

Rapid Plans www.rapidplans.com.au
P.O. Box 6193 Frenchs Forest DC NSW 2086
Fax: (02) 9905-8865 Mobile: 0414-945-024
Email: gregg@rapidplans.com.au



BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA



ACCREDITED
BUILDING DESIGNER

Alterations & Additions To Existing Residence

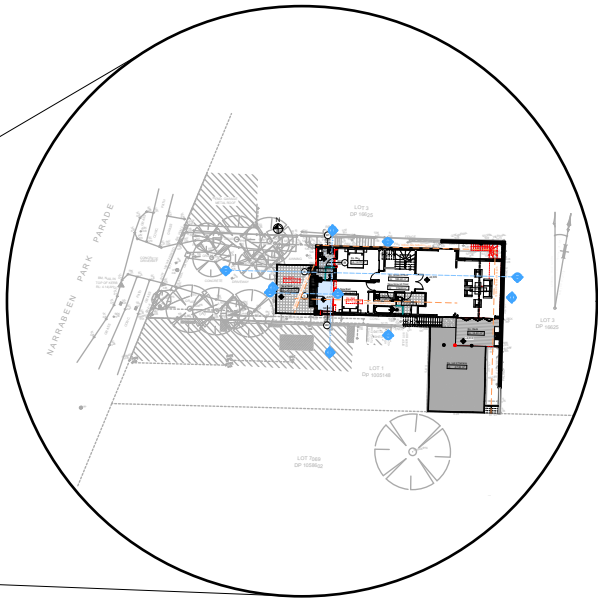
For Nigel Bramley

3 Narrabeen Park Parade, North Narrabeen

Lot 2 D.P. 1005148

Project Number: RP0523BRA

DRAWING No.	DESCRIPTION	REV	ISSUED DATE
DA1000	Cover Sheet	-	- 27-11-2023
DA1001	A4 NOTIFICATION PLAN	-	- 27-11-2023
DA1002	SITE SURVEY	-	- 27-11-2023
DA1003	SITE PLAN	-	- 27-11-2023
DA1004	Existing Lower Ground Floor Plan	-	- 27-11-2023
DA1005	Existing Ground Floor Plan	-	- 27-11-2023
DA1006	Existing First Floor Plan	-	- 27-11-2023
DA1007	Demolition Lower Ground Floor Plan	-	- 27-11-2023
DA1008	Demolition Ground Floor Plan	-	- 27-11-2023
DA1009	Demolition First Floor Plan	-	- 27-11-2023
DA1010	Landscape Open Space Plan Existing	-	- 27-11-2023
DA1011	Landscape Open Space Plan Proposed	-	- 27-11-2023
DA1012	Landscape Plan	-	- 27-11-2023
DA1013	Sediment & Erosion Plan	-	- 27-11-2023
DA1014	Waste Management Plan	-	- 27-11-2023
DA1015	Stormwater Plan	-	- 27-11-2023
DA2001	LOWER GROUND FLOOR	-	- 27-11-2023
DA2002	GROUND FLOOR	-	- 27-11-2023
DA2003	FIRST FLOOR	-	- 27-11-2023
DA2004	ROOF	-	- 27-11-2023
DA3000	SECTION 1	-	- 27-11-2023
DA3001	SECTION 2	-	- 27-11-2023
DA4000	ELEVATIONS 1	-	- 27-11-2023
DA4001	ELEVATIONS 2	-	- 27-11-2023
DA5000	PERSPECTIVE	-	- 27-11-2023
DA5001	MATERIAL & COLOUR SAMPLE BOARD	-	- 27-11-2023
DA5002	SHADOW PLAN 21st June 9am	-	- 27-11-2023
DA5003	SHADOW PLAN 21st June 12pm	-	- 27-11-2023
DA5004	SHADOW PLAN 21st June 3pm	-	- 27-11-2023



BASIX® Certificate

Building Sustainability Index www.basix.nsw.gov.au

Alterations and Additions

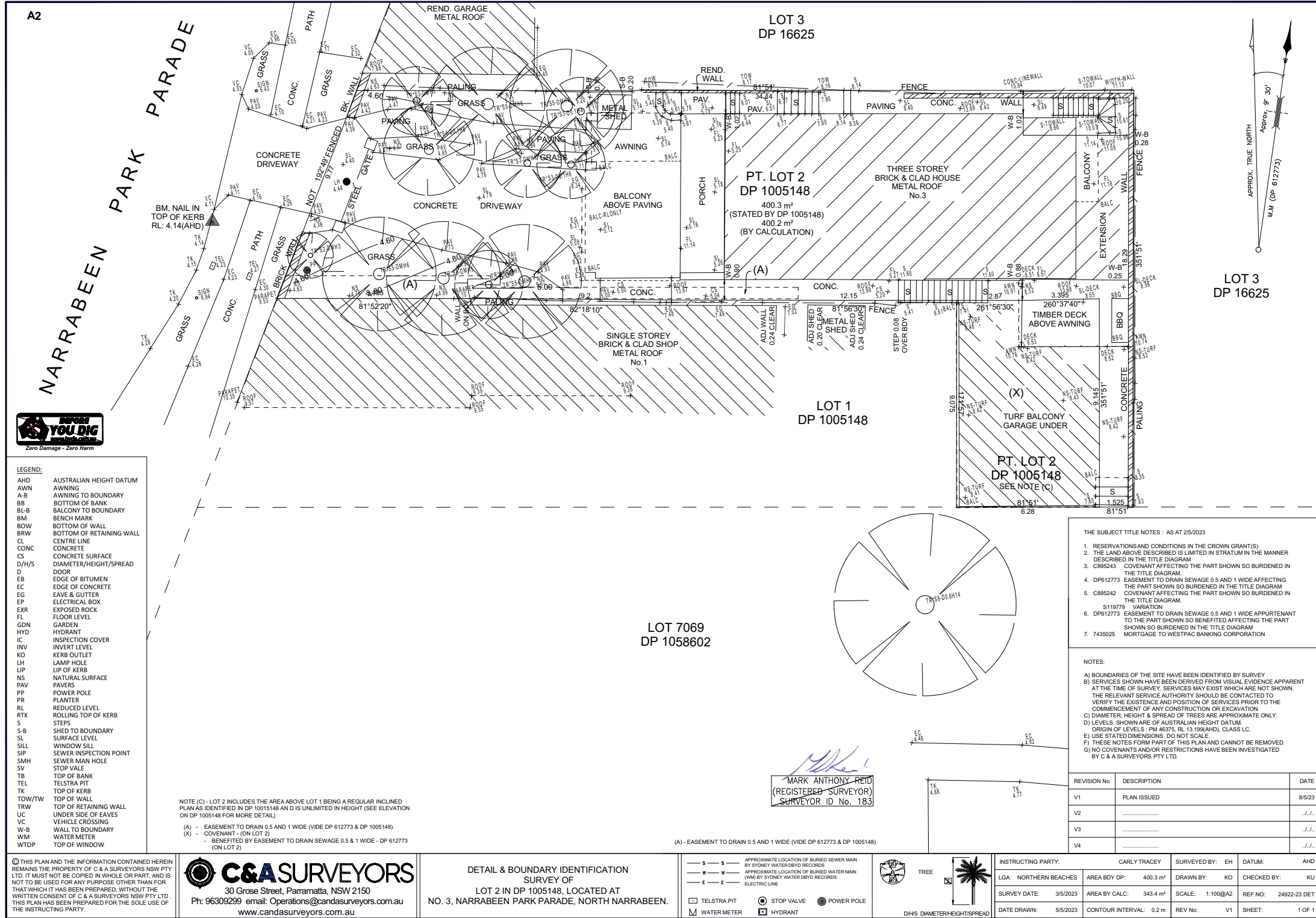
Certificate number: A1377533

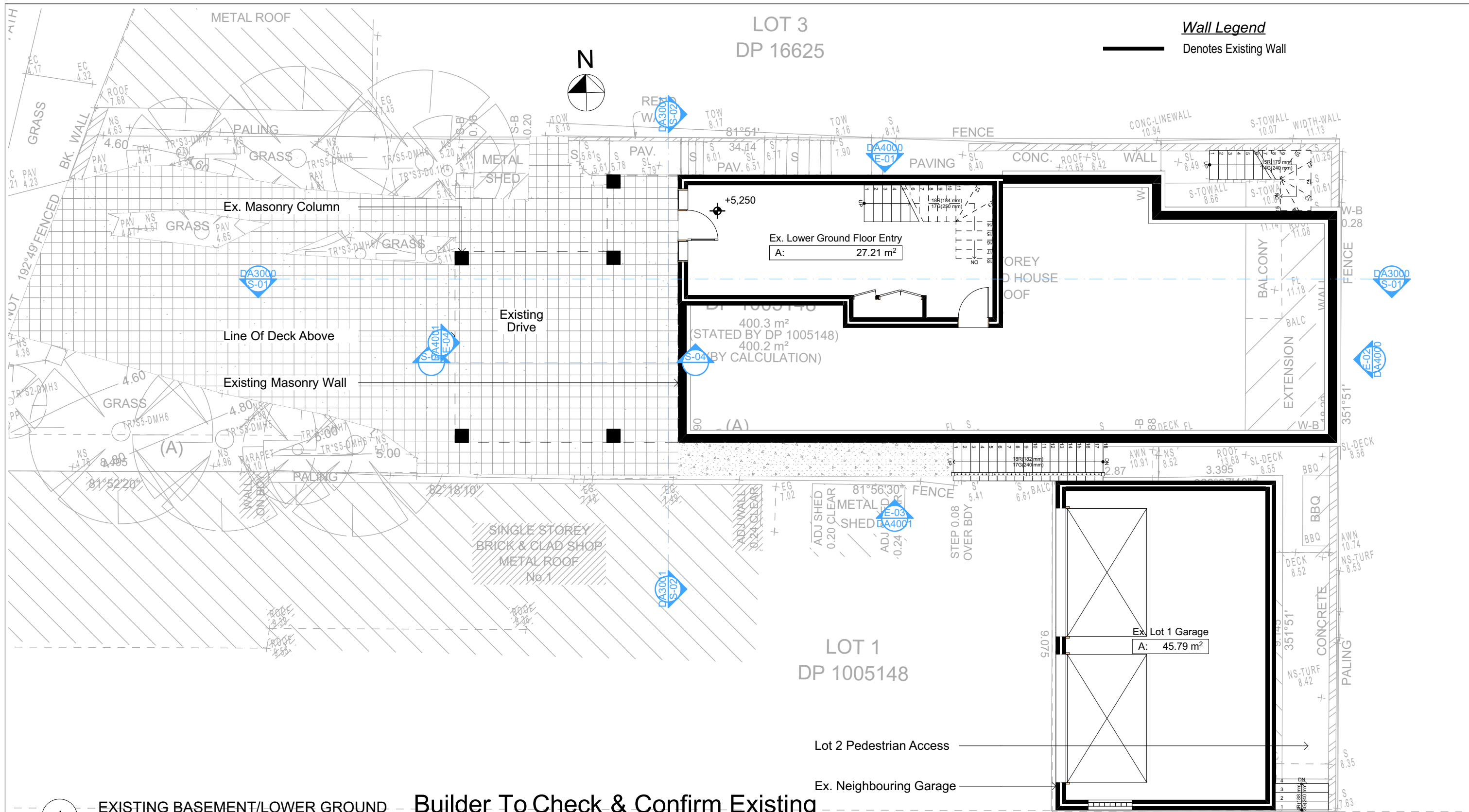
This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 10/09/2020 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary
Date of issue: Monday, 27 November 2023
To be valid, this certificate must be lodged within 3 months of the date of issue.



Project address	
Project name	Bramley
Street address	3 NARRABEEN PARK - NORTH NARRABEEN 2101
Local Government Area	Northern Beaches Council
Plan type and number	Deposited Plan DP1005148
Lot number	2
Section number	-
Project type	
Dwelling type	Separate dwelling house
Type of alteration and addition	My renovation work is valued at \$50,000 or more, and does not include a pool (and/or spa).
N/A	N/A
Certificate Prepared by (please complete before submitting to Council or PCA)	
Name / Company Name: RAPID PLANS PTY LTD	
ABN (if applicable): 43150064592	





1 EXISTING BASEMENT/LOWER GROUND 1:100

Builder To Check & Confirm Existing Measurements Prior to Commencement

DA APPLICATION ONLY
NOT FOR CONSTRUCTION

NOTES

3 Narrabeen Park Parade, North Narrabeen is zoned R2-Low Density Residential
All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
3 Narrabeen Park Parade, North Narrabeen is not considered a heritage item

Certifying

The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Construction

Timber Floor, Masonry Walls
Roof Timber to have R1.08 Insulation
Insulation to External Masonry Walls R1.7
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix

Basix Certificate Number A1377533

All Plans to be read in conjunction with Basix Certificate

The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:
a) additional insulation is not required where the area of new construction is less than 2m²
b) insulation specified is not required for parts of altered construction where insulation already exists.

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

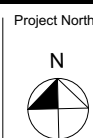
Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	400.3m ²	Yes	Building envelope	3.5m@45Deg	Variation
Housing Density (dwelling/m ²)	1	Yes	% of landscape open space (50% min)	Existing	Variation
Max Ceiling Ht Above Nat. GL	N/A	N/A	Impervious area (m ²)	Existing	Variation
Max Bldg Ht Above Nat. GL	8.5m	Yes	Maximum cut into grd (m)	N/A	Yes
Front Setback (Min.)	Estab.	Yes	Maximum depth of fill (m)	N/A	Yes
Rear Setback (Min.)	6.0m	N/A	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	18.2.5m	Variation			



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Rapid Plans 2023



Builder to Check and Confirm
all Measurements Prior to
Commencement of any works.
Immediately Report any
Discrepancies to Rapid Plans



Project North

Checked
Plot Date:
Project NO.
Project Status

GBJ
27/11/2023
RP0523BRA
DA

Client
Site:
Nigel Bramley
3 Narrabeen Park Parade, North
Narrabeen

Sheet Size: A3

DRAWING TITLE :

