



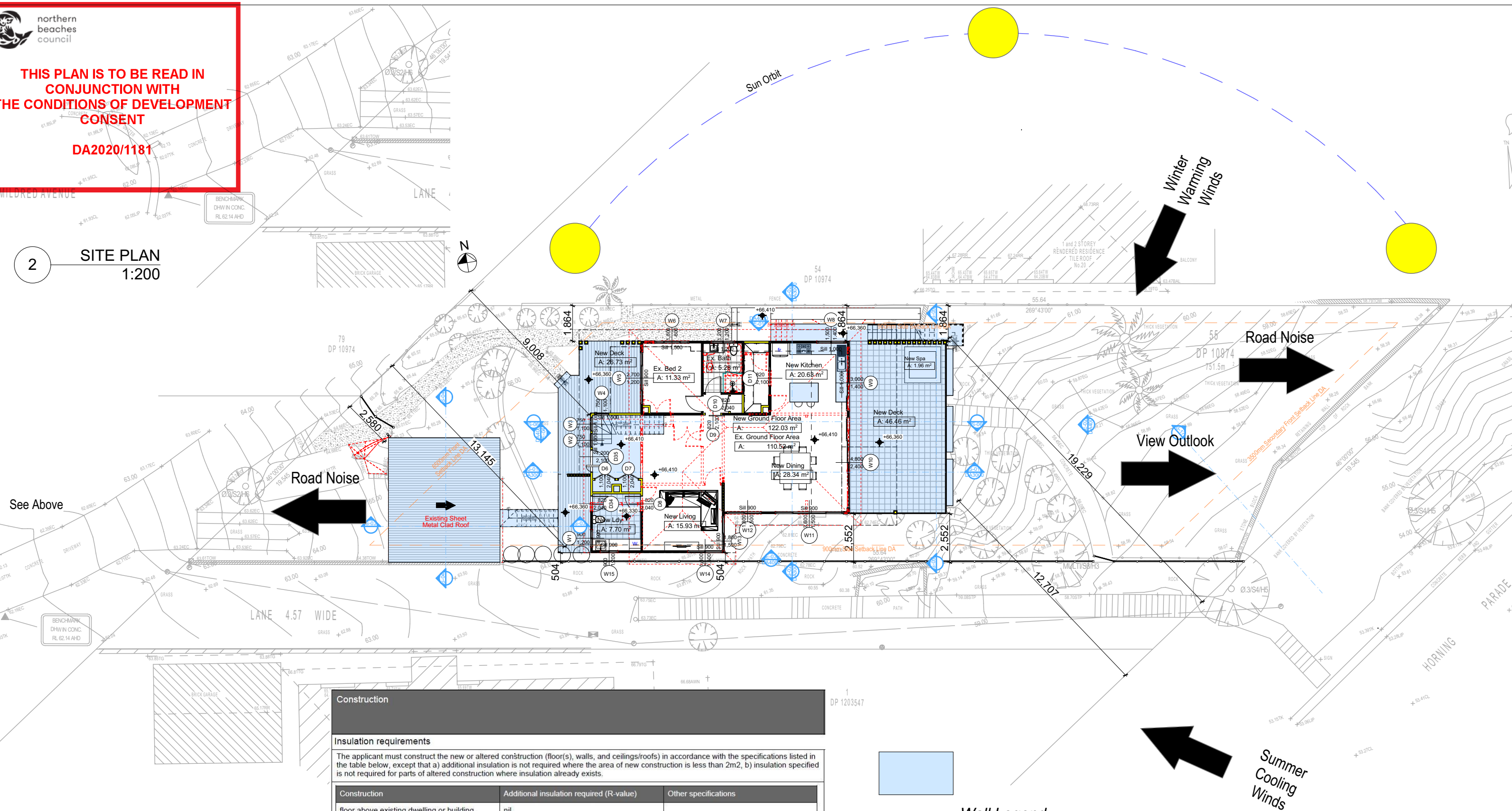
northern
beaches
council

THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT

DA2020/1181

2

SITE PLAN
1:200

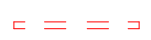


Construction

Insulation requirements

The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.

Construction	Additional insulation required (R-value)	Other specifications
floor above existing dwelling or building.	nil	
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)	
flat ceiling, flat roof: framed	ceiling: R1.82 (up), roof: foil/sarking	light (solar absorbance < 0.475)



Wall Legend

- Denotes New Timber Framed Wall
- Denotes Existing Wall
- Denotes Demolished Item

NOTES

38 Mildred Avenue Manly Vale is zoned R2 Low Density Res.
All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
38 Mildred Avenue Manly Vale is not considered a heritage item

Certifying

The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Construction

Framed, Framed Walls
Roof Framed to have R1.82 Insulation
Insulation to External Framed Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix

Basix Certificate Number A389601
All Plans to be read in conjunction with Basix Certificate
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:
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The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

DA APPLICATION
ONLY
NOT FOR CONSTRUCTION

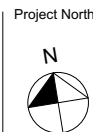


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Builder to Check and Confirm
all Measurements Prior to
Commencement of any works.
Immediately Report any
Discrepancies to Rapid Plans



Project North

Checked
Plot Date:
Project NO.
Project Status

GBJ
23/11/2020
RP0620GAN
DA Rev1
Client
Site:
Sheet Size: A3

DRAWING TITLE :

SITE AND LOCATION
SITE PLAN

PROJECT NAME :

Alterations & Additions

REVISION NO.

1

DATE:

20-11-2020

DRAWING NO.

DA1004

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	751.5m ²	Yes	Building envelope	4m@45Deg	Variable
Housing Density (dwelling/m ²)	1	Yes	% of landscape open space (40% min)	46%	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Variable	Impervious area (m ²)	54%	Yes
Max Bldg Ht Above Nat. GL	8.5m	Variable	Maximum cut into grd (m)	1046mm	Yes
Front Setback (Min.)	6.5m/3.5m	Variable	Maximum depth of fill (m)	2210mm	Yes
Rear Setback (Min.)	6.0m	Yes	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	0.9m	Variable			



northern
beaches
council

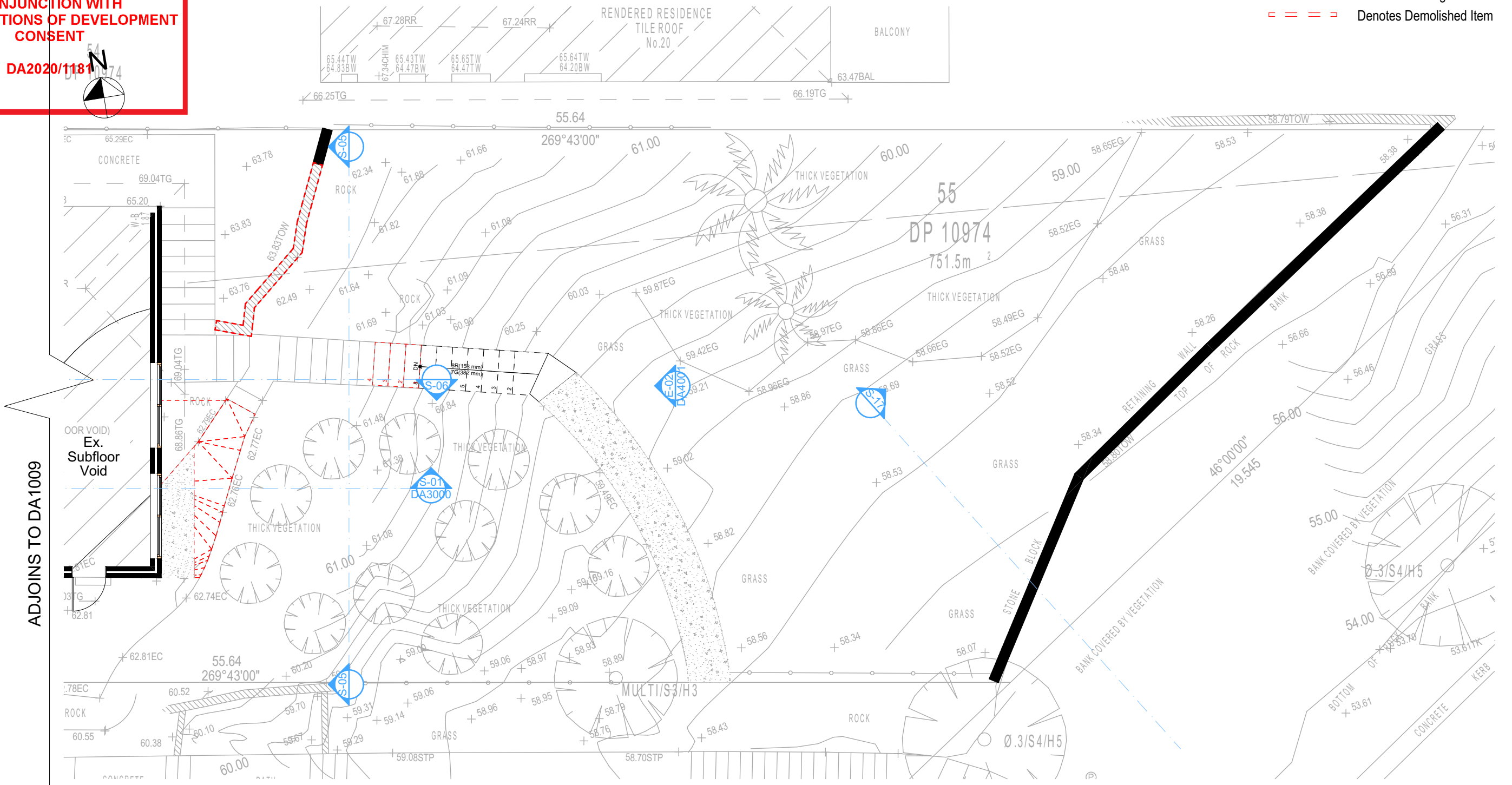
THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT

DA2020/1181

Wall Legend

Denotes Existing Wall

Denotes Demolished Item



1

DEMOLITION GARAGE

1:100

All Demolition to be done in Accordance with Australian
Standards, BCA and Workcover Regulations

DA APPLICATION
ONLY
NOT FOR CONSTRUCTION

NOTES

38 Mildred Avenue Manly Vale is zoned R2 Low Density Res.

All Plans to be read in conjunction with Basix Certificate

New Works to be constructed shown in Shaded/Blue

38 Mildred Avenue Manly Vale is not considered a heritage item

Certifying

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Construction

Framed, Framed Walls

Roof Framed to have R1.82 Insulation

Insulation to External Framed Walls R1.70

Refer to Engineers drawings for structural details

All work to Engineers Specification and BCA

Timber framing to BCA and AS 1684

Termite Management to BCA and AS 3660.1

Glazing to BCA and AS01288-2047

Waterproofing to BCA and AS 3740

New Lighting to have minimum of 40% compact fluorescent lamps

Basix

Basix Certificate Number A389601

All Plans to be read in conjunction with Basix Certificate

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Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	751.5m2	Yes	Building envelope	4m@45Deg	Variable
Housing Density (dwelling/m2)	1	Yes	% of landscape open space (40% min)	46%	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Variable	Impervious area (m2)	54%	Yes
Max Bldg Ht Above Nat. GL	8.5m	Variable	Maximum cut into gnd (m)	1046mm	Yes
Front Setback (Min.)	6.5m/3.5m	Variable	Maximum depth of fill (m)	2210mm	Yes
Rear Setback (Min.)	6.0m	Yes	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	0.9m	Variable			



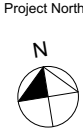
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Checked
Plot Date:
Project NO.
Project Status

GBJ
23/11/2020
RP0620GAN
DA Rev1

Client
Site:

Sohum Gandhi
38 Mildred Avenue Manly Vale

Sheet Size: A3

DRAWING TITLE :

SITE AND LOCATION

Demolition Lower Ground
Floor Plan 2

PROJECT NAME :

Alterations & Additions

REVISION NO.

