

# FITTLER RESIDENCE PROPOSED ALTERATIONS AND ADDITIONS

## 13 HUNTER STREET SOUTH, WARRIEWOOD NSW 2102

### DRAWING SCHEDULE

00	COVER SHEET
N1	SPECIFICATION
N2	SCHEDULE + BASIX COMMITMENTS
E1	EXISTING UPPER FLOOR PLAN
E2	EXISTING GROUND FLOOR PLAN
A1	UPPER FLOOR PLAN
A2	GROUND FLOOR PLAN
A3	GROUND FLOOR DIMENSION PLAN
A4	ELEVATION - NORTH WEST
A5	ELEVATION - NORTH EAST
A6	ELEVATION - SOUTH EAST
A7	ELEVATION - SOUTH WEST
A8	A-A - CROSS SECTION
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A10	C-C LONG SECTION
S1	SITE ANALYSIS PLAN
S2	SITE PLAN AND CALCULATIONS
S3	SITE MANAGEMENT PLAN
S4	SHADOW DIAGRAM - 9AM WINTER SOLSTICE - JUNE 21ST
S5	SHADOW DIAGRAM - 12NOON WINTER SOLSTICE - JUNE 21ST
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S7	STORMWATER CONCEPT PLAN
NN	NEIGHBOUR NOTIFICATION

#### PLAN OR DOCUMENT CERTIFICATION

I am a qualified structural draftsman

I hold the following qualifications:

Building Certificate - Sydney TAFE

Member - Building Designers Association Australia - Accreditation no. 6255

Further I am appropriately qualified to certify this component of the project.

I hereby state that these plans or details comply with the conditions of development consent of the appropriate local government authority and / or the relevant Australian building industry standards.

SALLY GARDNER

05/09/2019

*Sally Gardner*

Name

Date

Signature

## 5th September 2019



BUILDING DESIGNERS ASSOCIATION OF AUSTRALIA

SALLY GARDNER DESIGN AND DRAFT



SustainAbility Design™ Specialist

47 Towradgi Street, Narrabeena, NSW, 2099 Australia  
ABN 17 751 732 195  
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SPECIFICATION

"Approval" to be obtained by either an "Accredited Certifying Authority" or "Local Council".

The Owner will directly pay all fees associated with the following:  
building approval from Council or Accredited Certifier  
any footpath and kerb deposits with the local council  
insurance fees to Building Services Corporation  
Long Service Leave Levies and approval fees by water and sewerage authorities.  
All other fees are to be paid by the Builder.  
The amount of any local authority deposits which are forfeited due to damage or other causes, will be deducted from payments from the Builder.

The Builder is to provide at his/her own expense, adequate Public Risk Insurance and arrange indemnification under the Workers Compensation Act. Work insurance to be as stated in the contract conditions.

All tenderer's are to visit the site:  
to satisfy themselves as to the nature and extent of the works  
to satisfy themselves as to facilities available and difficulties entailed in the works  
variations will not be allowed due to work arising owing to neglect of this clause.

These drawings shall be read in conjunction with all structural and other consultant's drawings and specifications and with any such written instructions as may be issued during the course of the contract.

Set out dimensions shown on the drawings shall be verified by the Builder on site before commencement of any work.  
Dimensions shall not be obtained by scaling the drawings.  
Use only figured dimensions.  
All dimensions are in millimetres.

The Builder is to ensure all construction, levels and other items comply with the conditions of the Building Approval.

Any detailing in addition to what is supplied shall be resolved between the Owner and the Builder, to the Owner's approval, except for any structural details or design which is to be supplied by the Engineer.

All work is to be carried out in a tradesman like manner and in accordance with:  
The Australian Standards  
codes and regulations of the Standards Association of Australia  
The Building Code of Australia  
Any statutory authority having jurisdiction over the works.

Any work indicated on the plans but not specified and any item not shown on the plans which is obviously necessary as part of proper construction and/or finish, is to be considered, as shown and specified, and is to be undertaken at the Builder's expense.

Variations will not be permitted without prior written approval by the owners.

The Builder shall provide sediment and siltration control measures as required by Council and maintain them throughout the duration of the works.

A legible copy of the plans bearing approval stamps, must be maintained on the job site at all times.  
Hours of construction shall be restricted to the times as required by the building approval.

The Builder is to arrange for all inspections required by the relevant authorities and/or lending institutions, to their requirements.

STRUCTURAL WORK  
All structural work is to be in accordance with the structural details prepared by a suitably qualified Structural Engineer. Including but not limited to  
All piers,  
All footings  
All concrete slabs  
Retaining walls  
Steelwork  
Form work  
underpinning  
Additional structural loads  
Timber framing  
Wind bracing and associated connections.  
Builder to obtain prior to finalising tender, unless previously obtained by owners.

BRICKWORK  
All brickwork is to be selected by owners  
Brickwork is to comply with AS1640, to the heights shown on the drawings.  
All masonry is to comply with AS 3700.  
All exposed brickwork must be cleaned down on completion.  
Spacing of piers is related to span and spacing of bearers. For brickwork:  
A Minimum size of 230 x 230 and up to 1500mm high, then increase to 350 x 350 in lower portion, for extra height.  
Engaged piers to be a minimum 230 x 110. To be spaced generally at not more than 1800mm centres, to support floor framing.  
Install bituminous coated aluminium damp course into all brickwork, Including free standing piers, at a height not less than 3 courses above finished ground level and lapped 150 at joints and laid in 2 runs in cavity walls or as otherwise directed.