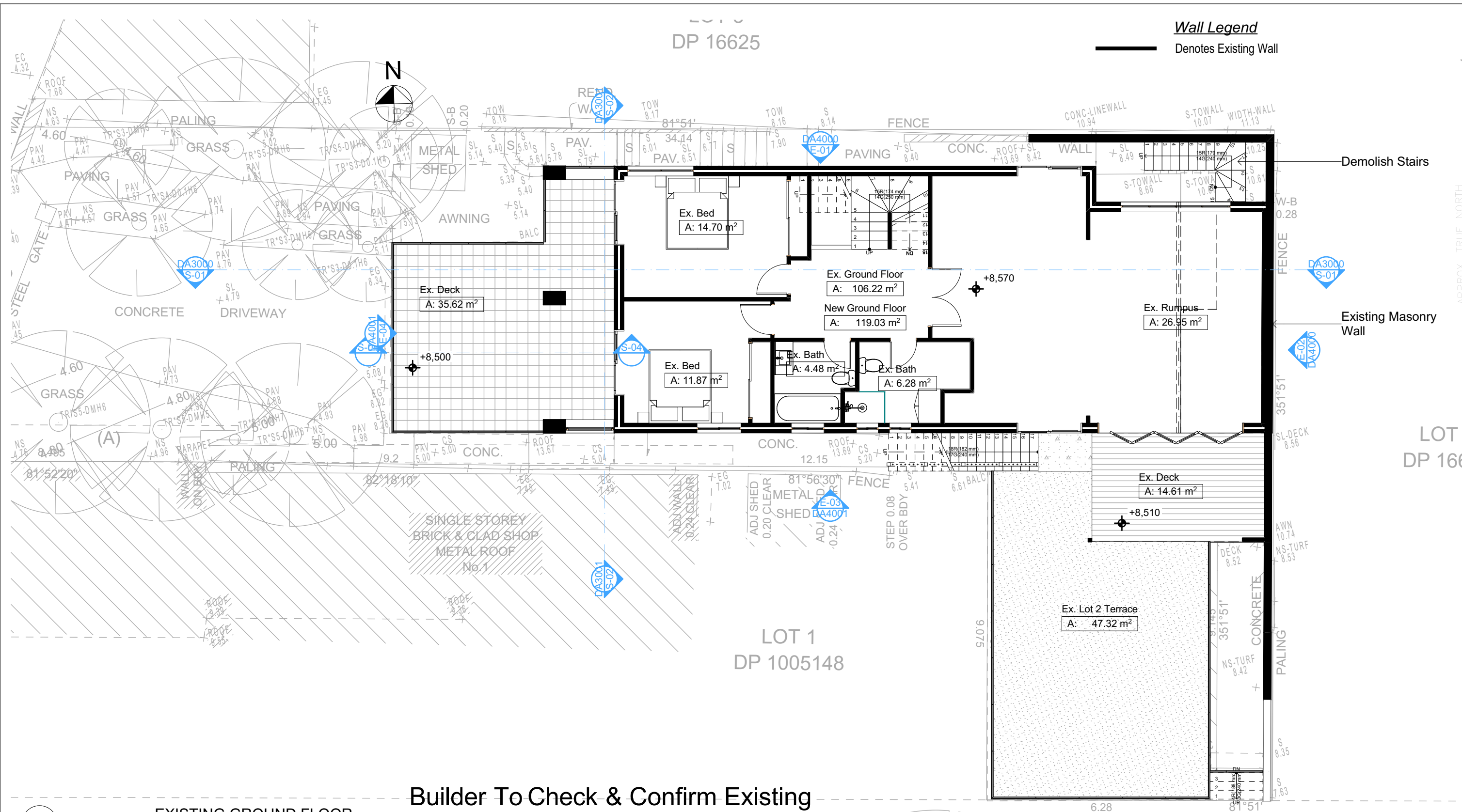
SITE AND LOCATION
**Existing Lower Ground
Floor Plan**

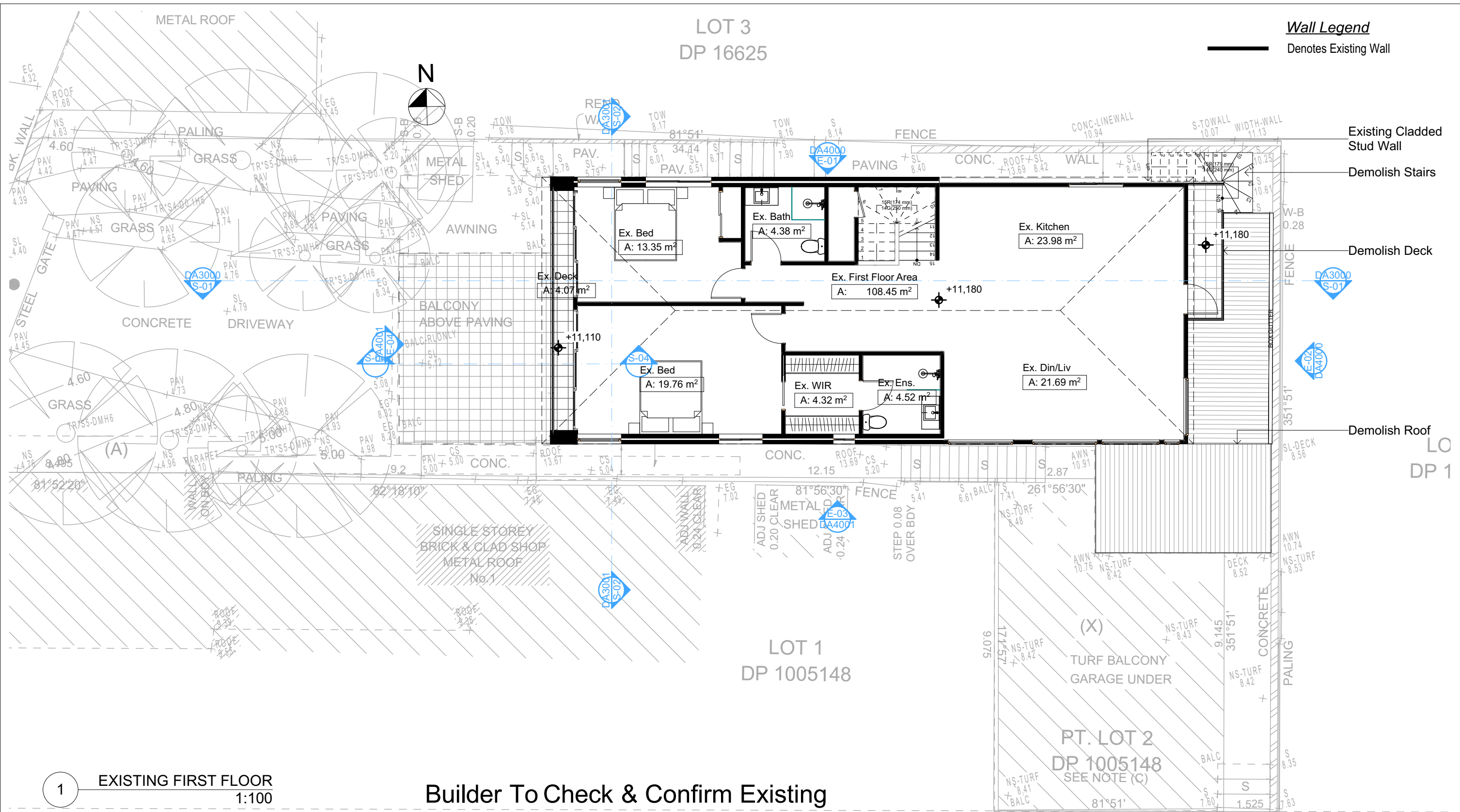
PROJECT NAME :

Alterations & Additions

REVISION NO.

DATE
27-11-2023
DRAWING NO.
DA1004





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ONLY
NOT FOR CONSTRUCTION**

NOTES

3 Narrabeen Park Parade, North Narrabeen is zoned R2-Low Density Residential
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New Works to be constructed shown in Shaded/Blue
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Construction

Timber Floor, Masonry Walls
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Insulation to External Masonry Walls R1.7
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Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix

Basix Certificate Number A1377533

All Plans to be read in conjunction with Basix Certificate

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Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	400.3m ²	Yes	Building envelope	3.5m@45Deg	Variation
Housing Density (dwelling/m ²)	1	Yes	% of landscape open space (50% min)	Existing	Variation
Max Ceiling Ht Above Nat. GL	N/A	N/A	Impervious area (m ²)	Existing	Variation
Max Bldg Ht Above Nat. GL	8.5m	Yes	Maximum cut into grd (m)	N/A	Yes
Front Setback (Min.)	Estab.	Yes	Maximum depth of fill (m)	N/A	Yes
Rear Setback (Min.)	6.0m	N/A	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	18.2.5m	Variation			



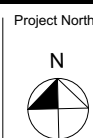
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The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

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Builder to Check and Confirm
all Measurements Prior to
Commencement of any works.
Immediately Report any
Discrepancies to Rapid Plans

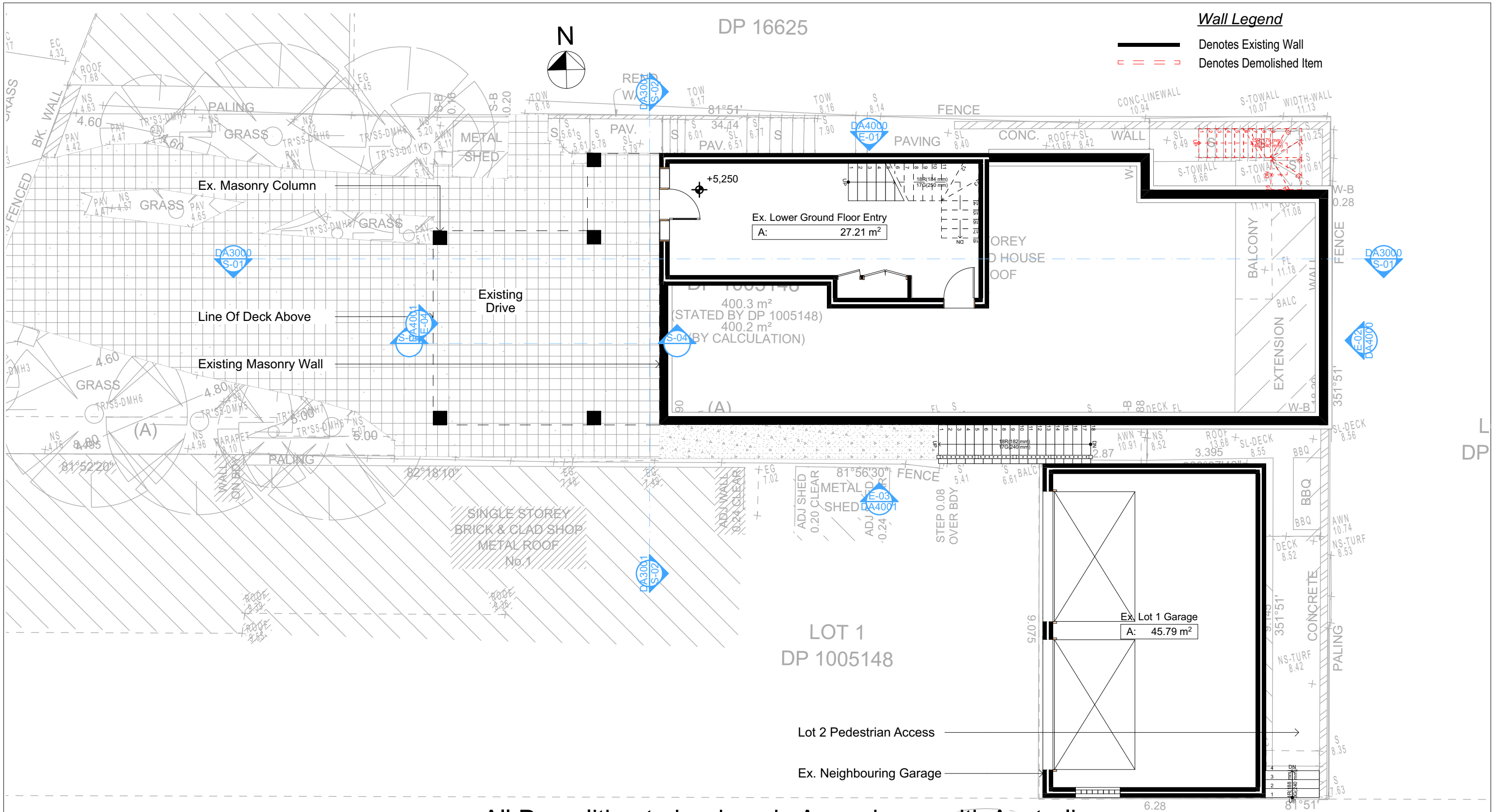


Project North
Checked
Plot Date:
Project NO.
Project Status

Client
Site:
Sheet Size: A3

DRAWING TITLE :
SITE AND LOCATION
Existing First Floor Plan
PROJECT NAME :
Alterations & Additions

REVISION NO.
DATE:
27-11-2023
DRAWING NO.
DA1006



All Demolition to be done in Accordance with Australian Standards, BCA and Workcover Regulations

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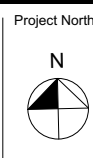
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Project North

Checked
Plot Date: 27/11/2023
Project NO: RP0523BRA
Project Status: DA

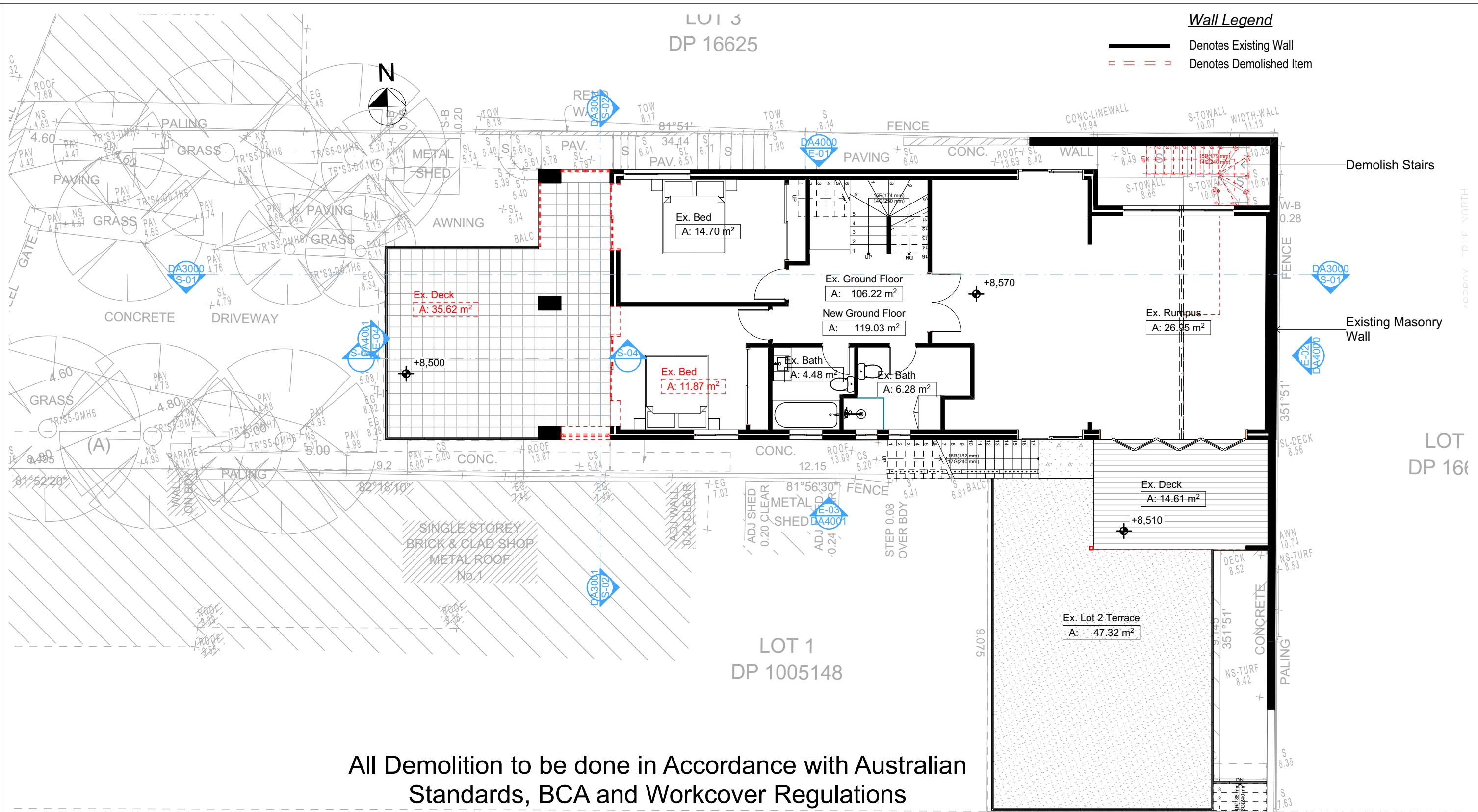
Client
Site: Nigel Bramley
3 Narrabeen Park Parade, North
Narrabeen

