 3.3 of the BCA (volume 2) and to AS 3700 (Masonry structures).  
Masonry units: To AS/NZS 4455 (Masonry units and segmental pavers).  
Clay brick durability below damp-proof course: Use exposure category to AS/NZS 4456:10 (Masonry units and segmental pavers - Methods of test - Determining resistance to salt attack) Appendix A (Salt attack resistance categories).  
AS 4773.1 and AS 4773.2 (Masonry in small buildings)

##### Wall ties

Wall ties: To AS/NZS 2699.1(Built-in components for masonry construction - Wall ties); Non-seismic areas: Type A; Seismic areas: Type B.  
Wall tie type: To BCA Volume 2 clause 3.3.3.2 (Acceptable construction - Masonry - Masonry accessories - Wall ties).  
Wall tie spacing: To BCA Volume 2 Figure 3.3.3.1 (Typical brick ties spacings in cavity and veneer construction).  
Wall tie corrosion protection: To BCA Volume 2 Table 3.3.3.1 (Corrosion protection for wall ties).

##### Lintels

Lintels generally: In accordance with Part 3.3.3.4 of the BCA (volume 2)  
Cold-formed lintels: Proprietary cold-formed flat-based type designed to AS/NZS 4600(Cold-formed steel structures), manufactured from mild steel galvanized to AS/NZS 4680 (Do not cut after galvanizing).  
Steel lintels (flats and angles): To BCA Volume 2 Figure 3.3.3.5, manufactured from mild steel galvanized to AS/NZS 4680 (Do not cut after galvanizing).  
Lintel corrosion protection: To AS/NZS 2699.3 (Built-in components for masonry construction - Lintels and shelf angles (durability requirements)).

##### Timber & steel framed construction

Sub-floor ventilation  
Sub floor ventilation: To be in accordance with Part 3.4.1 of the BCA (volume 2)

##### Timber wall, floor and roof framing

Timber framing: To be in accordance with Part 3.4 of the BCA (volume 2) and AS 1684.4 (Residential timber-framed construction - Simplified - Non-cyclic) or AS 1720.1 (Timber structures - Design methods).  
Natural durability class of heartwood: To AS 5604(Timber - Natural durability ratings).  
Preservative treatment: To the AS 1604 series (Specification for preservative treatment).  
Contractor to ensure compliance with clause 3.4.3.0 of the BCA and AS 1684.2 (Amdt 1), AS1684.3(Amdt 1) or AS 1684.4 (Amdt 1).  
Timber construction is to comply with clause 3.4.3.0 & AS 1684.2 – (Amdt 1).

##### Steel framing and structural steel members

Steel framing: To be in accordance with Part 3.4.2 of the BCA (volume 2)  
Acceptable construction practice (Part 3.4.2.1 of the BCA) and /or AS 4100 (Steel structures)  
Steel structural members: To be in accordance with Part 3.4.4 of the BCA (volume 2) Acceptable construction practice and AS 4100 (Steel structures)  
Structural steelwork: To AS 4100 (Steel structures).  
Cold-formed steel framing: Provide a proprietary system designed to AS 3623(Domestic metal framing).  
Welding: To AS/NZS 1554.1 (Structural steel welding - Welding of steel structures).

##### Floors

Floors:  
Floors: To AS 1684.4  
Particleboard flooring: To AS/NZS 1860.1 (Particleboard flooring - Specifications) and install to AS 1860 (Installation of particleboard flooring).  
Compressed Fibre cement flooring: To AS/NZS 2908.2 (Cellulose-ocement products - Flat sheets), Type A, Category 5.  
Plywood flooring: To AS/NZS 2269 (Plywood - Structural), bond type A, tongue and grooved.

##### Roof trusses

Roof trusses installation: To AS 4440 (Installation of nailed timber trusses).  
Anti-ponding boards: To AS/NZS 4200.2(Piable building membranes and underlays - Installation requirements).

##### Roof and wall cladding

###### Roof tiling

To be in accordance with Parts 3.5.1.1 & 3.5.1.2 of the BCA (volume 2) and AS 2049 (Roof tiles).  
Roof tile installation: To AS 2050 (Installation of roofing tiles).

###### Metal roof sheeting

To be in accordance with the BCA (Volume 2) Part 3.5.10, 3.5.1.1 & 3.5.1.3  
Metal roofing design and installation: To AS 1562.1(Design and installation of sheet roof and wall cladding - Metal).

##### Roof plumbing

To be in accordance with BCA (Volume 2) Part 3.5.2 and AS/NZS 3500 (Part 3 - Stormwater drainage) and AS/NZS 3500(Part 5 - Domestic installation - section 5 - stormwater drainage)  
PVC rainwater goods and accessories: To AS/NZS 2179.2 (Int) (Specification for rainwater goods, accessories and fasteners - PVC rainwater goods and accessories).

##### Eaves & soffits

lining is to comply with 3.5.3.4 of the BCA and AS/NZS 2908.2 - 2000 or ISO 8336 - 1993E.

##### Wall cladding

To be in accordance with Part 3.5.3 of the BCA (volume 2)  
Hardboard cladding: To AS/NZS 1859.4 (Int)(Reconstituted wood-based panels - Specifications - Wet-processed fibreboard).  
Fibre cement cladding: To AS/NZS 2908.2(Cellulose-cement products - Flat sheets), Type A, Category 3.  
Metal cladding design and installation: To AS 1562.1 (Design and installation of sheet roof and wall cladding - Metal).  
Unplasticised polyvinyl chloride (UPVC) sheet: To AS/NZS 4256.4 (Plastic roof and wall cladding materials - Unplasticised polyvinyl chloride (UPVC) wall cladding boards).  
Glass fibre reinforced polyester (GRP) sheet: To AS/NZS 4256.3 (Plastic roof and wall cladding materials - Glass fibre reinforced polyester (GRP)).  
Polycarbonate: To AS/NZS 4256.5 (Plastic roof and wall cladding materials - Polycarbonate).  
Installation of plastic claddings: To AS/NZS 1562.3 (Design and installation of sheet roof and wall cladding - Plastic).  
Timber cladding to comply with BCA (Volume 2) Part 3.5.3.2

##### Insulation and sarking

Cellulosic fibre (loose fill): To AS/NZS 4859.1 (Materials for the thermal insulation of buildings - General criteria and technical provisions), Section 5.  
Mineral wool blankets and cut pieces: To AS/NZS 4859.1, Section 8.  
Polystyrene (extruded rigid cellular sheets): To AS 1366.4 (Rigid cellular plastics sheets for thermal insulation - Rigid cellular polystyrene - Extruded (RC/PSE)).  
Polystyrene (moulded rigid cellular sheets): To AS 1366.3 (Rigid cellular plastics sheets for thermal insulation - Rigid cellular polystyrene - Moulded (RC/PS - M)).  
Reflective insulation: To AS/NZS 4859.1, Section 9.  
Wool: To AS/NZS 4859.1, Section 6.  
Sarking material: To AS/NZS 4200.1 (Piable building materials and underlays - Materials).  
Standard: To AS 3999 (Thermal insulation of dwellings - Bulk insulation - Installation requirements).  
Sarking material: To AS/NZS 4200.2 (Piable building materials and underlays - Installation requirements).

##### Windows and doors

Glazing to be in accordance with Part 3.6 of the BCA (volume 2).  
Glass Selection and installation: To AS 1288(Glass in buildings - Selection and installation).  
Timber doorsets: To AS 2688 (Timber doors).  
Timber frames and jamb linings: To AS 2689 (Timber doorsets).  
Security screen doors and windows grilles: To AS 5039 (Security screen doors and security window grilles).  
Window selection and installation: To AS 2047 (Windows in buildings - Selection and installation).  
Doorset installation: To AS 1909 (Installation of timber doorsets).  
Garage doors: To AS/NZS 4505 (Domestic garage doors).  
Provide certification from a licensed installer that window framing and glazing is installed in accordance with the relevant standards.

##### Lining

Plasterboard: To AS/NZS 2588 (Gypsum plasterboard).  
Plasterboard installation: To AS/NZS 2589.1- (Gypsum linings in residential and light commercial construction - Application and finishing - Gypsum plasterboard) Level 4 finish.  
Fibre cement: To AS/NZS 2908.2 (Cellulose-cement products - Flat sheets), Type B, Category 2.  
Fibrous plaster products: To AS 2185 (Fibrous plaster products).

##### Fire safety

###### Fire separation

To be in accordance with BCA (Volume 2) Part 3.7.1  
Fire separation - Separating wall construction: To BCA (Volume 2) Part 3.7.1.8  
Fire separation - Roof lights: BCA (Volume 2) Part 3.7.1.10  
Refer to architectural details of fire separation methods.

###### Flashing

Flashing to wall openings are to comply with BCA (Volume 2) Part 3.5.3.6 and AS/NZS 2904 - 1995 Amdt 1

###### Smoke alarms

To be in accordance with Part 3.7.2 of the BCA (volume 2), AS 3786 (Smoke alarms) and the Manufacturer's instructions. Where consumer mains power is supplied smoke alarms must be connected to mains power. For Class 1A buildings smoke alarms must be installed on every storey. In storeys containing bedrooms smoke alarms are to be located on or near the ceiling.  
- In every corridor or hallway associated with a bedroom, or  
- If there is no corridor or hallway, between the part of the building containing the bedroom and the remainder of the building.

On storeys not containing bedrooms a smoke alarm must be provided and should be located along the path of travel people will most likely take to evacuate the building.  
Provide certification from a Licensed electrical contractor certifying that the alarm system has been installed in accordance with the relevant standards.

All smoke alarms to be interlinked

###### Heating appliances

Part 3.7.3 of the BCA (volume 2) and AS 2918 - Domestic solid - fuel burning appliances - installation

##### Health and amenity

###### Wet areas

Refer to "Waterproofing"

###### Room heights

To be in accordance with Part 3.8.2 of the BCA (volume 2)  
Ceiling heights are to comply with clause 3.8.2.2 of the BCA.

###### Kitchen, sanitary and washing facilities

To be in accordance with Parts 3.8.3.2 and 3.8.3.3 of the BCA (volume 2)

###### Natural and artificial light

To be in accordance with Parts 3.8.4.2 and 3.8.4.3 of the BCA (volume 2)

###### Ventilation

To be in accordance with Part 3.8.5 of the BCA  
Natural Ventilation: Parts 3.8.5.2 and 3.8.5.3 of the BCA (volume 2)  
Mechanical Ventilation: Parts 3.8.5.0 and 3.8.5.3 of the BCA (volume 2)

###### Sound insulation

To be in accordance with Part 3.8.6.1 of the BCA (volume 2)  
Refer to architectural details of sound insulation measures

##### Safe movement and access

###### Stair construction

To be in accordance with BCA (Volume 2) Part 3.9.1.1  
\_Acceptable construction practice. Stair construction must comply with the provisions of the BCA (Volume 2) Part 3.9.1, i.e., treads min 240mm nosing to nosing; risers 115mm - 190mm; slope relationship (2R+G); handrail height 865mm above nosing; open treads maximum gap between treads is 125mm.

###### Balustrades

To be in accordance with BCA (Volume 2) Part 3.9.2.1  
\_Acceptable construction practice. Balustrade construction must comply with the provisions of the BCA (Volume 2) Part 3.9.2. Balustrade height 1m above finished floor surface. Where ground height exceeds 4m from floor level of the deck / balcony balusters must be vertical / non-climbable between 150mm and 760mm above deck level.

##### Block and tile finishes

Ceramic tiling: Follow the guidance provided by AS 3958.1 (Ceramic tiles - Guide to the installation of ceramic tiles) and AS 3958.2 (Ceramic tiles - Guide to the selection of a ceramic tiling system).  
Adhesives: To AS 2358 (Adhesives - For fixing ceramic tiles).

##### Waterproofing

To be in accordance with BCA (Volume 2) Part 3.8.1 and AS 3740 (Waterproofing of wet areas in residential buildings)  
Provide certification from a licensed installer certifying that the waterproofing is installed in accordance with the relevant standards.

##### Floor coatings and coverings

Carpeting: To AS/NZS 2455.1 (Textile floor coverings - Installation practice - General).  
Resilient finishes: To AS 1884 (Floor coverings - Resilient sheet and tiles - Laying and maintenance practices).

##### Painting

Painting generally: Follow the guidance provided by AS/NZS 2311 (Guide to the painting of buildings) and AS/NZS 2312 (Guide to the protection of structural steel against atmospheric corrosion by the use of protective coatings).  
**Preparation**  
Prepare surfaces to be painted in accordance with the Manufacturer's recommendations to suit the selected paint system, the type of substrate and its condition.

