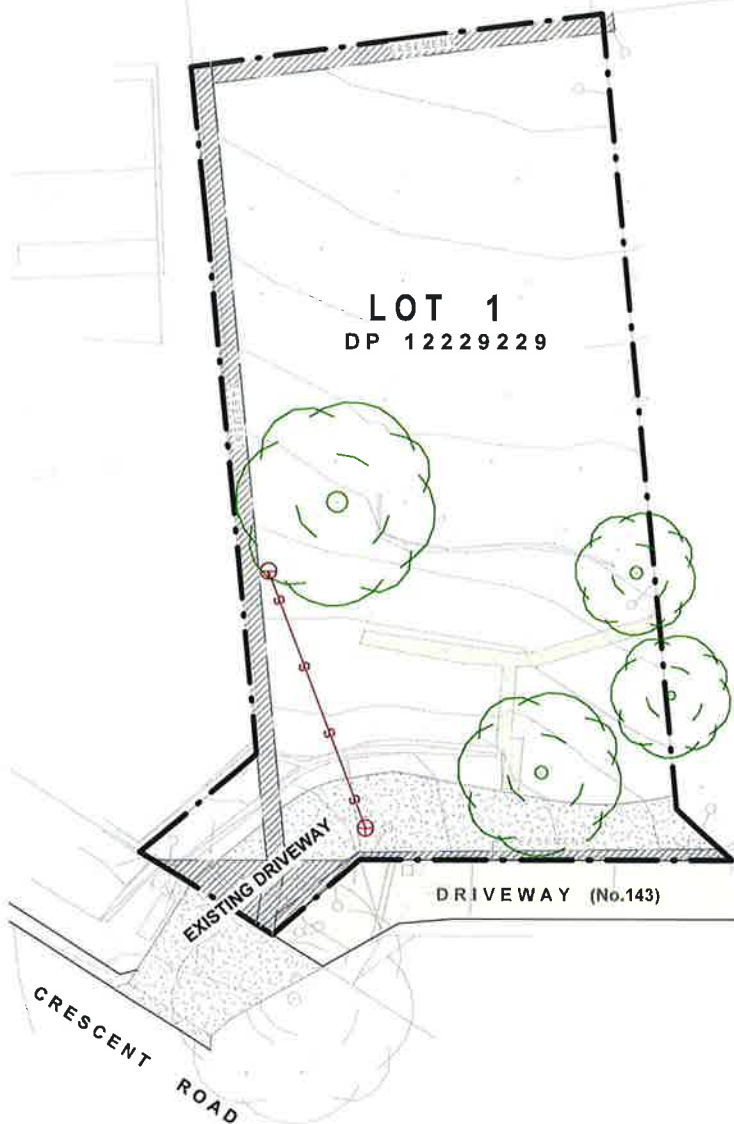
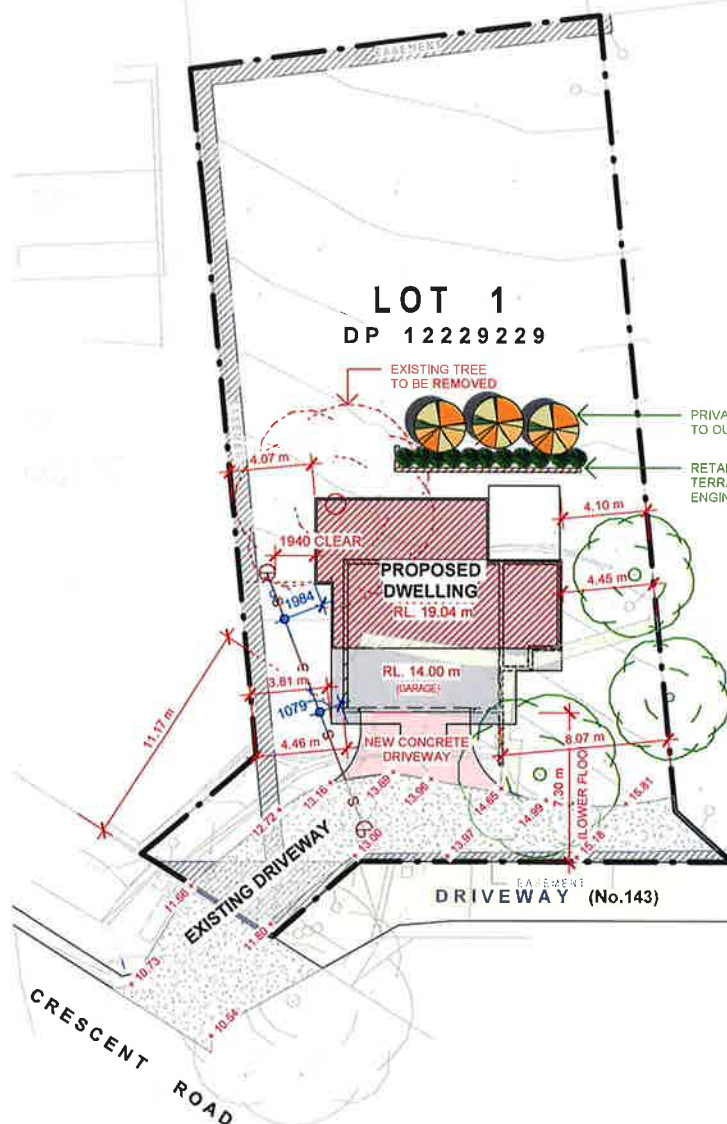