Sheet Size: A3

DRAWING TITLE :
SITE AND LOCATION
Demolition Lower Ground
Floor Plan

PROJECT NAME :
Alterations & Additions

REVISION NO.
-
DATE:
27-11-2023
DRAWING NO.
DA1007



All Demolition to be done in Accordance with Australian Standards, BCA and Workcover Regulations

1 DEMOLITION GROUND FLOOR
1:100

DA APPLICATION ONLY
NOT FOR CONSTRUCTION

NOTES
3 Narrabeen Park Parade, North Narrabeen is zoned R2-Low Density Residential
All Plans to be read in conjunction with Basic Certificate
New Works to be constructed shown in Shaded/Blue
3 Narrabeen Park Parade, North Narrabeen is not considered a heritage item
Certifying
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Construction
Timber Floor, Masonry Walls
Roof Timber to have R1.08 Insulation
Insulation to External Masonry Walls R1.7
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Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix
Basix Certificate Number A1377533
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The applicant must construct the new or altered construction (floor/s), walls, and ceilings/roofs in accordance with the specifications listed in the table below, except that:
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Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	400.3m2	Yes	Building envelope	3.5m@45Deg	Variation
Housing Density (dwelling/m2)	1	Yes	% of landscape open space (50% min)	Existing	Variation
Max Ceiling Ht Above Nat. GL	N/A	N/A	Impervious area (m2)	Existing	Variation
Max Bldg Ht Above Nat. GL	8.5m	Yes	Maximum cut into grd (m)	N/A	Yes
Front Setback (Min.)	Estab.	Yes	Maximum depth of fill (m)	N/A	Yes
Rear Setback (Min.)	6.0m	N/A	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	18.2.5m	Variation			

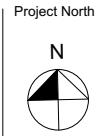


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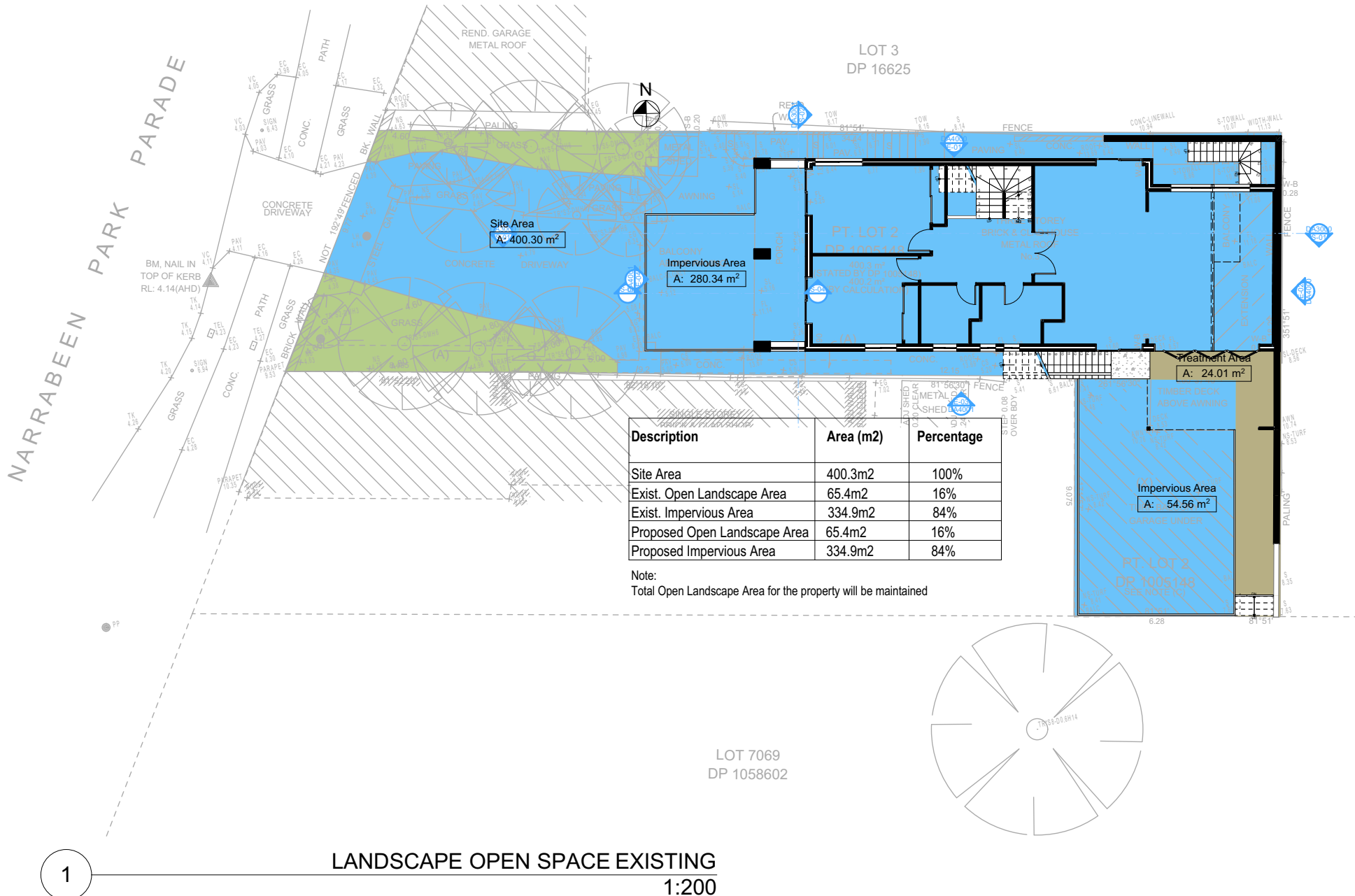
Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans



Checked Plot Date: GBJ 27/11/2023
Project NO: RP0523BRA
Project Status: DA
Client: Nigel Bramley
Site: 3 Narrabeen Park Parade, North Narrabeen
Sheet Size: A3

DRAWING TITLE : SITE AND LOCATION
Demolition Ground Floor Plan
PROJECT NAME : **Alterations & Additions**

REVISION NO.
DATE: 27-11-2023
DRAWING NO.
DA1008



Wall Legend

Denotes Existing Wall

Denotes Impervious Area

Denotes Pervious Area

Building Design and Architectural Drafting

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NOTES

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3 Narrabeen Park Parade, North Narrabeen is not considered a heritage

All Plans to be read in conjunction with Basic Certificate New Works to be constructed shown in Shaded Blue

Construction

Timber Floor, Masonry Walls

Roof Timber to have R1.50 insulation

Insulation to External Masonry Walls R1.7

Refer to Engineers drawings for structural details

All work to Engineers Specification and BCA

Timber framing to BCA and AS 1684

Termite Management to BCA and AS 3660.1

Glazing to BCA and AS1728-2010

Waterproofing to BCA and AS 3740

New Lighting to have minimum of 40% compact fluorescent lamps

All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Certifying

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Basic

Basic Certificate Number A1377533

All Plans to be read in conjunction with Basic Certificate

The applicant must construct the new or altered construction (floor slabs, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 20m², b) insulation specified is not required for parts of altered construction where insulation already exists

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door

For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	400.3m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Ceiling Ht Above Nat. GL	N/A	N/A
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	Estab.	Yes
Rear Setback (Min.)	6.0m	N/A
Min. side bdy setback (Min.)	1&2.5m	Var.
Building envelope	3.5m@ 45Deg	Var.
% of landscape open space (50% min)	Existing	Var.
Impervious area (m2)	Existing	Var.
Maximum cut into gnd (m)	N/A	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

Drawn | Checked GBJ
Plot Date: 27/11/2023
Project NO.: RP0523BRRA
Project Status DA

Client Nigel Bramley

Site: 3 Narrabeen Park Parade, North Narrabeen

DRAWING TITLE SITE AND LOCATION
Landscape Open Space Plan Existing

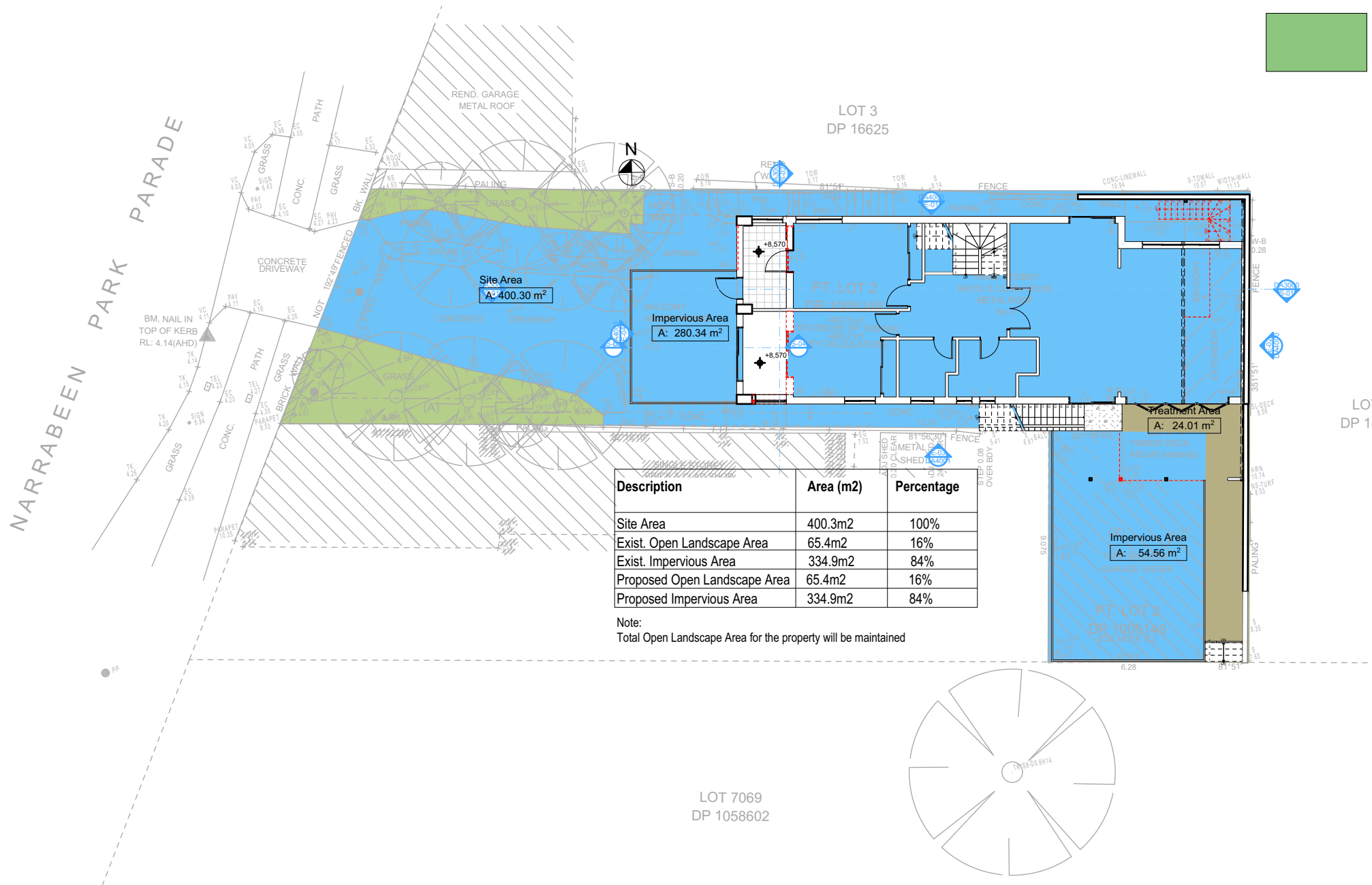
PROJECT NAME:
Alterations & Additions

REVISION NO.	DATE
-	27-11-2023

DRAWING NO. **DA1010**

Plot Date: 27/11/2023
Sheet Size: A3

DA APPLICATION ONLY
NOT FOR CONSTRUCTION



1 LANDSCAPE OPEN SPACE PROPOSED 1:200

- Wall Legend**
- Denotes New Timber Framed Wall
 - Denotes New Masonry Wall
 - Denotes Existing Wall
 - Denotes Demolished Item
- Denotes Impervious Area
- Denotes Pervious Area

Building Design and Architectural Drafting

World Plans
PO Box 6239 Fitzroy Vic 3065
Tel: (03) 9350-8845 Mobile: 0414-946-024
Email: nigel@rapidplans.com.au

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NOTES

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All Plans to be read in conjunction with Basic Certificate New Works to be constructed shown in Shaded/Blue Construction

Timber Floor, Masonry Walls

Road Timber to have R1.08 insulation

Insulation to External Masonry Walls R1.7

Refer to Engineers drawings for structural details

All work to Engineers Specification and BCA

Timber framing to BCA and AS 1684

Termite Management to BCA and AS 3660.1

Glazing to BCA and AS1728-2010

Waterproofing to BCA and AS 3747

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Basic

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Relevant overshadowing specifications must be satisfied for each window and glazed door

For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	400.3m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Ceiling Ht Above Nat. GL	N/A	N/A
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	Estab.	Yes
Rear Setback (Min.)	6.0m	N/A
Min. side bdy setback (Min.)	1&2.5m	Var.
Building envelope	3.5m@ 45Deg	Var.
% of landscape open space (50% min)	Existing	Var.
Impervious area (m2)	Existing	Var.
Maximum cut into gnd (m)	N/A	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

Drawn | Checked GBJ
Plot Date: 27/11/2023
Project NO.: RP0523BR4
Project Status DA

