

# G.J. Gardner. HOMES

**PROJECT:** NEW DWELLING  
**ADDRESS:** 15 MONASH PARADE  
DEE WHY NSW

**LOT #:** 73  
**DP #:** 6167

## DRAWING LIST

DRAWING No	DRAWING NAME	REVISION	DATE
GJG-A01	COVER SHEET	G	02/07/2019
GJG-A02	EXISTING SURVEY PLAN	G	02/07/2019
GJG-A03	SITE PLAN	G	02/07/2019
GJG-A04	LANDSCAPE PLAN	G	02/07/2019
GJG-A05	GROUND FLOOR PLAN	G	02/07/2019
GJG-A06	FIRST FLOOR PLAN	G	02/07/2019
GJG-A07	ELEVATIONS	G	02/07/2019
GJG-A08	ELEVATIONS	G	02/07/2019
GJG-A09	SECTIONS	G	02/07/2019
GJG-A10	DEMOLITION PLAN	G	02/07/2019
GJG-A11	SHADOW DIAGRAM	G	02/07/2019
GJG-A12	EROSION & SEDIMENT PLAN	G	02/07/2019
GJG-A13	SITE ANALYSIS	G	02/07/2019
GJG-A14	WASTE MANAGEMENT	G	02/07/2019
GJG-A15	BASIX COMMITMENT	G	02/07/2019
GJG-A16	DRIVEWAY DETAIL	G	02/07/2019

## DRAWING REVISION SCHEDULE

No.	AMENDMENTS	DATE
A	FIRST ISSUE	25/10/2018
B	ADJUST SETBACK; MAKE HOUSE WIDE; ADJUST FRIDGE SPACE; ADD LANDING TO LAUNDRY STAIRS; ADD AC UNIT; CHANGES TO BUTTLERS WINDOW; MAKE ALFRESCO WIDER; ADJUST DINING WINDOWS; MOVE WATER TANK; AJUST BALCONY DOOR; ADD DOOR TO BED 3; ADD SHELVES TO WIR; REDESIGN ENSUITE.	07/11/2018
C	ROOF CHANGED TO SKILLION ROOF WITH WITH LOW PITCH ROOF ABOVE STAIRS AND ENSUITE	27/11/2018
D	ADJUST ALFRESCO; COURTYARD WINDOW HEAD HEIGHT AT 1800; REMOVE DOORS TO ENSUITE AND ADD OPENING; HALF HEIGHT WALL TO STUDY.	29/11/2018
E	CHANGE FF CEILING HEIGHT; ADJUST WINDOWS; ADJUST ROOF PITCH.	06/12/2018
F	UPDATE TO FULL SET DA ISSUE	18/12/2018
G	LOWER HOUSE 300mm; DELETE MASTER WIR CANTILEVERED SECTION.	02/07/2019

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Owner(s) signature

Builders signature

Date

## G.J. Gardner. HOMES

### SYDNEY NORTH

Unit 2, 28 - 30 Orchard Rd, Brookvale  
Sydney, NSW, 2100  
Phone 9939 3339 Fax 9939 4442  
www.gjgardner.com.au

Drafted By:



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DRAFTING

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EMAIL: kjrdrafting@kjr.net.au

Project  
DOUBLE STOREY DWELLING

Project address  
15 MONASH PARADE  
DEE WHY NSW

Client  
MARTIN

Stage  
DA

Drawing title  
COVER SHEET

Date 02/07/2019 Drawn LV - KJR

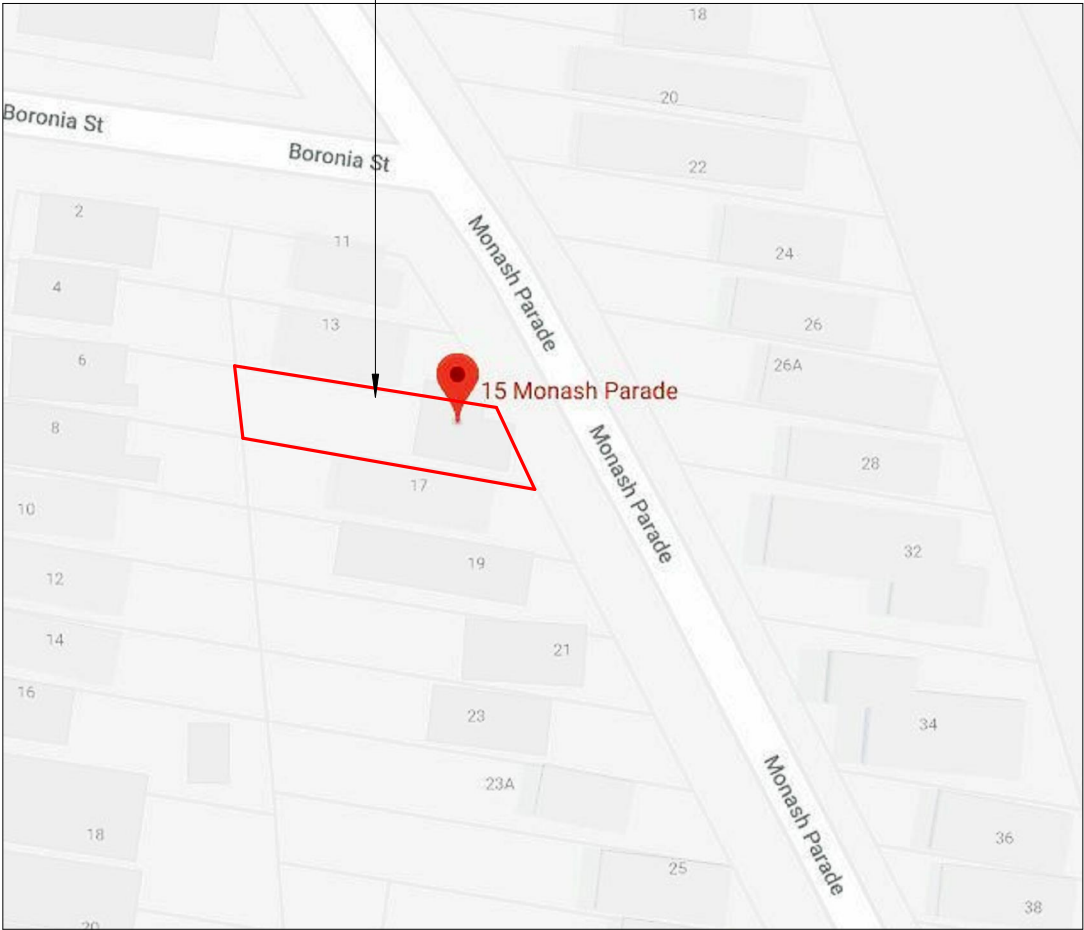
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Job No 230238 - GJGN077

True North Drawing No Rev

**GJG-A01 G**

15 MONASH PARADE  
DEE WHY NSW



### SPECIFICATION:

The specification overrides drawings

### STRUCTURAL DESIGN:

This design may be subject to change due to structural engineers requirements and / or LGA / PCA conditions.

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NOTES

NO BOUNDARY SURVEY HAS BEEN UNDERTAKEN. BEARINGS, DIMENSIONS AND AREAS ARE FROM TITLE ONLY AND ARE SUBJECT TO CONFIRMATION BY BOUNDARY SURVEY.

DIMENSIONS SHALL NOT BE OBTAINED BY SCALING THE DETAIL FROM THE DRAWING. SURVEYOR MUST BE CONTACTED IF THERE ARE ANY DISCREPANCIES.

SERVICES SHOWN ARE INDICATIVE ONLY. POSITIONS ARE BASED ON SURFACE INDICATORS(S) LOCATED DURING FIELD SURVEY. CONFIRMATION OF THE EXACT POSITION SHOULD BE MADE PRIOR TO ANY EXCAVATION WORK. OTHER SERVICES MAY EXIST WHICH ARE NOT SHOWN.

LEVELS ARE BASED ON AUSTRALIAN HEIGHT DATUM (A.H.D.) USING SSM 1973/6, R.L. 30.04m.

RIDGE & GUTTERS HEIGHTS HAVE BEEN OBTAINED BY INDIRECT METHOD AND ARE ACCURATE TO ±0.05m.

ADJOINING DWELLINGS, BUILDINGS HAVE BEEN PLOTTED FOR DIAGRAMMATIC PURPOSES ONLY.

CONTOURS ARE AN INDICATION OF LANDFORM AND SHOULD NOT BE TAKEN IN PREFERENCE TO SPOT LEVELS SHOWN.

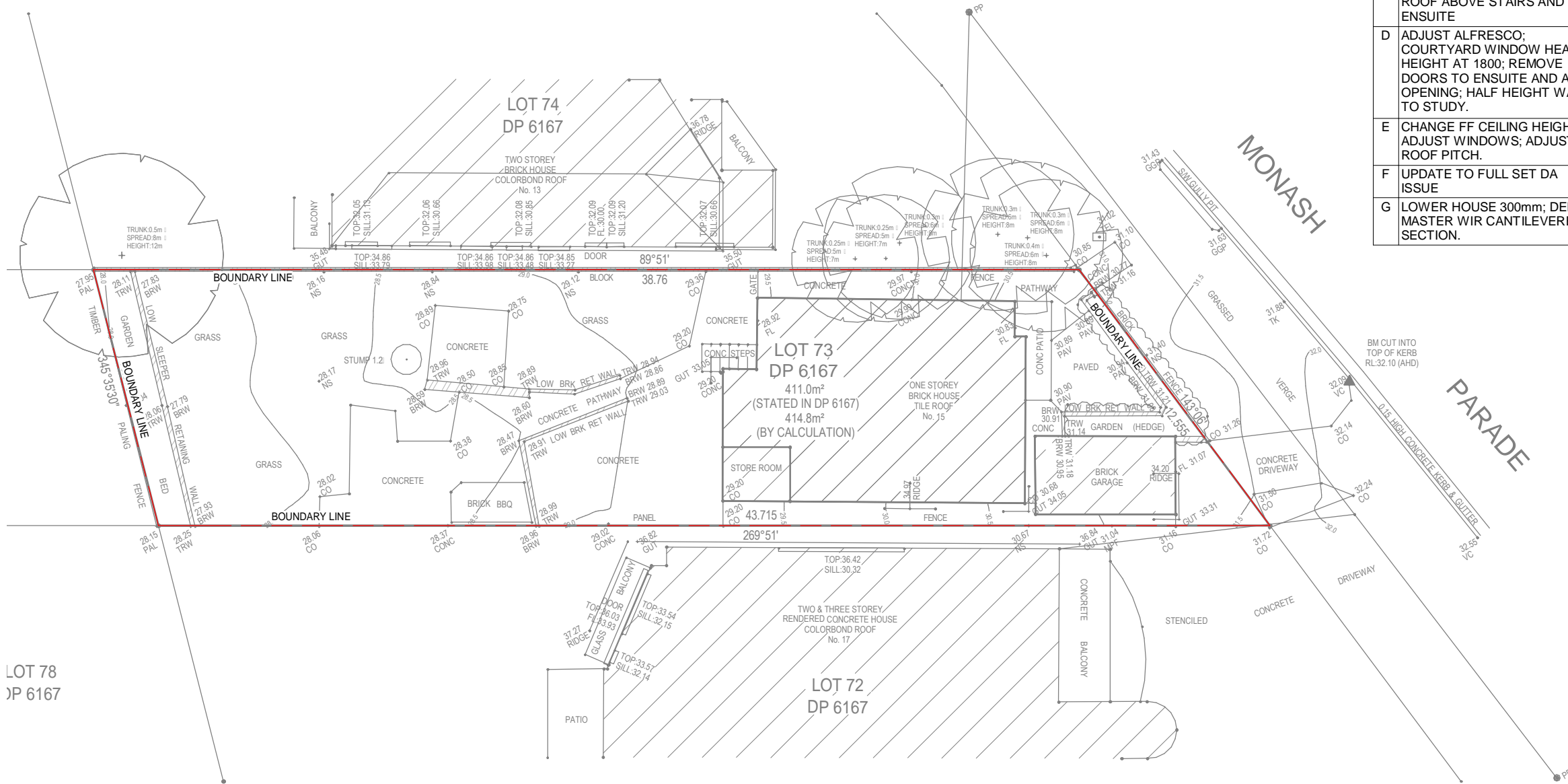
CONTOUR INTERVALS 0.5m.