1

DATE

20-11-2020

DRAWING NO.

DA1010

REVISION NO.
1
DATE.
20-11-2020
DRAWING NO.
DA1011



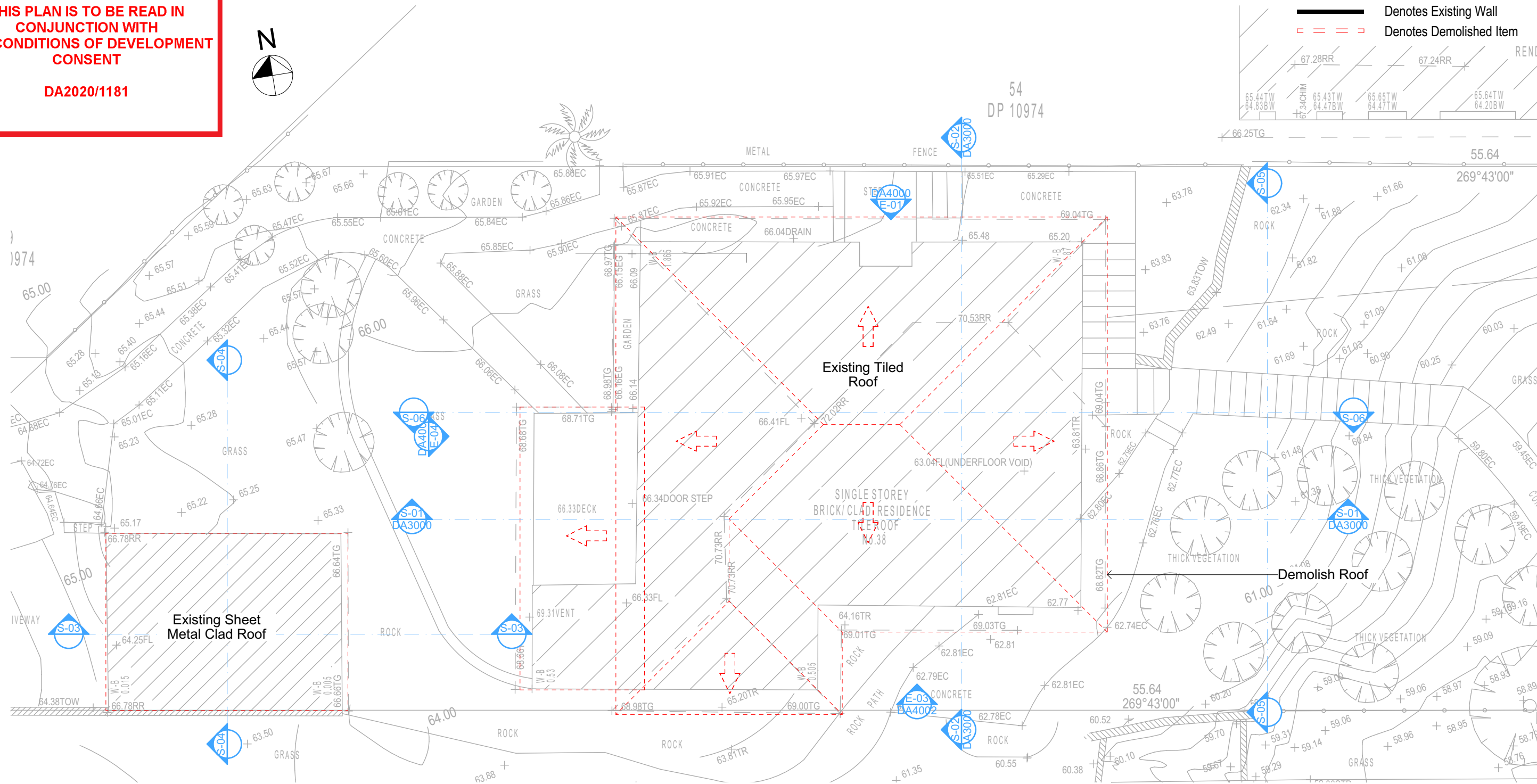
THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT

DA2020/1181



Wall Legend

— Denotes Existing Wall
= = = Denotes Demolished Item



3

DEMOLITION FIRST FLOOR

1:100

All Demolition to be done in Accordance with Australian
Standards, BCA and Workcover Regulations

**DA APPLICATION
ONLY**
NOT FOR CONSTRUCTION

NOTES

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All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
38 Mildred Avenue Manly Vale is not considered a heritage item

Certifying

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Construction

Framed, Framed Walls
Roof Framed to have R1.82 Insulation
Insulation to External Framed Walls R1.70
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Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix

Basix Certificate Number A389601

All Plans to be read in conjunction with Basix Certificate

The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:
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Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	751.5m ²	Yes	Building envelope	4m@45Deg	Variable
Housing Density (dwelling/m ²)	1	Yes	% of landscape open space (40% min)	46%	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Variable	Impervious area (m ²)	54%	Yes
Max Bldg Ht Above Nat. GL	8.5m	Variable	Maximum cut into grd (m)	1046mm	Yes
Front Setback (Min.)	6.5m/3.5m	Variable	Maximum depth of fill (m)	2210mm	Yes
Rear Setback (Min.)	6.0m	Yes	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	0.9m	Variable			

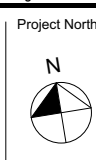


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Immediately Report any
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Checked
Plot Date:
Project NO.
Project Status

GBJ
23/11/2020
RP0620GAN
DA Rev1

Client
Site:

Sohum Gandhi
38 Mildred Avenue Manly Vale

Sheet Size: A3

DRAWING TITLE :
SITE AND LOCATION
Demolition First Floor Plan

PROJECT NAME :
Alterations & Additions

REVISION NO.
1
DATE:
20-11-2020
DRAWING NO.
DA1012



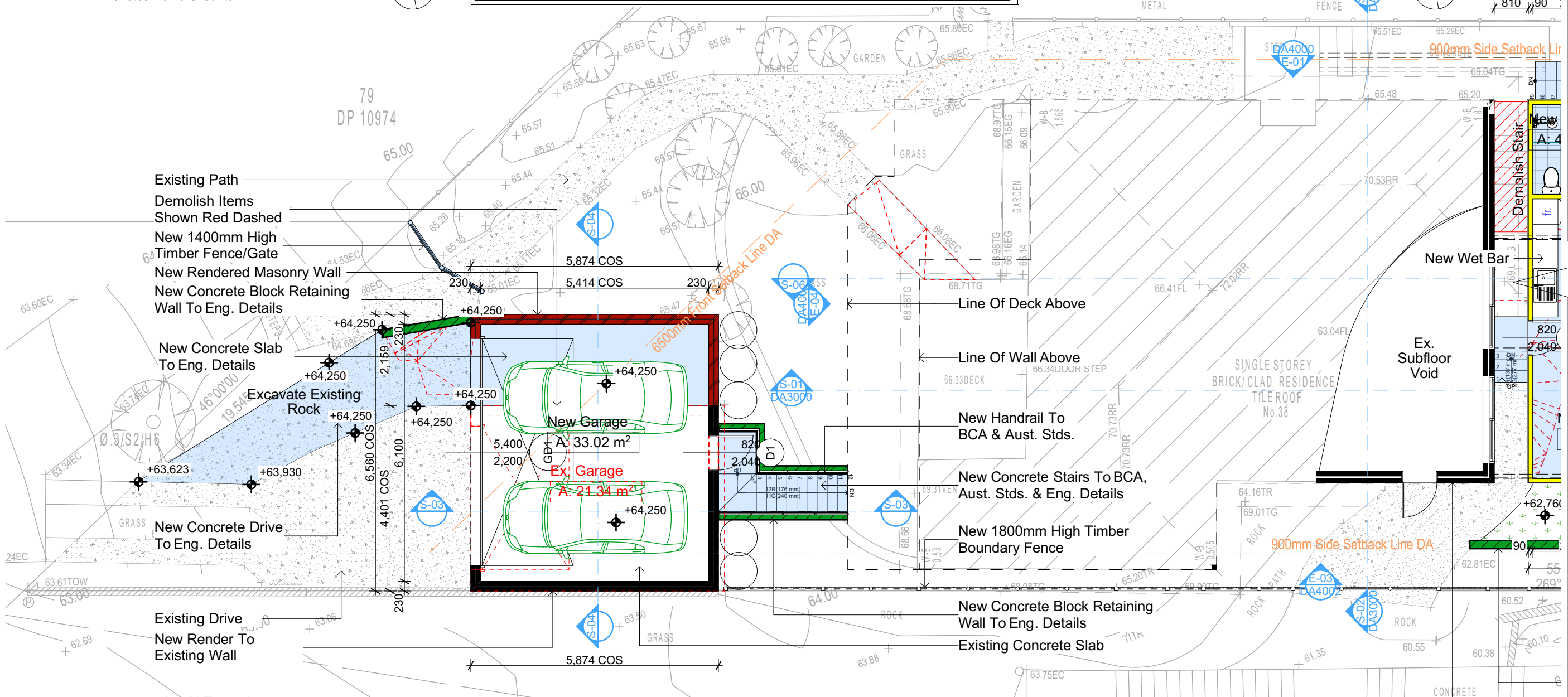
northern
beaches
council

**THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT**

- Wall Legend**
- Denotes New Works
 - Denotes New Timber Framed Wall
 - DA2020/1181
 - Denotes New Masonry Wall
 - Denotes New Concrete Block Wall
 - Denotes Existing Wall
 - Denotes Demolished Item