Client Nigel Bramley

Site: 3 Narrabeen Park Parade, North Narrabeen

DRAWING TITLE SITE AND LOCATION
Landscape Open Space Plan Proposed

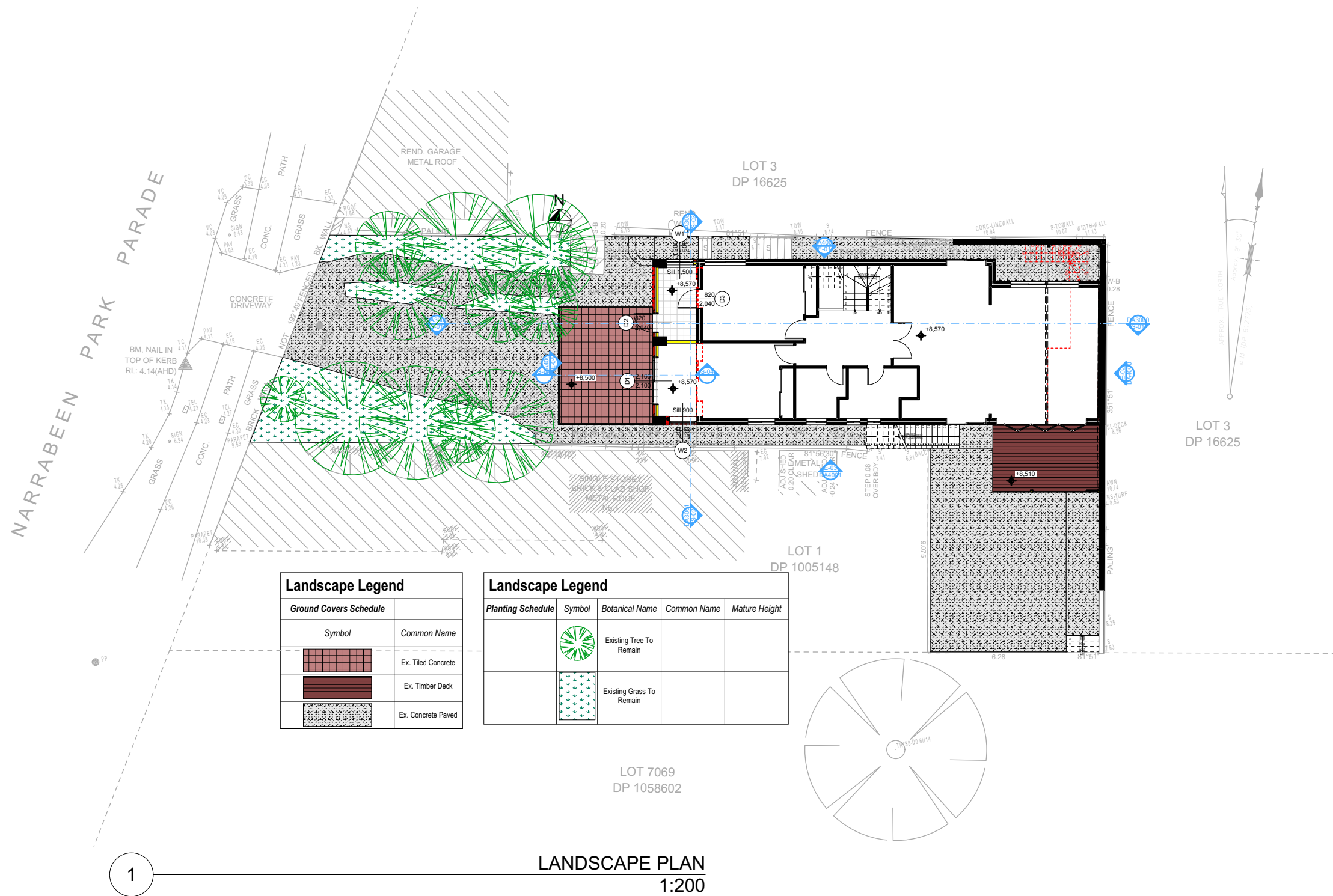
PROJECT NAME:
Alterations & Additions

REVISION NO. DATE
- 27-11-2023

DRAWING NO.
DA1011

Plot Date: 27/11/2023
Sheet Size: A3

DA APPLICATION ONLY
NOT FOR CONSTRUCTION



Landscape Legend	
Ground Covers Schedule	
Symbol	Common Name
	Ex. Tiled Concrete
	Ex. Timber Deck
	Ex. Concrete Paved

Landscape Legend					
Planting Schedule	Symbol	Botanical Name	Common Name	Mature Height	
		Existing Tree To Remain			
		Existing Grass To Remain			

LANDSCAPE PLAN
1:200

**DA APPLICATION
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Building Design and Architectural Drafting

World Plans
PO Box 6239 Rydalmere NSW 2114
Tel: (02) 9350-8545 Mobile: 0414-545-024
Email: info@rapidplans.com.au

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The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

NOTES
3 Narrabeen Park Parade, North Narrabeen is zoned R2-Low Density Residential
3 Narrabeen Park Parade, North Narrabeen is not considered a heritage item
All Plans to be read in conjunction with Basic Certificate New Works to be constructed shown in Shaded Blue Construction
Timber Floor, Masonry Walls
Roof Timber to have R1.50 insulation
Insulation to External Masonry Walls R1.7
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS1288-2004
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Certifying
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Basic
Basic Certificate Number A1377533
All Plans to be read in conjunction with Basic Certificate
The applicant must construct the new or altered construction (floor slabs, walls, and ceilings) in accordance with the specifications listed in the table below, except that additional insulation is not required where the area of new construction is less than 20m².
Insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	400.3m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Ht Above Nat. GL	N/A	N/A
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	Estab.	Yes
Rear Setback (Min.)	6.0m	N/A
Min. side bdy setback (Min.)	1&2.5m	Var.
Building envelope	3.5m@ 45Deg	Var.
% of landscape open space (50% min)	Existing	Var.
Impervious area (m ²)	Existing	Var.
Maximum cut into gnd (m)	N/A	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

Drawn | Checked GBJ
Plot Date: 27/11/2023
Project NO.: RP0523BRA
Project Status DA

Client Nigel Bramley

Site: 3 Narrabeen Park Parade, North Narrabeen

DRAWING TITLE:
SITE AND LOCATION
Landscape Plan

PROJECT NAME:
Alterations & Additions

REVISION NO.	DATE
-	27-11-2023

DRAWING NO.
DA1012

Plot Date: 27/11/2023
Sheet Size: A3

Denotes New Works

Wall Legend

- Denotes New Timber Framed Wall
- Denotes New Masonry Wall
- Denotes Existing Wall
- Denotes Demolished Item

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BUILDING DESIGNER

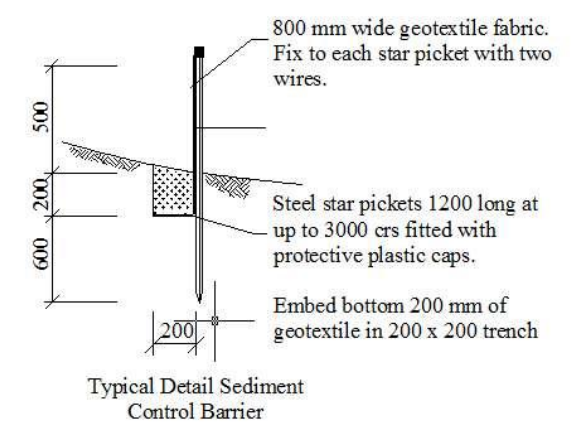
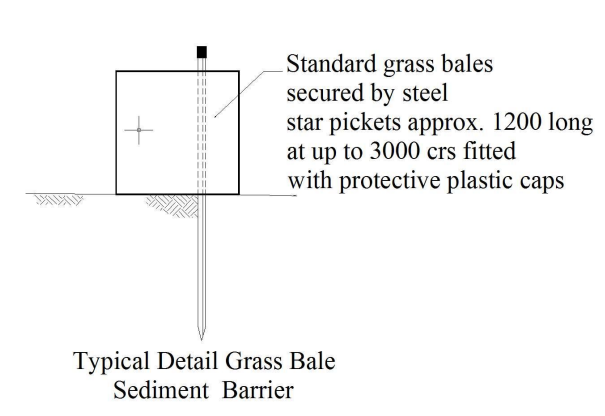
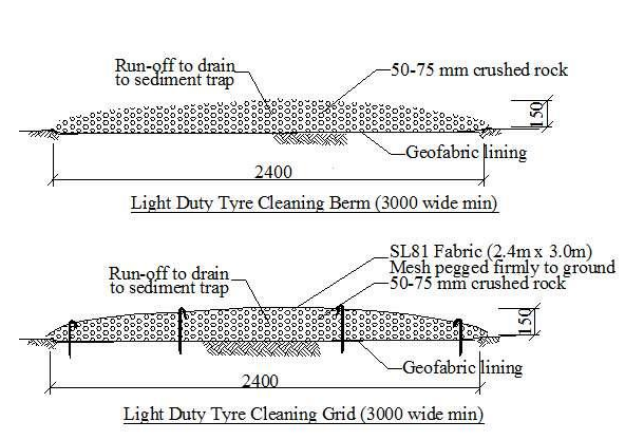
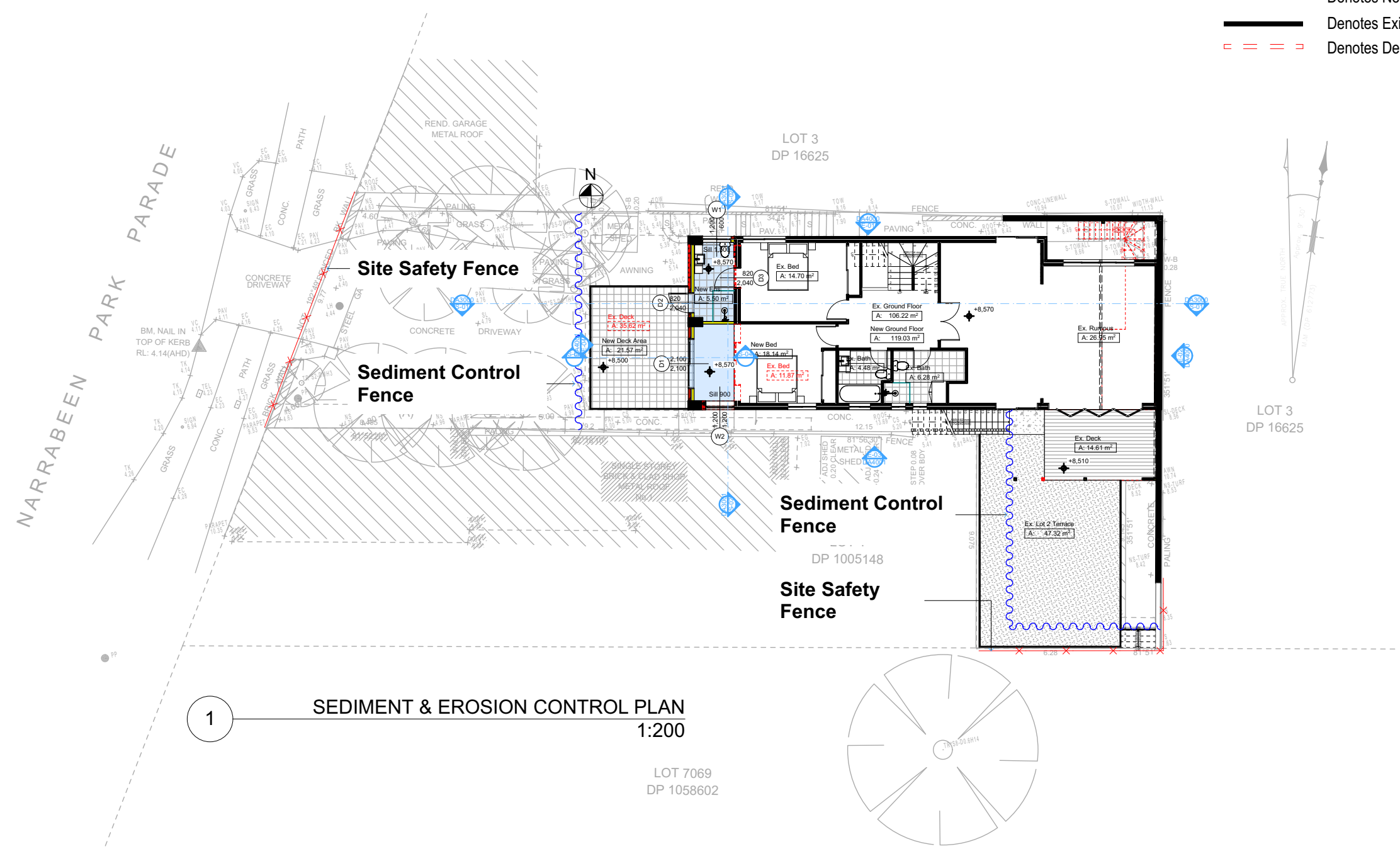
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The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

NOTES
3 Narrabeen Park Parade, North Narrabeen is zoned R2-Low Density Residential.
3 Narrabeen Park Parade, North Narrabeen is not considered a heritage site.
All Plans to be read in conjunction with Basic Certificate New Works to be constructed shown in Shaded Blue Construction.
Timber Floor, Masonry Walls.
Roof Timber to have R1.0 insulation.
Refer to Engineers drawings for structural details.
All work to Engineers Specification and BCA.
Termite Management to BCA and AS 3660.1.
Glazing to BCA and AS1742-2017.
Waterproofing to BCA and AS 3747.
New Lighting to have minimum of 40% compact fluorescent lamps.
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

CAUTION
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans.

Basic Certificate Number A1377533
All Plans to be read in conjunction with Basic Certificate.
The applicant must construct the new or altered construction (floor, walls, and ceilings) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the base of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.



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DA APPLICATION ONLY
NOT FOR CONSTRUCTION

Site Information	Prop.	Comp.
Site Area	400.3m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Ht Above Nat. GL	N/A	N/A
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	Estab.	Yes
Rear Setback (Min.)	6.0m	N/A
Min. side bdy setback (Min.)	1&2.5m	Var.
Building envelope	3.5m@ 45Deg	Var.
% of landscape open space (50% min)	Existing	Var.
Impervious area (m ²)	Existing	Var.
Maximum cut into gnd (m)	N/A	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

Drawn | Checked GBJ
Plot Date: 27/11/2023
Project NO.: RP0523BRA
Project Status DA

Client Nigel Bramley

Site: 3 Narrabeen Park Parade, North Narrabeen

DRAWING TITLE: **Sediment & Erosion Plan**

PROJECT NAME: **Alterations & Additions**

REVISION NO. DATE

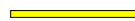
- 27-11-2023

DRAWING NO. **DA1013**

Plot Date: 27/11/2023
Sheet Size: A3



Denotes New Works



Wall Legend



Denotes New Timber Framed Wall



Denotes New Masonry Wall



Denotes Existing Wall

Denotes Demolished Item



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NOTES

3 Narrabeen Park Parade, North Narrabeen is zoned R2-Low Density Residential

3 Narrabeen Park Parade, North Narrabeen is not considered a heritage item

All Plans to be read in conjunction with Basic Certificate

New Works to be constructed shown in Shaded/Blue Construction

Timber Floor, Masonry Walls

Road Timber to have R1.08 insulation

Insulation to External Masonry Walls R1.7

Refer to Engineers drawings for structural details

All work to Engineers Specification and BCA

Timber framing to BCA and AS 1684

Termite Management to BCA and AS 3660.1

Glazing to BCA and AS1728-2017

Waterproofing to BCA and AS 3747

New Lighting to have minimum of 40% compact fluorescent lamps

All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

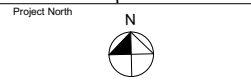
Site Information

Site Area	Prop.	Comp.
Site Area	400.3m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Ceiling Ht Above Nat. GL	N/A	N/A
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	Estab.	Yes
Rear Setback (Min.)	6.0m	N/A
Min. side bdy setback (Min.)	1&2.5m	Var.
Building envelope	3.5m@ 45Deg	Var.
% of landscape open space (50% min)	Existing	Var.
Impervious area (m2)	Existing	Var.
Maximum cut into gnd (m)	N/A	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

N



Drawn | Checked GBJ
Plot Date: 27/11/2023
Project NO.: RP0523BRA
Project Status DA