LEGEND

BB - BOTTOM OF BANK  
BM - BENCHMARK  
BRW - BOTTOM OF RETAINING WALL  
CHM - CHIMNEY  
CL - CENTRELINE OF ROAD  
CO - EDGE OF CONCRETE  
COG - CHANGE OF GRADE  
CONC - CONCRETE SURFACE LEVEL  
DSH - DSH DRAIN  
EB - EDGE OF BITUMEN  
EBOX - ELECTRICITY BOX  
ET - EDGE OF TRACK  
EC - EDGE OF CONCRETE  
FL - FLOOR LEVEL  
FNC - FENCE  
GOM - EDGE OF GARDEN  
GGP - GRATED GULLY PIT  
GMT - GAS METER SERVICE

GUT - TOP OF EAVE & GUTTER  
HYD - HYDRANT  
INV - INVERT OF PIT  
KO - KERB OUTLET  
LCP - LAPPED & CAPPED PALING FENCE  
LP - LIGHT POLE  
MH - MANHOLE  
MPF - METAL PANEL FENCE  
MS - MEDIAN STRIP  
NS - NATURAL SURFACE  
PAL - PALING FENCE  
PAV - EDGE OF PAVERS  
PC - PRAM CROSSING  
PIKV - INVERT OF PIPE  
PP - POWER POLE  
PRF - POST & RAIL FENCE  
PWF - POST & WIRE FENCE  
RHYD - RECYCLED HYDRANT

RSV - RECYCLED STOP VALVE  
RIDGE - RIDGE  
RTK - ROLL-TOP KERB  
SIO - SEWER INSPECTION COVER  
SIP - SURFACE INLET PIT  
SL - SURFACE LEVEL  
SLH - SEWER LAMPHOLE  
SMH - SEWER MANHOLE  
SP - STOCK PILE  
SV - STOP VALVE  
SVP - SEWER VENTILATION PIPE  
TB - TOP OF BANK  
TEL - TELECOMMUNICATIONS PIT  
TK - TOP OF KERB  
TRW - TOP OF RETAINING WALL  
VC - VEHICULAR CROSSING  
WM - WATER METER SERVICE  
WWF - WIRE MESH FENCE

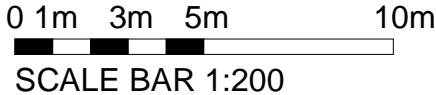


1 EXISTING SURVEY  
1 : 200

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ph: (02) 8283 7016



DRAWING REVISION SCHEDULE		
No.	AMENDMENTS	DATE
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Date

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PHONE: (02) 8883 4344  
EMAIL: kjrdrafting@kjr.net.au  
KJR DRAFTING

Project  
DOUBLE STOREY DWELLING  
Project address  
15 MONASH PARADE  
DEE WHY NSW

Client  
MARTIN  
Stage  
DA

Drawing title  
EXISTING SURVEY PLAN

Date 02/07/2019 Drawn LV - KJR

Sheet Size A3 Scale 1 : 200

Job No 230238 - GJGN077

True North Drawing No Rev

GJG-A02 G

SPECIFICATION:

The specification overrides drawings

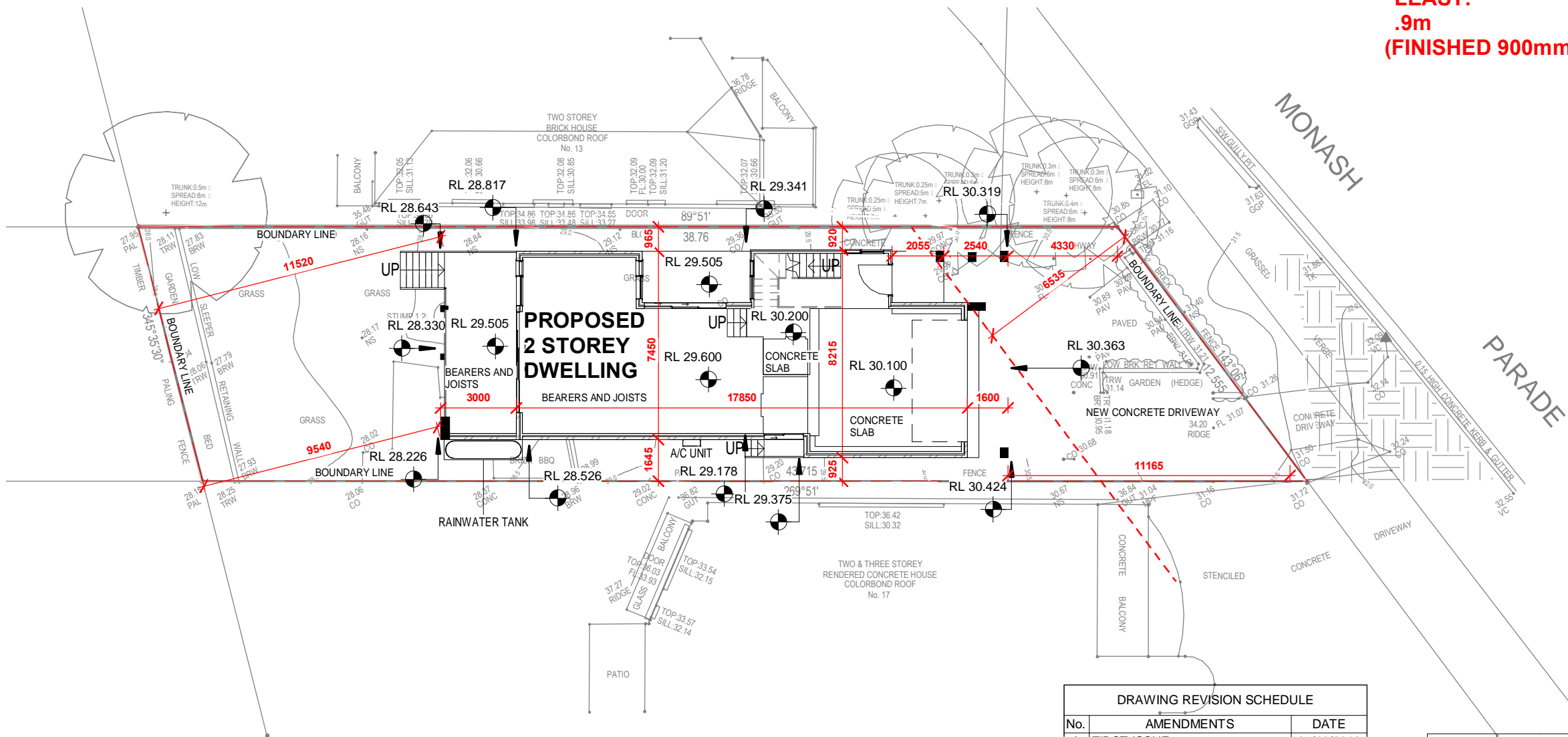
STRUCTURAL DESIGN:

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**NOTE:**

**FRONT SETBACK IS TO BE AT LEAST: 6.5m (FINISHED 6500mm MINIMUM)**

**SIDE SETBACK IS TO BE AT LEAST: .9m (FINISHED 900mm MINIMUM)**

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SITE PLAN

Date 02/07/2019 Drawn LV - KJR

Sheet Size A3 Scale 1 : 200

Job No 230238 - GJGN077

True North  
Drawing No  
Rev  
**GJG-A03 G**

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PROPOSED FLOOR SPACES		
NAME	AREA	%
ALFRESCO	30 m <sup>2</sup>	10%
BALCONY	6 m <sup>2</sup>	2%
FIRST FLOOR	135 m <sup>2</sup>	45%
GARAGE	38 m <sup>2</sup>	13%
GROUND	85 m <sup>2</sup>	29%
PORCH	4 m <sup>2</sup>	1%
TOTAL AREAS:	298 m <sup>2</sup>	100%

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REFER TO COLOUR SELECTION FOR BATHROOM  
AND LAUNDRY FINAL LAYOUT & FINISHES