Construction		
Insulation requirements		
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m ² , b) insulation specified is not required for parts of altered construction where insulation already exists.		
Construction	Additional insulation required (R-value)	Other specifications
floor above existing dwelling or building.	nil	
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)	
flat ceiling, flat roof: framed	ceiling: R1.82 (up), roof: foil/sarking	light (solar absorbance < 0.475)



ADJOINS TO DA2002

1 GARAGE/LOWER GROUND 1:100

**DA APPLICATION
ONLY
NOT FOR CONSTRUCTION**

NOTES
38 Mildred Avenue Manly Vale is zoned R2 Low Density Res.
All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
38 Mildred Avenue Manly Vale is not considered a heritage item

Certifying
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Construction
Framed, Framed Walls
Roof Framed to have R1.82 Insulation
Insulation to External Framed Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix
Basix Certificate Number A389601
All Plans to be read in conjunction with Basix Certificate
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:
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Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	751.5m ²	Yes	Building envelope	4m@45Deg	Variable
Housing Density (dwelling/m ²)	1	Yes	% of landscape open space (40% min)	46%	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Variable	Impervious area (m ²)	54%	Yes
Max Bldg Ht Above Nat. GL	8.5m	Variable	Maximum cut into grd (m)	1046mm	Yes
Front Setback (Min.)	6.5m/3.5m	Variable	Maximum depth of fill (m)	2210mm	Yes
Rear Setback (Min.)	6.0m	Yes	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	0.9m	Variable			



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Checked
Plot Date: 23/11/2020
Project NO: RP0620GAN
Project Status: DA Rev1
Client: Sohum Gandhi
Site: 38 Mildred Avenue Manly Vale
Sheet Size: A3

DRAWING TITLE :
**PLANS
LOWER GROUND FLOOR**
PROJECT NAME :
Alterations & Additions

REVISION NO.
1
DATE:
20-11-2020
DRAWING NO.
DA2001

**THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT**

New Rendered 90mm Timber Framed Wall
Refurbish Existing Bath
Existing Timber Floor Frame

New James Hardie Scyon Axon
Cladded 90mm Timber Framed Wall
New Timber Post
New Timber Stairs & Handrail
To BCA & Aust. Stds.

Existing Stud Wall

New Timber Framed Sheet
Metal Roof Pitch 2°
Existing Sheet
Metal Clad Roof

New Concrete Stairs To BCA,
Aust. Stds. & Eng. Details

New Timber Deck To BCA & AS1684
Lift Existing Floor 80mm To
Meet Ground Floor Level
Wet Areas To Be Waterproofed
To BCA & Aust. Stds.

New Concrete Slab To Eng. Details

New Timber Stairs & Handrail To
BCA & Aust. Stds.

New Timber Post

New 2KL Lockable Spa To
Manufacturers & Eng. Details

Line Of Roof Above
Demolish Items
Shown Red Dashed

New Timber Deck To BCA &
AS1684

New Min 350mm Wide Awning In
Accordance With Basix Certificate

Line Of Wall Above
Line Of Deck Above

New Handrail To BCA & Aust. Stds.
New Timber Post

Denotes New Works

Wall Legend

Denotes New Timber Framed Wall
Denotes Existing Wall
Denotes Demolished Item

NOTES

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All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
38 Mildred Avenue Manly Vale is not considered a heritage item

Certifying

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Certificate drawings by Rapid Plans

Construction

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Roof Framed to have R1.82 Insulation
Insulation to External Framed Walls R1.70
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All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact
fluorescent lamps

Basix

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Max Bldg Ht Above Nat. GL	8.5m	Variable	Maximum cut into grd (m)	1046mm	Yes
Front Setback (Min.)	6.5m/3.5m	Variable	Maximum depth of fill (m)	2210mm	Yes
Rear Setback (Min.)	6.0m	Yes	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	0.9m	Variable			

**DA APPLICATION
ONLY
NOT FOR CONSTRUCTION**

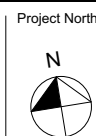


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BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA

bdaa
ACCREDITED
BUILDING DESIGNER

Builder to Check and Confirm
all Measurements Prior to
Commencement of any works.
Immediately Report any
Discrepancies to Rapid Plans



Project North
Checked
Plot Date: 23/11/2020
Project NO: RP0620GAN
Project Status: DA Rev1
Client: Sohum Gandhi
Site: 38 Mildred Avenue Manly Vale
Sheet Size: A3

DRAWING TITLE :
**PLANS
GROUND FLOOR**
PROJECT NAME :
Alterations & Additions

REVISION NO.
1
DATE:
20-11-2020
DRAWING NO.
DA2003

**THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT**

DA2020/1181

Wet Areas To Be Waterproofed
To BCA & Aust. Stds.

Line Of Wall Below

Line Of Roof Above

New James Hardie Scyon Axon
Cladded 90mm Timber Framed Wall

New Timber Stairs & Handrail
To BCA & Aust. Stds.

New Handrail To
BCA & Aust. Stds.

New Timber Framed
Sheet Metal Roof Pitch 2°

Existing Sheet
Metal Clad Roof

New Timber Floor Frame To
BCA & Aust. Stds.
W29 To Use Privacy Frosting
Up To 1.5m From FFL

NOTES

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Construction

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Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact
fluorescent lamps

Basix

Basix Certificate Number A389601
All Plans to be read in conjunction with Basix Certificate
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or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

3

FIRST FLOOR
1:100

**DA APPLICATION
ONLY
NOT FOR CONSTRUCTION**

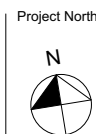


Rapid Plans
www.rapidplans.com.au
PO Box 6193 Frenchs Forest
NSW 2086
Fax: (02) 9305-8865
Mobile: 0414-945-024
Email: greg@rapidplans.com.au
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Project North

Checked
Plot Date:
Project NO.
Project Status

Client
Site:

Sheet Size: A3

GBJ
23/11/2020
RP0620GAN
DA Rev1

DRAWING TITLE :

**PLANS
FIRST FLOOR**

PROJECT NAME :

Alterations & Additions

REVISION NO.

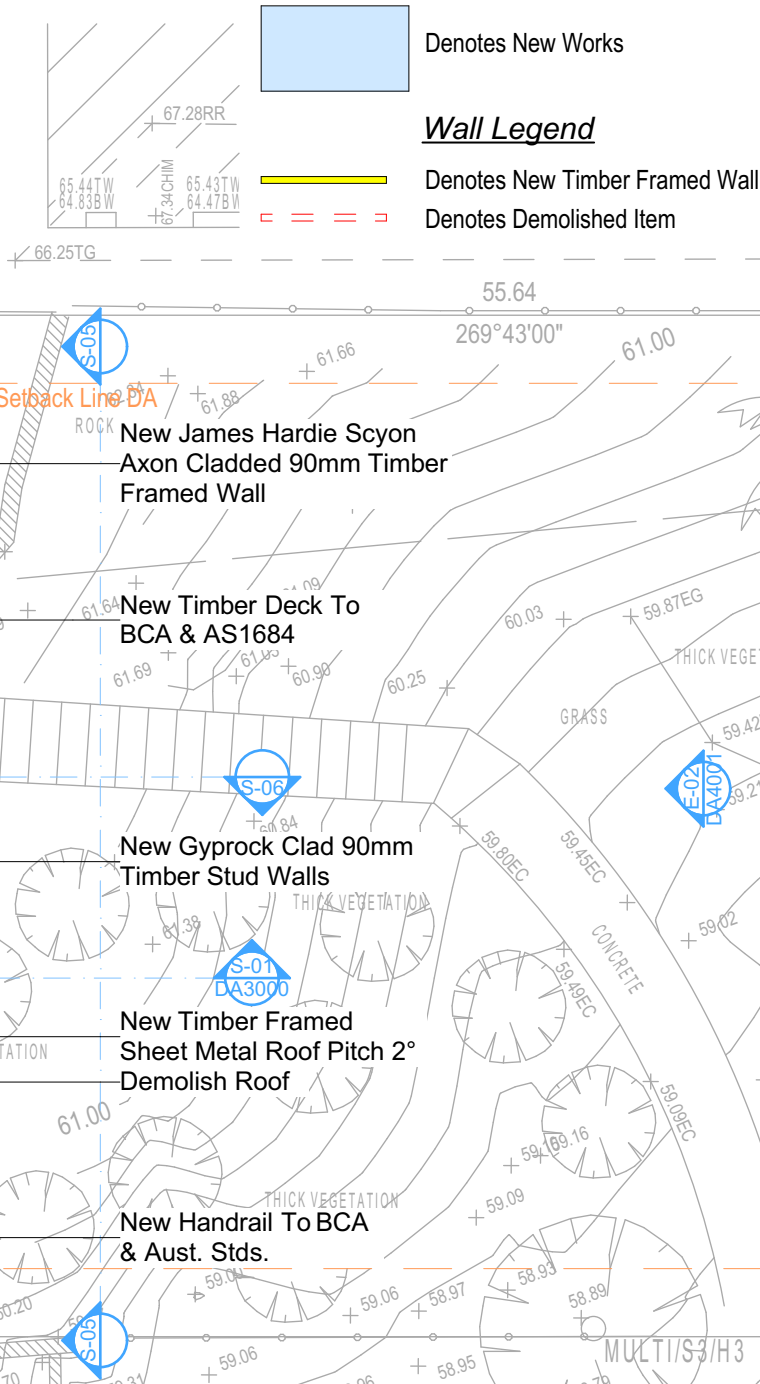
1
DATE:
20-11-2020
DRAWING NO.
DA2004

Denotes New Works

Wall Legend

Denotes New Timber Framed Wall

Denotes Demolished Item



Construction		
Insulation requirements		
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m ² , b) insulation specified is not required for parts of altered construction where insulation already exists.		
Construction	Additional insulation required (R-value)	Other specifications

floor above existing dwelling or building.	nil	
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)	
flat ceiling, flat roof: framed	ceiling: R1.82 (up), roof: foil/sarking	light (solar absorbance < 0.475)