##### Timber fixtures

Hardboard: To AS/NZS 1859.4 (Int) (Reconstituted wood-based panels - Specifications - Wet-processed fibreboard).  
Particleboard: To AS/NZS 1859.1 (Int) (Reconstituted wood-based panels - Specifications - Particleboard).  
Medium density fibreboard: To AS/NZS 1859.2 (Int) (Reconstituted wood-based panels - Specifications - Dry-processed fibreboard).  
Decorative overlaid wood panels: To AS/NZS 1859.3 (Reconstituted woodbased panels - Decorative overlaid wood panels).

High-pressure decorative laminate sheets: To AS/NZS 2924.1 (High pressure decorative laminates - Sheets made from thermosetting resins - Classification and specification).  
Domestic kitchen assemblies: To AS/NZS 4386.1 (Domestic kitchen assemblies - Kitchen units).

##### Hydraulic (plumbing) installations

Stormwater drainage, waste water drainage, fresh water, gas supply and other hydraulic services are to be designed and constructed in accordance with the Local Authority, Statutory Authority, Hydraulic and/or Civil Works Consultant's requirements. Where a discrepancy arises the hydraulic consultant's, local or statutory authority's requirements take precedence over the following standards to the extent of the discrepancy.

Plumbing and drainage products: To SAA MP52-2001 (Manual of authorization procedures for plumbing and drainage products) and AS/NZS 3718 (Water supply - Tap ware).

Stormwater: To AS/NZS 3500.3 (Plumbing and Drainage - Stormwater drainage) or AS/NZS 3500.5(National Plumbing and Drainage - Domestic installations).  
Wastewater: To AS/NZS 3500.2 (Plumbing and Drainage - Sanitary plumbing and drainage) or AS/NZS 3500.5.

Waterless composting toilets: To AS/NZS 1546.2 (On-site domestic wastewater treatment units - Waterless composting toilets).  
On-site domestic wastewater treatment units: To AS/NZS 1546.3 (On-site domestic wastewater treatment units - Aerated wastewater treatment units).  
Septic systems: To AS/NZS 1546.1 (On-site domestic wastewater treatment units - Septic tanks).  
Effluent disposal: To AS 1547 (On-site domestic wastewater management).  
Freshwater: To AS/NZS 3500.1 (Plumbing and Drainage - Water services) and AS/NZS 3500.4 (Plumbing and Drainage - Heated water services) or AS/NZS 3500.5 (Copper pipe: To AS 4809 (Copper pipe and fittings - Installation and commissioning).  
Rainwater tanks installation: To AS/NZS 3500.1.  
Polyethylene tanks: To AS/NZS 4766 (Int).  
Gas: To AS 5601(Gas installation code).  
Gutters & downpipes:  
To comply with BCA (Volume 2) Part 3.5.2.0 & AS/NZS 3500.3 (Amdt 1 & 2), or AS/NZS 3500.5 (Amdt 1 to 4).

##### Electrical installations

Where a discrepancy arises the electrical consultant's, local or statutory authority's requirements take precedence over the following standards to the extent of the discrepancy.

Electrical installation: To AS/NZS 3018 (Electrical installations - Domestic installations).  
Circuit breakers: To AS/NZS 3947.2 (Low voltage switchgear and controlgear - Circuit-breakers).  
Electrical accessories: To AS/NZS 3100-(Approval and test specification - General requirements for electrical equipment).  
Luminaries: To AS 3137 (Approval and test specification - Luminaries (lighting fittings)).  
Smoke detectors: Refer to "Fire Safety, Smoke Alarms"  
Switchboards: To AS/NZS 3439.1 (Low-voltage switchgear and controlgear assemblies - Type-tested and partially type-tested assemblies) or AS/NZS 3439.3 (Low-voltage switchgear and controlgear - Particular requirements ...), as appropriate.  
Telecommunications accessories: To AS/ACIF S008 (Requirements for authorised cabling products).  
Television antenna: To AS 1417.1 (Receiving antennas for radio and television in the frequency range 30 MHz to 1 GHz - Construction and installation) and AS 1417.2 (Receiving antennas for radio and television in the frequency range 30 MHz to 1 GHz - Performance).  
Telecommunications installation: To AS/ACIF S009 (Installation Requirements for Customer Cabling (Wiring Rules))and the recommendations of SAA HB29 (Communications Cabling Manual, Module 2: Communications Cabling Handbook).

Small office/home office installations: To AS/ACIF S009 and AS/NZS 3086 (Telecommunications installations - Integrated communications cabling systems for small office/home office premises) and in accordance with the recommendations of SAA HB29.  
Television and audio systems: To AS/NZS 1367 (Coaxial cable systems for the distribution of analogue television and sound signals in single and multiple unit installations) and conforming to the recommendations of Digital Broadcasting Australia.  
Smoke detection installation and testing: To AS 1670.1 (Fire detection, warning, control and intercom systems - System design, installation, and commissioning - Fire) in accordance with the requirements of the Building Code of Australia. Connect smoke detectors to mains power.

Test electrical installations: To AS/NZS 3017 (Electrical installations - Testing guidelines). Certify compliance with AS/NZS 3018.

Test telecommunications cabling: To AS/NZS 3086 and the recommendations of SAA HB29. Test the cable link performance in accordance with the recommendations of SAA HB29 at the maximum frequency and data rate for the cable class, and the cable category. Certify compliance with AS/NZS 3086.

Test television and audio systems: To AS/NZS 1367. Test the complete television and audio system. Certify compliance with AS/NZS 1367.

##### Mech



# BASIX®Certificate

Building Sustainability Index [www.basix.nsw.gov.au](http://www.basix.nsw.gov.au)

## Alterations and Additions

Certificate number: A359770\_03

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Alterations and Additions Definitions" dated 06/10/2017 published by the Department. This document is available at [www.basix.nsw.gov.au](http://www.basix.nsw.gov.au)

Secretary  
Date of issue: Tuesday, 15, October 2019  
To be valid, this certificate must be lodged within 3 months of the date of issue.



Description of project

Project address	
Project name	Narrabeen_03
Street address	38 Lindley Avenue Narrabeen 2101
Local Government Area	Northern Beaches Council
Plan type and number	Deposited Plan DP7090
Lot number	7
Section number	D
Project type	
Dwelling type	Separate dwelling house
Type of alteration and addition	My renovation work is valued at \$50,000 or more, and includes a pool (and/or spa).

<b>Certificate Prepared by</b> (please complete before submitting to Council or PCA)
Name / Company Name: buckandsimple
ABN (if applicable): 96408653621

BASIX Certificate number: A359770\_03

page 2 / 8

Pool and Spa	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
<b>Rainwater tank</b>			
The applicant must install a rainwater tank of at least 1312 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.	✓	✓	✓
The applicant must configure the rainwater tank to collect rainwater runoff from at least 175 square metres of roof area.		✓	✓
The applicant must connect the rainwater tank to a tap located within 10 metres of the edge of the pool.		✓	✓
<b>Outdoor swimming pool</b>			
The swimming pool must be outdoors.	✓	✓	✓
The swimming pool must not have a capacity greater than 40 kilolitres.	✓	✓	✓
The applicant must install a pool pump timer for the swimming pool.		✓	✓
The applicant must not incorporate any heating system for the swimming pool that is part of this development.		✓	✓

BASIX Certificate number: A359770\_03

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Fixtures and systems	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
<b>Hot water</b>			
The applicant must install the following hot water system in the development: gas instantaneous.	✓	✓	✓
<b>Lighting</b>			
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.		✓	✓
<b>Fixtures</b>			
The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.		✓	✓
The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.		✓	✓
The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.		✓	

BASIX Certificate number: A359770\_03

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Construction	Show on DA Plans	Show on Co/odC Plans & specs	Certifier Check	
Insulation requirements				
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.		✓	✓	✓
Construction	Additional insulation required (R-value)	Other specifications		
suspended floor with open subfloor: concrete (R0.6)	R0.9 (down) (or R1.50 including construction)			
external wall: cavity brick	nil			
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)			
internal wall shared with garage: cavity brick wall (R0.67)	nil			
flat ceiling, pitched roof	ceiling: R2.25 (up), roof: foil/sarking	light (solar absorptance < 0.475)		

Glazing requirements	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check																							
<b>Windows and glazed doors</b>																										
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.	✓	✓	✓																							
The following requirements must also be satisfied in relation to each window and glazed door:		✓	✓																							
Each window or glazed door with standard aluminium or timber frames and single clear or toned glass may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions.		✓	✓																							
Each window or glazed door with improved frames, or pyrolytic low-e glass, or clear/air gap/clear glazing, or toned/air gap/clear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted.		✓	✓																							
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.	✓	✓	✓																							
Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.		✓	✓																							
External louvres and blinds must fully shade the window or glazed door beside which they are situated when fully drawn or closed.		✓	✓																							
Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.		✓	✓																							
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door, as specified in the 'overshadowing' column in the table below.	✓	✓	✓																							
<b>Windows and glazed doors glazing requirements</b>																										
<table><tr><th rowspan="2">Window / door no.</th><th rowspan="2">Orientation</th><th rowspan="2">Area of glass inc. frame (m2)</th><th colspan="2">Overshadowing</th><th rowspan="2">Shading device</th><th rowspan="2">Frame and glass type</th></tr><tr><th>Height (m)</th><th>Distance (m)</th></tr><tr><td>WG.01</td><td>W</td><td>6</td><td>4.5</td><td>6.6</td><td>external louvre/blind (fixed)</td><td>standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)</td></tr><tr><td>WG.02</td><td>N</td><td>17</td><td>0</td><td>0</td><td>eave/verandah/pergola/balcony</td><td>standard aluminium, single clear, (or</td></tr></table>	Window / door no.	Orientation	Area of glass inc. frame (m2)	Overshadowing		Shading device	Frame and glass type	Height (m)	Distance (m)	WG.01	W	6	4.5	6.6	external louvre/blind (fixed)	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)	WG.02	N	17	0	0	eave/verandah/pergola/balcony	standard aluminium, single clear, (or			
Window / door no.				Orientation	Area of glass inc. frame (m2)			Overshadowing		Shading device	Frame and glass type															
	Height (m)	Distance (m)																								
WG.01	W	6	4.5	6.6	external louvre/blind (fixed)	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)																				
WG.02	N	17	0	0	eave/verandah/pergola/balcony	standard aluminium, single clear, (or																				

Glazing requirements							Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Window / door no.	Orientation	Area of glass inc. frame (m2)	Overshadowing		Shading device	Frame and glass type			
			Height (m)	Distance (m)					
					>=900 mm	U-value: 7.63, SHGC: 0.75)			
WG.03	N	17	0	0	eave/verandah/pergola/balcony >=600 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)			
WG.04	E	4	0.8	1.15	eave/verandah/pergola/balcony >=450 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)			
WG.05	S	1.75	0	0	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W1.01	W	1.95	0	0	external louvre/blind (fixed)	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W1.02	N	2.6	7.2	14	external louvre/blind (adjustable)	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)			
W1.03	N	7	7.2	14	external louvre/blind (adjustable)	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)			
W1.04	N	4.2	0	0	external louvre/blind (adjustable)	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)			
W1.05	N	8.1	0	0	external louvre/blind (adjustable)	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)			
W1.06	N	2.1	0	0	eave/verandah/pergola/balcony >=450 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)			
W1.07	E	2.92	0	0	eave/verandah/pergola/balcony >=450 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)			
W1.08	E	3.92	0	0	eave/verandah/pergola/balcony >=450 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)			
W1.09	S	4.2	0	0	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W1.10	S	1.8	0	0	none	standard aluminium, single clear, (or			