RL 36.594 ROOF PEAK

RL 35.490 UF CEILING

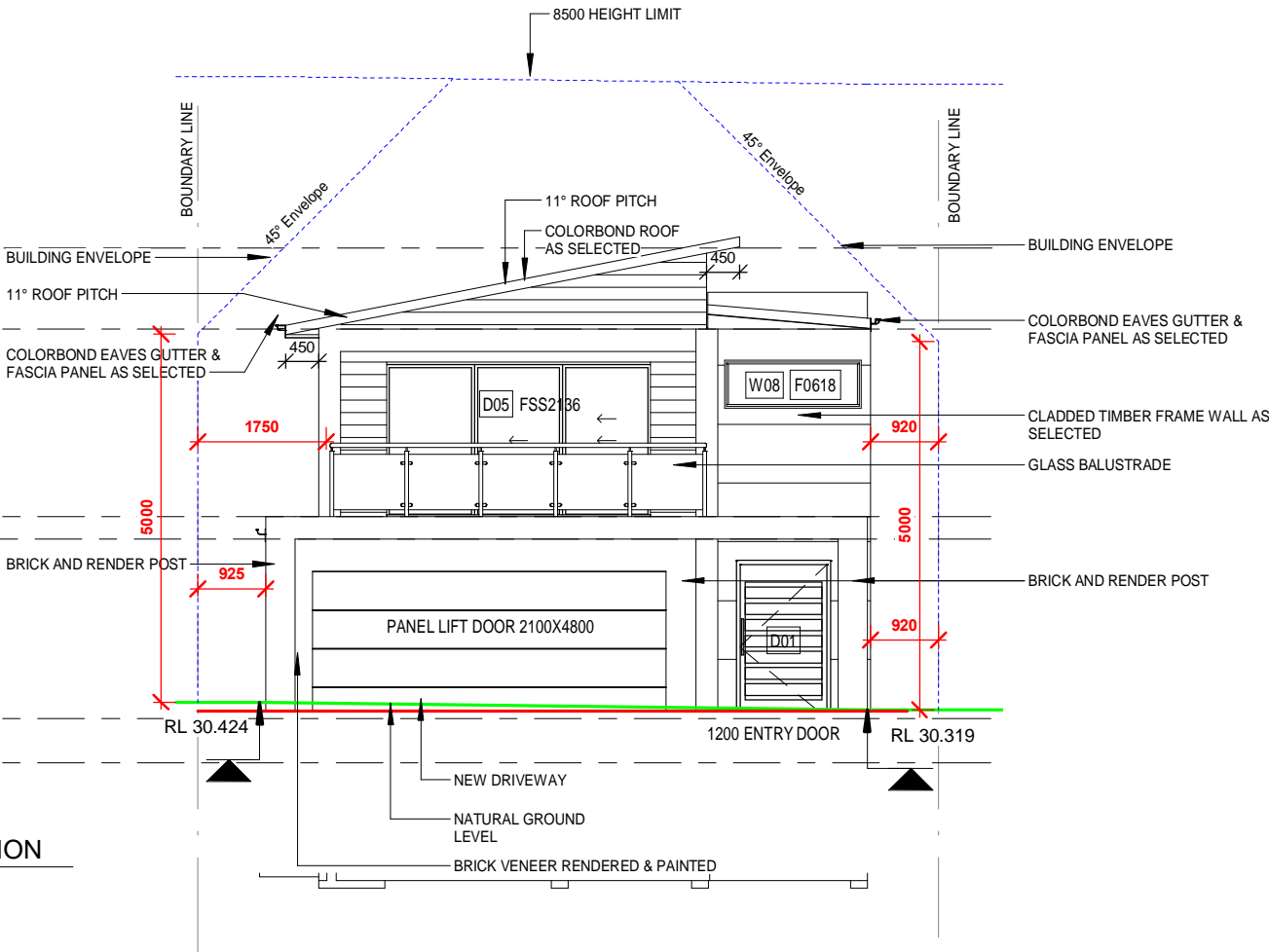
RL 32.940 UF

RL 32.640 GF CEILING

RL 30.200 GF

RL 29.600 LGF

1 FRONT ELEVATION  
1 : 100



RL 36.594 ROOF PEAK

RL 35.490 UF CEILING

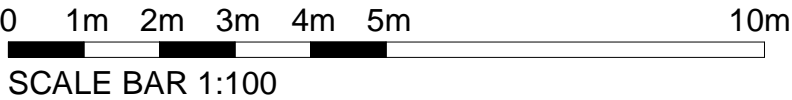
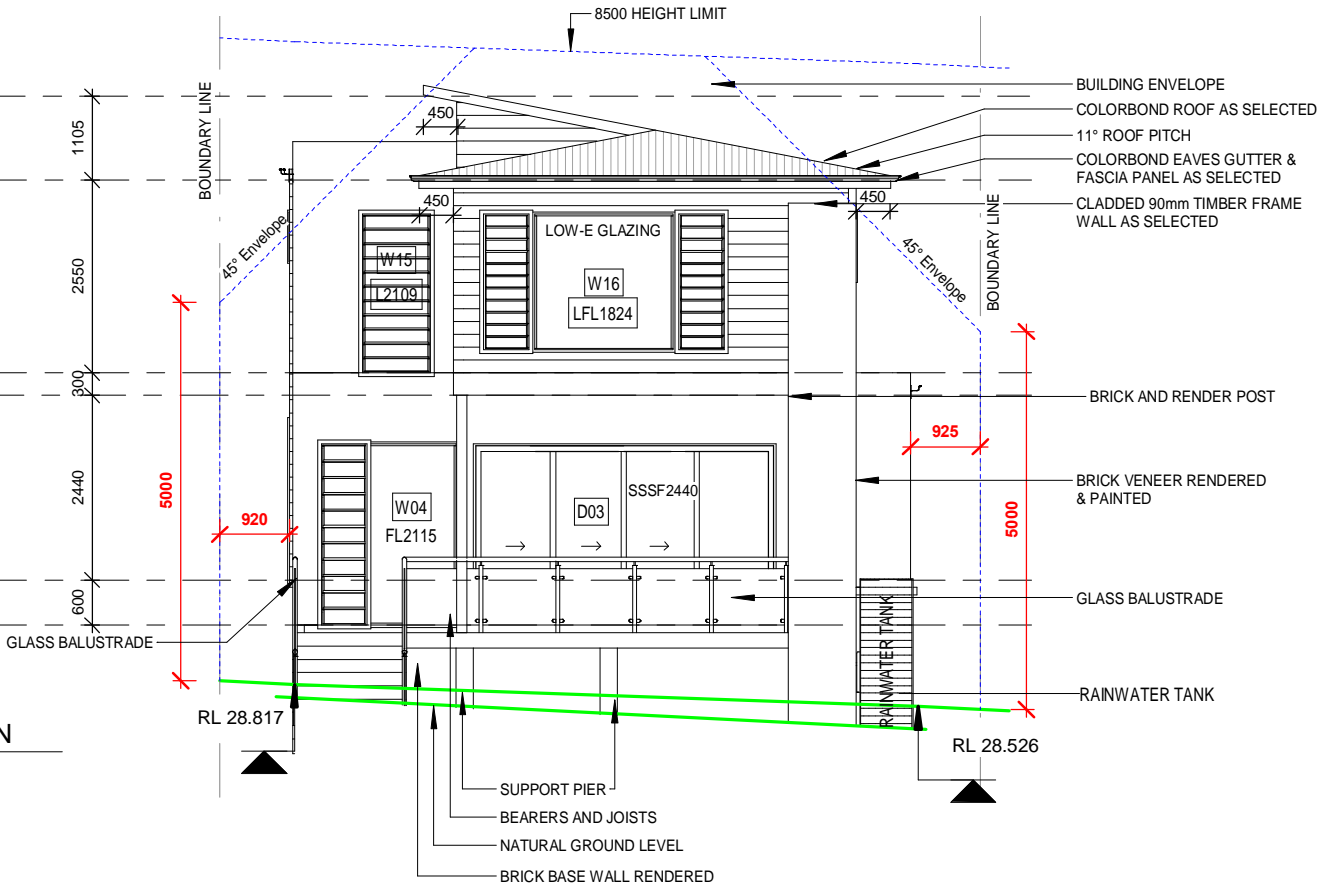
RL 32.940 UF

RL 32.640 GF CEILING

RL 30.200 GF

RL 29.600 LGF

2 REAR ELEVATION  
1 : 100



#### DRAWING REVISION SCHEDULE

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#### WINDOW SCHEDULE

Code	Width	Height
	1500	
W01	1500	2100
W02	1500	1800
W03	1500	2400
W04	1180	2400
W05	2400	700
W06	1200	700
W07	1810	600
W08	1800	600
W09	1810	600
W10	1852	600
W11	1822	600
W12	3610	860
W13	610	860
W14	600	2100
W15	2400	2100
W16	1827	1800
W17	2410	860
W18	1570	860
W19	2410	860
W20	2410	860

Grand total: 20

#### DOOR SCHEDULE

Code	Width	Height
D01	1200	2100
D02	3228	2400
D03	4000	2400
D04	1570	2100
D05	3588	2100

Grand total: 5

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DOUBLE STOREY DWELLING

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15 MONASH PARADE  
DEE WHY NSW

Client

MARTIN

Stage

DA

Drawing title

ELEVATIONS

Date 02/07/2019

Drawn LV - KJR

Sheet Size A3

Scale 1 : 100

Job No 230238 - GJGN077

True North

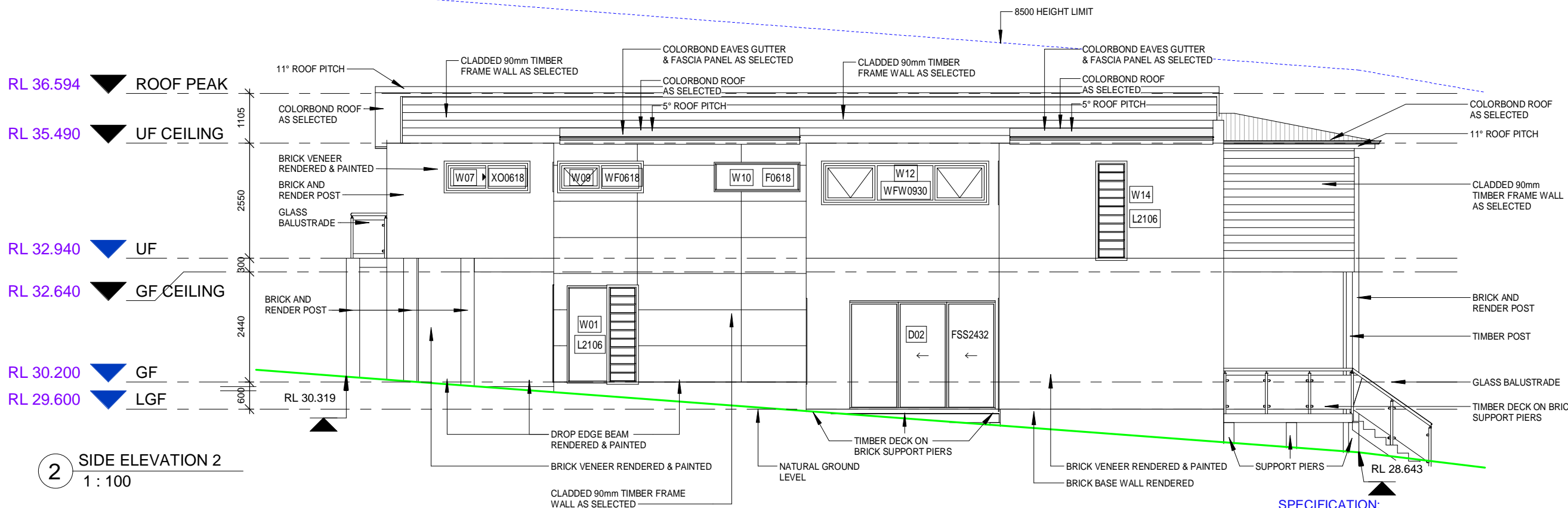
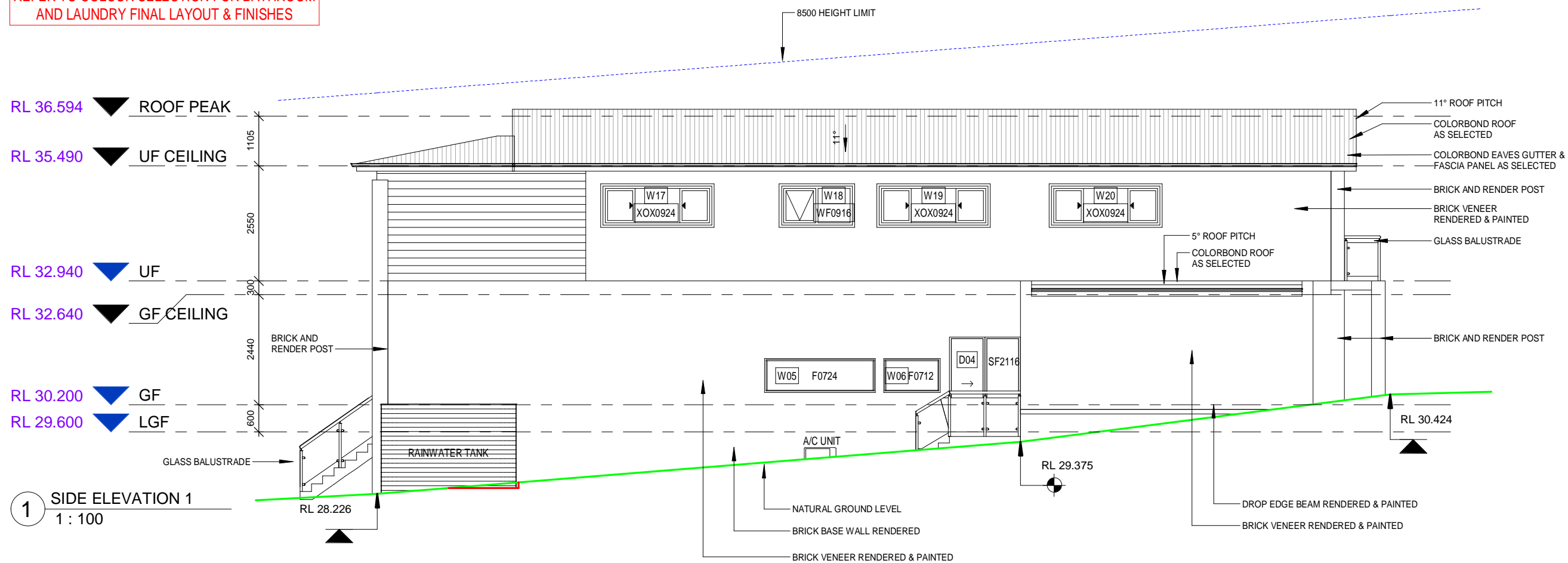
Drawing No