Client Nigel Bramley

Site: 3 Narrabeen Park Parade, North Narrabeen

DRAWING TITLE: SITE AND LOCATION

Waste Management Plan

PROJECT NAME: Alterations & Additions

REVISION NO. DATE

- 27-11-2023

DRAWING NO. DA1014

Plot Date: 27/11/2023
Sheet Size: A3

Vehicle Access For Removal Of Waste By Builder During Work Hours

Material Storage Area

Sediment Control Fence

Site Safety Fence

Approximate Location Of Building Waste & Recycling Area

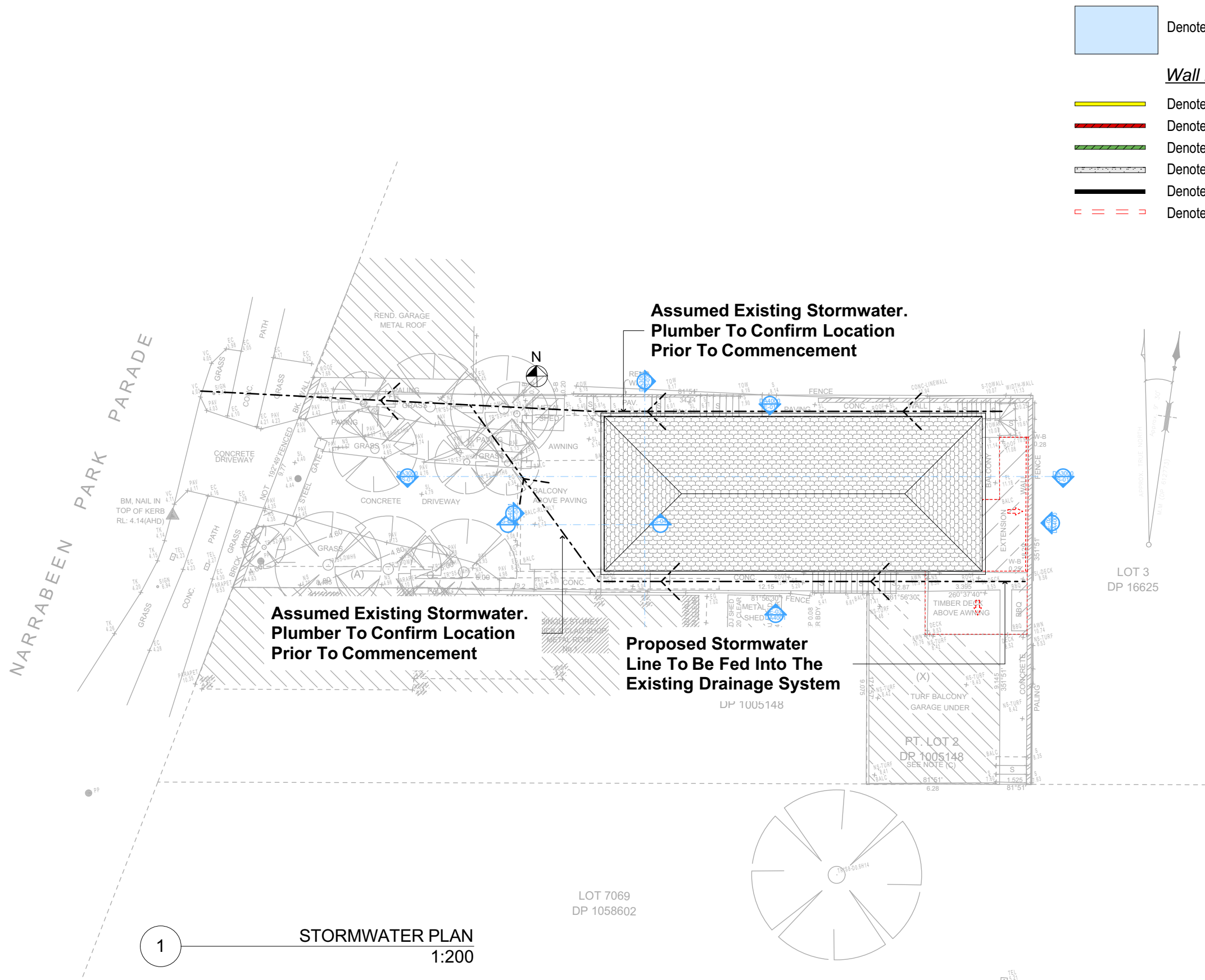
Residential Garbage Bin Storage

WASTE MANAGEMENT PLAN
1:200

DA APPLICATION
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Plumber To Confirm Location Of Existing
Stormwater/Sewer Prior To Commencement



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DA APPLICATION ONLY
NOT FOR CONSTRUCTION

Denotes New Works

Denotes New Timber Framed Wall

Denotes New Masonry Wall

Denotes New Concrete Block Wall

Denotes New Concrete

Denotes Existing Wall

Denotes Demolished Item

Wall Legend

Rapid Plans
Building Design and Architectural Drafting

World Plans
PO Box 6239 Parramatta NSW 2150
Tel: (02) 9350-8545 Mobile: 0414-545-024
Email: info@rapidplans.com.au

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NOTES

3 Narrabeen Park Parade, North Narrabeen is zoned R2-Low Density Residential

3 Narrabeen Park Parade, North Narrabeen is not considered a heritage item

All Plans to be read in conjunction with Basic Certificate New Works to be constructed shown in ShadedBlue Construction

Timber Floor, Masonry Walls

Roof Timber to have R1.08 insulation

Refer to Engineers drawings for structural details

All work to Engineers Specification and BCA

Timber framing to BCA and AS 1684

Termite Management to BCA and AS 3660.1

Glazing to BCA and AS1728-2010

Waterproofing to BCA and AS 3740

New Lighting to have minimum of 40% compact fluorescent lamps

All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Certifying

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Basic

Basic Certificate Number A1377533

All Plans to be read in conjunction with Basic Certificate

The applicant must construct the new or altered construction (floor slabs, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 20m², b) insulation specified is not required for parts of altered construction where insulation already exists

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below

Relevant overshadowing specifications must be satisfied for each window and glazed door

For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	400.3m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Ht Above Nat. GL	N/A	N/A
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	Estab.	Yes
Rear Setback (Min.)	6.0m	N/A
Min. side bdy setback (Min.)	1&2.5m	Var.
Building envelope	3.5m@ 45Deg	Var.
% of landscape open space (50% min)	Existing	Var.
Impervious area (m ²)	Existing	Var.
Maximum cut into gnd (m)	N/A	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

Drawn | Checked GBJ
Plot Date: 27/11/2023
Project NO.: RP0523BRRA
Project Status DA

Client Nigel Bramley

Site: 3 Narrabeen Park Parade, North Narrabeen

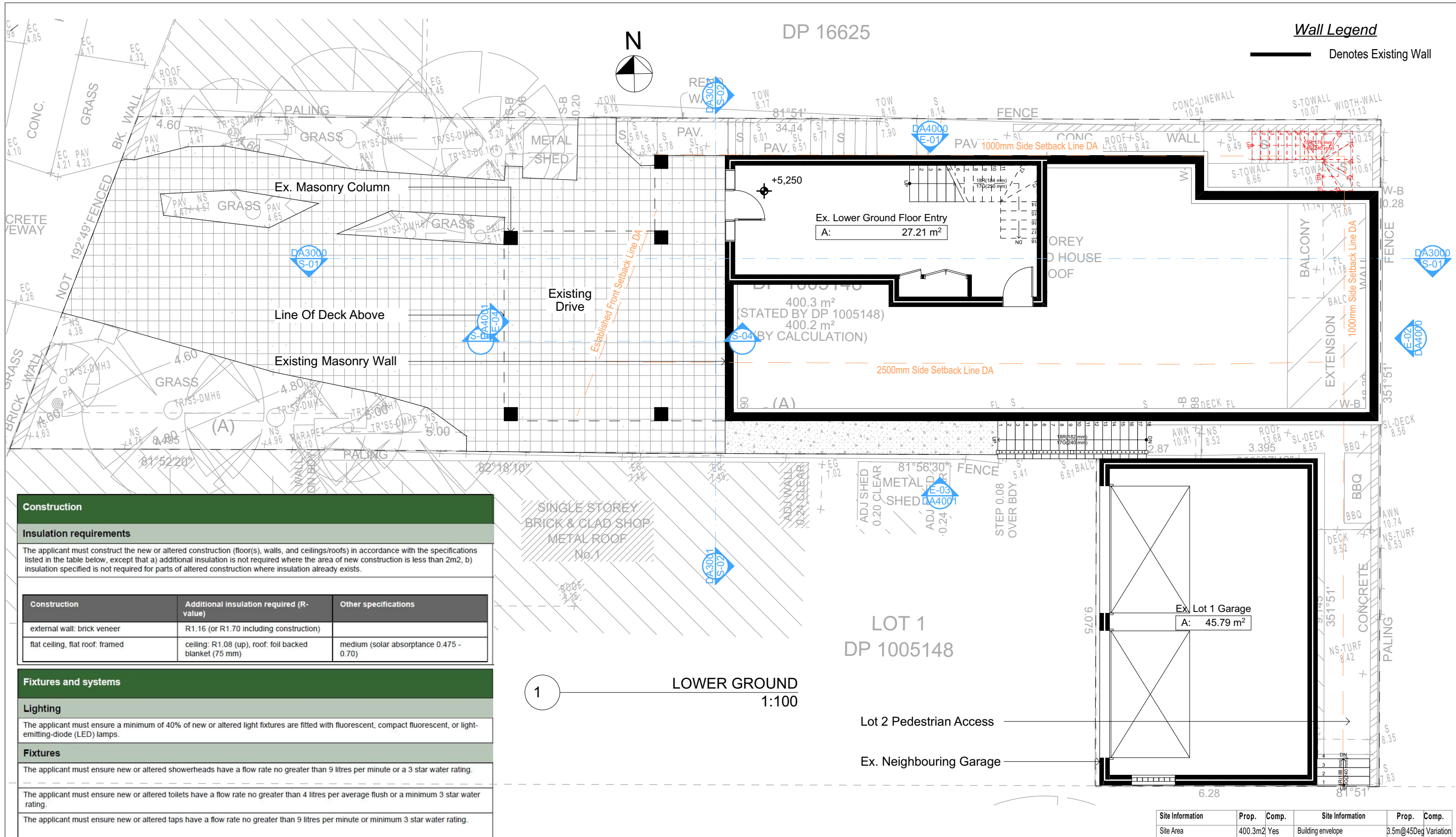
DRAWING TITLE :
SITE AND LOCATION
Stormwater Plan

PROJECT NAME :
Alterations & Additions

REVISION NO. DATE
- 27-11-2023
DRAWING NO.
DA1015

Plot Date: 27/11/2023
Sheet Size: A3

27/11/2023
27/11/2023



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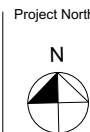
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Checked
Plot Date:
Project NO.
Project Status

Client
Site:

DRAWING TITLE :

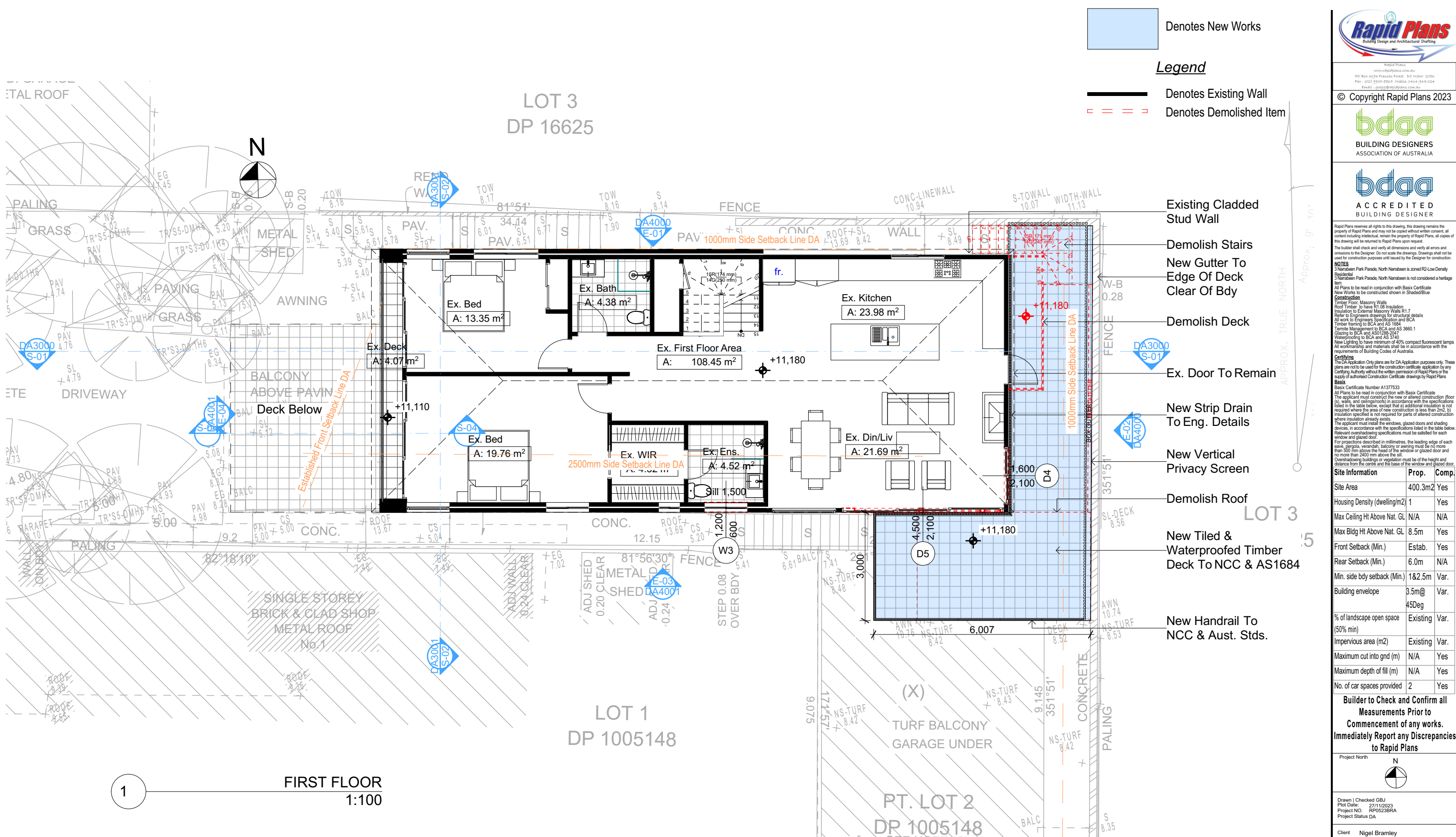
PLANS
LOWER GROUND FLOOR

PROJECT NAME :

Alterations & Additions

REVISION NO.

DATE:
27-11-2023
DRAWING NO.
DA2001



Fixtures and systems
Lighting
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.
Fixtures
The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.
The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.
The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.

Construction

Insulation requirements

The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.