BASIX Certificate number: A359770\_03

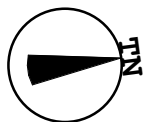
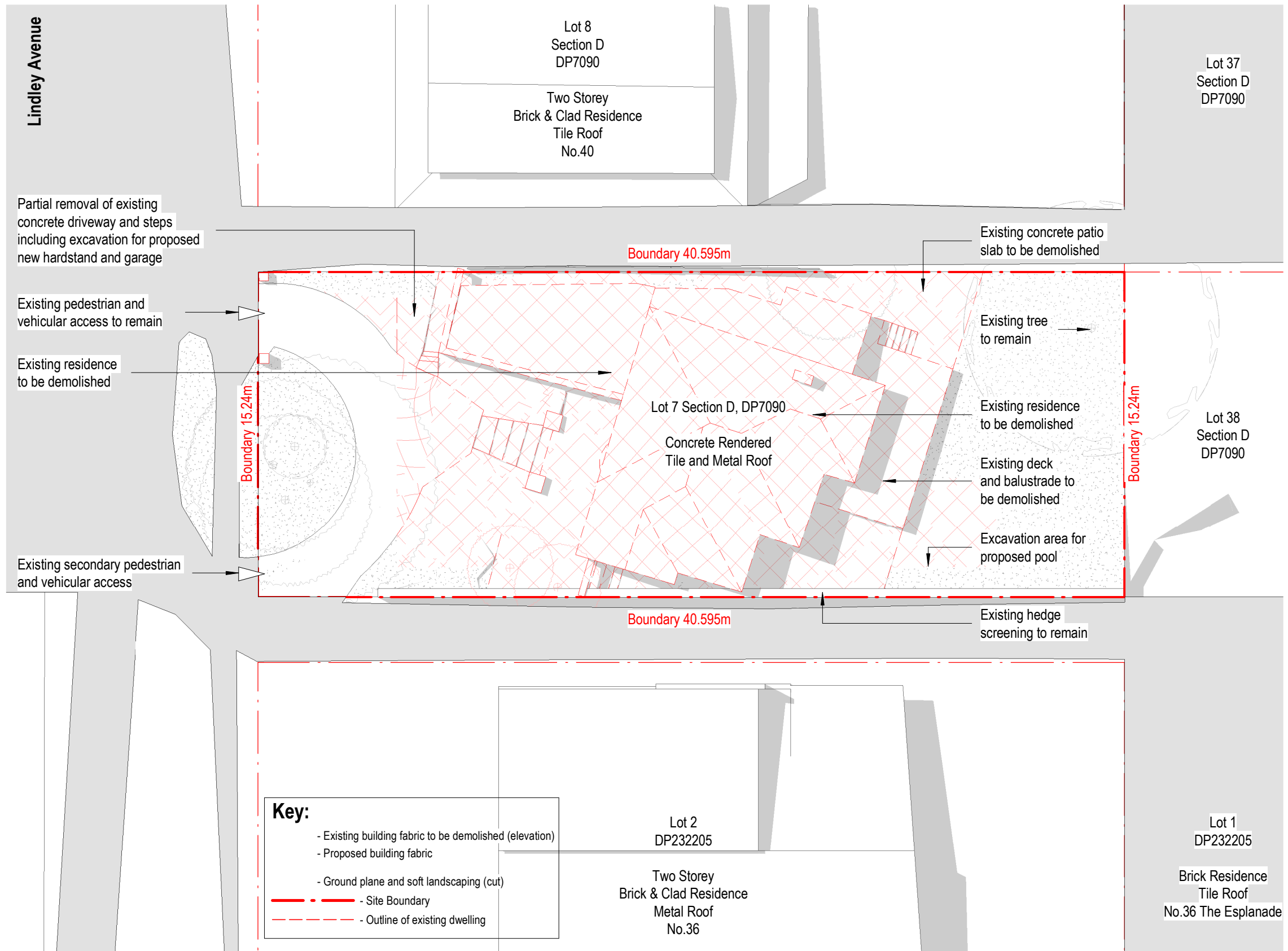
page 7 / 8

Glazing requirements							Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Window / door no.	Orientation	Area of glass inc. frame (m2)	Overshadowing		Shading device	Frame and glass type			
			Height (m)	Distance (m)					
						U-value: 7.63, SHGC: 0.75)			
W1.11	S	1.8	0	0	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W1.12	W	0.6	0	0	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			

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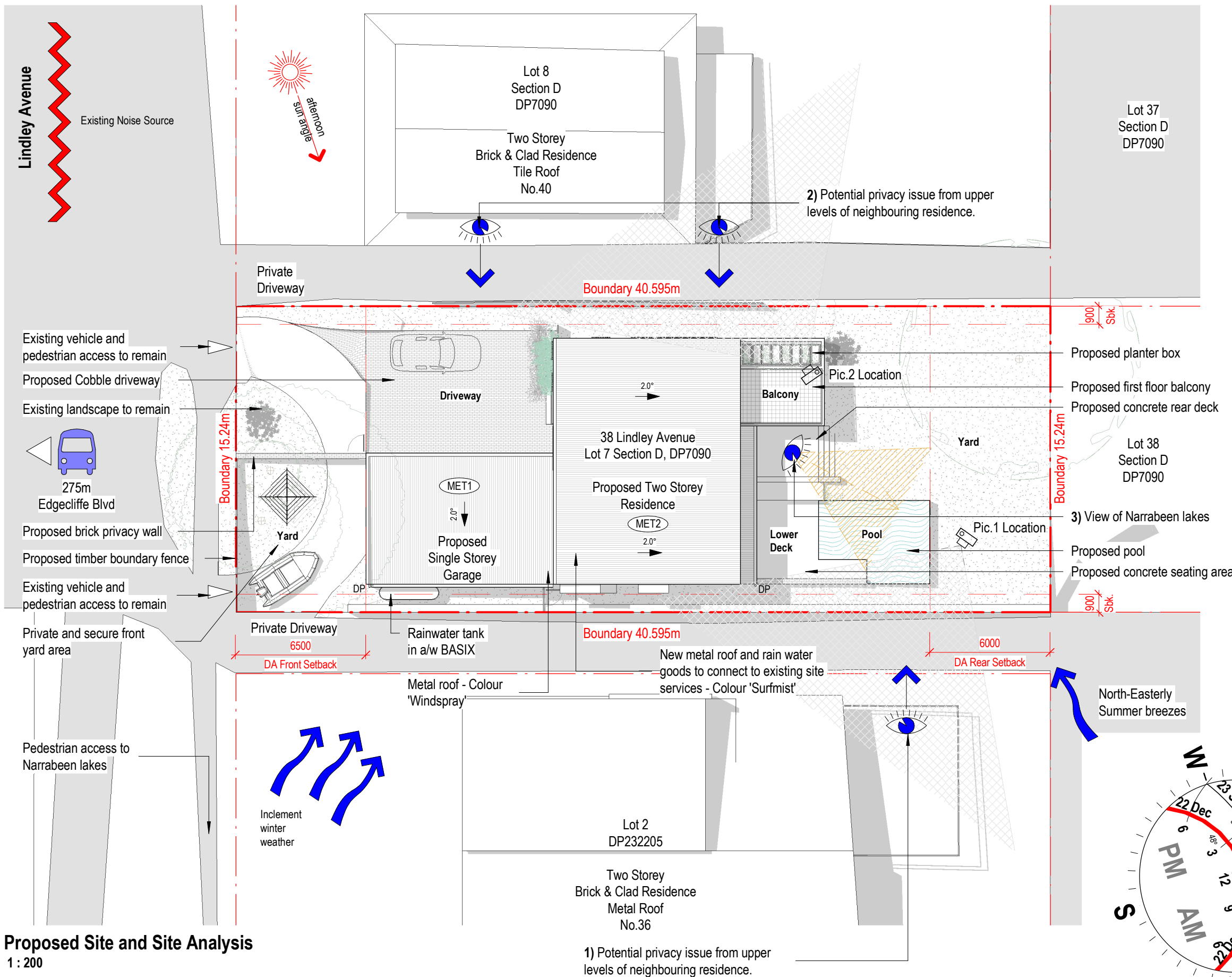
General Notes	No.	Description	Date	Project	Scale @ A3	Drawn by	Checked by
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Contact: <a href="mailto:info@buckandsimple.com">info@buckandsimple.com</a> ABN : 86 106 604 025 <b><a href="http://www.buckandsimple.com">www.buckandsimple.com</a></b>				Location <b>38 Lindley Avenue, Narrabeen, 2101</b>	Project Issue Date <b>21 Oct 2019</b>	Sheet Issue Date <b>24 Oct 2019</b>	
				Client <b>Mia and Mike Greer</b>	Project number <b>1138</b>	Drawing # <b>D002</b>	Revision <b>1</b>
				Drawing <b>BASIX Commitments</b>			
<b>Development Application</b>							





General Notes		No. Description Date		Project		Scale @ A3		Drawn by		Checked by	
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		ABN : 86 106 604 025		2 Issue for DA 24 Oct 2019		Location		Project Issue Date		Sheet Issue Date	
		www.buckandsimple.com				38 Lindley Avenue, Narrabeen, 2101		21 Oct 2019		24 Oct 2019	
		Development Application				Client		Project number		Drawing #	
						Mia and Mike Greer		1138		D010	
						Drawing				Revision	
						Site Layout - Existing & Demo				2	





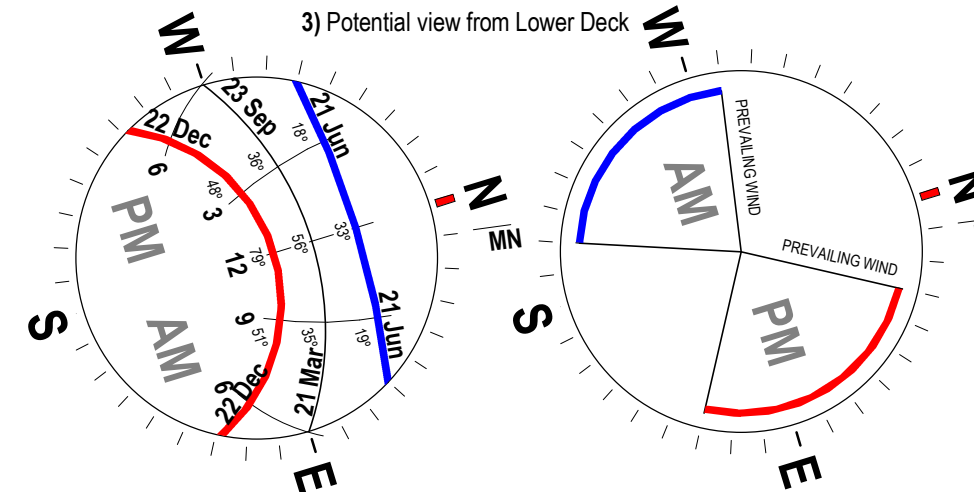
1) View of existing deck at No.36



2) Potential view from first floor balcony

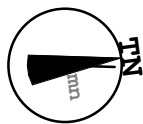


3) Potential view from Lower Deck



1 Proposed Site and Site Analysis  
1 : 200

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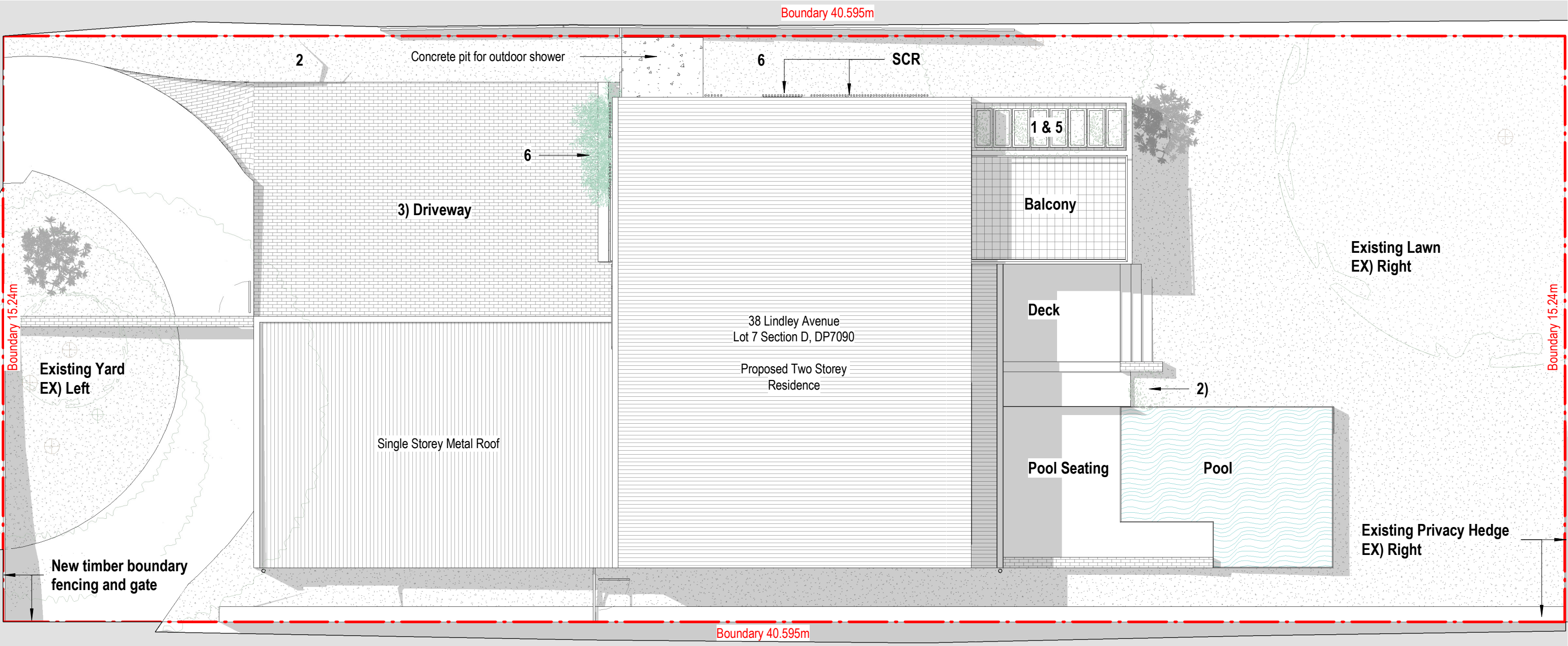
Contact: [info@buckandsimple.com](mailto:info@buckandsimple.com)  
ABN : 86 106 604 025  
[www.buckandsimple.com](http://www.buckandsimple.com)  
**Development Application**