SITE ANALYSIS PLAN
SCALE 1:250



SITE PLAN
SCALE 1:250

Summary of BASIX Requirements	
External Related Requirements	
• Provide minimum 2000L above ground rain water tank with pressure pump connected to all toilets, washing machine and one outdoor tap.	
• Provide minimum 175m ² roof catchment to water tank via first flush overflow device.	
• Provide approximately 115m ² designated lawns and garden.	
• Provide external clothes line.	
Plumbing/Water related Requirements	
• Connect rainwater tank to supply all toilets, washing machine and at least one outdoor tap.	
• Provide minimum 4 star rated toilet.	
• Provide minimum 3 star rated taps to kitchen.	
• Provide minimum 3 star rated taps to bathroom.	
• Provide minimum 3 star rated (>7.5 <9L/min) shower heads to all showers.	
Construction Related Requirements	
• Provide sarking to underside of roof covering.	
• Provide sarking to external walls.	
• Provide minimum R2.0 insulation to all external walls.	
• Provide minimum R3.5 ceiling insulation.	
• Allowable roof colour range is 'LIGHT', 'MEDIUM' or 'DARK' (solar absorbance > 0.70).	
• Window frames and glazing as per BASIX certificate.	
Energy Related Requirements	
• Provide instant gas water system. Minimum performance 5 star.	
• Provide gas cooktop with electric oven.	
• Provide energy efficient LED or fluorescent light fittings to 3x bedrooms and 2x living areas.	
• Provide exhaust fan to laundry, ducted to facade or roof. Operation via manual ON/OFF switch.	
Rainwater Tank requirements	
• All pipes carrying rainwater to be approved products and clearly and permanently marked "RAINWATER" CONTINUOUSLY ALONG LENGTH.	
• Every rainwater tank outlet is to be labelled "RAINWATER" on a permanent sign as detailed by AS1319.	
• Downpipes supplying the rainwater tank must do so via a first flush device to prevent debris entering the tank.	
• Details are to be as per instructions from the local Council or Certifying Authority.	



The Essential First Step

NOTES:

The builder is responsible for verifying all dimensions, timber sizes, material lists, wind ratings, and setbacks prior to commencement of any work.

Only written measurements & dimensions are to be used. Do not obtain measurements by scaling off drawings.

Building works are to be set out by a registered surveyor. Provide smoke detectors as per BCA Vol.2 3.7.2 and AS3786.

NatHERS RATING (if applicable)

REVISION SCHEDULE

No.	Description	Date
1	Re-design main bedroom.	
2	Raise living area FL	05/03/19
3	Add extra living area.	28/05/19