Construction	Additional insulation required (R-value)	Other specifications
external wall: brick veneer	R1.16 (or R1.70 including construction)	
flat ceiling, flat roof: framed	ceiling: R1.08 (up), roof: foil backed blanket (75 mm)	medium (solar absorptance 0.475 - 0.70)

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bdaa
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NOTES

3 Narrabeen Park Parade, North Narrabeen is zoned R2-Low Density Residential.

3 Narrabeen Park Parade, North Narrabeen is not considered a heritage item.

All Plans to be read in conjunction with Basic Certificate New Works to be constructed shown in ShadedBlue Construction.

Timber Floor, Masonry Walls.

Roof Timber to have R1.08 insulation.

Refer to Engineers drawings for structural details.

All work to Engineers Specification and BCA.

Timber Framing to BCA and AS 1684.

Termite Management to BCA and AS 3660.1.

Glazing to BCA and AS1728-2017.

Waterproofing to BCA and AS 3740.

New Lighting to have minimum of 40% compact fluorescent lamps.

All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Site Information	Prop.	Comp.
Site Area	400.3m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Ceiling Ht Above Nat. GL	N/A	N/A
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	Estab.	Yes
Rear Setback (Min.)	6.0m	N/A
Min. side bdy setback (Min.)	1&2.5m	Var.
Building envelope	3.5m@ 45Deg	Var.
% of landscape open space (50% min)	Existing	Var.
Impervious area (m2)	Existing	Var.
Maximum cut into gnd (m)	N/A	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

Drawn | Checked GBJ
Plot Date: 27/11/2023
Project NO.: RP0523BRRA
Project Status DA

Client Nigel Bramley

Site: 3 Narrabeen Park Parade, North Narrabeen

DRAWING TITLE: PLANS
FIRST FLOOR

PROJECT NAME: **Alterations & Additions**

REVISION NO. DATE
- 27-11-2023
DRAWING NO. **DA2003**

Plot Date: 27/11/2023
Sheet Size: A3

Fixtures and systems
Lighting
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.
Fixtures
The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.
The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.
The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.

Construction

Insulation requirements

The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.

Construction	Additional insulation required (R-value)	Other specifications
external wall: brick veneer	R1.16 (or R1.70 including construction)	
flat ceiling, flat roof: framed	ceiling: R1.08 (up), roof: foil backed blanket (75 mm)	medium (solar absorptance 0.475 - 0.70)

Denotes New Works

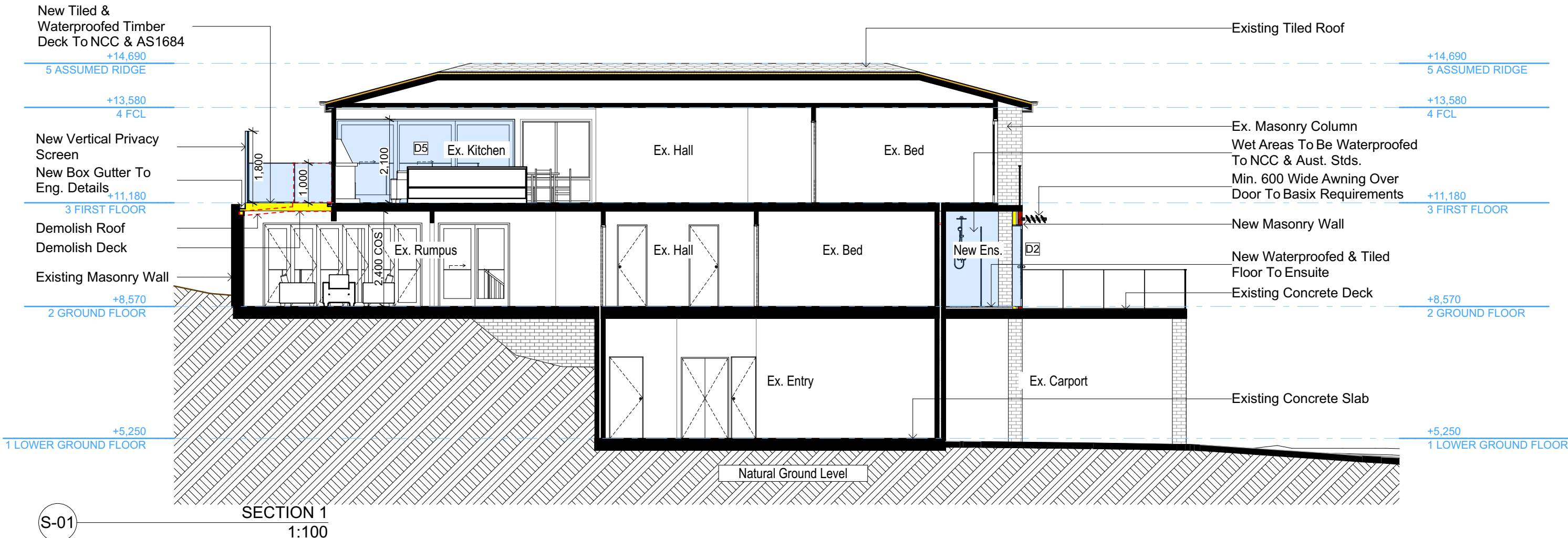
Wall Legend

Denotes New Timber Framed Wall/Floor

Denotes New Masonry Wall

Denotes Existing Wall

Denotes Demolished Item



DA APPLICATION ONLY
NOT FOR CONSTRUCTION

NOTES
3 Narrabeen Park Parade, North Narrabeen is zoned R2-Low Density Residential
All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
3 Narrabeen Park Parade, North Narrabeen is not considered a heritage item
Certifying
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Construction
Timber Floor, Masonry Walls
Roof Timber to have R1.08 Insulation
Insulation to External Masonry Walls R1.7
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix
Basix Certificate Number A1377533
All Plans to be read in conjunction with Basix Certificate
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:
a) additional insulation is not required where the area of new construction is less than 2m2,
b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door,

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	400.3m2	Yes	Building envelope	3.5m@45Deg	Variation
Housing Density (dwelling/m2)	1	Yes	% of landscape open space (50% min)	Existing	Variation
Max Ceiling Ht Above Nat. GL	N/A	N/A	Impervious area (m2)	Existing	Variation
Max Bldg Ht Above Nat. GL	8.5m	Yes	Maximum cut into grd (m)	N/A	Yes
Front Setback (Min.)	Estab.	Yes	Maximum depth of fill (m)	N/A	Yes
Rear Setback (Min.)	6.0m	N/A	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	1&2.5m	Variation			

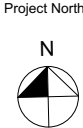


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The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.



Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans



Checked Plot Date: 27/11/2023
Project NO: RP0523BRA
Project Status: DA
Client: Nigel Bramley
Site: 3 Narrabeen Park Parade, North Narrabeen
Sheet Size: A3

DRAWING TITLE :
SECTIONS 1
PROJECT NAME :
Alterations & Additions

REVISION NO.
-
DATE: 27-11-2023
DRAWING NO.
DA3000

Denotes New Works

Wall Legend

- Denotes New Timber Framed Wall
- Denotes New Masonry Wall
- Denotes Existing Wall
- Denotes Demolished Item

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The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

NOTES

3 Narrabeen Park Parade, North Narrabeen is zoned R2-Low Density Residential

3 Narrabeen Park Parade, North Narrabeen is not considered a heritage item

All Plans to be read in conjunction with Basic Certificate New Works to be constructed shown in ShadedBlue Construction

Timber Floor, Masonry Walls

Road Timber to have R1.08 insulation

Insulation to External Masonry Walls R1.7

Refer to Engineers drawings for structural details

All work to Engineers Specification and BCA

Timber framing to BCA and AS 1684

Termite Management to BCA and AS 3660.1

Glazing to BCA and AS1728-2017

Waterproofing to BCA and AS 3740

New Lighting to have minimum of 40% compact fluorescent lamps

All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Certification

The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Basic

Basic Certificate Number A1377533

All Plans to be read in conjunction with Basic Certificate

The applicant must construct the new or altered construction (floor, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists

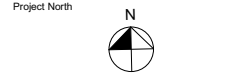
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.

For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	400.3m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Ht Above Nat. GL	N/A	N/A
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	Estab.	Yes
Rear Setback (Min.)	6.0m	N/A
Min. side bdy setback (Min.)	1&2.5m	Var.
Building envelope	3.5m@ 45Deg	Var.
% of landscape open space (50% min)	Existing	Var.
Impervious area (m ²)	Existing	Var.
Maximum cut into gnd (m)	N/A	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans



Drawn | Checked GBJ
Plot Date: 27/11/2023
Project NO.: RP0523BRA
Project Status DA

Client Nigel Bramley

Site: 3 Narrabeen Park Parade, North Narrabeen

DRAWING TITLE : SECTIONS
SECTION 2

PROJECT NAME : Alterations & Additions

REVISION NO. DATE
- 27-11-2023

DRAWING NO. DA3001

Plot Date: 27/11/2023
Sheet Size: A3

Existing Tiled Roof

+14,690
5 ASSUMED RIDGE

+13,580
4 FCL

New Vertical Privacy Screen

New Tiled & Waterproofed
Timber Deck To NCC & AS1684
+11,180
3 FIRST FLOOR

Demolish Stairs

New Waterproofed & Tiled Floor
To Ensuite
New Masonry Wall
+8,570
2 GROUND FLOOR

Existing Concrete Slab

+5,250
1 LOWER GROUND FLOOR

+14,690
5 ASSUMED RIDGE

New Vertical Privacy Screen

+13,580
4 FCL

New Handrail To NCC & Aust. Stds.

New Tiled & Waterproofed
Timber Deck To NCC & AS1684
+11,180
3 FIRST FLOOR

Batten Floor To Match Dwelling FFL

+8,570
2 GROUND FLOOR

+5,250
1 LOWER GROUND FLOOR

Natural Ground Level

S-02

SECTION 2
1:100

Fixtures and systems

Lighting

The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.

Fixtures

The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.

The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.

The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.

Construction

Insulation requirements

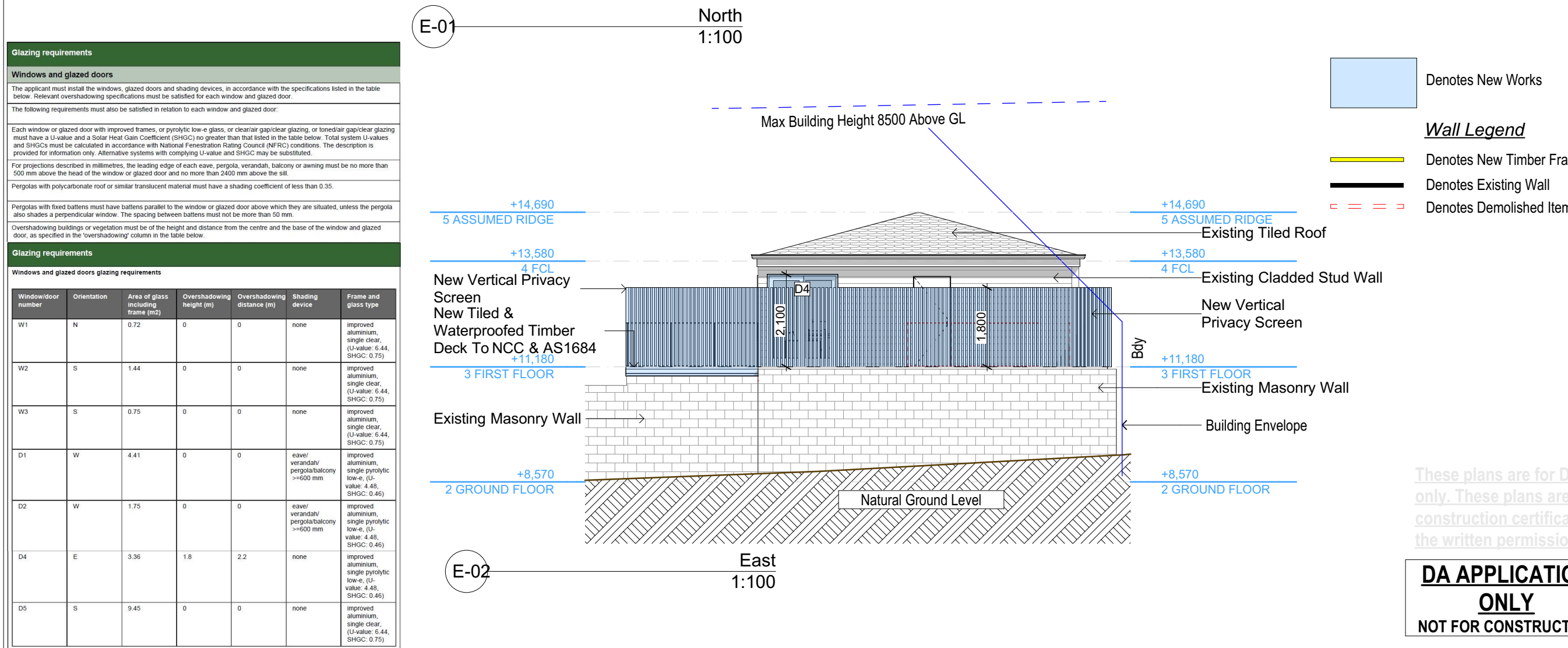
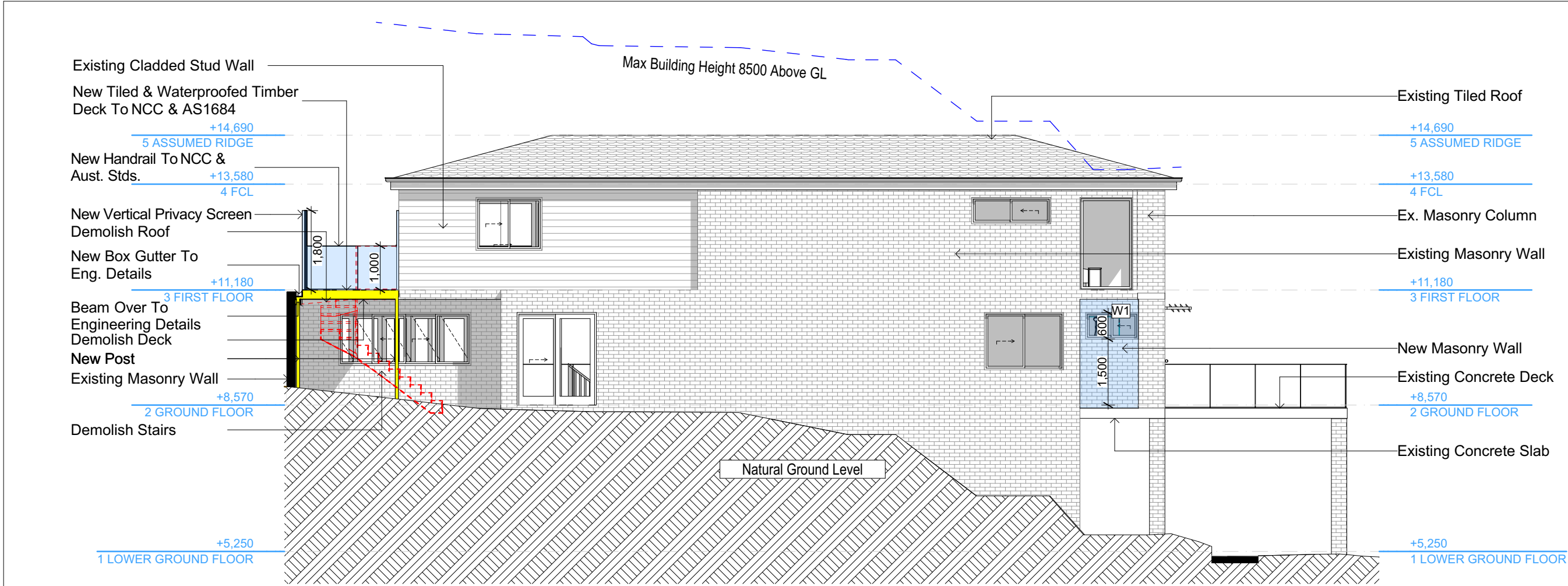
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.