Rev

**GJG-A07**

**G**

REFER TO COLOUR SELECTION FOR BATHROOM  
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Client	MARTIN
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ELEVATIONS

Date	02/07/2019	Drawn	LV - KJR
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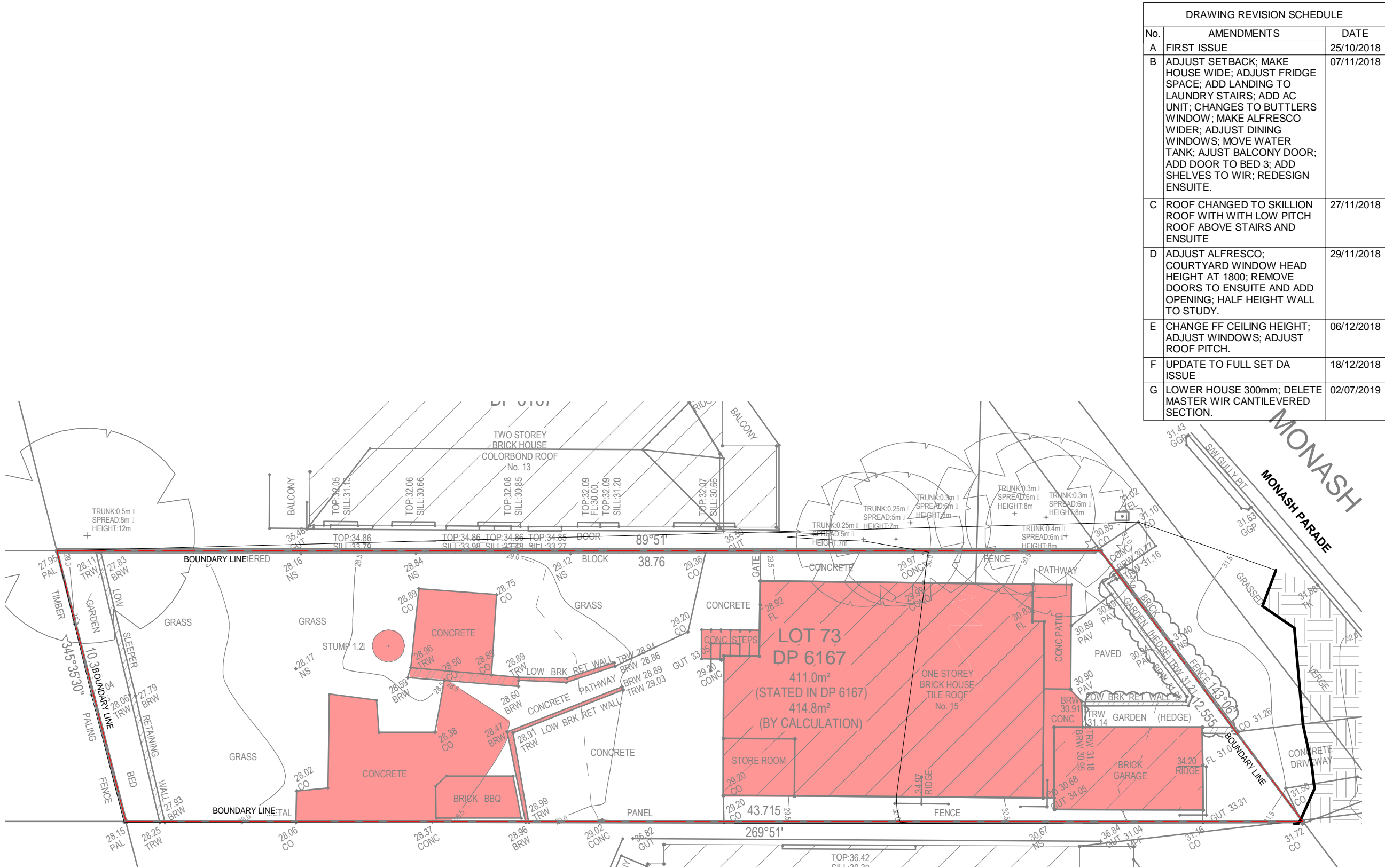
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Job No	230238 - GJGN077
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True North	Drawing No	Rev
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**GJG-A08      G**





1 DEMOLITION PLAN  
1 : 150

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Project  
DOUBLE STOREY DWELLING  
Project address  
15 MONASH PARADE  
DEE WHY NSW

Client  
MARTIN  
Stage  
DA

Drawing title  
DEMOLITION PLAN

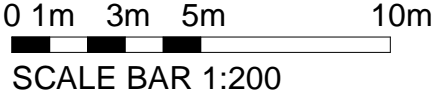
Date	02/07/2019	Drawn	LV - KJR
Sheet Size	A3	Scale	1 : 150

Job No	230238 - GJGN077
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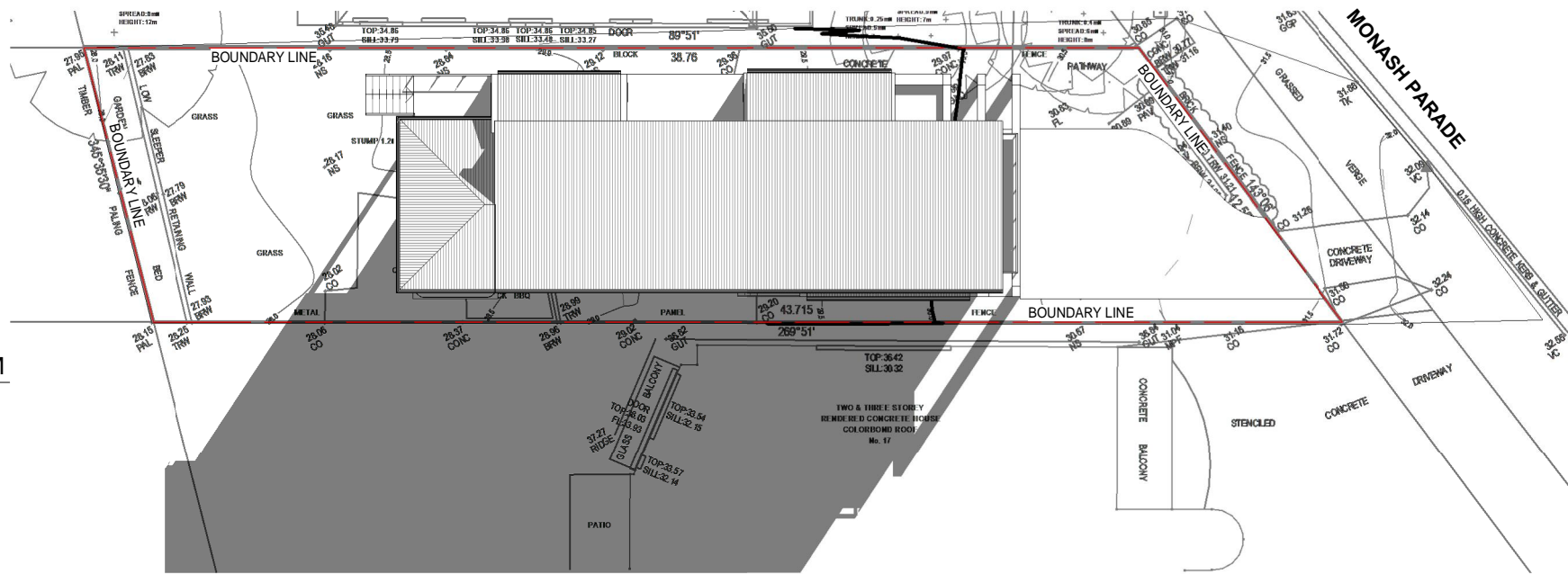
True North	Drawing No	Rev
	<b>GJG-A10</b>	<b>G</b>