No.	Description	Date
1	Issue for Client Review	18 Sept 2019
2	Issue for Information	04 Oct 2019
3	Issue for DA	24 Oct 2019

Project <b>Greer Residence</b>
Location <b>38 Lindley Avenue, Narrabeen, 2101</b>
Client <b>Mia and Mike Greer</b>
Drawing <b>Site Layout &amp; Site Analysis</b>

Scale @ A3 <b>As indicated</b>	Drawn by <b>BS</b>	Checked by <b>BS</b>
Project Issue Date <b>21 Oct 2019</b>	Sheet Issue Date <b>24 Oct 2019</b>	
Project number <b>1138</b>	Drawing # <b>D011</b>	Revision <b>3</b>





**1)**  
Native Grasses  
(0.5-0.9m):  
Mix of Poa Poiformis  
(left)  
Lomandra Tanika  
(middle)  
Lomandra Longifolia  
(right), or similar



**2)**  
Native non-climbable  
Shrubs in a/w AS  
1926 (1.5m):  
Mix of Correa Alba  
(left), Westringia  
Fruticosa (right) or  
similar



**3)**  
Cobble stone  
driveway



**SCR)**  
FSC  
hardwood  
batten  
privacy  
screens



**6)**  
Non climbable  
planting (1.5 - 2.5m):  
Bamboo (left), Star  
Jasmine Vine (right)  
or similar



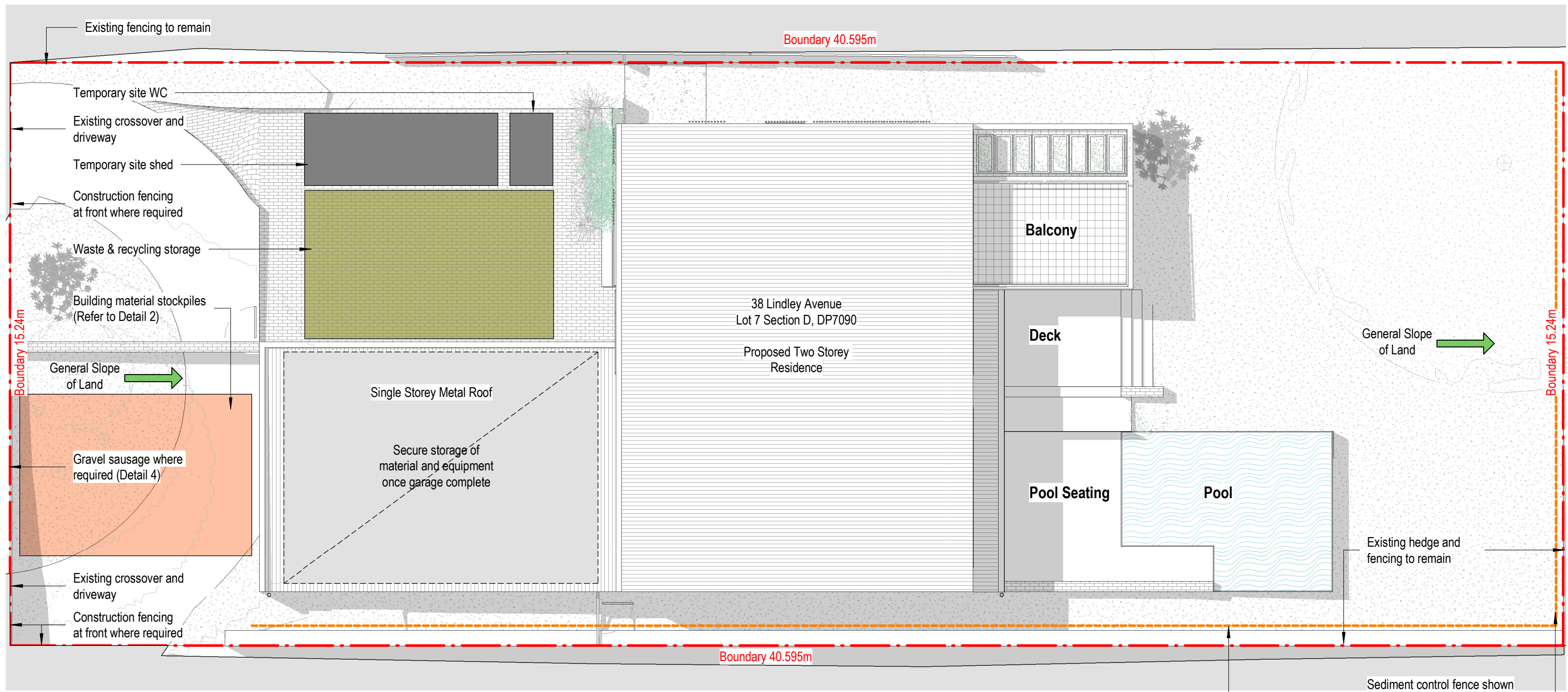
**5)**  
**Planter Boxes** - Lightweight  
planter trough. The Terracotta  
Trading Company Pty Ltd trading  
or similar



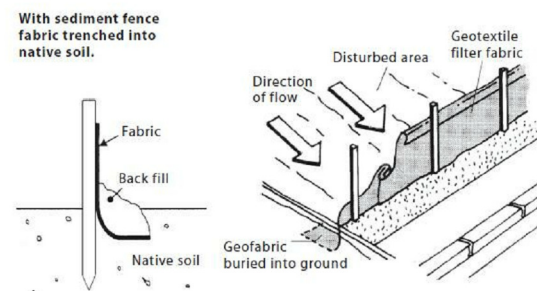
**EX)**  
Existing landscaping  
to be retained:  
Left) Front entry  
driveway and planting  
Right) Northern &  
Eastern boundaries  
high-level hedge and  
rear yard lawn



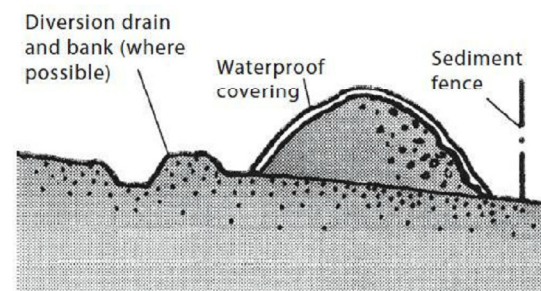




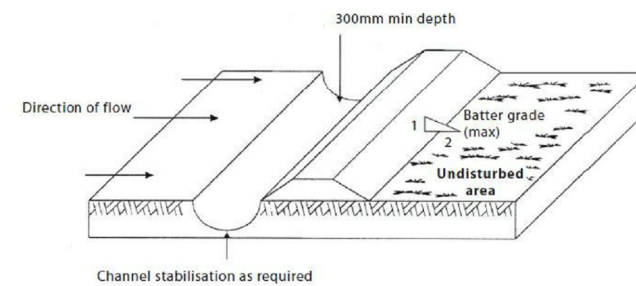
Note:  
Gravel sausage to be used if there is any evidence of untreated runoff entering nearby stormwater inlets during construction (Refer to Detail 4)



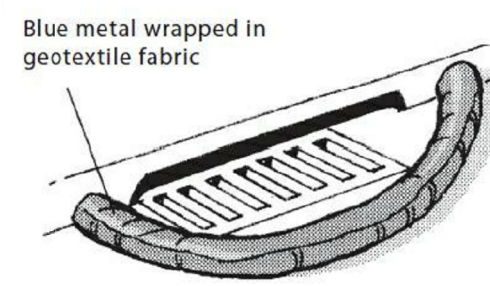
Detail 1 - Sediment Control Fence



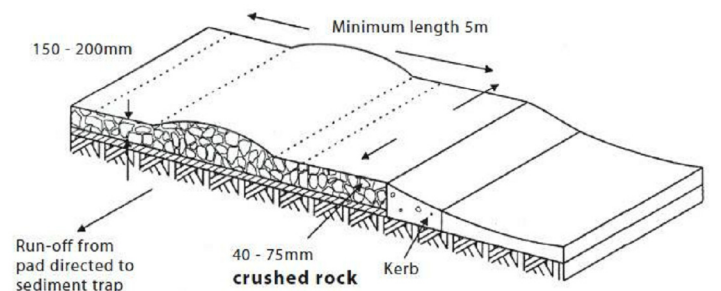
Detail 2 - Building Material Stockpiles



Detail 3 - Diversion Drain

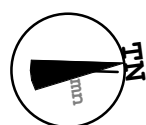


Detail 4 - Gravel Sausage



Detail 5 - Stabilised Channel

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Contact: [info@buckandsimple.com](mailto:info@buckandsimple.com)  
ABN : 86 106 604 025  
[www.buckandsimple.com](http://www.buckandsimple.com)  
**Development Application**

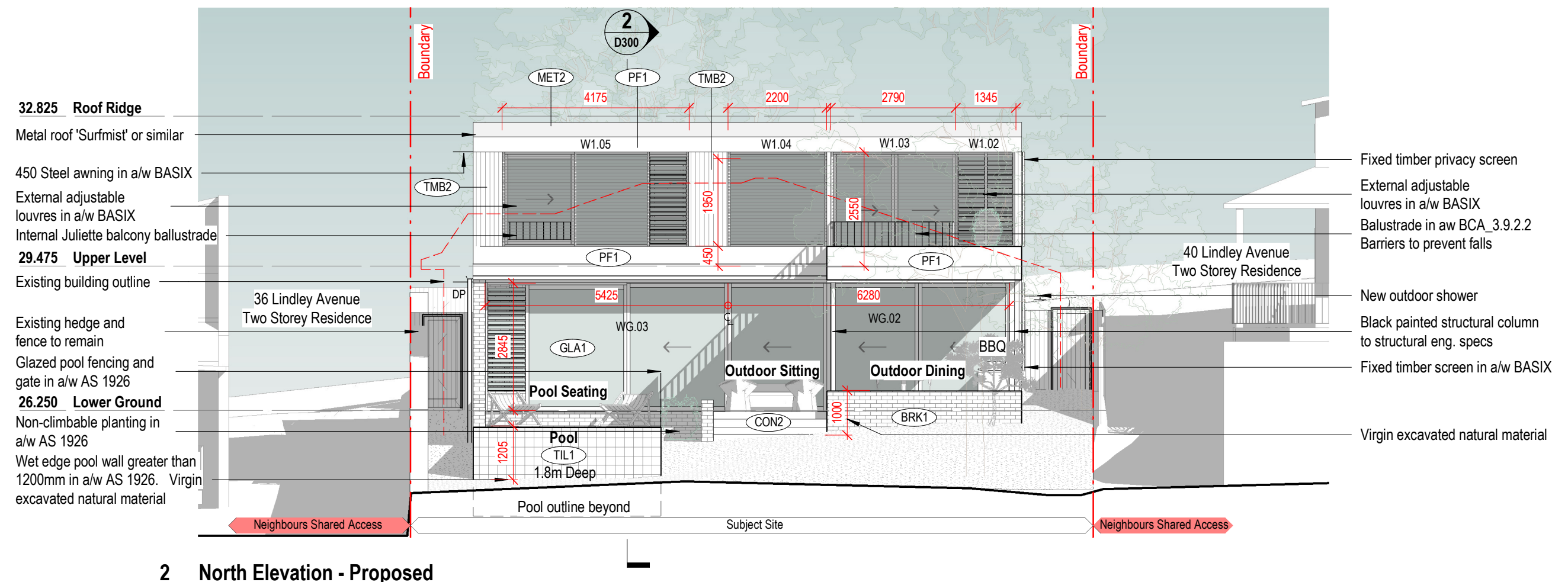
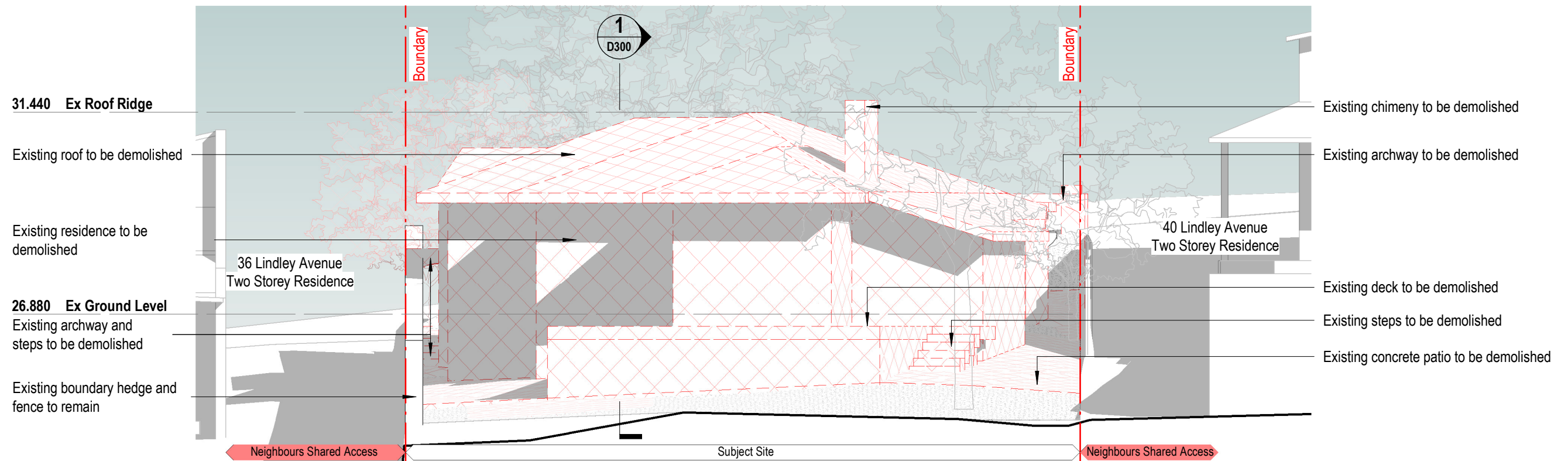
No.	Description	Date
1	Issue for DA	24 Oct 2019