Construction	Additional insulation required (R-value)	Other specifications
external wall: brick veneer	R1.16 (or R1.70 including construction)	
flat ceiling, flat roof: framed	ceiling: R1.08 (up), roof: foil backed blanket (75 mm)	medium (solar absorptance 0.475 - 0.70)

These plans are for DA Application purposes only. These plans are not to be used for construction certificate application without the written permission of Rapid Plans

**DA APPLICATION
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Glazing requirements						
Windows and glazed doors						
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.						
The following requirements must also be satisfied in relation to each window and glazed door:						
Each window or glazed door with improved frames, or pyrolytic low-e glass, or clear/air gap/clear glazing, or toned/air gap/clear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted.						
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.						
Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.						
Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.						
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door, as specified in the 'overshadowing' column in the table below.						
Glazing requirements						
Windows and glazed doors glazing requirements						
Window/door number	Orientation	Area of glass including frame (m2)	Overshadowing height (m)	Overshadowing distance (m)	Shading device	Frame and glass type
W1	N	0.72	0	0	none	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W2	S	1.44	0	0	none	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W3	S	0.75	0	0	none	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
D1	W	4.41	0	0	eave/ verandah/ pergola/balcony >=600 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
D2	W	1.75	0	0	eave/ verandah/ pergola/balcony >=600 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
D4	E	3.36	1.8	2.2	none	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
D5	S	9.45	0	0	none	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)



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DA APPLICATION ONLY
NOT FOR CONSTRUCTION

Project North	N
Drawn Checked	GBJ
Plot Date:	27/11/2023
Project NO.:	RP0223BRA
Project Status	DA
Client	Nigel Bramley
Site:	3 Narrabeen Park Parade, North Narrabeen
DRAWING TITLE:	ELEVATIONS 1
PROJECT NAME:	Alterations & Additions
REVISION NO.	DATE
-	27-11-2023
DRAWING NO.	DA4000
Plot Date:	27/11/2023
Sheet Size:	A3

Rapid Plans
Building Design and Architectural Drafting

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BUILDING DESIGNER

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The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

NOTES

3 Narrabeen Park Parade, North Narrabeen is zoned R2-Low Density Residential.

3 Narrabeen Park Parade, North Narrabeen is not considered a heritage item.

All Plans to be read in conjunction with Basic Certificate New Works to be constructed shown in ShadedBlue Construction.

Timber Floor, Masonry Walls, Roof Timber to have R1.08 insulation.

Refer to Engineers drawings for structural details.

All work to Engineers Specification and BCA.

Timber framing to BCA and AS 1684.

Termite Management to BCA and AS 3660.1.

Glazing to BCA and AS01288-2047.

Waterproofing to BCA and AS 3747.

New Lighting to have minimum of 40% compact fluorescent lamps.

All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Certifying

The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans.

Basic

Basic Certificate Number A1377533.

All Plans to be read in conjunction with Basic Certificate.

The applicant must construct the new or altered construction (floor, walls, and ceilings) in accordance with the specifications listed in the table below, except that additional insulation is not required where the area of new construction is less than 2m².

Insulation specified is not required for parts of altered construction where insulation already exists.

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.

Relevant overshadowing specifications must be satisfied for each window and glazed door.

For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	400.3m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Ht Above Nat. GL	N/A	N/A
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	Estab.	Yes
Rear Setback (Min.)	6.0m	N/A
Min. side bdy setback (Min.)	1&2.5m	Var.
Building envelope	3.5m@ 45Deg	Var.
% of landscape open space (50% min)	Existing	Var.
Impervious area (m ²)	Existing	Var.
Maximum cut into gnd (m)	N/A	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

Drawn | Checked GBJ
Plot Date: 27/11/2023
Project NO. RP0223BRA
Project Status DA

Client Nigel Bramley

Site: 3 Narrabeen Park Parade, North Narrabeen

DRAWING TITLE: ELEVATIONS 1

PROJECT NAME: Alterations & Additions

REVISION NO. DATE

- 27-11-2023

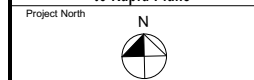
DRAWING NO. DA4000

Plot Date: 27/11/2023

Sheet Size: A3

Site Information	Prop.	Comp.
Site Area	400.3m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Ht Above Nat. GL	N/A	N/A
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	Estab.	Yes
Rear Setback (Min.)	6.0m	N/A
Min. side bdy setback (Min.)	1&2.5m	Var.
Building envelope	3.5m@ 45Deg	Var.
% of landscape open space (50% min)	Existing	Var.
Impervious area (m ²)	Existing	Var.
Maximum cut into gnd (m)	N/A	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans



Drawn | Checked GBJ
Plot Date: 27/11/2023
Project NO.: RPD0238RA
Project Status DA

Client Nigel Bramley

Site: 3 Narrabeen Park Parade, North Narrabeen

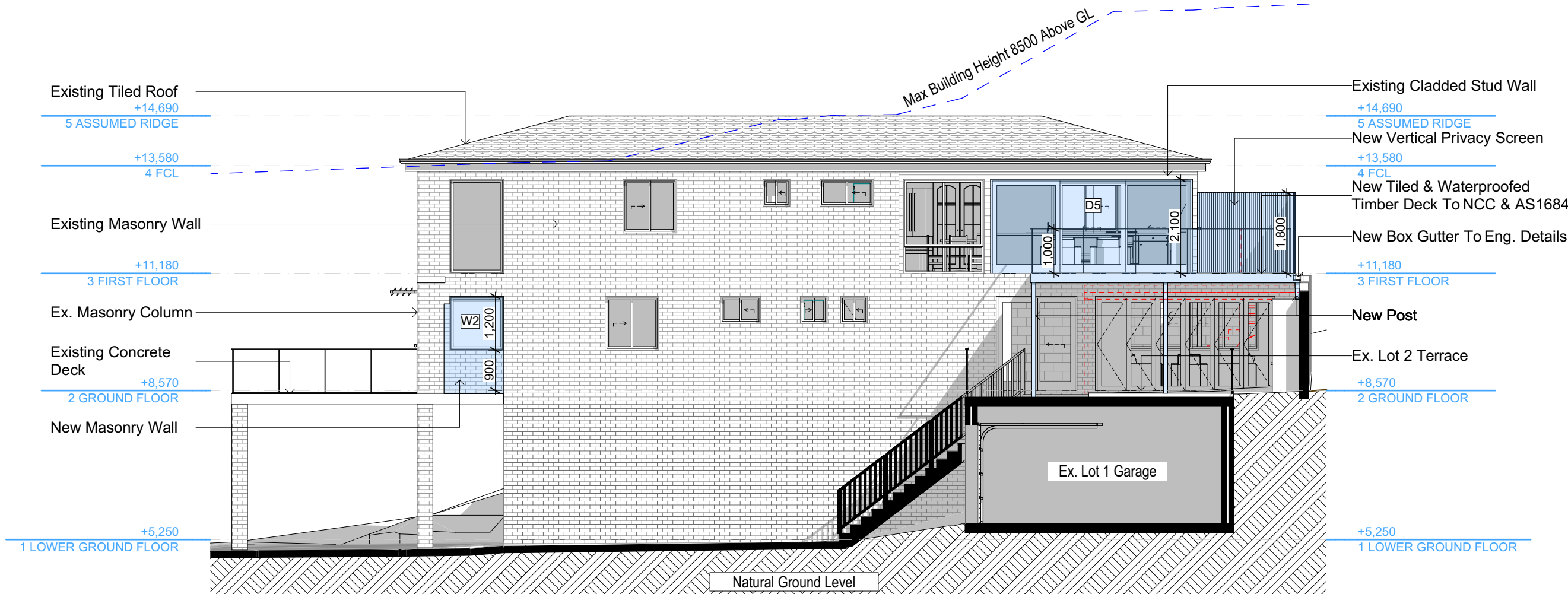
DRAWING TITLE: ELEVATIONS
ELEVATIONS 2

PROJECT NAME: Alterations & Additions

REVISION NO. DATE
- 27-11-2023

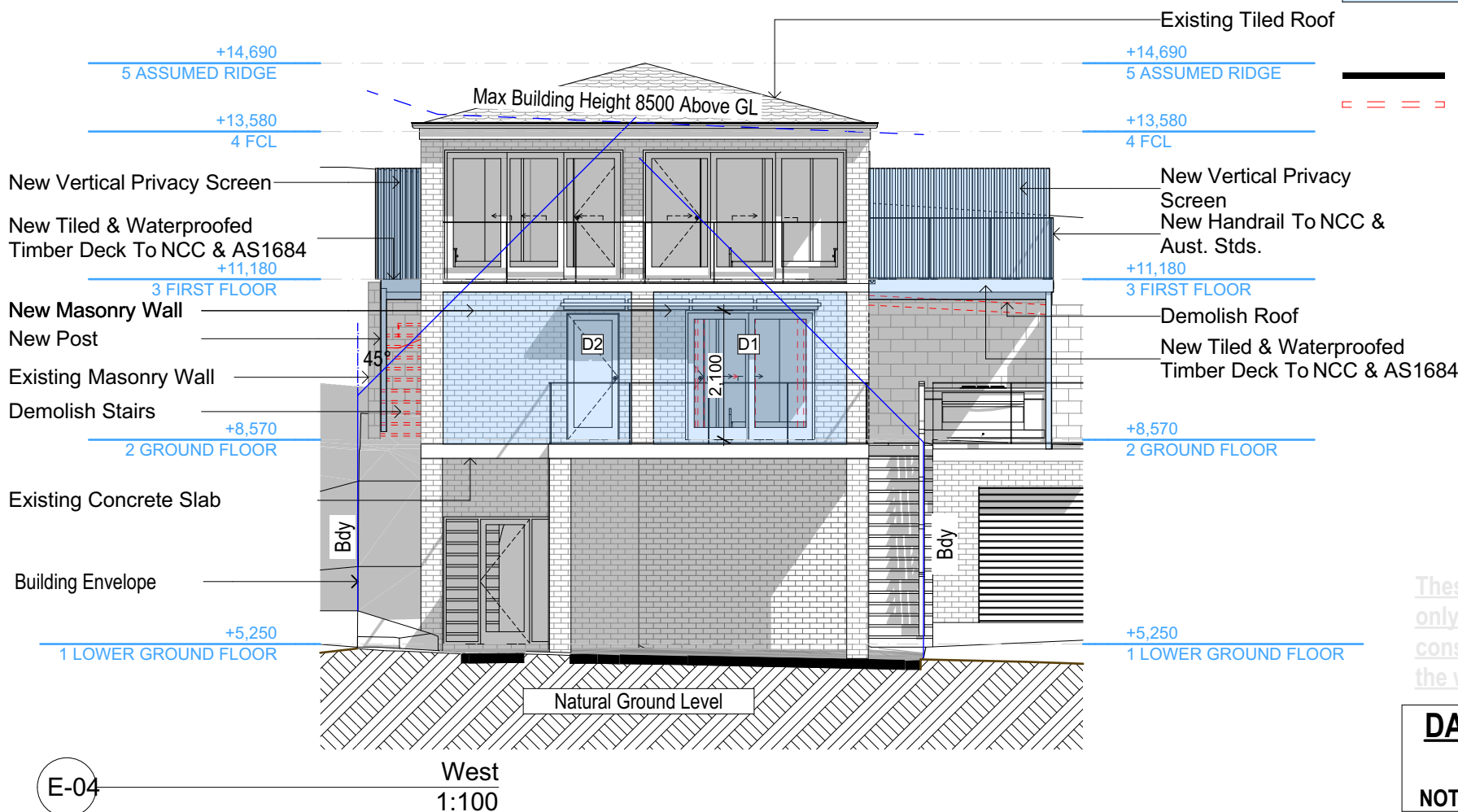
DRAWING NO. DA4001

Plot Date: 27/11/2023
Sheet Size: A3



Glazing requirements						
Windows and glazed doors						
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.						
The following requirements must also be satisfied in relation to each window and glazed door:						
Each window or glazed door with improved frames, or pyrolytic low-e glass, or clear/air gap/clear glazing, or toned/air gap/clear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted.						
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.						
Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.						
Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.						
Overhanging buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door, as specified in the 'overshadowing' column in the table below.						
Glazing requirements						
Windows and glazed doors glazing requirements						
Window/door number	Orientation	Area of glass including frame (m ²)	Overshadowing height (m)	Overshadowing distance (m)	Shading device	Frame and glass type
W1	N	0.72	0	0	none	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W2	S	1.44	0	0	none	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W3	S	0.75	0	0	none	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
D1	W	4.41	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
D2	W	1.75	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
D4	E	3.36	1.8	2.2	none	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
D5	S	9.45	0	0	none	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)

E-03 South 1:100



E-04 West 1:100

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DA APPLICATION ONLY
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ONLY
NOT FOR CONSTRUCTION

Fixtures and systems
Lighting
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.
Fixtures
The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.
The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.
The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.