DEMOLITION WORKS ARE SHOWN IN RED

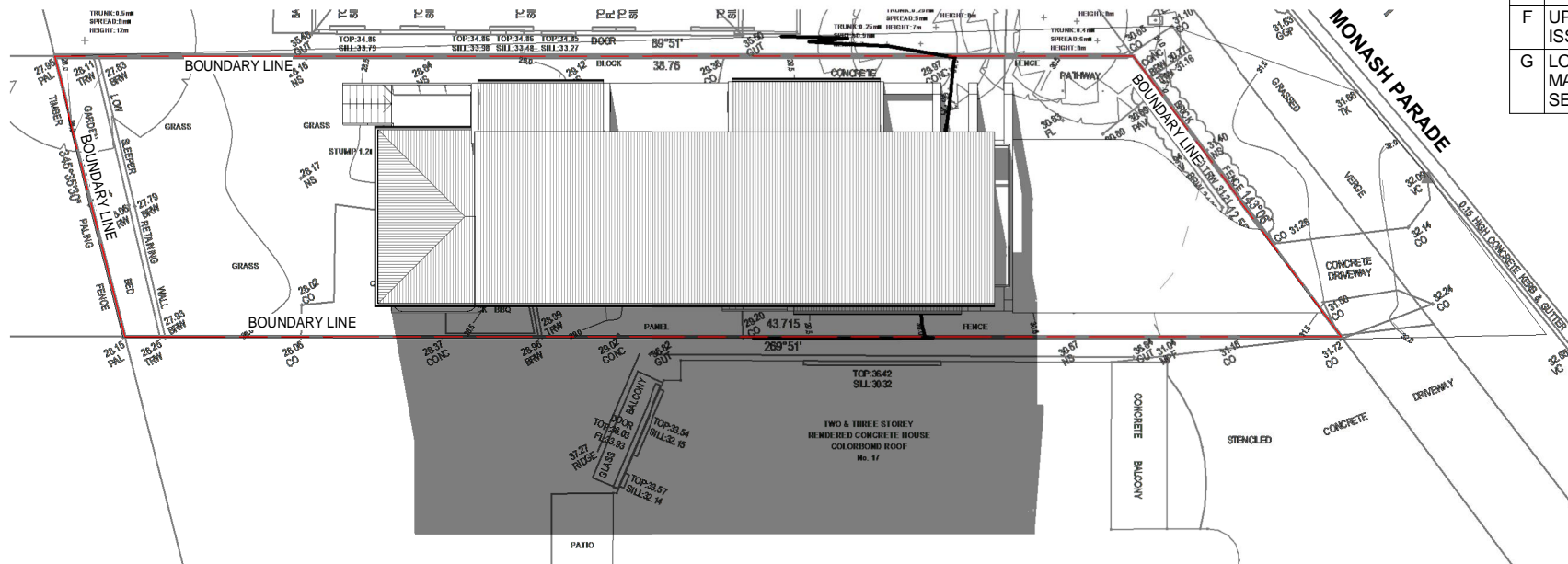
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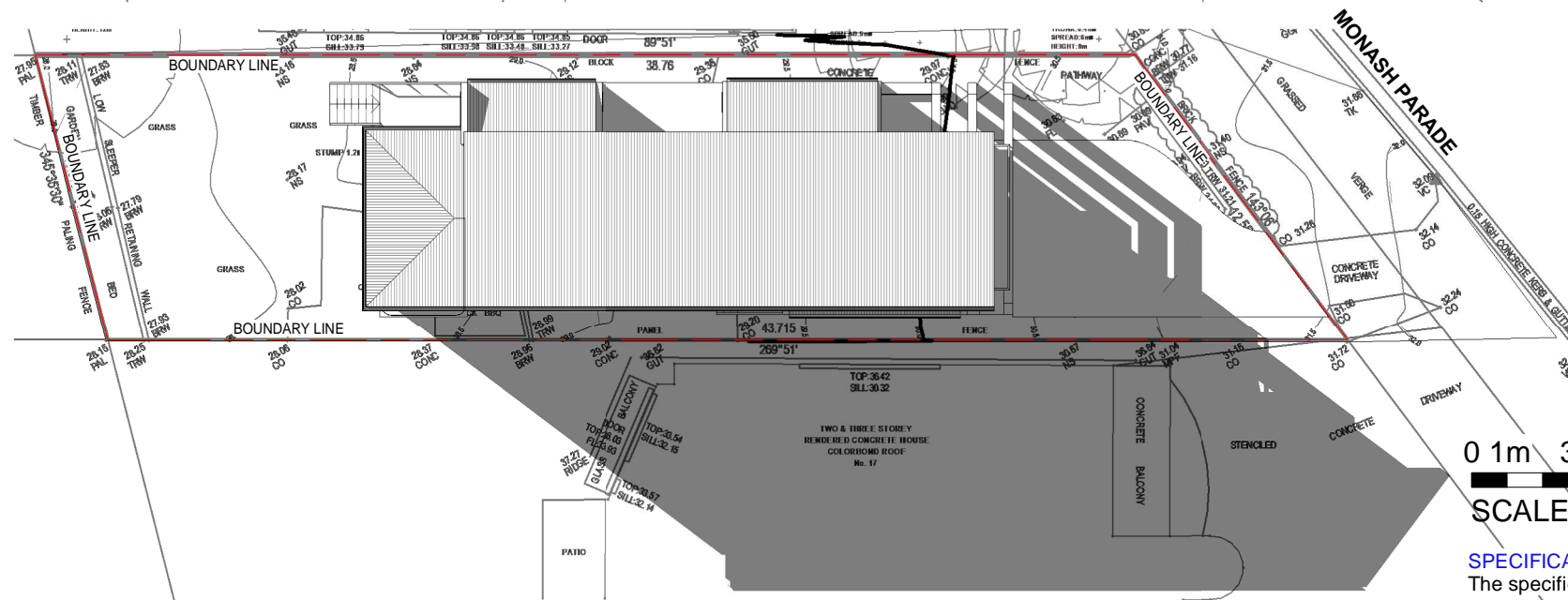
1 SHADOW DIAGRAM 9AM  
1 : 250



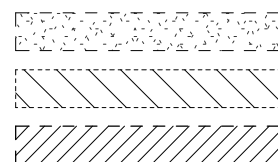
2 SHADOW DIAGRAM 12PM  
1 : 250



3 SHADOW DIAGRAM 3PM  
1 : 250



**SHADOW DIAGRAM LEGEND:**  
(21st JUNE)



9AM shadow

12PM shadow

3PM shadow

DRAWING REVISION Schedule		
No.	AMENDMENTS	DATE
A	FIRST ISSUE	25/10/2018
B	ADJUST SETBACK; MAKE HOUSE WIDE; ADJUST FRIDGE SPACE; ADD LANDING TO LAUNDRY STAIRS; ADD AC UNIT; CHANGES TO BUTTLERS WINDOW; MAKE ALFRESCO WIDER; ADJUST DINING WINDOWS; MOVE WATER TANK; AJUST BALCONY DOOR; ADD DOOR TO BED 3; ADD SHELVES TO WIR; REDESIGN ENSUITE.	07/11/2018
C	ROOF CHANGED TO SKILLION ROOF WITH WITH LOW PITCH ROOF ABOVE STAIRS AND ENSUITE	27/11/2018
D	ADJUST ALFRESCO; COURTYARD WINDOW HEAD HEIGHT AT 1800; REMOVE DOORS TO ENSUITE AND ADD OPENING; HALF HEIGHT WALL TO STUDY.	29/11/2018
E	CHANGE FF CEILING HEIGHT; ADJUST WINDOWS; ADJUST ROOF PITCH.	06/12/2018
F	UPDATE TO FULL SET DA ISSUE	18/12/2018
G	LOWER HOUSE 300mm; DELETE MASTER WIR CANTILEVERED SECTION.	02/07/2019

0 1m 3m 5m 10m  
SCALE BAR 1:200

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Owner(s) signature

Builders signature

Date

**G.J. Gardner. HOMES**

**SYDNEY NORTH**

Unit 2, 28 - 30 Orchard Rd, Brookvale  
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Phone 9939 3339 Fax 9939 4442  
www.gjgardner.com.au

Drafted By: **KJR** DRAFTING SUITE 302  
5 CELEBRATION DRIVE  
BELLA VISTA NSW 2153  
PHONE: (02) 8883 4344  
EMAIL: kjrdrafting@kjr.net.au