<b>Project</b> Greer Residence
<b>Location</b> 38 Lindley Avenue, Narrabeen, 2101
<b>Client</b> Mia and Mike Greer
<b>Drawing</b> Erosion, Sediment, Stormwater Control & Waste Management Plan

Scale @ A3 <b>1 : 100</b>	Drawn by <b>BS</b>	Checked by <b>BS</b>
Project Issue Date <b>21 Oct 2019</b>	Sheet Issue Date <b>24 Oct 2019</b>	
Project number <b>1138</b>	Drawing # <b>D060</b>	Revision <b>1</b>







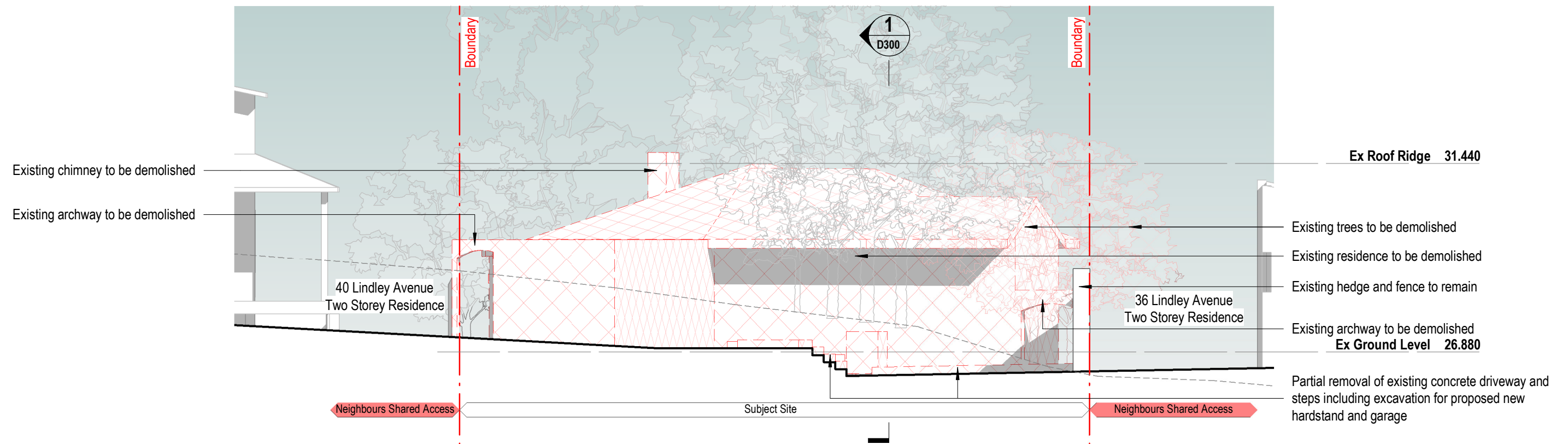
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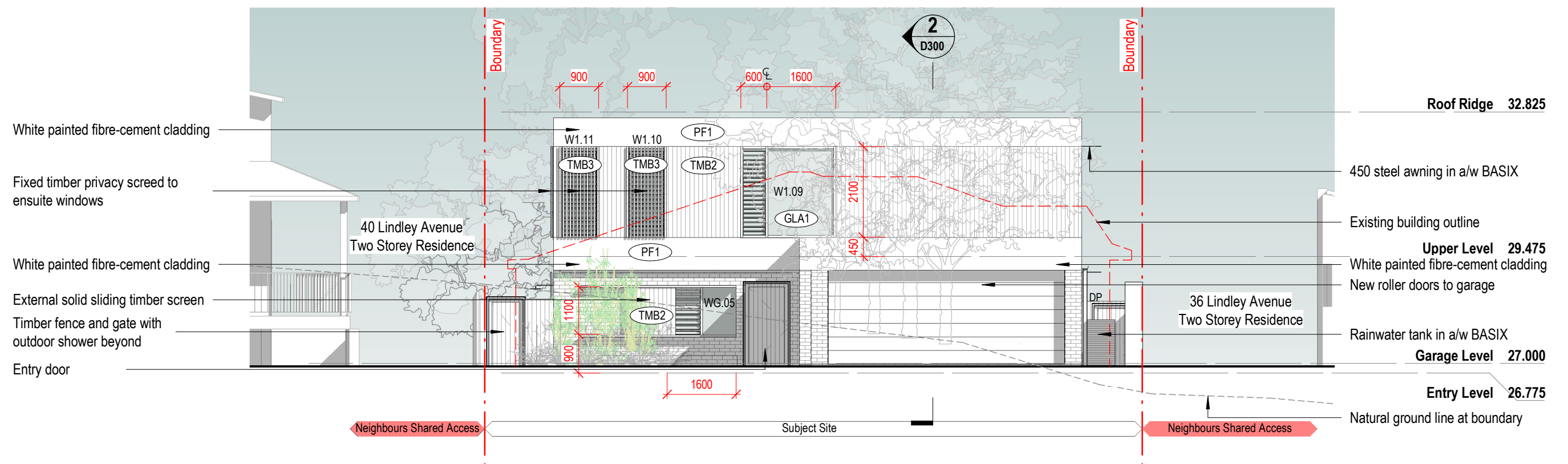
Contact: [info@buckandsimple.com](mailto:info@buckandsimple.com)  
ABN : 86 106 604 025  
**www.buckandsimple.com**  
**Development Application**

No.	Description	Date
1	Issue for Client Review	18 Sept 2019
2	Issue for Information	04 Oct 2019
3	Issue for DA	24 Oct 2019

<b>Project</b> Greer Residence	<b>Scale @ A3</b> 1 : 100	<b>Drawn by</b> BS	<b>Checked by</b> BS
<b>Location</b> 38 Lindley Avenue, Narrabeen, 2101	<b>Project Issue Date</b> 21 Oct 2019	<b>Sheet Issue Date</b> 24 Oct 2019	
<b>Client</b> Mia and Mike Greer	<b>Project number</b> 1138	<b>Drawing #</b> D400	<b>Revision</b> 3
<b>Drawing</b> Elevations North			



**1 South Elevation - Existing & Demolished**

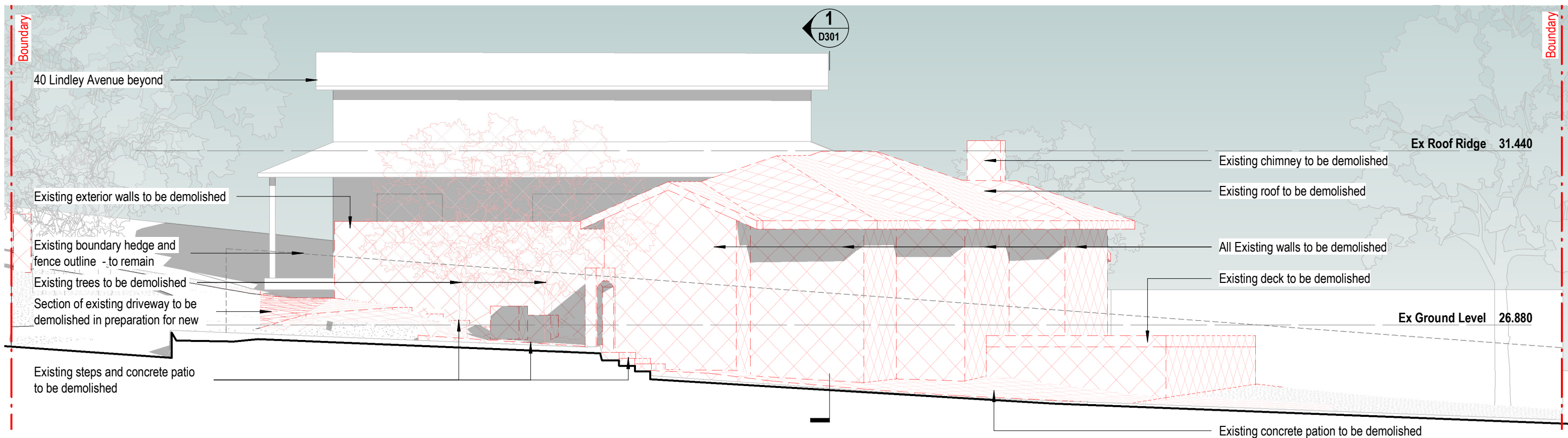


**2 South Elevation - Proposed**

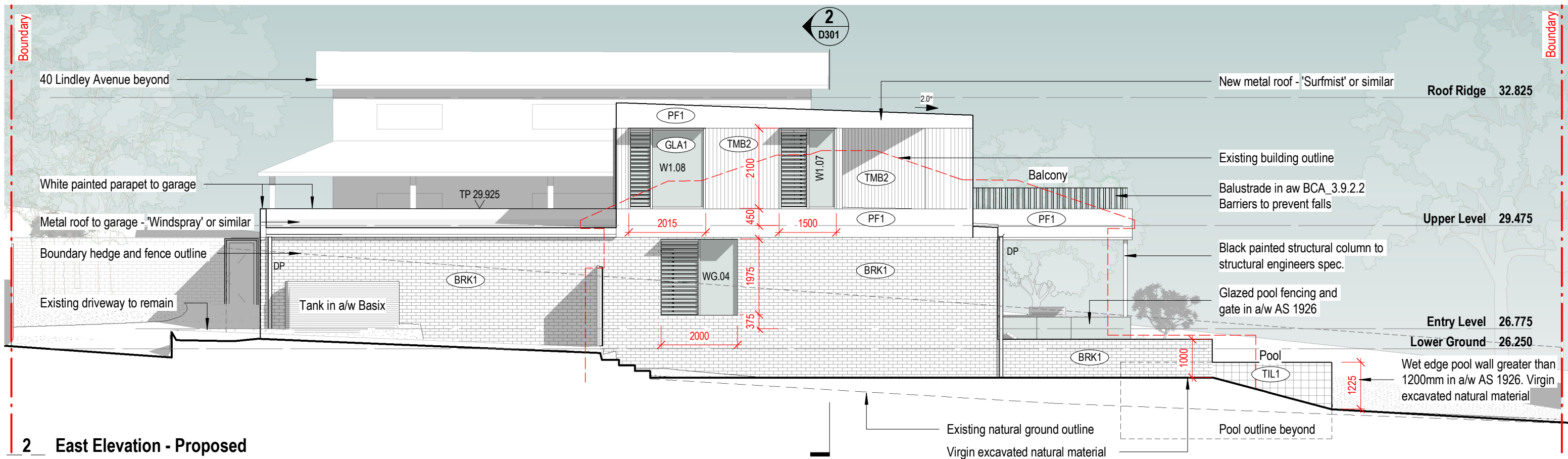
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General Notes		No.	Description	Date	Project	Scale @ A3	Drawn by	Checked by
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	ABN : 86 106 604 025	2	Issue for Information	04 Oct 2019	Location	Project Issue Date	Sheet Issue Date	
	www.buckandsimple.com	3	Issue for DA	24 Oct 2019	38 Lindley Avenue, Narrabeen, 2101	21 Oct 2019	24 Oct 2019	
		Development Application				Client	Project number	Drawing #
					Mia and Mike Greer	1138	D401	3
					Drawing			
					Elevations South			