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	751.5m ²	Yes	Building envelope	4m@45Deg	Variable
Housing Density (dwelling/m ²)	1	Yes	% of landscape open space (40% min)	46%	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Variable	Impervious area (m ²)	54%	Yes
Max Bldg Ht Above Nat. GL	8.5m	Variable	Maximum cut into grd (m)	1046mm	Yes
Front Setback (Min.)	6.5m/3.5m	Variable	Maximum depth of fill (m)	2210mm	Yes
Rear Setback (Min.)	6.0m	Yes	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	0.9m	Variable			

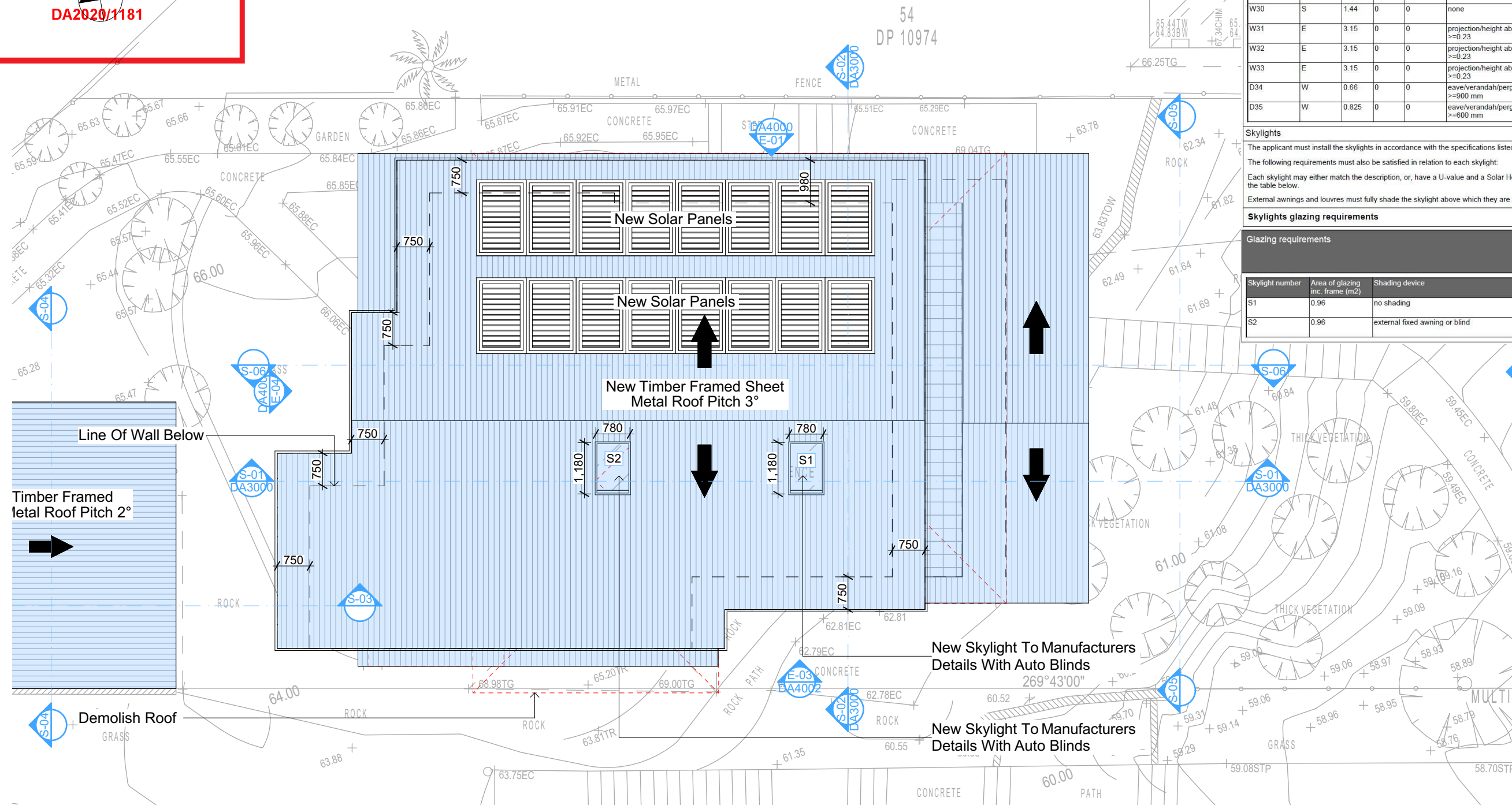
**THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT**

DA2020/1181

Denotes New Works

Legend

Denotes Demolished Item



Glazing requirements						
Window / door no.	Orientation	Area of glass inc. frame (m2)	Overshadowing Height (m)	Distance (m)	Shading device	Frame and glass type
W29	S	3.24	0	0	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W30	S	1.44	0	0	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W31	E	3.15	0	0	projection/height above sill ratio >=0.23	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
W32	E	3.15	0	0	projection/height above sill ratio >=0.23	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
W33	E	3.15	0	0	projection/height above sill ratio >=0.23	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
D34	W	0.66	0	0	eave/verandah/ pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
D35	W	0.825	0	0	eave/verandah/ pergola/balcony >=900 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)

Skylights

The applicant must install the skylights in accordance with the specifications listed in the table below.

The following requirements must also be satisfied in relation to each skylight:

Each skylight may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below.

External awnings and louvers must fully shade the skylight above which they are situated when fully drawn or closed.

Skylights glazing requirements			
Skylight number	Area of glazing inc. frame (m2)	Shading device	Frame and glass type
S1	0.96	no shading	aluminium, moulded plastic single clear, (or U-value: 6.21, SHGC: 0.808)
S2	0.96	external fixed awning or blind	aluminium, moulded plastic single clear, (or U-value: 6.21, SHGC: 0.808)

4

Roof Plan

1:100

DA APPLICATION ONLY

NOT FOR CONSTRUCTION

NOTES

38 Mildred Avenue Manly Vale is zoned R2 Low Density Res.

All Plans to be read in conjunction with Basix Certificate

New Works to be constructed shown in Shaded/Blue

38 Mildred Avenue Manly Vale is not considered a heritage item

Certifying

The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Construction

Framed, Framed Walls

Roof Framed to have R1.82 Insulation

Insulation to External Framed Walls R1.70

Refer to Engineers drawings for structural details

All work to Engineers Specification and BCA

Timber framing to BCA and AS 1684

Termite Management to BCA and AS 3660.1

Glazing to BCA and AS01288-2047

Waterproofing to BCA and AS 3740

New Lighting to have minimum of 40% compact fluorescent lamps

Basix

Basix Certificate Number A389601

All Plans to be read in conjunction with Basix Certificate

The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:

a) additional insulation is not required where the area of new construction is less than 2m2

b) insulation specified is not required for parts of altered construction where insulation already exists.

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.

For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

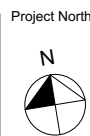
Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	751.5m2	Yes	Building envelope	4m@45Deg	Variable
Housing Density (dwelling/m2)	1	Yes	% of landscape open space (40% min)	46%	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Variable	Impervious area (m2)	54%	Yes
Max Bldg Ht Above Nat. GL	8.5m	Variable	Maximum cut into grd (m)	1046mm	Yes
Front Setback (Min.)	6.5m/3.5m	Variable	Maximum depth of fill (m)	2210mm	Yes
Rear Setback (Min.)	6.0m	Yes	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	0.9m	Variable			



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all Measurements Prior to
Commencement of any works.
Immediately Report any
Discrepancies to Rapid Plans**



Checked
Plot Date:
Project NO.
Project Status

GBJ
23/11/2020
RP0620GAN
DA Rev1

Client
Site:

Sohum Gandhi
38 Mildred Avenue Manly Vale

Sheet Size: A3

DRAWING TITLE :

**PLANS
ROOF**

PROJECT NAME :

Alterations & Additions

REVISION NO.

1

DATE:
20-11-2020

DRAWING NO.
DA2005

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT
DA2024/1181

New Skylight To Manufacturers Details With Auto Blinds
New Timber Floor Frame To BCA & Aust. Stds.

+72,360
5 ROOF
+71,860
4 FCL

New Rendered 90mm
Timber Framed Wall

New Handrail To BCA & Aust. Stds.