Project  
DOUBLE STOREY DWELLING

Project address  
15 MONASH PARADE  
DEE WHY NSW

Client  
MARTIN

Stage  
DA

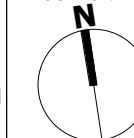
Drawing title  
SHADOW DIAGRAM

Date 02/07/2019 Drawn LV - KJR

Sheet Size A3 Scale As indicated

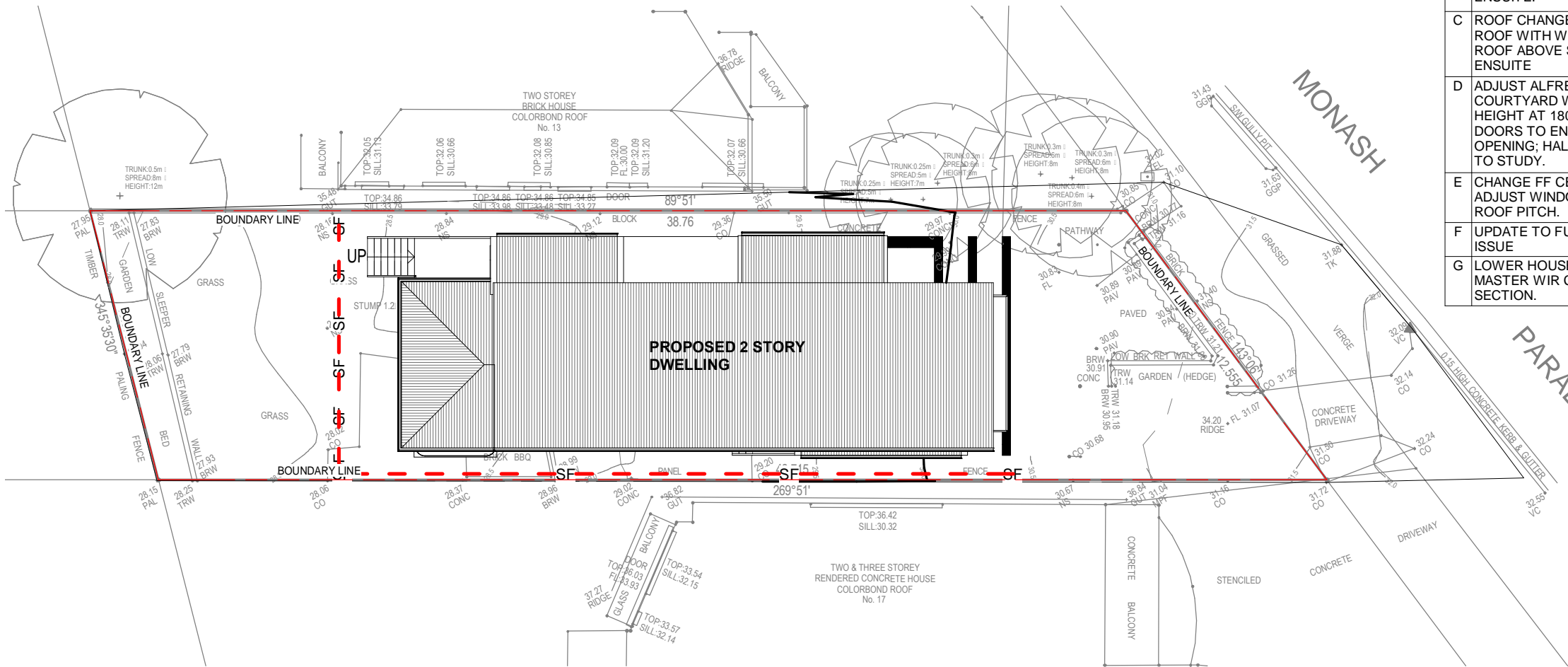
Job No 230238 - GJGN077

True North Drawing No Rev

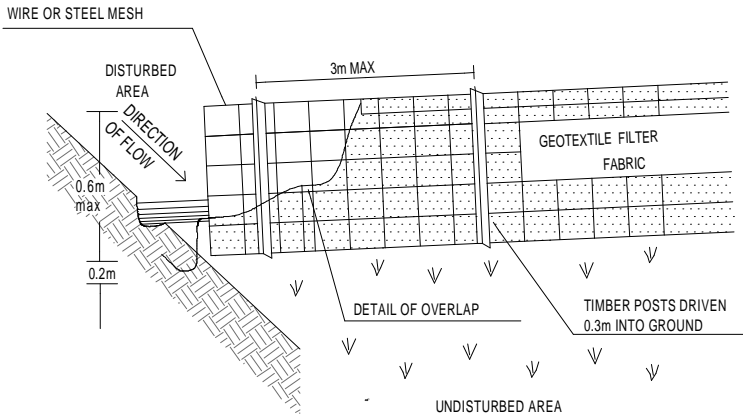


**GJG-A11 G**





1 EROSION & SEDIMENT  
1 : 200



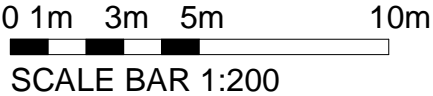
SEDIMENT FENCE DETAILS

SEDIMENT CONTROL NOTES:

- ALL EROSION AND SEDIMENTATION CONTROL MEASURES, INCLUDING REVEGETATION AND STORAGE OF SOIL & TOP SOIL SHALL BE IMPLEMENTED TO THE STANDARDS OF THE SOIL CONSERVATION OF NSW.
- ALL THE DRAINAGE WORKS SHALL BE CONSTRUCTED AND STABILISED AS EARLY AS POSSIBLE DURING DEVELOPMENT.
- SEDIMENT TRAPS SHALL BE CONSTRUCTED AROUND ALL INLET PITS, CONSISTING OF 300mm WIDE x 300mm DEEP TRENCH.
- ALL SEDIMENT BASINS AND TRAPS SHALL BE CLEANED WHEN THE STRUCTURES ARE A 60% FULL OF SOIL MATERIALS, INCLUDING THE MAINTENANCE PERIOD.
- TOPSOIL FROM ALL AREAS THAT WILL BE DISTURBED TO STRIPPED AND STOCKPILED.
- SOIL AND TOPSOIL STOCKPILES SHALL BE LOCATED AWAY FROM DRAINAGE LINES AREA AREAS WHERE WATER MAY CONCENTRATE.
- STOCKPILE TOPSOIL SEPARATELY FROM SUBSOIL.
- STRIPPING OF GRASS AND VEGETATION ETC. FROM SITE SHALL BE KEPT TO A MINIMUM.
- FILTER SHALL BE CONSTRUCTED BY STRETCHING A FILTER FABRIC (PROPEX OR APPROVED EQUIVALENT BETWEEN POST AT 3m CENTRES. FABRIC SHALL BE BURIED 150mm ALONG ITS LOWER EDGE.
- ALL DISTURBED AREAS SHALL BE REVEGETATED AS SOON AS THE RELEVANT WORKS ARE COMPLETED.

ALL SEDIMENT CONTROL STRUCTURES TO BE INSPECTED AFTER EACH RAINFALL EVENT FOR STRUCTURAL DAMAGE AND ALL TRAPPED SEDIMENT TO BE REMOVED TO A NOMINATED SOIL STOCKPILE SITE.

DRAWING REVISION SCHEDULE		
No.	AMENDMENTS	DATE
A	FIRST ISSUE	25/10/2018
B	ADJUST SETBACK; MAKE HOUSE WIDE; ADJUST FRIDGE SPACE; ADD LANDING TO LAUNDRY STAIRS; ADD AC UNIT; CHANGES TO BUTTLERS WINDOW; MAKE ALFRESCO WIDER; ADJUST DINING WINDOWS; MOVE WATER TANK; AJUST BALCONY DOOR; ADD DOOR TO BED 3; ADD SHELVES TO WIR; REDESIGN ENSUITE.	07/11/2018
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G	LOWER HOUSE 300mm; DELETE MASTER WIR CANTILEVERED SECTION.	02/07/2019



BOUNDARY NOTES:

- BOUNDARY INFORMATION SUPPLIED BY OWNER
- CONFIRM ALL BOUNDARY INFORMATION PRIOR TO COMMENCEMENT OF WORK.

SETOUT NOTES:

- BOUNDARY DIMENSIONS AND LOCATION OF DWELLING TO BE CONFIRMED AND SETOUT BY SURVEYOR PRIOR TO COMMENCEMENT OF WORK.
- BUILDER TO BE PRESENT TO CONFIRM PREFERENCE TO LOCATION.

SPECIFICATION:

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PHONE: (02) 8883 4344  
EMAIL: kjrdrafting@kjr.net.au

Project  
DOUBLE STOREY DWELLING  
Project address  
15 MONASH PARADE  
DEE WHY NSW

Client  
MARTIN  
Stage  
DA

Drawing title  
EROSION & SEDIMENT PLAN

Date 02/07/2019 Drawn LV - KJR

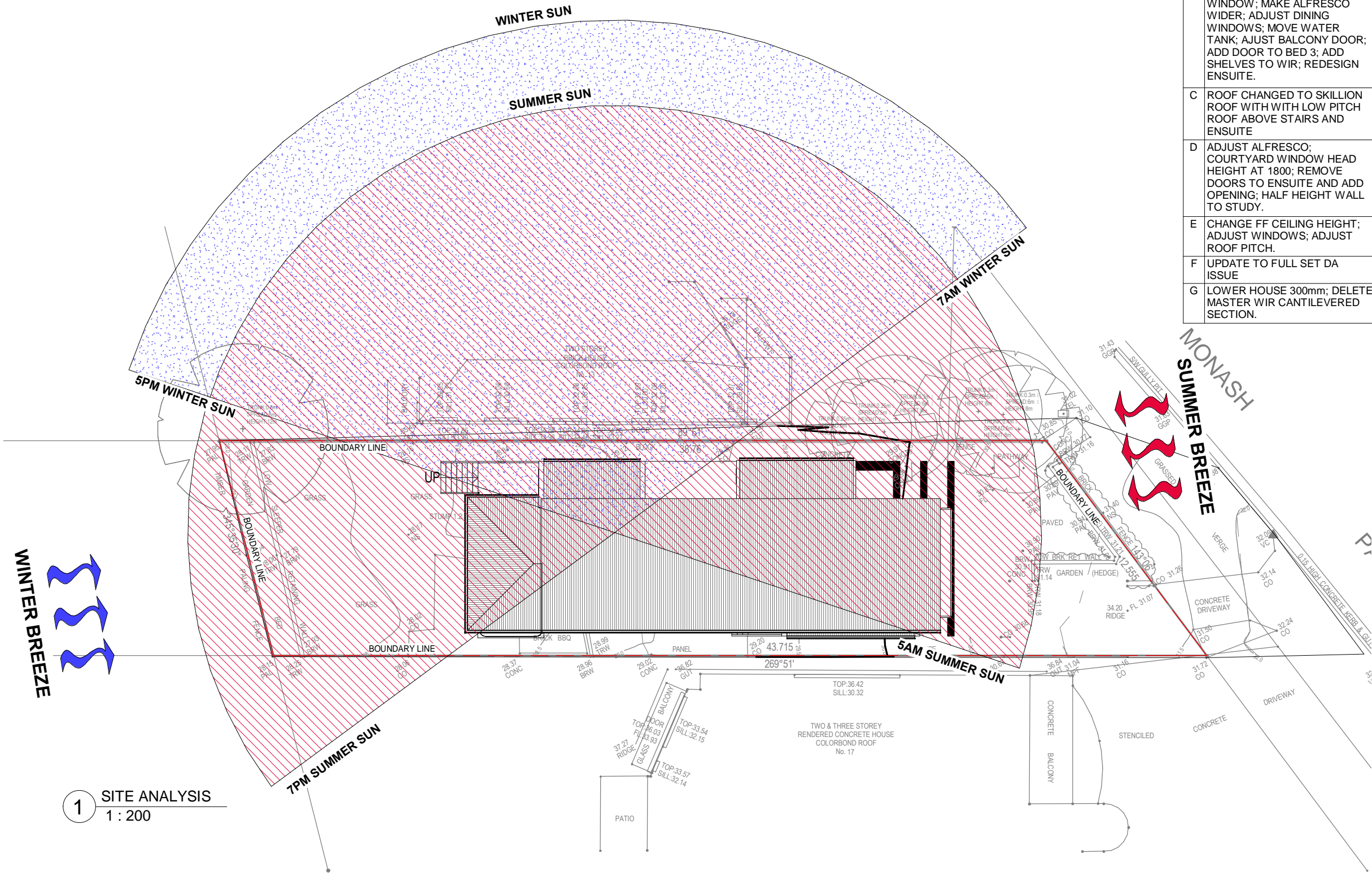
Sheet Size A3 Scale 1 : 200

Job No 230238 - GJGN077

True North Drawing No Rev

**GJG-A12 G**





1 SITE ANALYSIS  
1 : 200

DRAWING REVISION SCHEDULE		
No.	AMENDMENT'S	DATE
A	FIRST ISSUE	25/10/2018
B	ADJUST SETBACK; MAKE HOUSE WIDE; ADJUST FRIDGE SPACE; ADD LANDING TO LAUNDRY STAIRS; ADD AC UNIT; CHANGES TO BUTTLERS WINDOW; MAKE ALFRESCO WIDER; ADJUST DINING WINDOWS; MOVE WATER TANK; AJUST BALCONY DOOR; ADD DOOR TO BED 3; ADD SHELVES TO WIR; REDESIGN ENSUITE.	07/11/2018
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G	LOWER HOUSE 300mm; DELETE MASTER WIR CANTILEVERED SECTION.	02/07/2019

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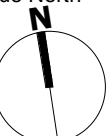
Project  
DOUBLE STOREY DWELLING  
Project address  
15 MONASH PARADE  
DEE WHY NSW