**1 East Elevation - Existing & Demolished**



**2 East Elevation - Proposed**

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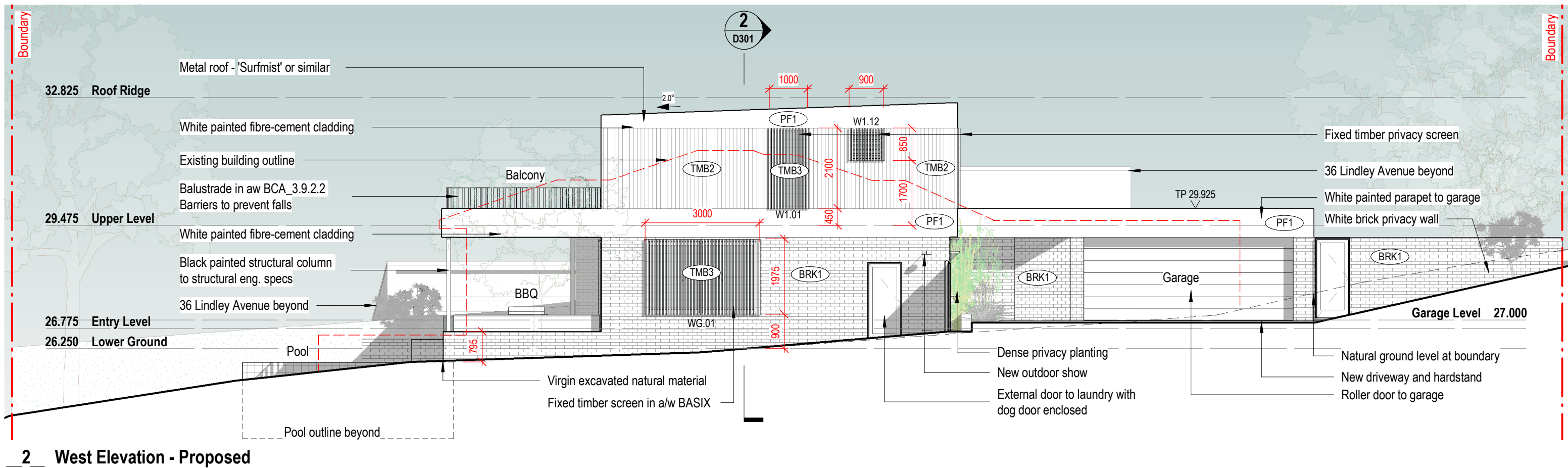
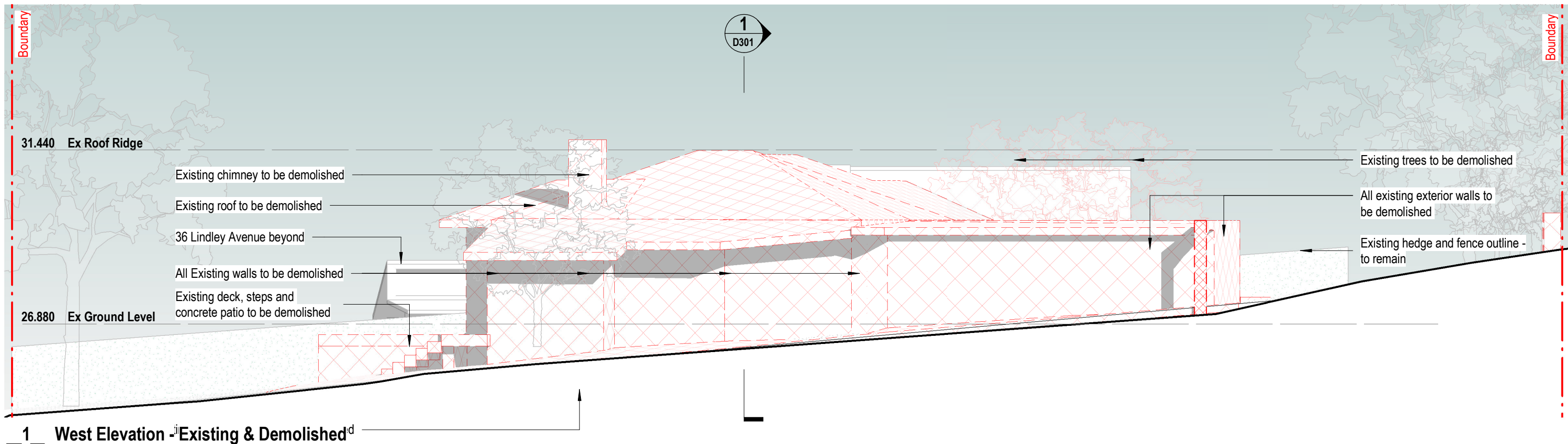
Contact: [info@buckandsimple.com](mailto:info@buckandsimple.com)  
ABN : 86 106 604 025  
**www.buckandsimple.com**  
**Development Application**

No.	Description	Date
1	Issue for Client Review	18 Sept 2019
2	Issue for Information	04 Oct 2019
3	Issue for DA	24 Oct 2019

<b>Project</b> <b>Greer Residence</b>
<b>Location</b> <b>38 Lindley Avenue, Narrabeen, 2101</b>
<b>Client</b> <b>Mia and Mike Greer</b>
<b>Drawing</b> <b>Elevations East</b>

Scale @ A3 <b>1 : 100</b>	Drawn by <b>BS</b>	Checked by <b>BS</b>
Project Issue Date <b>21 Oct 2019</b>	Sheet Issue Date <b>24 Oct 2019</b>	
Project number <b>1138</b>	Drawing # <b>D402</b>	Revision <b>3</b>





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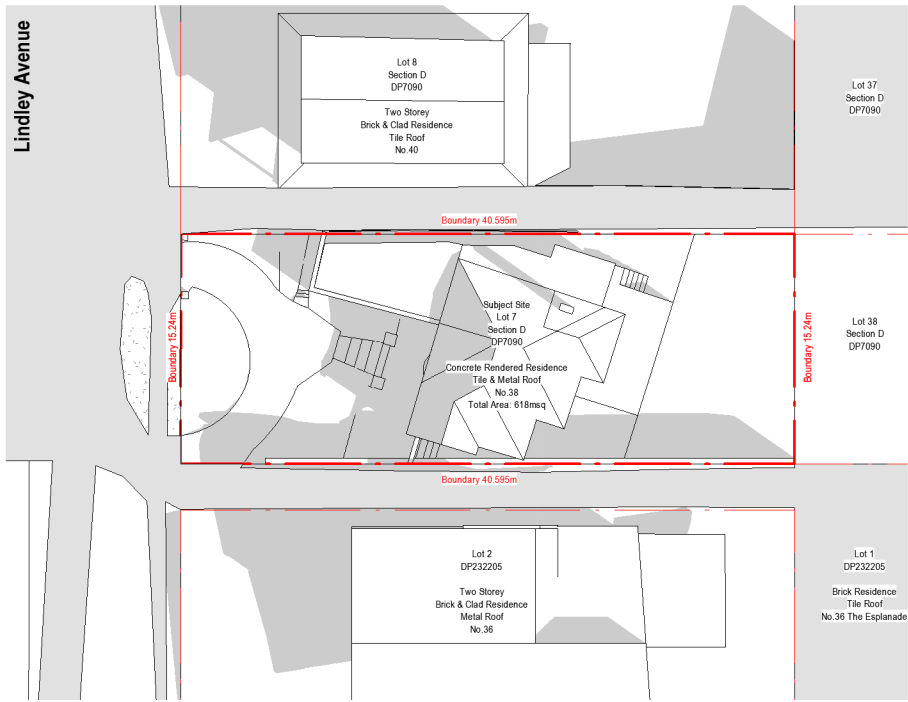
Contact: [info@buckandsimple.com](mailto:info@buckandsimple.com)  
ABN : 86 106 604 025  
[www.buckandsimple.com](http://www.buckandsimple.com)  
**Development Application**

No.	Description	Date
1	Issue for Client Review	18 Sept 2019
2	Issue for Information	04 Oct 2019
3	Issue for DA	24 Oct 2019

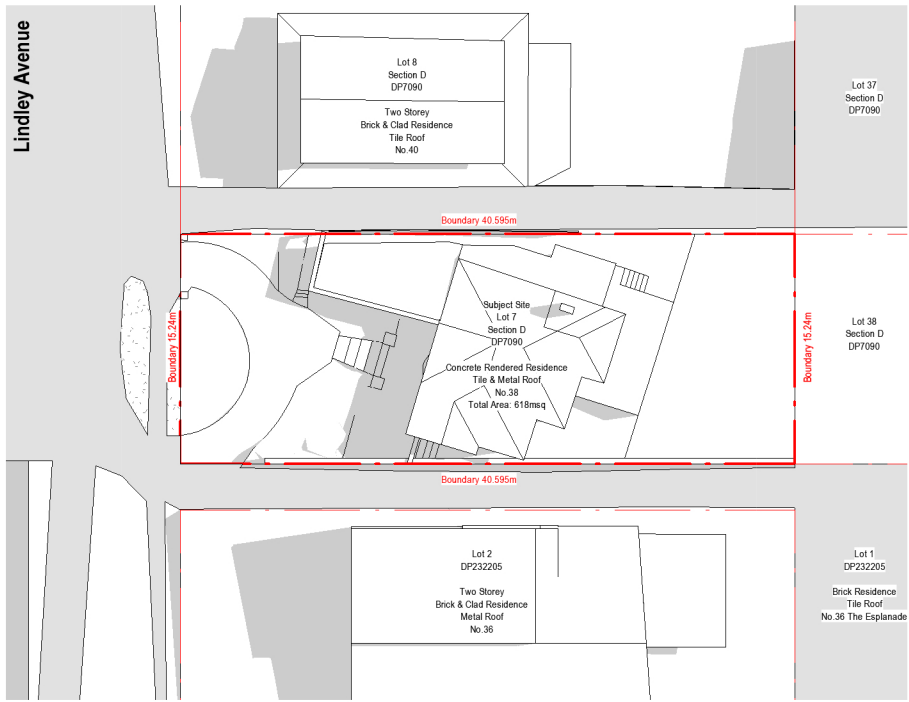
<b>Project</b> <b>Greer Residence</b>
<b>Location</b> <b>38 Lindley Avenue, Narrabeen, 2101</b>
<b>Client</b> <b>Mia and Mike Greer</b>
<b>Drawing</b> <b>Elevations West</b>

Scale @ A3 <b>1 : 100</b>	Drawn by <b>BS</b>	Checked by <b>BS</b>
Project Issue Date <b>21 Oct 2019</b>	Sheet Issue Date <b>24 Oct 2019</b>	
Project number <b>1138</b>	Drawing # <b>D403</b>	Revision <b>3</b>