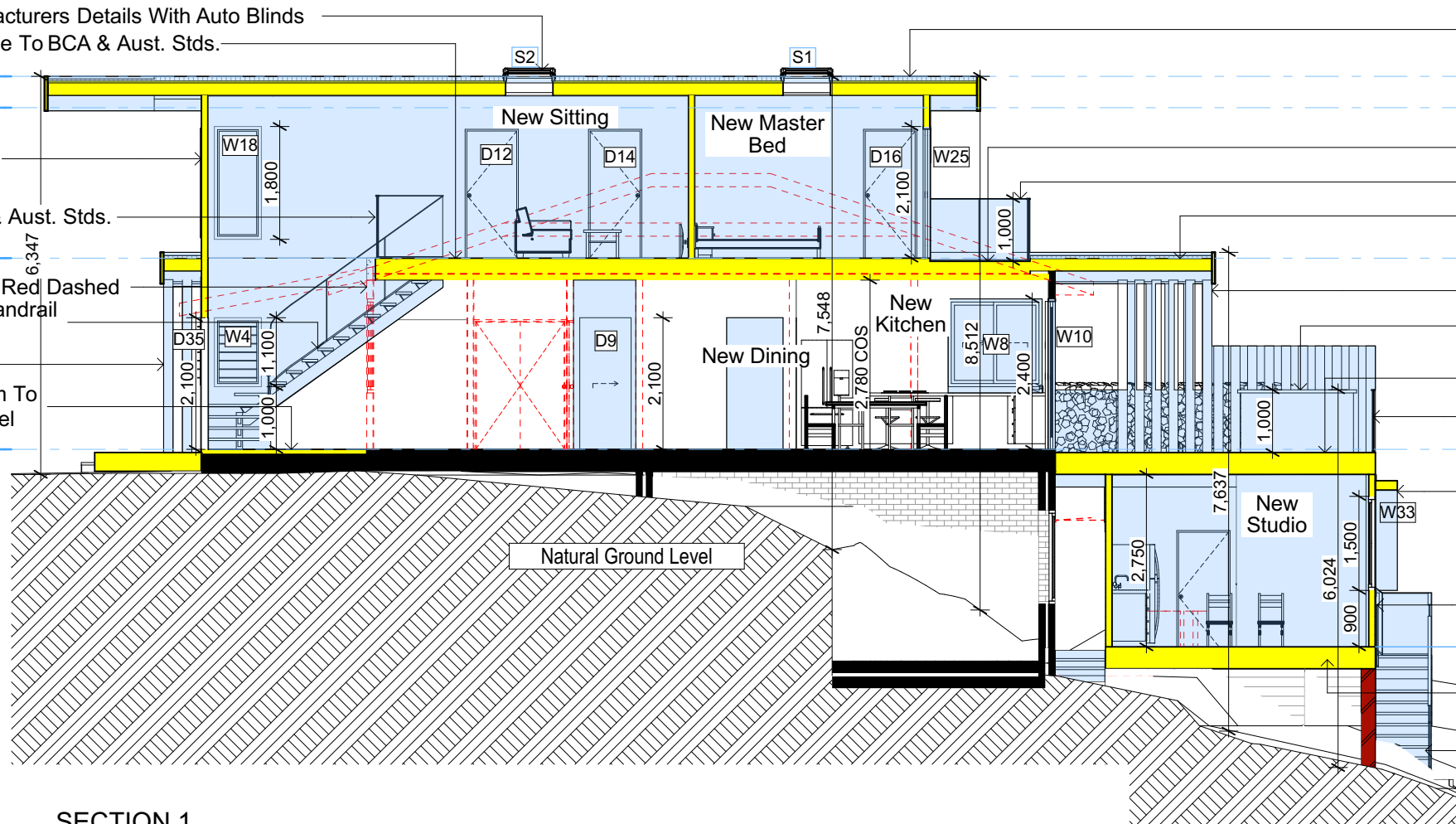
+69,460
3 FIRST FLOOR

Demolish Items Shown Red Dashed
New Timber Stairs & Handrail
To BCA & Aust. Stds.

New Timber Post

Lift Existing Floor 80mm To
Meet Ground Floor Level

+66,410
2 GROUND FLOOR



SECTION 1
1:100

New Timber Framed Sheet
Metal Roof Pitch 3°

+72,360
5 ROOF
+71,860

4 FCL
New Timber Deck To BCA &
AS1684

New Handrail To BCA & Aust. Stds.
New Timber Framed
Sheet Metal Roof Pitch 2°

+69,460
3 FIRST FLOOR

New Timber Post
New 2KL Lockable Spa To
Manufacturers & Eng. Details

New Timber Deck To BCA &
AS1684

New Handrail To BCA & Aust. Stds.
+66,410
2 GROUND FLOOR

New Min 350mm Wide Awning In
Accordance With Basix Certificate

New James Hardie Scyon Axon
Cladded 90mm Timber Framed Wall
+63,260
1 LWR GROUND

New Timber Floor Frame To BCA &
Aust. Stds.

New Timber Stairs & Handrail To
BCA & Aust. Stds.

New Gyprock Clad 90mm
Timber Stud Walls

+72,360
5 ROOF
+71,860
4 FCL

New Timber Floor Frame
To BCA & Aust. Stds.

+69,460
3 FIRST FLOOR

Demolish Items
Shown Red Dashed

New 1800mm High
Timber Boundary Fence

+66,410
2 GROUND FLOOR

Existing Timber
Floor Frame

New Timber Framed Sheet
Metal Roof Pitch 3°

+72,360
5 ROOF
+71,860
4 FCL

New James Hardie Scyon Axon
Cladded 90mm Timber Framed Wall

New Timber Framed Sheet
Metal Roof Pitch 2°

+69,460
3 FIRST FLOOR

Existing Stud Wall

New Concrete Slab To Eng.
Details

+66,410
2 GROUND FLOOR

Denotes New Works

Wall Legend

- Denotes New Timber Framed Wall
- Denotes New Concrete
- Denotes Existing Wall
- Denotes Demolished Item

SECTION 2
1:100

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The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

NOTES
38 Mildred Avenue Manly Vale is zoned R2 Low Density Res.
All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue

Construction
Framed, Framed Walls
Roof Framed to have R1.82 Insulation
Insulation to External Framed Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber Framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS1079-2007
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Basix
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Basix Certificate Number A389601
All Plans to be read in conjunction with Basix Certificate
The applicant must construct the new or altered construction (floor, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, gopola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	751.5m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Variable
Max Bldg Ht Above Nat. GL	8.5m	Variable
Front Setback (Min.)	6.5m/3.5m	Variable
Rear Setback (Min.)	6.0m	Yes
Min. side bdy setback (Min.)	0.9m	Variable
Building envelope	4m@ 45Deg	Variable
% of landscape open space (40% min)	46%	Yes
Impervious area (m ²)	54%	Yes
Maximum cut into gnd (m)	1046mm	Yes
Maximum depth of fill (m)	2210mm	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North
N

Drawn | Checked GBJ
Plot Date: 23/11/2020
Project NO.: RP0820CAN
Project Status DA Rev1

Client: Sohum Gandhi

Site: 38 Mildred Avenue Manly Vale

DRAWING TITLE: SECTIONS SECTION 1

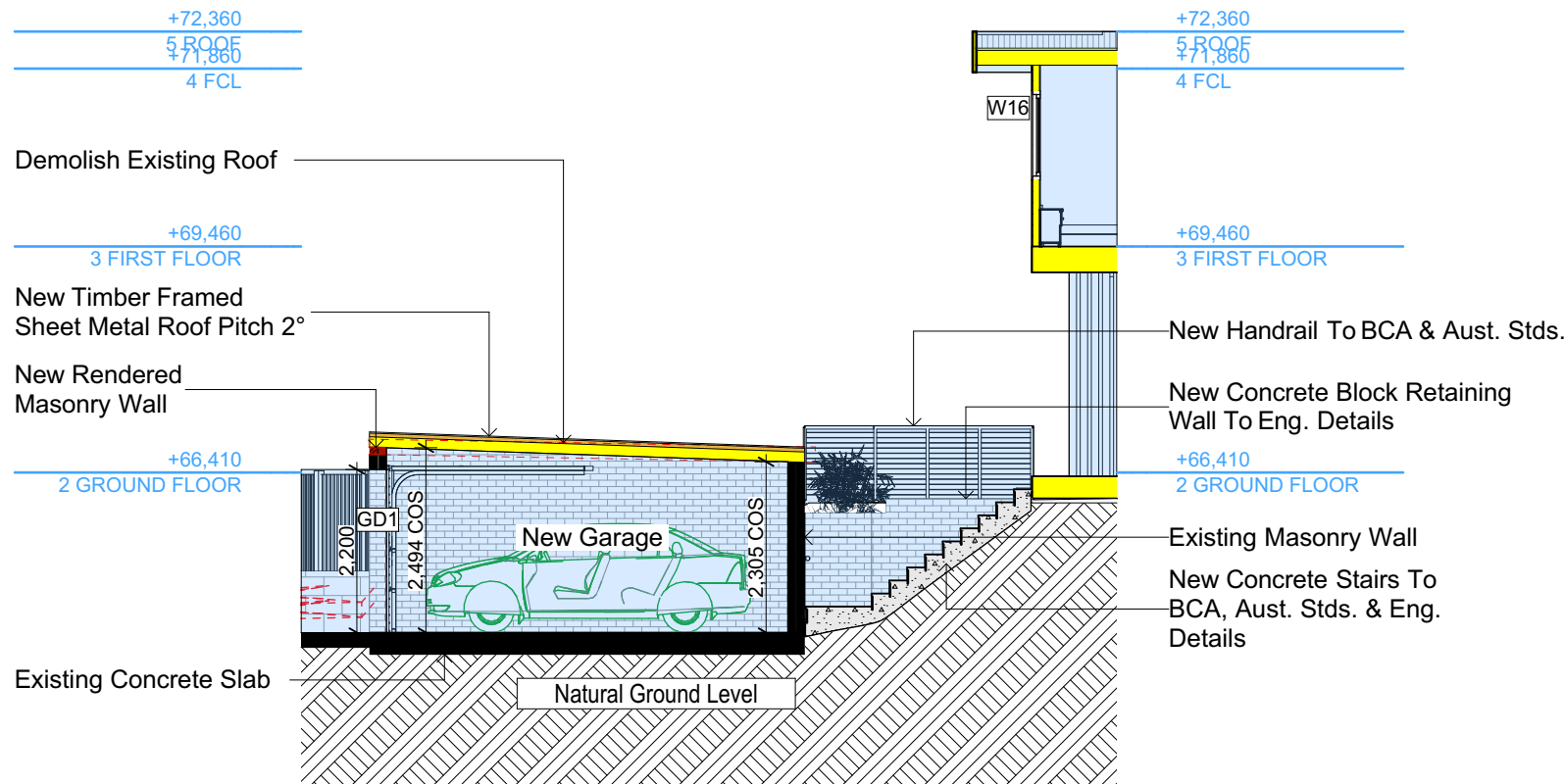
PROJECT NAME: Alterations & Additions

REVISION NO. DATE
1 20-11-2020
DRAWING NO. DA3000

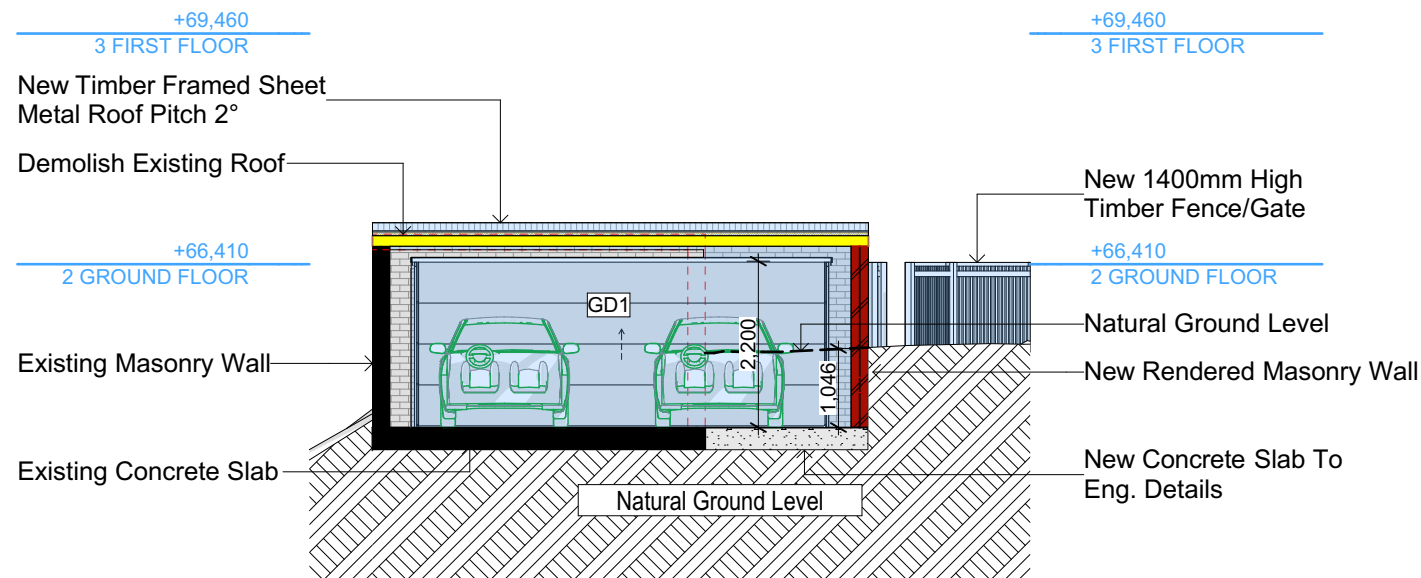
Plot Date: 23/11/2020
Sheet Size: A3

THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT

DA2020/1181



S-03
-
Section Garage
1:100



S-04
-
Section Garage
1:100

Denotes New Works

Wall Legend

- Denotes New Timber Framed Wall
- Denotes New Masonry Wall
- Denotes New Concrete
- Denotes Existing Wall
- Denotes Demolished Item