Client  
MARTIN  
Stage  
DA

Drawing title  
SITE ANALYSIS

Date	02/07/2019	Drawn	LV - KJR
Sheet Size	A3	Scale	1 : 200

Job No 230238 - GJGN077

True North 	Drawing No <b>GJG-A13</b>	Rev <b>G</b>
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WASTE MANAGEMENT PLAN FOR PROPOSED 2 STOREY DWELLING AT:  
15 MONASH PARADE, DEE WHY

DEMOLITION PHASE				
MATERIALS ON-SITE		DESTINATION		
		Reuse & Recycling		Disposal
Type of materials	Estimated volume (m3)	On-Site Specify proposed reuse or on-site recycling method	Offsite Specify contractor and recycling outlet	Specify contractor or landfill site
Green waste	2	Chip and compost for landscaping and new gardens	-	Nil to landfill
Bricks	Nil			Nil to landfill
Concrete	20		Waste Management centre for recycling	Nil to landfill
Timber	10	Used for formwork and studwork, site shed or temporary fence	Long lengths of good quality timber to Timber Recycling Company. Lengths less than 1 meter to Waste Management centre for recycling	Nil to landfill
Plasterboard	10		Waste Management centre	Taken to landfill
Roof tiles	8		Good tiles to Waste Management centre for recycling; sell to second hand building supplies	Nil to landfill
Metals	2		Waste Management centre for recycling	Nil to landfill
Asbestos	5		Cart to licensed asbestos tip	Taken to landfill
DRAWING REVISION SCHEDULE				

No.	AMENDMENTS	DATE
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CONSTRUCTION PHASE				
MATERIALS ON-SITE		DESTINATION		
		Reuse & Recycling		Disposal
Type of materials	Estimated volume (m3)	On-Site Specify proposed reuse or on-site recycling method	Offsite Specify contractor and recycling outlet	Specify contractor or landfill site
Excavation Material	5	Re-use for backfill under slab. Remove top soil and stockpile for use in landscaping	-	
Green waste	Nil			
Bricks	Nil			
Concrete	2		Excess concrete returned to supplier	Nil to landfill
Timber	2		Excess timber returned to supplier	Nil to landfill
Plasterboard	0.5		Excess plasterboard returned to supplier	Nil to landfill
Roof colorbond	0.5		Excess colorbond roof returned to supplier	Nil to landfill
Metals	0.1		Waste Management centre for recycling	Nil to landfill

USE OF PREMISES			
Type of Waste to be Generated	Expected volume per week (m3)	On-Site Specify proposed reuse or on-site recycling method	Destination
Food, general domestic waste	0.4	Bins located on site	Disposal via council rubbish removal
Paper, Cardboard	0.1	Bins located on site	Disposal via council recycling collection
Glass, Bottles	0.1	Bins located on site	Disposal via council recycling collection

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Project  
DOUBLE STOREY DWELLING

Project address  
15 MONASH PARADE  
DEE WHY NSW

Client  
MARTIN

Stage  
DA

Drawing title  
WASTE MANAGEMENT

Date	02/07/2019	Drawn	LV - KJR
Sheet Size	A3	Scale	1 : 1
Job No	230238 - GJGN077		
True North	Drawing No	Rev	
	<b>GJG-A14</b>	<b>G</b>	



## Single Dwelling

Certificate number: 985999S

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 06/10/2017 published by the Department. This document is available at [www.basix.nsw.gov.au](http://www.basix.nsw.gov.au)

Secretary  
Date of issue: Monday, 17 December 2018  
To be valid, this certificate must be lodged within 3 months of the date of issue.

Project summary		
Project name	n GJGN077_15 Monash pde Dee Why	
Street address	15 Monash Parade Dee Why 2099	
Local Government Area	Northern Beaches Council	
Plan type and plan number	deposited 6167	
Lot no.	73	
Section no.	-	
Project type	separate dwelling house	
No. of bedrooms	4	
Project score		
Water	✔ 43	Target 40
Thermal Comfort	✔ Pass	Target Pass
Energy	✔ 52	Target 50

Water Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
<b>Fixtures</b>			
The applicant must install showerheads with a minimum rating of 3 star (> 4.5 but <= 6 L/min) in all showers in the development.		✓	✓
The applicant must install a toilet flushing system with a minimum rating of 3 star in each toilet in the development.		✓	✓
The applicant must install taps with a minimum rating of 3 star in the kitchen in the development.		✓	
The applicant must install basin taps with a minimum rating of 3 star in each bathroom in the development.		✓	
<b>Alternative water</b>			
<b>Rainwater tank</b>			
The applicant must install a rainwater tank of at least 1500 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.	✓	✓	✓
The applicant must configure the rainwater tank to collect rain runoff from at least 155 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam).		✓	✓
<b>The applicant must connect the rainwater tank to:</b>			
• all toilets in the development		✓	✓
• the cold water tap that supplies each clothes washer in the development		✓	✓
• at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.)		✓	✓

Thermal Comfort Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
<b>General features</b>			
The dwelling must not have more than 2 storeys.	✔	✔	✔
The conditioned floor area of the dwelling must not exceed 300 square metres.	✔	✔	✔
The dwelling must not contain open mezzanine area exceeding 25 square metres.	✔	✔	✔
The dwelling must not contain third level habitable attic room.	✔	✔	✔
<b>Floor, walls and ceiling/roof</b>			
The applicant must construct the floor(s), walls, and ceiling/roof of the dwelling in accordance with the specifications listed in the table below.	✔	✔	✔

Construction	Additional insulation required (R-Value)	Other specifications
floor - concrete slab on ground, 76 square metres	nil	
floor - above habitable rooms or mezzanine, 65 square metres, framed	nil	
floor - suspended floor above garage, framed	nil	
external wall - brick veneer	2.86 (or 3.40 including construction)	
external wall - framed (weatherboard, fibre cement, metal clad)	3.00 (or 3.40 including construction)	
internal wall shared with garage - plasterboard	nil	
ceiling and roof - flat ceiling / pitched roof	ceiling: 4.5 (up), roof: foil/sarking	unventilated, medium (solar absorbance 0.475-0.70)

Note	• Insulation specified in this Certificate must be installed in accordance with Part 3.12.1.1 of the Building Code of Australia.
Note	• In some climate zones, insulation should be installed with due consideration of condensation and associated interaction with adjoining building materials.

Thermal Comfort Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
<b>Windows, glazed doors and skylights</b>			
The applicant must install the windows, glazed doors and shading devices described in the table below, in accordance with the specifications listed in the table. Relevant overshadowing specifications must be satisfied for each window and glazed door.	✓	✓	✓
The dwelling may have 1 skylight (<0.7 square metres) which is not listed in the table.	✓	✓	✓
The following requirements must also be satisfied in relation to each window and glazed door:	✓	✓	✓
<ul style="list-style-type: none"> <li>For the following glass and frame types, the certifier check can be performed by visual inspection. <ul style="list-style-type: none"> <li>- Aluminium single clear</li> <li>- Aluminium double (air) clear</li> <li>- Timber/uPVC/fibreglass single clear</li> <li>- Timber/uPVC/fibreglass double (air) clear</li> </ul> </li> <li>For other glass or frame types, each window and glazed door must be accompanied with certification showing a U value no greater than that listed and a Solar Heat Gain Coefficient (SHGC) within the range of those listed. Total system U values and SHGC must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. Frame and glass types shown in the table below are for reference only.</li> <li>Overshadowing buildings/vegetation must be of the height and distance from the centre and the base of the window and glazed door, as specified in the 'overshadowing' column.</li> </ul>	✓	✓	✓




















Window/glazed door no.	Maximum height (mm)	Maximum width (mm)	Type	Shading Device (Dimension within 10%)	Overshadowing
<b>North facing</b>					
W01	2100	1500	U-value: 6.6, SHGC: 0.441 - 0.539 (aluminium, single, tint)	awning (adjustable) 500 mm, 1000 mm above base of window or glazed door	1-2 m high, <1.5 m away
D02	2400	3200	U-value: 5.2, SHGC: 0.351 - 0.429 (aluminium, double (air), tint)	awning (adjustable) 1500 mm, 1500 mm above base of window or glazed door	not overshadowed
W07	600	1800	U-value: 6.6, SHGC: 0.441 - 0.539 (aluminium, single, tint)	eave 550 mm, 800 mm above head of window or glazed door	not overshadowed




## Description of project

Project address	
Project name	n GJGN077_15 Monash pde Dee Why
Street address	15 Monash Parade Dee Why 2099
Local Government Area	Northern Beaches Council
Plan type and plan number	Deposited Plan 6167
Lot no.	73
Section no.	-
Project type	
Project type	separate dwelling house
No. of bedrooms	4
Site details	
Site area (m²)	411
Roof area (m²)	155
Conditioned floor area (m²)	177.0
Unconditioned floor area (m²)	18.0
Total area of garden and lawn (m²)	175

Assessor details and thermal loads		
Assessor number	n/a	
Certificate number	n/a	
Climate zone	n/a	
Area adjusted cooling load (MJ/m²·year)	n/a	
Area adjusted heating load (MJ/m²·year)	n/a	
Project score		
Water	✔ 43	Target 40
Thermal Comfort	✔ Pass	Target Pass
Energy	✔ 52	Target 50

Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
<b>Hot water</b>			
The applicant must install the following hot water system in the development, or a system with a higher energy rating: gas instantaneous with a performance of 4 stars.	✓	✓	✓
<b>Cooling system</b>			
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: 3-phase airconditioning, Energy rating: EER 3.0 - 3.5		✓	✓
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom: 3-phase airconditioning, Energy rating: EER 3.0 - 3.5		✓	✓
The cooling system must provide for day/night zoning between living areas and bedrooms.		✓	✓
<b>Heating system</b>			
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area: 3-phase airconditioning, Energy rating: EER 3.0 - 3.5		✓	✓
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 bedroom: 3-phase airconditioning, Energy rating: EER 3.0 - 3.5		✓	✓
The heating system must provide for day/night zoning between living areas and bedrooms.		✓	✓
<b>Ventilation</b>			
The applicant must install the following exhaust systems in the development: At least 1 Bathroom: no mechanical ventilation (ie. natural); Operation control: n/a		✓	✓
Kitchen: individual fan, not ducted; Operation control: manual switch on/off		✓	✓
Laundry: natural ventilation only, or no laundry; Operation control: n/a		✓	✓
<b>Artificial lighting</b>			
The applicant must ensure that the "primary type of artificial lighting" is fluorescent or light emitting diode (LED) lighting in each of the following rooms, and where the word "dedicated" appears, the fittings for those lights must only be capable of accepting fluorescent or light emitting diode (LED) lamps: <ul style="list-style-type: none"> <li>at least 4 of the bedrooms / study;</li> </ul>		✓	✓

Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
<ul style="list-style-type: none"> <li>at least 2 of the living / dining rooms;</li> <li>the kitchen;</li> <li>all bathrooms/toilets;</li> <li>the laundry;</li> <li>all hallways;</li> </ul>		    	    
<b>Natural lighting</b>			
The applicant must install a window and/or skylight in the kitchen of the dwelling for natural lighting.			
The applicant must install a window and/or skylight in 3 bathroom(s)/toilet(s) in the development for natural lighting.			
<b>Other</b>			
The applicant must install a gas cooktop & electric oven in the kitchen of the dwelling.			
The applicant must construct each refrigerator space in the development so that it is "well ventilated", as defined in the BASIX definitions.			
The applicant must install a fixed outdoor clothes drying line as part of the development.			