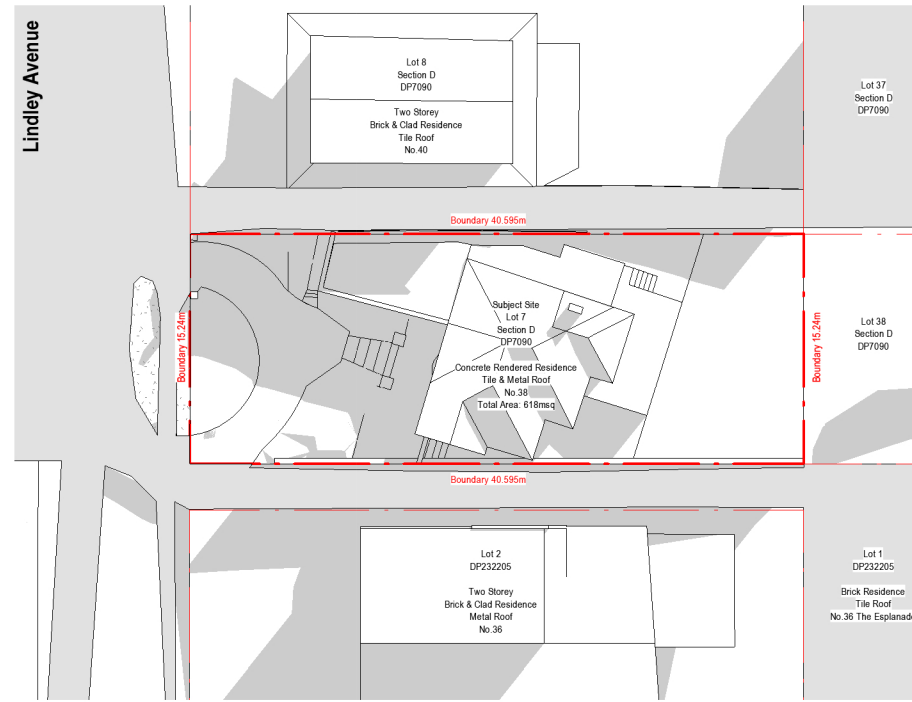




1 Existing - June 21 9am  
1 : 500

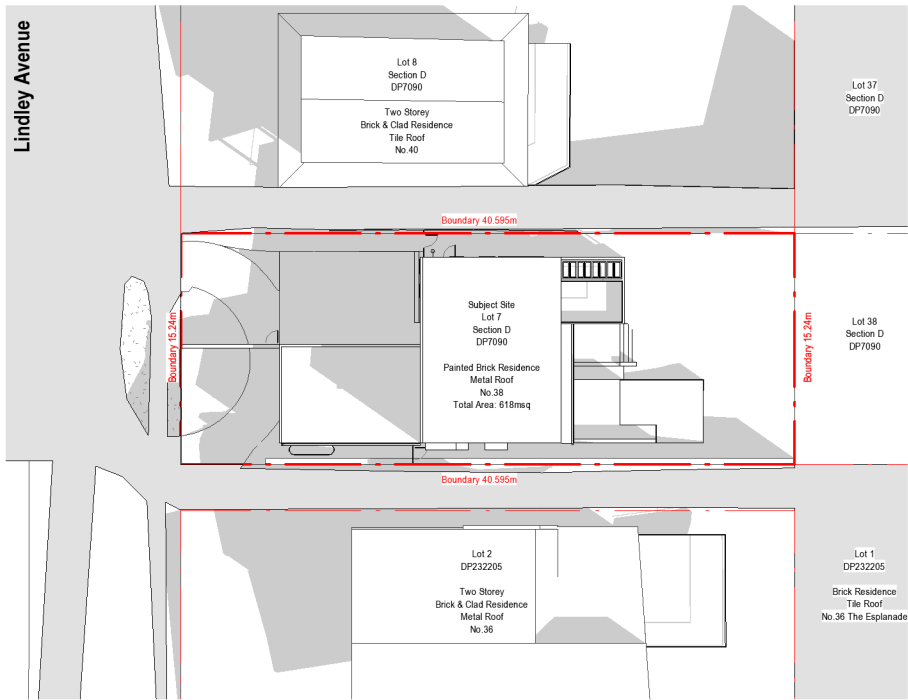


2 Existing - June 21 12pm  
1 : 500

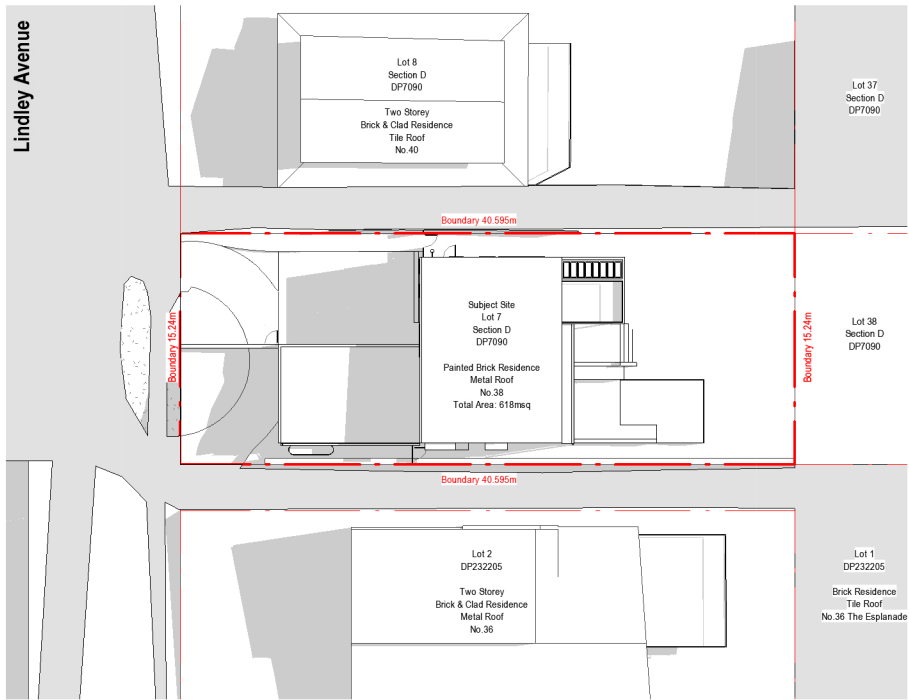


3 Existing - June 21 3pm  
1 : 500

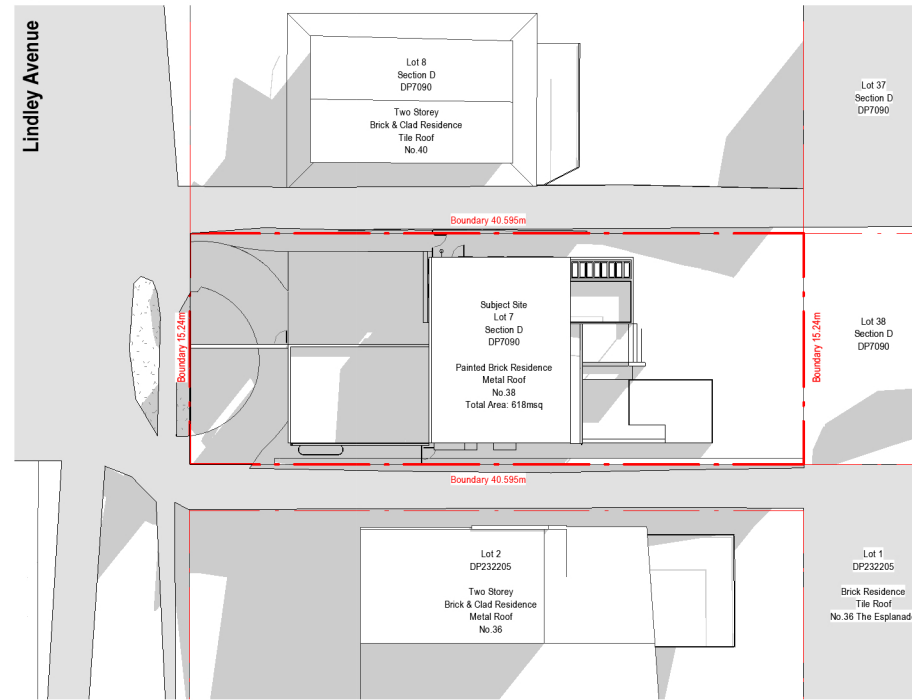
This is to certify that the supplied shadow diagrams are true and accurate.  
Registered Architect # 8631 K / 6 / 4/11/2019



4 Proposed - June 21 9am  
1 : 500

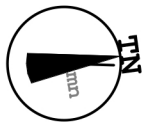


5 Proposed - June 21 12pm  
1 : 500



6 Proposed - June 21 3pm  
1 : 500

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ABN : 86 106 604 025  
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**Development Application**

No.	Description	Date
1	Issue for DA	24 Oct 2019

Project <b>Greer Residence</b>
Location <b>38 Lindley Avenue, Narrabeen, 2101</b>
Client <b>Mia and Mike Greer</b>
Drawing <b>Shadow Diagrams</b>

Scale @ A3 <b>1 : 500</b>	Drawn by <b>BS</b>	Checked by <b>BS</b>
Project Issue Date <b>21 Oct 2019</b>	Sheet Issue Date <b>24 Oct 2019</b>	
Project number <b>1138</b>	Drawing # <b>D900</b>	Revision <b>1</b>

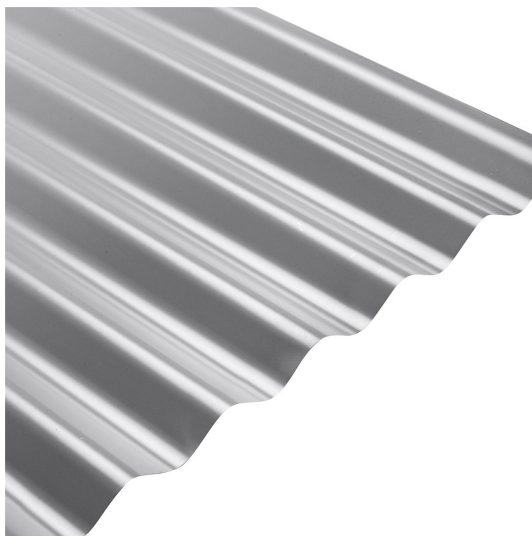




White painted fibre-cement cladding exterior to house and garage



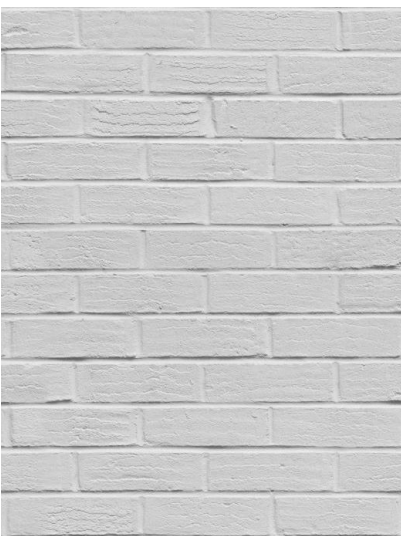
Cobblestone driveway



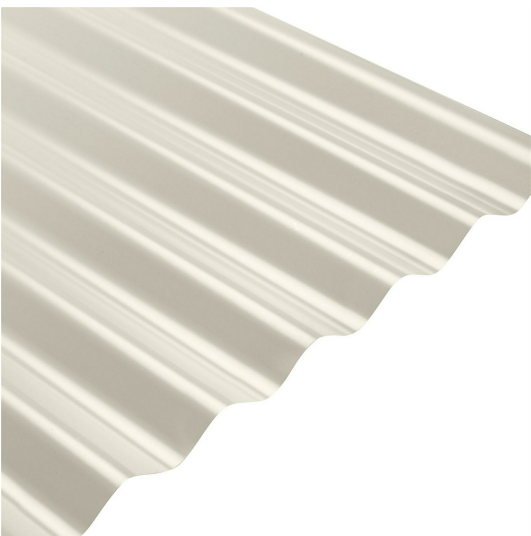
'Windspray' or similar metal roofing to garage and roller doors