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NOTES
38 Mildred Avenue Manly Vale is zoned R2 Low Density Res.
All Plans to be read in conjunction with Basic Certificate
New Works to be constructed shown in Shaded/Blue

Construction
Framed, Framed Walls
Roof Framed to have R1.82 Insulation
Insulation to External Framed Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS1078-2007
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Certifying
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Basic
Basic Certificate Number A389601
All Plans to be read in conjunction with Basic Certificate
The applicant must construct the new or altered construction (floor (s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each space, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	751.5m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Variable
Max Bldg Ht Above Nat. GL	8.5m	Variable
Front Setback (Min.)	6.5m/3.5m	Variable
Rear Setback (Min.)	6.0m	Yes
Min. side bdy setback (Min.)	0.9m	Variable
Building envelope	4m@ 45Deg	Variable
% of landscape open space (40% min)	46%	Yes
Impervious area (m ²)	54%	Yes
Maximum cut into gnd (m)	1046mm	Yes
Maximum depth of fill (m)	2210mm	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

Drawn | Checked GBJ
Plot Date: 23/11/2020
Project NO.: RP0820CAN
Project Status DA Rev1

Client: Sohum Gandhi

Site: 38 Mildred Avenue Manly Vale

DRAWING TITLE: SECTIONS
SECTION GARAGE

PROJECT NAME: **Alterations & Additions**

REVISION NO.	DATE
1	20-11-2020

DRAWING NO.: **DA3002**

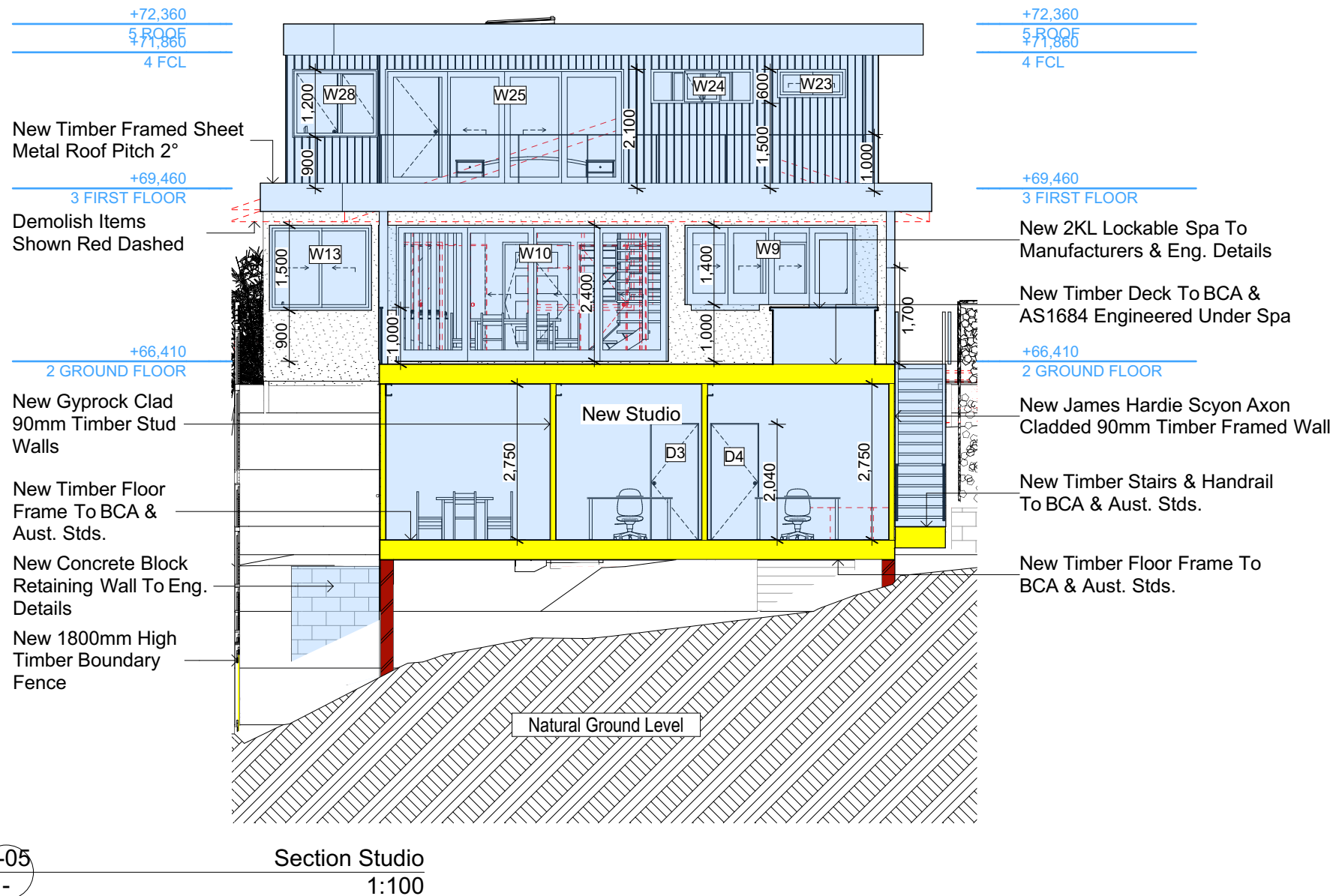
Plot Date: 23/11/2020
Sheet Size: A3

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THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT

DA2020/1181

Construction		
Insulation requirements		
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.		
Construction	Additional insulation required (R-value)	Other specifications
floor above existing dwelling or building.	nil	
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)	
flat ceiling, flat roof: framed	ceiling: R1.82 (up), roof: foil/sarking	light (solar absorptance < 0.475)



Denotes New Works

Wall Legend

Denotes New Timber Framed Wall

Denotes Demolished Item

Rapid Plans
Building Design and Architectural Drafting

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Ph: (02) 9350-8545 Mob: 0414-545-024
Email: info@rapidplans.com.au

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The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

NOTES
38 Mildred Avenue Manly Vale is zoned R2 Low Density Res.
38 Mildred Avenue Manly Vale is not considered a heritage item
All Plans to be read in conjunction with Basic Certificate
New Works to be constructed shown in Shaded/Blue

Construction
Framed, Framed Walls
Roof Framed to have R1.82 Insulation
Insulation to External Framed Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS1078-2007
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Certifying
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Basic
Basic Certificate Number A389601
All Plans to be read in conjunction with Basic Certificate
The applicant must construct the new or altered construction (floor (s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, gopola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	751.5m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Variable
Max Bldg Ht Above Nat. GL	8.5m	Variable
Front Setback (Min.)	6.5m/3.5m	Variable
Rear Setback (Min.)	6.0m	Yes
Min. side bdy setback (Min.)	0.9m	Variable
Building envelope	4m@ 45Deg	Variable
% of landscape open space (40% min)	46%	Yes
Impervious area (m2)	54%	Yes
Maximum cut into gnd (m)	1046mm	Yes
Maximum depth of fill (m)	2210mm	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

Drawn | Checked GBJ
Plot Date: 23/11/2020
Project NO.: RP0820CAN
Project Status DA Rev1

Client Sohum Gandhi

Site: 38 Mildred Avenue Manly Vale

DRAWING TITLE : SECTIONS
SECTION Studio

PROJECT NAME : **Alterations & Additions**

REVISION NO.	DATE
1	20-11-2020

DRAWING NO. **DA3003**

Plot Date: 23/11/2020
Sheet Size: A3

**DA APPLICATION
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NOT FOR CONSTRUCTION**



THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT

DA2020/1181



Denotes New Works

Legend



Denotes Existing Concrete



Denotes Demolished Item

Max Building Height 8500 Above GL

Max Ceiling Height 7200 Above GL

New James Hardie Scyon Axon
Cladded 90mm Timber Framed Wall

+72,360

5 ROOF

4 FCL

New Handrail To BCA & Aust. Stds.

New Timber Framed Sheet
Metal Roof Pitch 2°

+69,460

3 FIRST FLOOR

New Timber Post

New Timber Privacy Screen
New Timber Deck To BCA &
AS1684

+66,410

2 GROUND FLOOR

New Min 350mm Wide
Awning In Accordance With
Basix Certificate

New Timber Stairs & Handrail
To BCA & Aust. Stds.

New Timber Framed Sheet
Metal Roof Pitch 3°

+72,360

5 ROOF

4 FCL

New James Hardie Scyon Axon
Cladded 90mm Timber Framed Wall

New Rendered 90mm
Timber Framed Wall

+69,460

3 FIRST FLOOR

New Timber Post

New Handrail To BCA &
Aust. Stds.

+66,410

2 GROUND FLOOR

Block In Window To Match Existing

Natural Ground Level

E-01

North
1:100

Glazing requirements

Windows and glazed doors

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.

The following requirements must also be satisfied in relation to each window and glazed door:

Each window or glazed door with standard aluminium or timber frames and single clear or tinted glass may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions.

Each window or glazed door with improved frames, or pyrolytic low-e glass, or clear/air gap/clear glazing, or toned/air gap/clear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted.