Legend	
In these commitments, "applicant" means the person carrying out the development.	
Commitments identified with a 	in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).
Commitments identified with a 	in the "Show on CC/CDC plans and specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.
Commitments identified with a 	in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate (either interim or final) for the development may be issued.

DRAWING REVISION SCHEDULE		
No.	AMENDMENTS	DATE
A	FIRST ISSUE	25/10/2018
B	ADJUST SETBACK; MAKE HOUSE WIDE; ADJUST FRIDGE SPACE; ADD LANDING TO LAUNDRY STAIRS; ADD AC UNIT; CHANGES TO BUTTLERS WINDOW; MAKE ALFRESCO WIDER; ADJUST DINING WINDOWS; MOVE WATER TANK; ADJUST BALCONY DOOR; ADD DOOR TO BED 3; ADD SHELVES TO WIR; REDESIGN ENSUITE.	07/11/2018
C	ROOF CHANGED TO SKILLION ROOF WITH WITH LOW PITCH ROOF ABOVE STAIRS AND ENSUITE	27/11/2018
D	ADJUST ALFRESCO; COURTYARD WINDOW HEAD HEIGHT AT 1800; REMOVE DOORS TO ENSUITE AND ADD OPENING; HALF HEIGHT WALL TO STUDY.	29/11/2018
E	CHANGE FF CEILING HEIGHT; ADJUST WINDOWS; ADJUST ROOF PITCH.	06/12/2018
F	UPDATE TO FULL SET DA ISSUE	18/12/2018
G	LOWER HOUSE 300mm; DELETE MASTER WIR CANTILEVERED SECTION.	02/07/2019

General notes  
Use figured dimensions only.  
Do not scale from drawings.  
All ground lines are approximate.  
Window and door sizes shown are nominal.  
All work to be carried out in accordance with local Council codes, BCA, Australian Standards and any relevant authorities.  
Wind rating, refer to framing manufacturers specifications.

FINAL SIGNED COPY  
I / We accept that these plans are the final working drawings. They supercede any preliminary plan and  
I / We have checked that all alterations and additions are shown. I / We are aware these plans form part of our contract between GJ Gardner Homes (Sydney North).

Owner(s) signature

Builders signature

Date

**G.J. Gardner. HOMES**

**SYDNEY NORTH**  
Unit 2, 28 - 30 Orchard Rd, Brookvale  
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Project  
DOUBLE STOREY DWELLING

Project address  
15 MONASH PARADE  
DEE WHY NSW

Client  
MARTIN

Stage  
DA

Drawing title  
BASIX COMMITMENT

Date	02/07/2019	Drawn	LV - KJR
Sheet Size	A3	Scale	
Job No	230238 - GJGN077		
True North	Drawing No	Rev	
	<b>GJG-A15</b>	<b>G</b>	

**SPECIFICATION:**

The specification overrides drawings

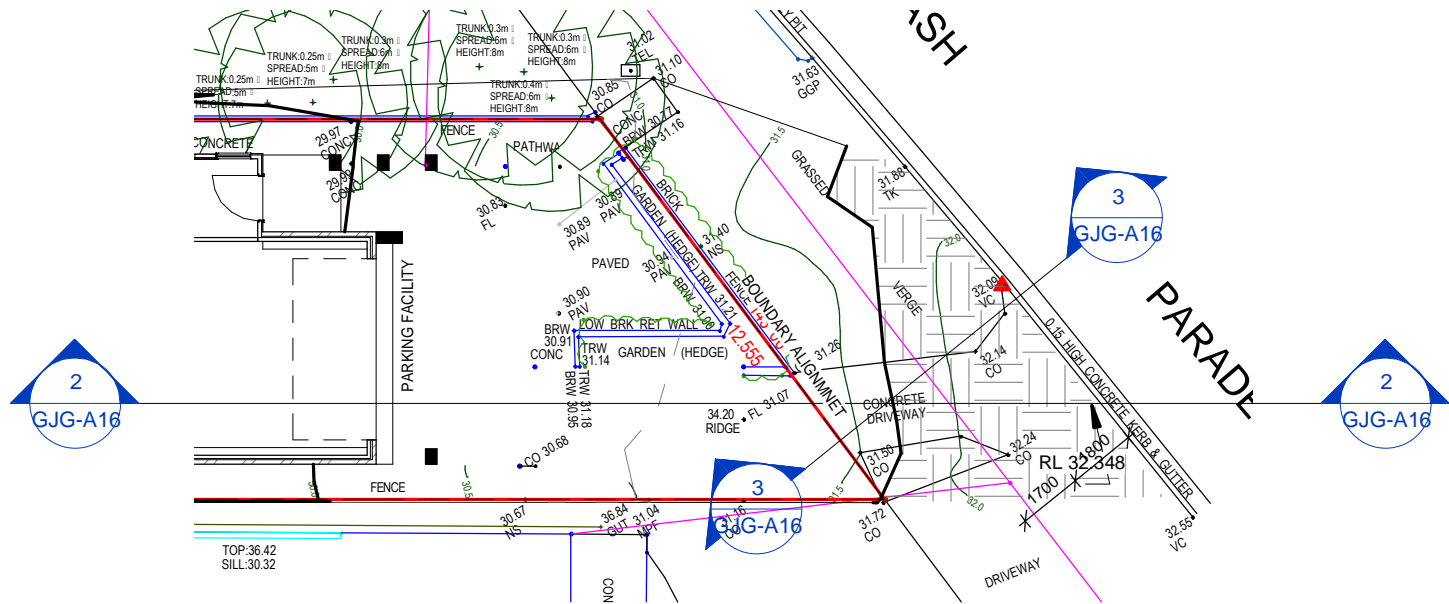
## STRUCTURAL DESIGN:

This design may be subject to change due to structural engineers requirements and / or LGA / PCA conditions.

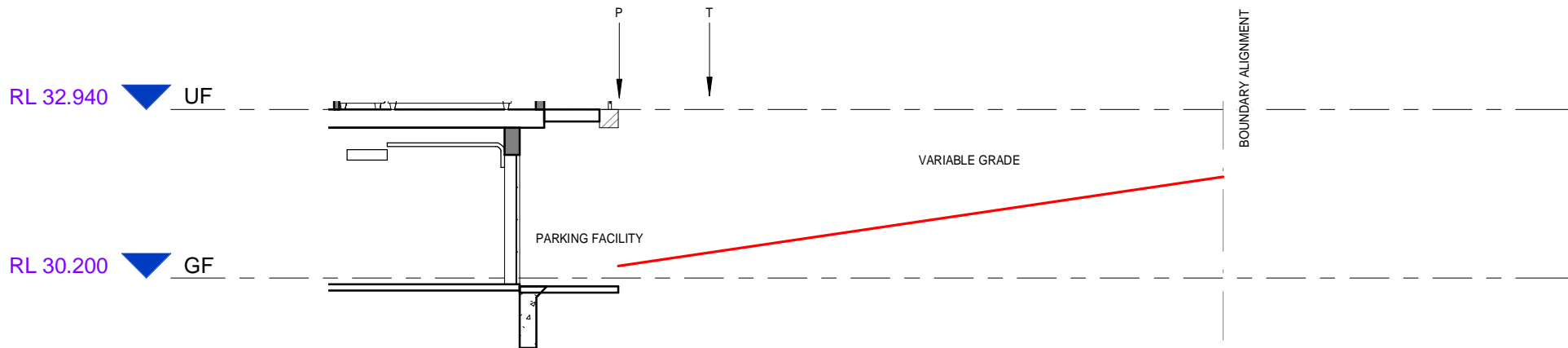
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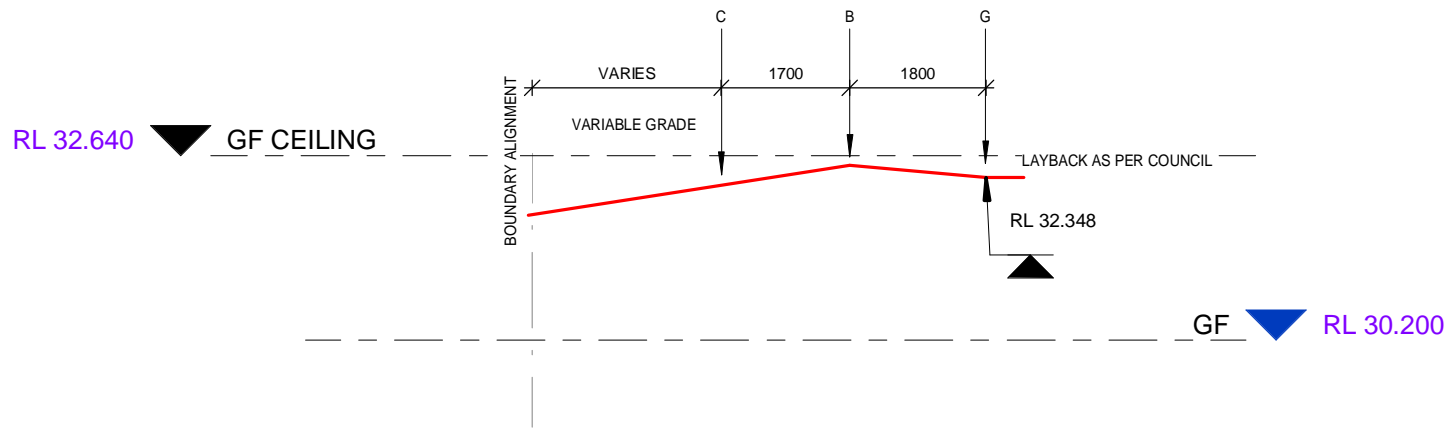




1 DRIVEWAY PLAN  
1 : 200



2 DRIVEWAY SECTION 1  
1 : 100



3 DRIVEWAY SECTION 2  
1 : 100

**SPECIFICATION:**

The specification overrides drawings

**STRUCTURAL DESIGN:**

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MARTIN  
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Drawing title  
DRIVEWAY DETAIL

Date 02/07/2019 Drawn LV - KJR

Sheet Size A3 Scale As indicated

Job No 230238 - GJGN077

True North Drawing No Rev

**GJG-A16 G**