Blackbutt timber exterior cladding



White painted brick exterior walls

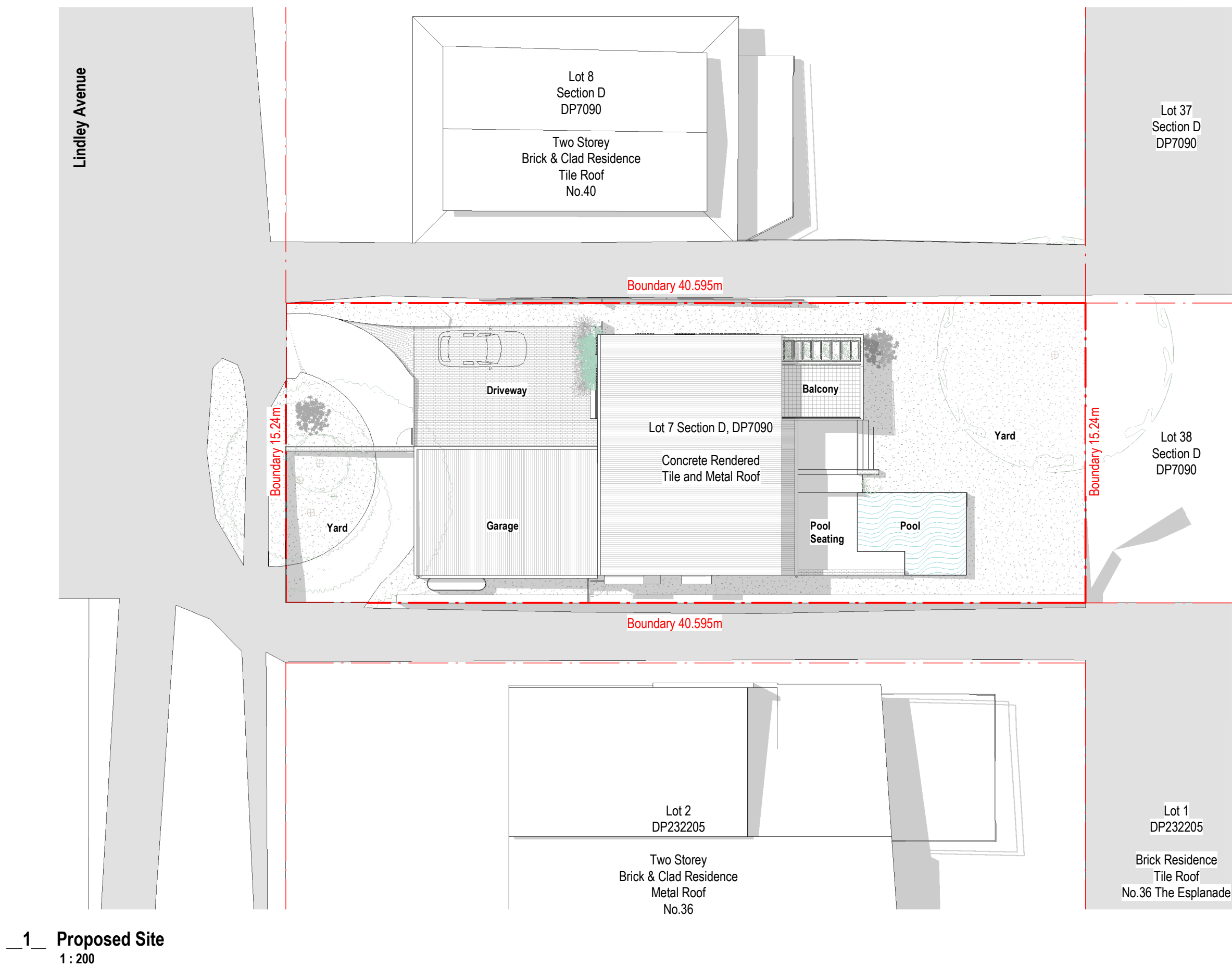


'Surfmist' or similar metal roofing to house, including gutters and downpipes

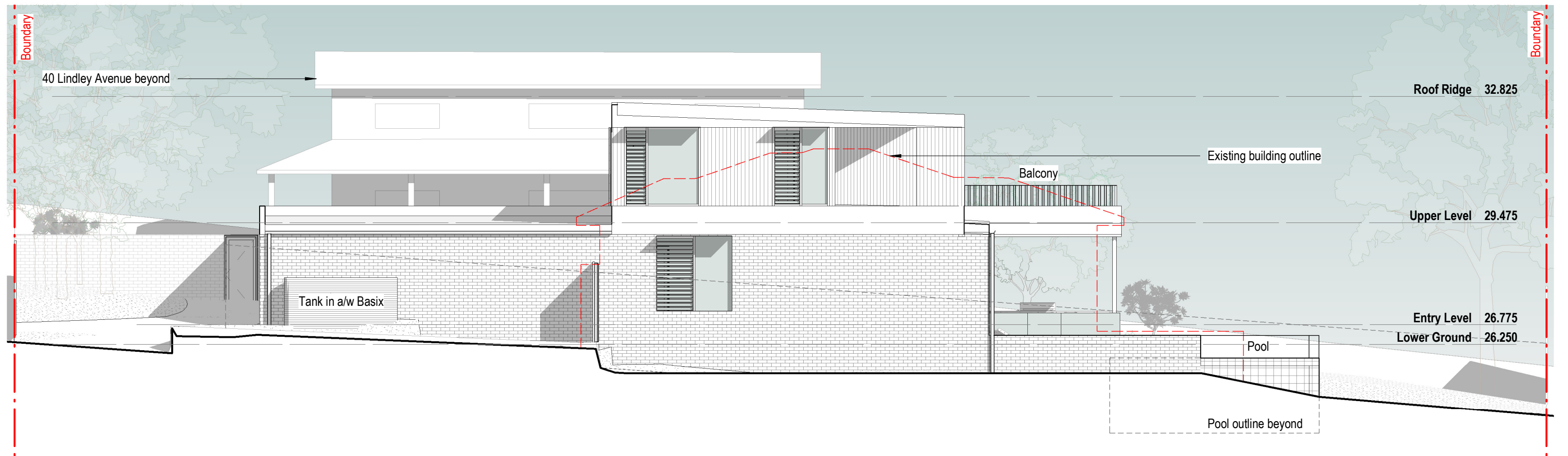
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General Notes		No.	Description	Date	Project		Scale @ A3	Drawn by	Checked by			
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							Location		Project Issue Date		Sheet Issue Date	
							38 Lindley Avenue, Narrabeen, 2101		21 Oct 2019		24 Oct 2019	
							Client		Project number		Drawing #	
								</				

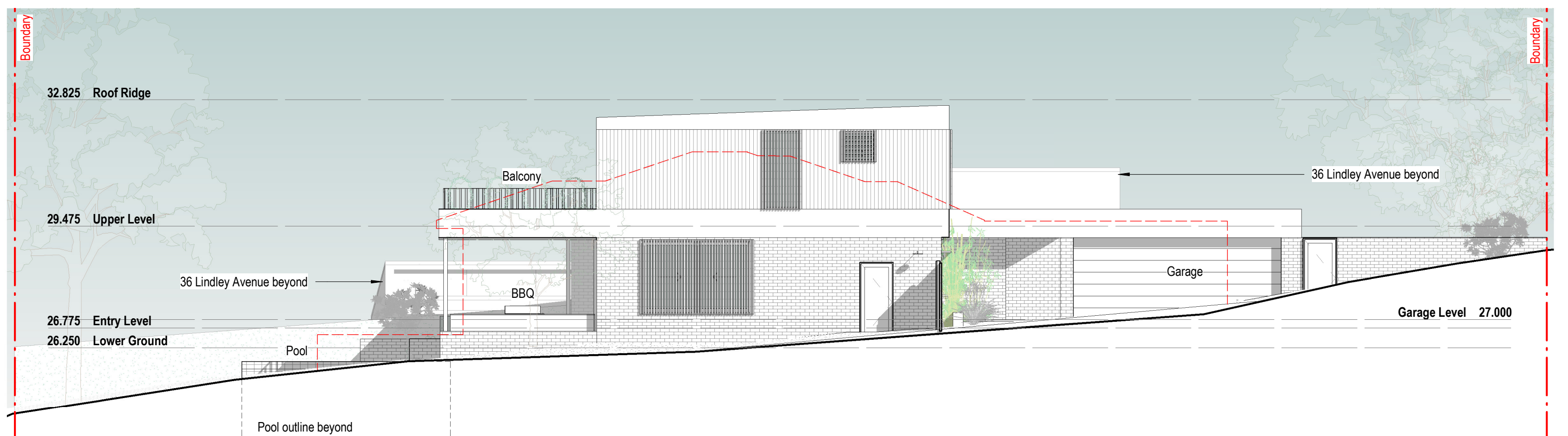




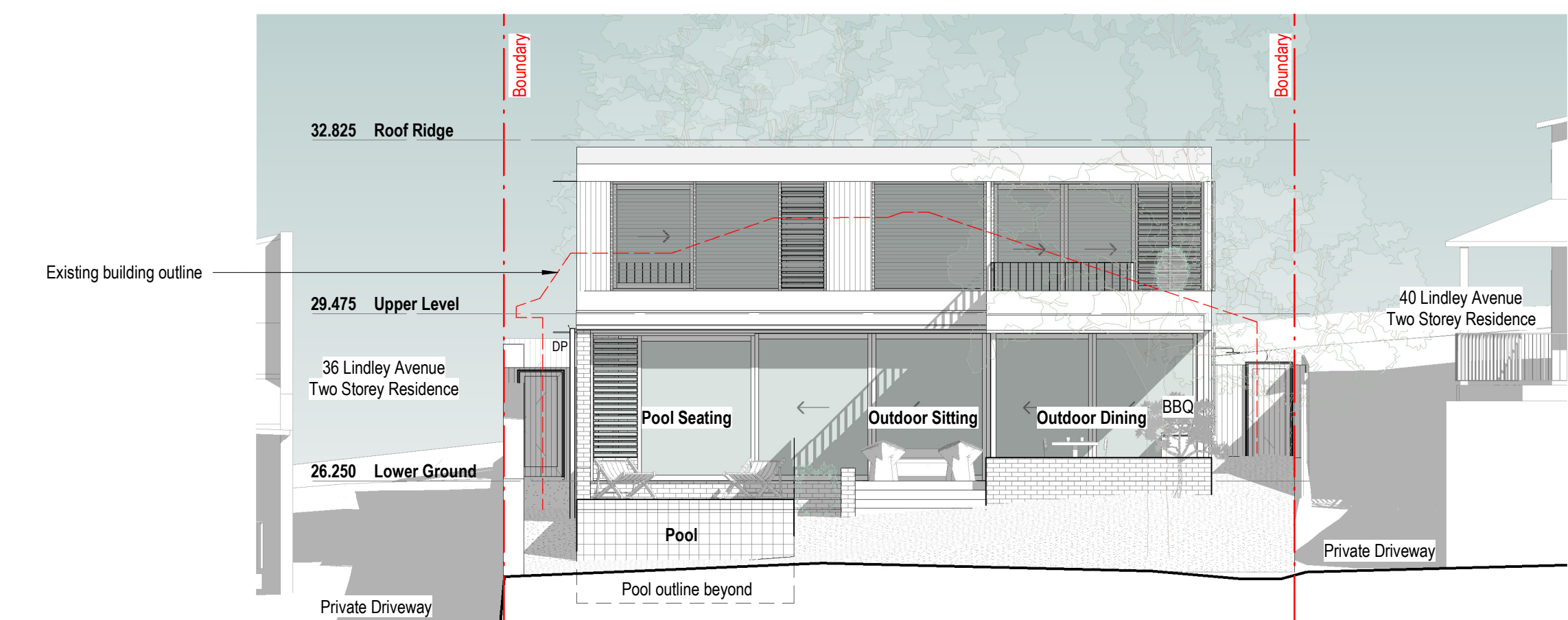
1 Proposed Site  
1 : 200



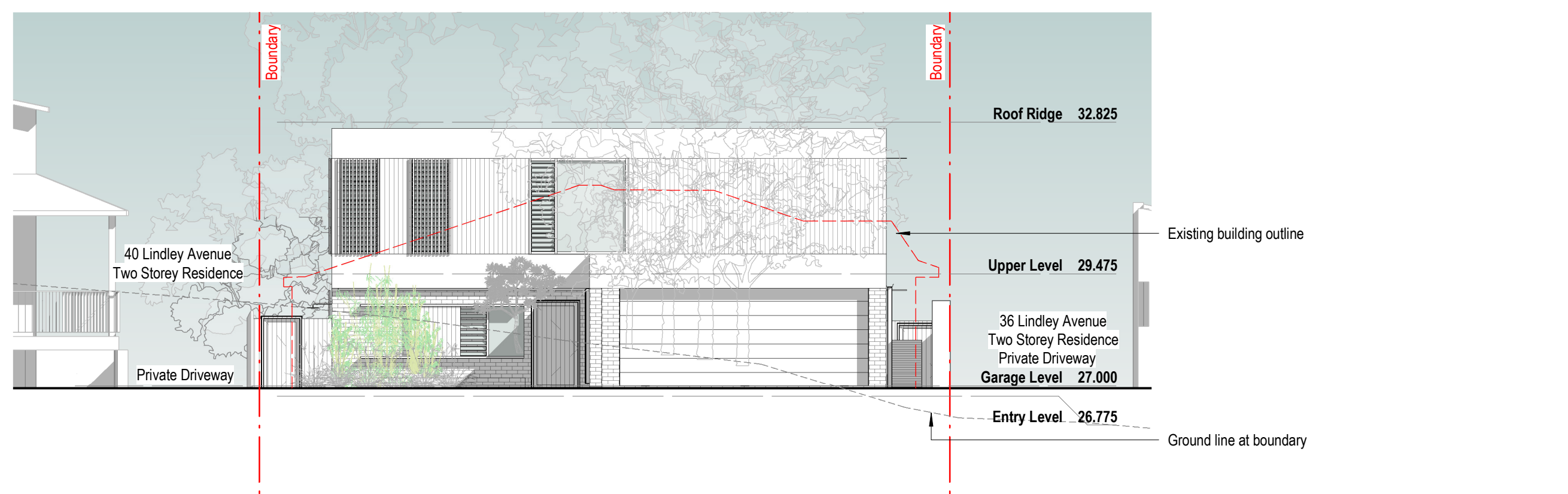
2 East Elevation - Proposed  
1 : 100



3 West Elevation - Proposed  
1 : 100

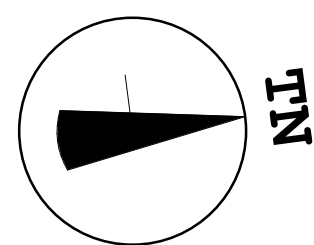


4 North Elevation - Proposed  
1 : 100



5 South Elevation - Proposed  
1 : 100

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Development Application

No.	Description	Date	Project
1	Issue for DA	24 Oct 2019	Greer Residence
			Location 38 Lindley Avenue, Narrabeen, 2101
			Client Mia and Mike Greer
			Drawing Notification Plans

Scale @ A1; A3 half ind	Drawn by	Checked by
As indicated	BS	BS
Project Issue Date	Sheet Issue Date	
21 Oct 2019	07/18/19	
Project number	Drawing #	Issue
1138	D905	1

24/10/2019 2:56:06 PM