For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

For projections described as a ratio, the ratio of the projection from the wall to the height above the window or glazed door sill must be at least that shown in the table below.

Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.

Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.

Windows and glazed doors glazing requirements

Window / door no.	Orientation	Area of glass inc. frame (m ²)	Height (m)	Distance (m)	Shading device	Frame and glass type
W1	W	1.08	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W2	W	0.825	0	0	projection/height above sill ratio >=0.36	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)

Glazing requirements

Window / door no.	Orientation	Area of glass inc. frame (m ²)	Height (m)	Distance (m)	Shading device	Frame and glass type
W3	W	0.825	0	0	projection/height above sill ratio >=0.36	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W4	N	0.825	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W5	W	3.24	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W6	N	1.08	0	0	eave/verandah/pergola/balcony >=600 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
W7	N	1.44	0	0	eave/verandah/pergola/balcony >=600 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
W8	N	2.1	0	0	eave/verandah/pergola/balcony >=600 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
W9	E	4.2	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W10	E	11.52	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W11	S	5.4	0	0	eave/verandah/pergola/balcony >=600 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W12	S	2.7	0	0	eave/verandah/pergola/balcony >=600 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W13	E	2.7	0	0	eave/verandah/pergola/balcony >=600 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
W14	S	2.7	0	0	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W15	S	1.08	0	0	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)

Glazing requirements

Window / door no.	Orientation	Area of glass inc. frame (m ²)	Height (m)	Distance (m)	Shading device	Frame and glass type
W16	W	3.24	0	0	eave/verandah/pergola/balcony >=750 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W17	W	5.22	0	0	eave/verandah/pergola/balcony >=750 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W18	N	1.35	0	0	eave/verandah/pergola/balcony >=750 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W19	W	3.24	0	0	eave/verandah/pergola/balcony >=750 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W20	N	1.44	0	0	eave/verandah/pergola/balcony >=750 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W21	N	1.08	0	0	eave/verandah/pergola/balcony >=750 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W22	N	0.3	0	0	eave/verandah/pergola/balcony >=750 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W23	E	0.6	0	0	eave/verandah/pergola/balcony >=750 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
W24	E	1.08	0	0	eave/verandah/pergola/balcony >=750 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
W25	E	8.82	0	0	eave/verandah/pergola/balcony >=750 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
W26	S	3.24	0	0	eave/verandah/pergola/balcony >=750 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W27	S	0.72	0	0	eave/verandah/pergola/balcony >=750 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W28	E	1.8	0	0	eave/verandah/pergola/balcony >=750 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)

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The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

NOTES
38 Mildred Avenue Manly Vale is zoned R2 Low Density Res.

38 Mildred Avenue Manly Vale is not considered a heritage item. All Plans to be read in conjunction with Basix Certificate

New Works to be constructed shown in Shaded/Blue

Construction
Framed Timber Walls

Roof Framed to have R1.82 Insulation

Insulation to External Framed Walls R1.70

Refer to Engineers drawings for structural details

All work to Engineers Specification and BCA

Timber framing to BCA and AS 1684

Termite Management to BCA and AS 3660.1

Glazing to BCA and AS/NZS 2047

Waterproofing to BCA and AS 3740

New Lighting to have minimum of 40% compact fluorescent lamps

All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Carrying
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for construction certificate application by any

Carrying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Basix
Basix Certificate Number A389601

All Plans to be read in conjunction with Basix Certificate

The applicant must construct the new or altered construction (floor

s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not

required where the area of new construction is less than 2m², b)

insulation specified is not required for parts of altered construction where insulation already exists.

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.

Relevant overshadowing specifications must be satisfied for each window and glazed door.

For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.



THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT

DA2020/1181

Glazing requirements							
Window no.	Window description	Area of glazing inc. frame (m ²)	Shading device	Frame and glass type	U-value	SHGC	SHGC
W29	S	3.24	0	0	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)	
W30	S	4.44	0	0	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)	
W31	E	3.15	0	0	projection/height above sill ratio >=0.23	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)	
W32	E	3.15	0	0	projection/height above sill ratio >=0.23	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)	
W33	E	3.15	0	0	projection/height above sill ratio >=0.23	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)	
D34	W	0.66	0	0	eave/verandah/ pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)	
D35	W	0.825	0	0	eave/verandah/ pergola/balcony >=600 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)	

Skylights

The applicant must install the skylights in accordance with the specifications listed in the table below.

The following requirements must also be satisfied in relation to each skylight:

Each skylight may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below.

External awnings and louvres must fully shade the skylight above which they are situated when fully drawn or closed.

Skylights glazing requirements

Glazing requirements

Skylight number	Area of glazing inc. frame (m ²)	Shading device	Frame and glass type
S1	0.96	no shading	aluminium, moulded plastic single clear, (or U-value: 6.21, SHGC: 0.808)
S2	0.96	external fixed awning or blind	aluminium, moulded plastic single clear, (or U-value: 6.21, SHGC: 0.808)

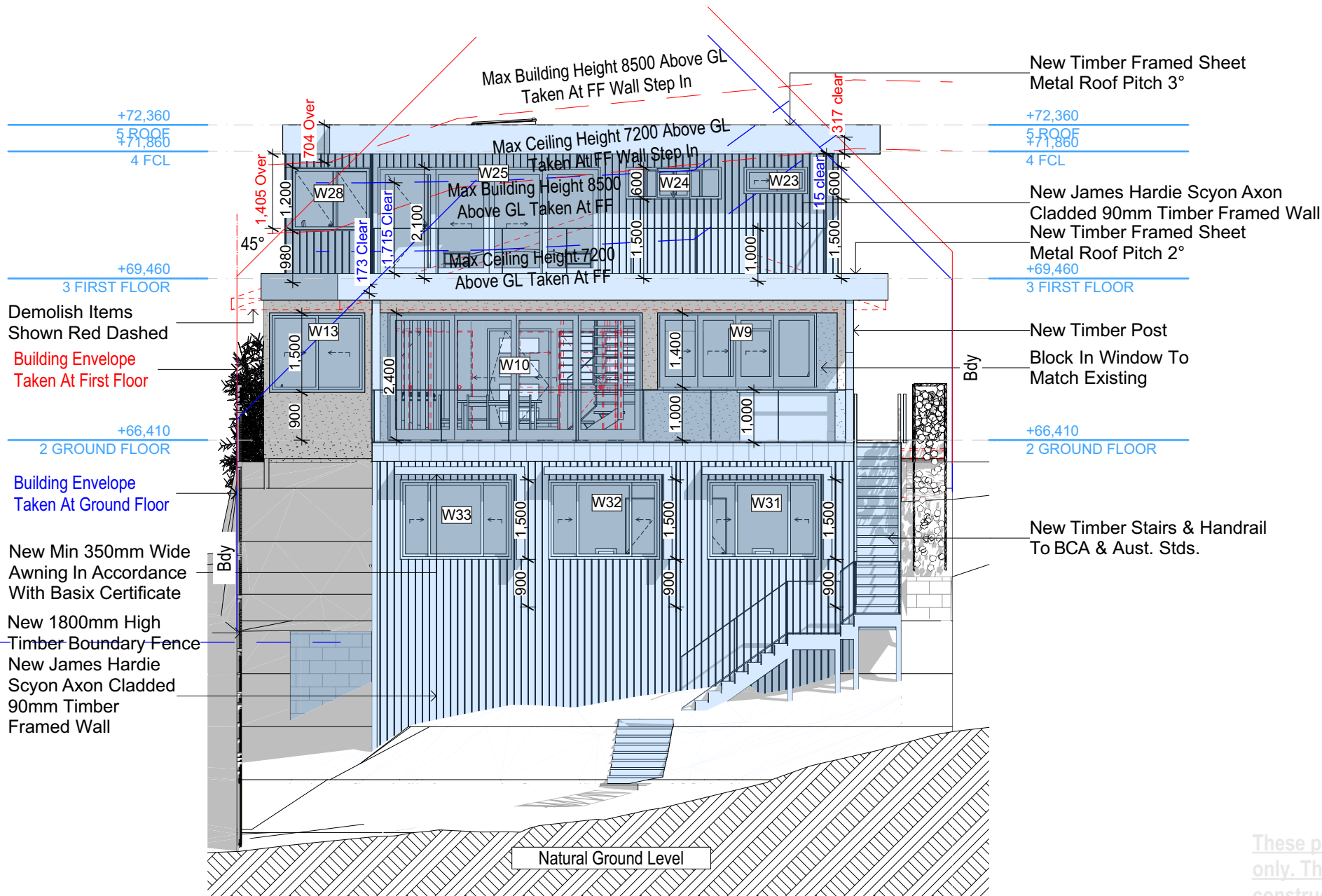


Denotes New Works

Legend



Denotes Demolished Item



E-02

East
1:100

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**BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA**

**ACCREDITED
BUILDING DESIGNER**

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The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

NOTES
38 Mildred Avenue Manly Vale is zoned R2 Low Density Res.
38 Mildred Avenue Manly Vale is not considered a heritage item
All Plans to be read in conjunction with Basic Certificate
New Works to be constructed shown in Shaded/Blue

Construction
Framed, Framed Walls
Roof Framed to have R1.82 Insulation
Insulation to External Framed Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS1029:2007
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Certifying
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Basic
Basic Certificate Number A389601
All Plans to be read in conjunction with Basic Certificate
The applicant must construct the new or altered construction (floor (s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	751.5m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Variable
Max Bldg Ht Above Nat. GL	8.5m	Variable
Front Setback (Min.)	6.5m/3.5m	Variable
Rear Setback (Min.)	6.0m	Yes
Min. side bdy setback (Min.)	0.9m	Variable
Building envelope	4m@ 45Deg	Variable
% of landscape open space (40% min)	46%	Yes
Impervious area (m ²)	54%	Yes
Maximum cut into gnd (m)	1046mm	Yes
Maximum depth of fill (m)	2210mm	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

Drawn | Checked GBJ
Plot Date: 23/11/2020
Project NO.: RP0820CAN
Project Status DA Rev1

Client: Sohum Gandhi

Site: 38 Mildred Avenue Manly Vale

DRAWING TITLE: ELEVATIONS 2

PROJECT NAME: Alterations & Additions

REVISION NO.	DATE
1	20-11-2020

DRAWING NO.: DA4001

Plot Date: 23/11/2020
Sheet Size: A3

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	751.5m ²	Yes	Building envelope	4m@45Deg	Variable
Housing Density (dwelling/m ²)	1	Yes	% of landscape open space (40% min)	46%	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Variable	Impervious area (m ²)	54%	Yes
Max Bldg Ht Above Nat. GL	8.5m	Variable	Maximum cut into gnd (m)	1046mm	Yes
Front Setback (Min.)	6.5m/3.5m	Variable	Maximum depth of fill (m)	2210mm	Yes
Rear Setback (Min.)	6.0m	Yes	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	0.9m	Variable			

THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT

Glazing requirements

Windows and glazed doors

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing and shading device specifications must be satisfied for each window and glazed door.