Construction		
Insulation requirements		
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.		
Construction	Additional insulation required (R-value)	Other specifications
external wall: brick veneer	R1.16 (or R1.70 including construction)	
flat ceiling, flat roof: framed	ceiling: R1.08 (up), roof: foil backed blanket (75 mm)	medium (solar absorptance 0.475 - 0.70)



Denotes Tiled Deck (Typical).
Owner To Confirm Type & Colour

Denotes Alloy Doors & Windows (Typical).
Owner To Confirm Type & Colour

Glazing requirements						
Windows and glazed doors						
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.						
The following requirements must also be satisfied in relation to each window and glazed door:						
Each window or glazed door with improved frames, or pyrolytic low-e glass, or clear/air gap/clear glazing, or toned/air gap/clear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted.						
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.						
Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.						
Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.						
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door, as specified in the 'overshadowing' column in the table below.						
Glazing requirements						
Windows and glazed doors glazing requirements						
Window/door number	Orientation	Area of glass including frame (m2)	Overshadowing height (m)	Overshadowing distance (m)	Shading device	Frame and glass type
W1	N	0.72	0	0	none	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W2	S	1.44	0	0	none	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W3	S	0.75	0	0	none	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
D1	W	4.41	0	0	eave/ verandah/ pergola/balcony >=600 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
D2	W	1.75	0	0	eave/ verandah/ pergola/balcony >=600 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
D4	E	3.36	1.8	2.2	none	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
D5	S	9.45	0	0	none	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)



Denotes Painted Brick Wall (Typical).
Owner To Confirm Type & Colour



Denotes Glass Handrail (Typical).
Owner To Confirm Type & Colour

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Building Design and Architectural Drafting

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PO Box 6239 Pirrama NSW 1512
Tel: (02) 9550-8845 Mobile: 0414-545-024
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ASSOCIATION OF AUSTRALIA

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NOTES
3 Narrabeen Park Parade, North Narrabeen is zoned R2-Low Density Residential
3 Narrabeen Park Parade, North Narrabeen is not considered a heritage item
All Plans to be read in conjunction with Basic Certificate New Works to be constructed shown in ShadedBlue

Construction
Timber Floor, Masonry Walls
Roof Timber to have R1.08 insulation
Insulation to External Masonry Walls R1.7
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS1728-2017
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Certifying
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Basic
Basic Certificate Number A1377533
All Plans to be read in conjunction with Basic Certificate
The applicant must construct the new or altered construction (floor (s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door. For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill. Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	400.3m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Ceiling Ht Above Nat. GL	N/A	N/A
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	Estab.	Yes
Rear Setback (Min.)	6.0m	N/A
Min. side bdy setback (Min.)	1&2.5m	Var.
Building envelope	3.5m@ 45Deg	Var.
% of landscape open space (50% min)	Existing	Var.
Impervious area (m2)	Existing	Var.
Maximum cut into gnd (m)	N/A	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North



Drawn | Checked GBJ
Plot Date: 27/11/2023
Project NO.: RP0523BRRA
Project Status DA

Client Nigel Bramley

Site: 3 Narrabeen Park Parade, North Narrabeen

DRAWING TITLE SHADOW PLANS MATERIAL & COLOUR SAMPLE BOARD

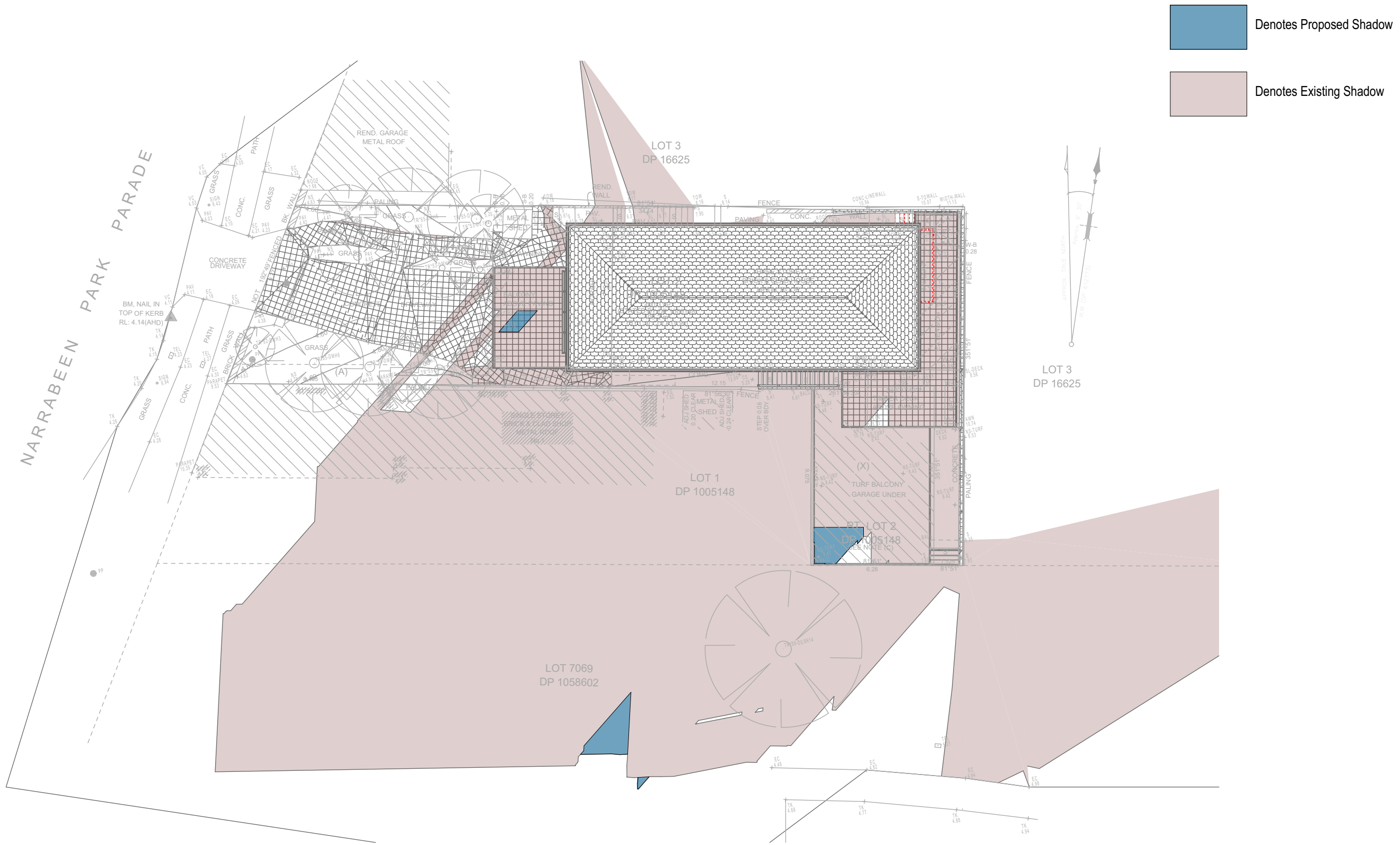
PROJECT NAME: Alterations & Additions

REVISION NO. DATE

- 27-11-2023

DRAWING NO. **DA5001**

Plot Date: 27/11/2023
Sheet Size: A3



8
-
Shadow 21st June 9am
1:200

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NOT FOR CONSTRUCTION**

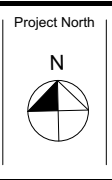


Rapid Plans
www.rapidplans.com.au
PO Box 6193 Frenchs Forest
NSW 2086
Fax: (02) 9905-8865
Mobile: 0414-945-024
Email: greg@rapidplans.com.au
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**Builder to Check and Confirm
all Measurements Prior to
Commencement of any works.
Immediately Report any
Discrepancies to Rapid Plans**

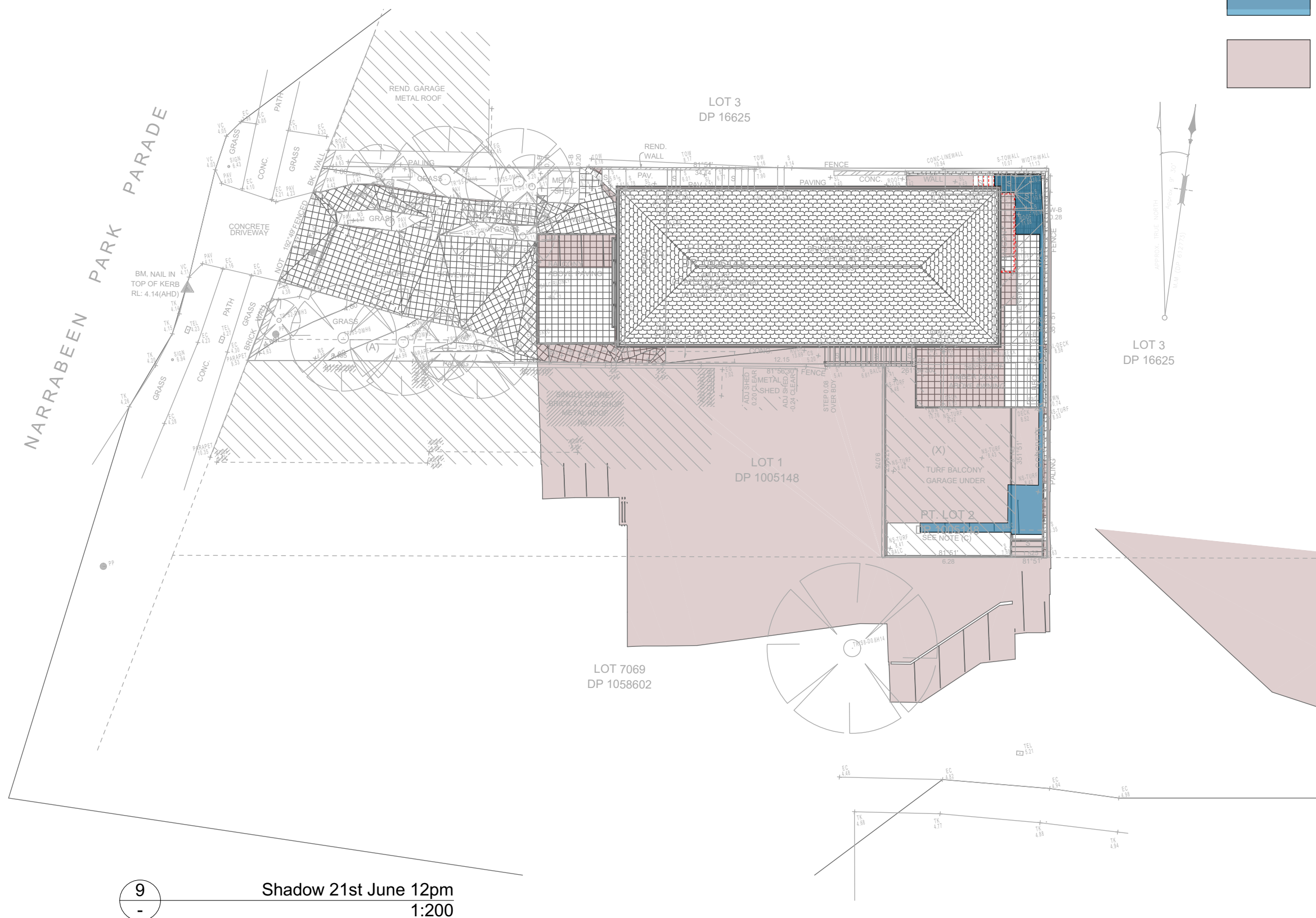


Project North
Checked
Plot Date: 27/11/2023
Project NO: RP0523BRA
Project Status: DA
Client: Nigel Bramley
Site: 3 Narrabeen Park Parade, North Narrabeen
Sheet Size: A3

DRAWING TITLE : SHADOW PLANS
**SHADOW PLAN 21st June
9am**
PROJECT NAME : **Alterations & Additions**

REVISION NO.
-
DATE: **27-11-2023**
DRAWING NO.
DA5002

10



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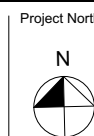


BUILDING DESIGNERS
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ACCREDITED
BUILDING DESIGNER

**Builder to Check and Confirm
all Measurements Prior to
Commencement of any works.
Immediately Report any
Discrepancies to Rapid Plans**



Client _____
Site: _____
Sheet Size: A3

Nigel Bramley
3 Narrabeen Park Parade, North
Narrabeen

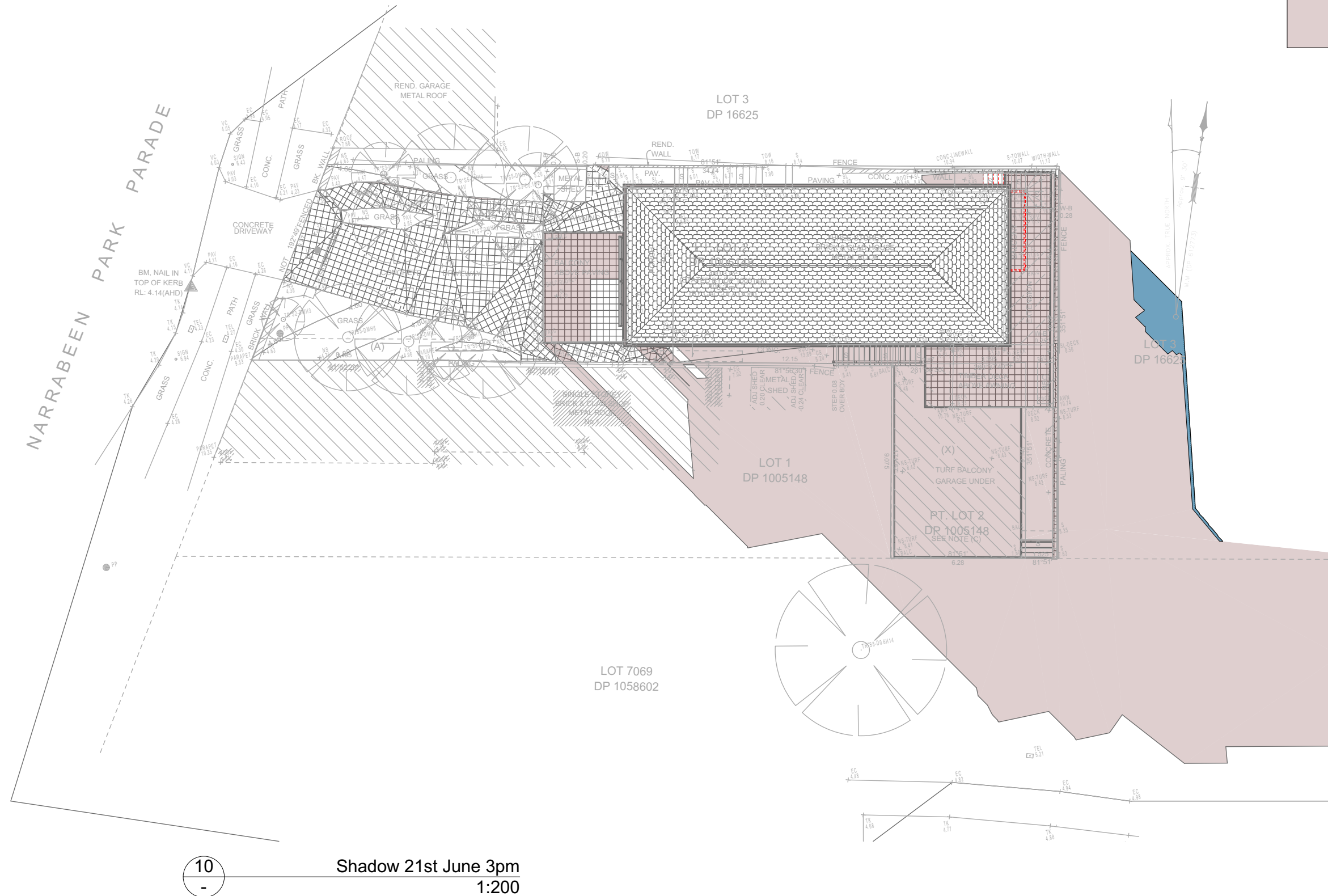
DRAWING TITLE : **SHADOW PLANS**
SHADOW PLAN 21st June
12pm

PROJECT NAME : **Alterations & Additions**

REVISION NO.
-
DATE.
27-11-2023
DRAWING NO.
DA5003

Denotes Proposed Shadow

Denotes Existing Shadow



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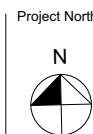


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all Measurements Prior to
Commencement of any works.
Immediately Report any
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Project North
Checked
Plot Date: GBJ
Project NO: 27/11/2023
Project Status: RP0523BRA
DA

Client: Nigel Bramley
Site: 3 Narabeen Park Parade, North
Narabeen
Sheet Size: A3

DRAWING TITLE : SHADOW PLANS
**SHADOW PLAN 21st June
3pm**
PROJECT NAME : **Alterations & Additions**

REVISION NO.
-
DATE: 27-11-2023
DRAWING NO.
DA5004