midcoast design
and drafting

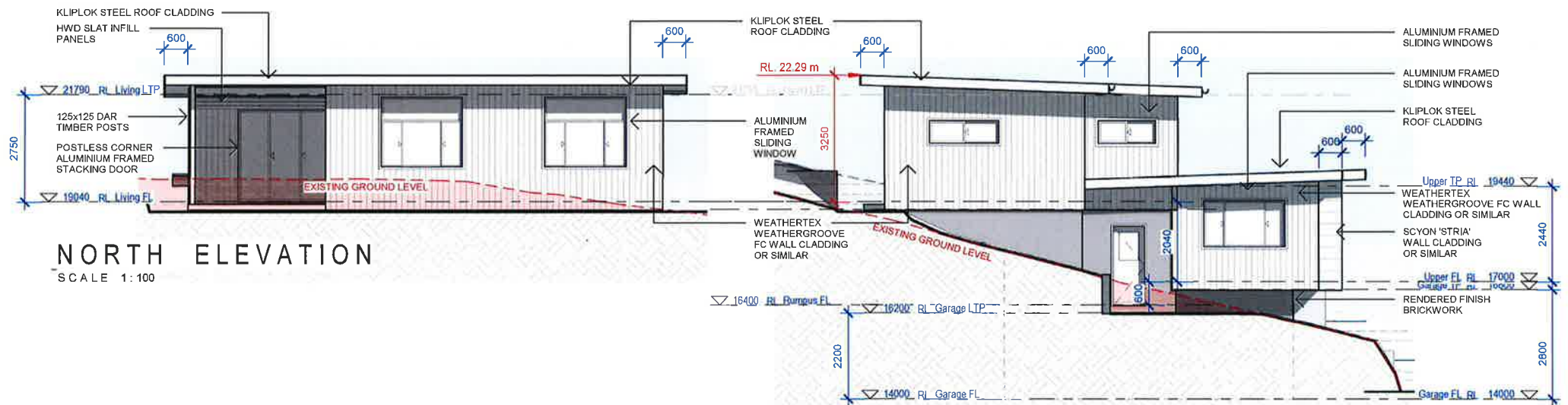
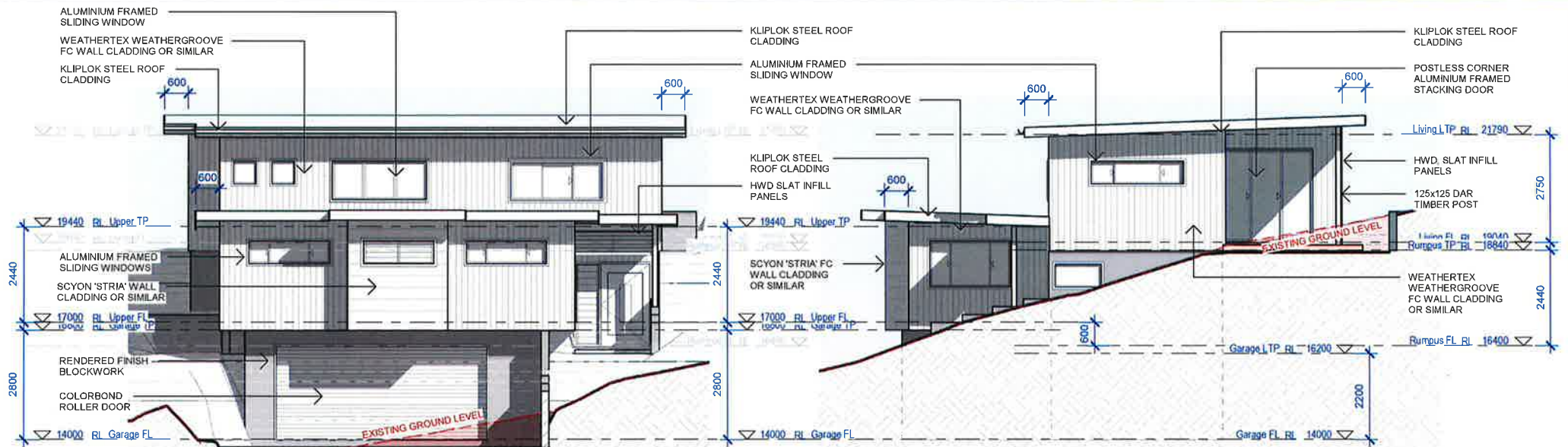
suite 6/41 belgrave street
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PROJECT PROPOSED DWELLING
AT LOT 1 DP122229
145A CRESCENT ROAD
NEWPORT

CLIENT J. & J. SHANAHAN

Scale	1:250	SHEET
Drawn	RDM	01
Date	22/10/2018	
Issued to:		Revision
Project no.	01416H	03



NOTES:

The builder is responsible for verifying all dimensions, timber sizes, material lists, wind ratings, and setouts prior to commencement of any work.

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Building works are to be set out by a registered surveyor. Provide smoke detectors as per BCA Vol.2 3.7.2 and AS3786.

RAIHERS RATING (if applicable)

REVISION SCHEDULE

No.	Description	Date
1	Re-design main bedroom.	
2	Raise living area FL	05/03/19
3	Add extra living area.	28/05/19

midcoast design and drafting

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PROJECT: PROPOSED DWELLING
AT LOT 1 DP1229229
145A CRESCENT ROAD
NEWPORT

CLIENT: J. & J. SHANAHAN

Scale	1:100
Drawn	RDM
Date	22/10/2018
Issued to:	
Project no.	01416H

SHEET

04

Revision
03