The following requirements must also be satisfied in relation to each window and glazed door:

Each window or glazed door with standard aluminium or timber frames and single clear or tinted glass may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions.

Each window or glazed door with improved frames, or pyrolytic low-e glass, or clear/air gap/clear glazing, or tinted/air gap/clear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted.

For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

For projections described as a ratio, the ratio of the projection from the wall to the height above the window or glazed door sill must be at least that shown in the table below.

Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.

Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.

Windows and glazed doors glazing requirements

Window / door no.	Orientation	Area of glass inc. frame (m ²)	Overshadowing Height (m)	Distance (m)	Shading device	Frame and glass type
W1	W	1.08	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W2	W	0.825	0	0	projection/height above sill ratio >=0.36	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)

Glazing requirements

Window / door no.	Orientation	Area of glass inc. frame (m ²)	Overshadowing Height (m)	Distance (m)	Shading device	Frame and glass type
W3	W	0.825	0	0	projection/height above sill ratio >=0.36	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W4	N	0.825	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W5	W	3.24	0	0	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W6	N	1.08	0	0	eave/verandah/pergola/balcony >=600 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
W7	N	1.44	0	0	eave/verandah/pergola/balcony >=600 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
W8	N	2.1	0	0	eave/verandah/pergola/balcony >=600 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
W9	E	4.2	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W10	E	11.52	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W11	S	5.4	0	0	eave/verandah/pergola/balcony >=600 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W12	S	2.7	0	0	eave/verandah/pergola/balcony >=600 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W13	E	2.7	0	0	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
W14	S	2.7	0	0	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W15	S	1.08	0	0	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)

Glazing requirements

Window / door no.	Orientation	Area of glass inc. frame (m ²)	Overshadowing Height (m)	Distance (m)	Shading device	Frame and glass type
W16	W	3.24	0	0	eave/verandah/pergola/balcony >=750 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W17	W	5.22	0	0	eave/verandah/pergola/balcony >=750 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W18	N	1.35	0	0	eave/verandah/pergola/balcony >=750 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W19	W	3.24	0	0	eave/verandah/pergola/balcony >=750 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W20	N	1.44	0	0	eave/verandah/pergola/balcony >=750 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W21	N	1.08	0	0	eave/verandah/pergola/balcony >=750 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W22	N	0.3	0	0	eave/verandah/pergola/balcony >=750 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W23	E	0.6	0	0	eave/verandah/pergola/balcony >=750 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
W24	E	1.08	0	0	eave/verandah/pergola/balcony >=750 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
W25	E	8.82	0	0	eave/verandah/pergola/balcony >=750 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
W26	S	3.24	0	0	eave/verandah/pergola/balcony >=750 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W27	S	0.72	0	0	eave/verandah/pergola/balcony >=750 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W28	E	1.8	0	0	eave/verandah/pergola/balcony >=750 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)



Denotes New Works



Denotes New Concrete Block Wall



Denotes New Concrete

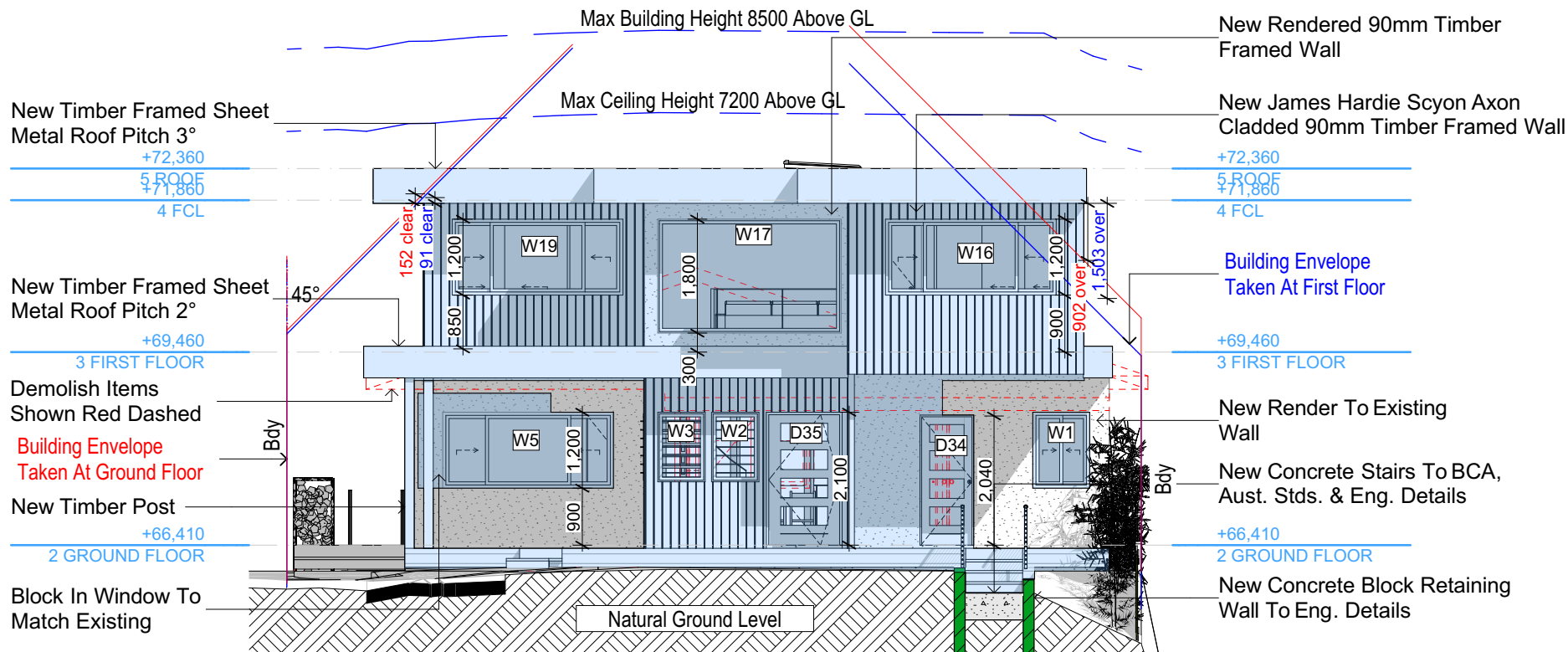


Denotes Existing Concrete



Denotes Demolished Item

Legend



Glazing requirements

Window / door no.	Orientation	Area of glass inc. frame (m ²)	Overshadowing Height (m)	Distance (m)	Shading device	Frame and glass type
W29	S	3.24	0	0	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W30	S	1.44	0	0	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W31	E	3.15	0	0	projection/height above sill ratio >=0.23	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
W32	E	3.15	0	0	projection/height above sill ratio >=0.23	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
W33	E	3.15	0	0	projection/height above sill ratio >=0.23	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
D34	W	0.66	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
D35	W	0.825	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)

Skylights

The applicant must install the skylights in accordance with the specifications listed in the table below.

The following requirements must also be satisfied in relation to each skylight:

Each skylight may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below.

External awnings and louvers must fully shade the skylight above which they are situated when fully drawn or closed.

Skylights glazing requirements

Glazing requirements

Skylight number	Area of glazing inc. frame (m ²)	Shading device	Frame and glass type
S1	0.96	no shading	aluminium, moulded plastic single clear, (or U-value: 6.21, SHGC: 0.808)
S2	0.96	external fixed awning or blind	aluminium, moulded plastic single clear, (or U-value: 6.21, SHGC: 0.808)

NOTES

38 Mildred Avenue Manly Vale is zoned R2 Low Density Res. All Plans to be read in conjunction with Basix Certificate New Works to be constructed shown in Shaded/Blue 38 Mildred Avenue Manly Vale is not considered a heritage item

Certifying

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Construction

Framed, Framed Walls Roof Framed to have R1.82 Insulation Insulation to External Framed Walls R1.70 Refer to Engineers drawings for structural details All work to Engineers Specification and BCA Timber framing to BCA and AS 1684 Termite Management to BCA and AS 3660.1 Glazing to BCA and AS01288-2047 Waterproofing to BCA and AS 3740 New Lighting to have minimum of 40% compact fluorescent lamps

Basix

Basix Certificate Number A389601

All Plans to be read in conjunction with Basix Certificate

The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:

a) additional insulation is not required where the area of new construction is less than 2m²

b) insulation specified is not required for parts of altered construction where insulation already exists.

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.

For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

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Builder to Check and Confirm
all Measurements Prior to
Commencement of any works.
Immediately Report any
Discrepancies to Rapid Plans



Checked
Plot Date:
Project NO.
Project Status

GBJ
23/11/2020
RP0620GAN
DA Rev1

Client
Site:
Sohum Gandhi
38 Mildred Avenue Manly Vale

Sheet Size: A3

DRAWING TITLE :

ELEVATIONS
ELEVATIONS 4

PROJECT NAME :

Alterations & Additions

REVISION NO.

1

DATE:

20-11-2020

DRAWING NO.

DA4003



A photograph of a modern interior space. The wall is composed of numerous vertical wooden slats, creating a textured, rhythmic pattern. The floor is dark and appears to be made of wood or a similar material. In the foreground on the right, there is a potted plant with long, thin leaves. The lighting is soft and even, highlighting the natural grain of the wood.

A photograph of a modern, minimalist building facade. The building features a large, dark, rectangular window on the lower level and a smaller, illuminated rectangular window on the upper level. The building is set against a clear blue sky.

A photograph of a modern building's exterior. The building features dark, vertical-slat siding. There are three rectangular windows with dark frames. The building has a flat roof and a light-colored base section. A small, light-colored plant is visible in the foreground on the left.

<p>These plans are for DA Application purposes only. These plans are not to be used for construction certificate applications without the written permission of Rapid Construction.</p>	<p>DRAWING TITLE: SHADOW PLANS</p>
	<p>MATERIAL & COLOR</p>
	<p>SAMPLE BOARD</p>
<p>PROJECT NAME: Alterations &</p>	

DA APPLICATION
ONLY
NOT FOR CONSTRUCTION