METALWORK  
Provide all metalwork and flashings necessary to satisfactorily complete the works.

TIMBER  
All timber construction to be in accordance with AS 1684 - "Timber Framing Code".  
External wall to be wrapped in a breathable membrane.

GLAZING  
All glazing installed is to comply with AS 1288, AS 2047 and in accordance with manufacturer's recommendations.

WALL + CEILING LINING  
All wall and ceiling linings to be plasterboard or cement render as selected and villaboard or equal in wet areas.  
Workmanship is to comply with the relevant Australian Standards or installed in accordance with manufacturer's specifications.  
All bathrooms and wet areas are to be adequately waterproofed to manufacturer's specification and AS3740 and Part 3.8.1 of the Building Code of Australia Housing Provisions.

ARCHITRAVES + SKIRTING  
All architraves and skirting's to be to owner's selection or provide standard colonial moldings or to match existing.  
Paint or stain finish as selected.

PLUMBING + DRAINAGE  
Plumbing  
All plumbing and drainage works to be installed and completed by a licensed trades person.  
Provide & connect all new & relocated fittings to drainage system through wastes & traps as required by the Authority and in accordance with the statutory body having authority over the works.  
All sanitary drainage must be concealed in service ducts or otherwise hidden from external view to the satisfaction of the Responsible Authority  
Connect all waste to Sydney Water sewer line.  
Connect all storm water to existing system or street drainage system in accordance with AS3500 and part 3.1.2 Drainage, of the Building Code of Australia - Housing Provisions.

Water Service  
Extend from existing service with copper pipe to allow new & relocated fittings & hose cocks as indicated on plan & terminate with pressure cocks all to Authorities & requirements.

Hot Water  
Provide copper water service which is fully lagged to all new & existing fittings as required.

SMOKE DETECTORS  
Smoke detector alarms to be installed in accordance with AS3786 and the Building Code of Australia.

TERMITE PROTECTION  
Termite protection measures to comply with AS3660 and be installed to manufacturer's specification.

STAIRS + BALUSTRADES  
Stairs and Balustrades to comply with part 3.9.1 & 3.9.2 of the Building Code of Australia Housing Provisions.

ELECTRICAL WORKS  
Electrical works to be in accordance with SAA wiring rules and be done by a licensed tradesman.  
Obtain electrical layout prior to proceeding.  
All electrical power (GPO) and light outlets to be determined by owner.

PAINTING  
All paint colours to be selected by owners  
All paints or other coatings shall be of the best quality materials + of approved manufacture.  
External grade paints to be used to all external surfaces.  
All priming materials shall be of an approved brand and compatible to the finishing coats that they are applied to.  
External joinery intended to be painted, shall be primed on all faces at the place of assembly.  
Where new or altered works adjoin existing painted surfaces, allow for the repainting of existing surfaces to provide a uniform appearance.  
Only ZERO-VOC or LOW-VOC paints and primers are to be used.

WINDOW SCHEDULE

WINDOWS	HEIGHT	WIDTH	ORIENTATION	LOCATION	COMMENTS		
GROUND FLOOR							
NORTH WEST							
W1	0.450 m	3.100 m	North East	Family	Timber frame	single clear glass (U-value:5.71, SHGC: 0.66) or better	Projection/height above sill ratio >=0.43 Existing Eave to be used as projection.
W2	0.450 m	2.600 m	North East	Study	Timber frame	single clear glass (U-value:5.71, SHGC: 0.66) or better	Projection/height above sill ratio >=0.43 Existing Eave to be used as projection.
NORTH EAST							
D3	2.405 m	1.070 m	South East	Entry	Timber frame	single clear glass (U-value:5.71, SHGC: 0.66) or better	
W4	2.250 m	4.100 m	South East	Family	Timber frame	single clear glass (U-value:5.71, SHGC: 0.66) or better	
SOUTH EAST							
W5	2.405 m	2.050 m	South West	Entry	Timber frame	single clear glass (U-value:5.71, SHGC: 0.66) or better	
SOUTH WEST							
D6	2.100 m	0.870 m	North West	Study	Timber frame	single clear glass (U-value:5.71, SHGC: 0.66) or better	
ROOF							
S1	0.600 m	1.600 m	Roof	Family	Aluminium moulded plastic	Single Clear Glass (U-value:6.21, SHGC: 0.808) or better	

BASIX COMMITMENTS

LIGHTING  
A minimum of 40% of new or altered light fixtures must be fitted with fluorescent, compact fluorescent or light-emitting diode (LED) lamps.

BASIX INSULATION SCHEDULE

CONSTRUCTION	ADDITIONAL INSULATION REQUIRED (R-VALUE)	OTHER SPECIFICATIONS
Suspended floor with open subfloor: framed (R0.7)	R0.8 (down) (or R1.50 including construction)	
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)	
flat ceiling, pitched roof	ceiling: R3.00 (up), roof: foil/sarking	Dark (solar absorptance > 0.70)

COLOUR SCHEDULE



Colour classification in accordance with NSW Basix:  
Dark solar absorptance: >0.70  
Colour: Client to confirm - to match existing colorbond roofing outside laundry.  
Material - Lysaght colorbond steel 'Klip lok' 406mm profile roof sheeting or similar

WINDOW NOTES

All window + door sizes listed include the frame and are nominal sizes for BASIX Certification.

All glazing assemblies are to comply with AS2047 and AS1288

All external glazing is to have a maximum reflectivity index of 25%.

All Doors and Windows to be keyed alike with deadlocks to all sashes & doors.

Provide weather strips and door seals around openings to prevent drafts.

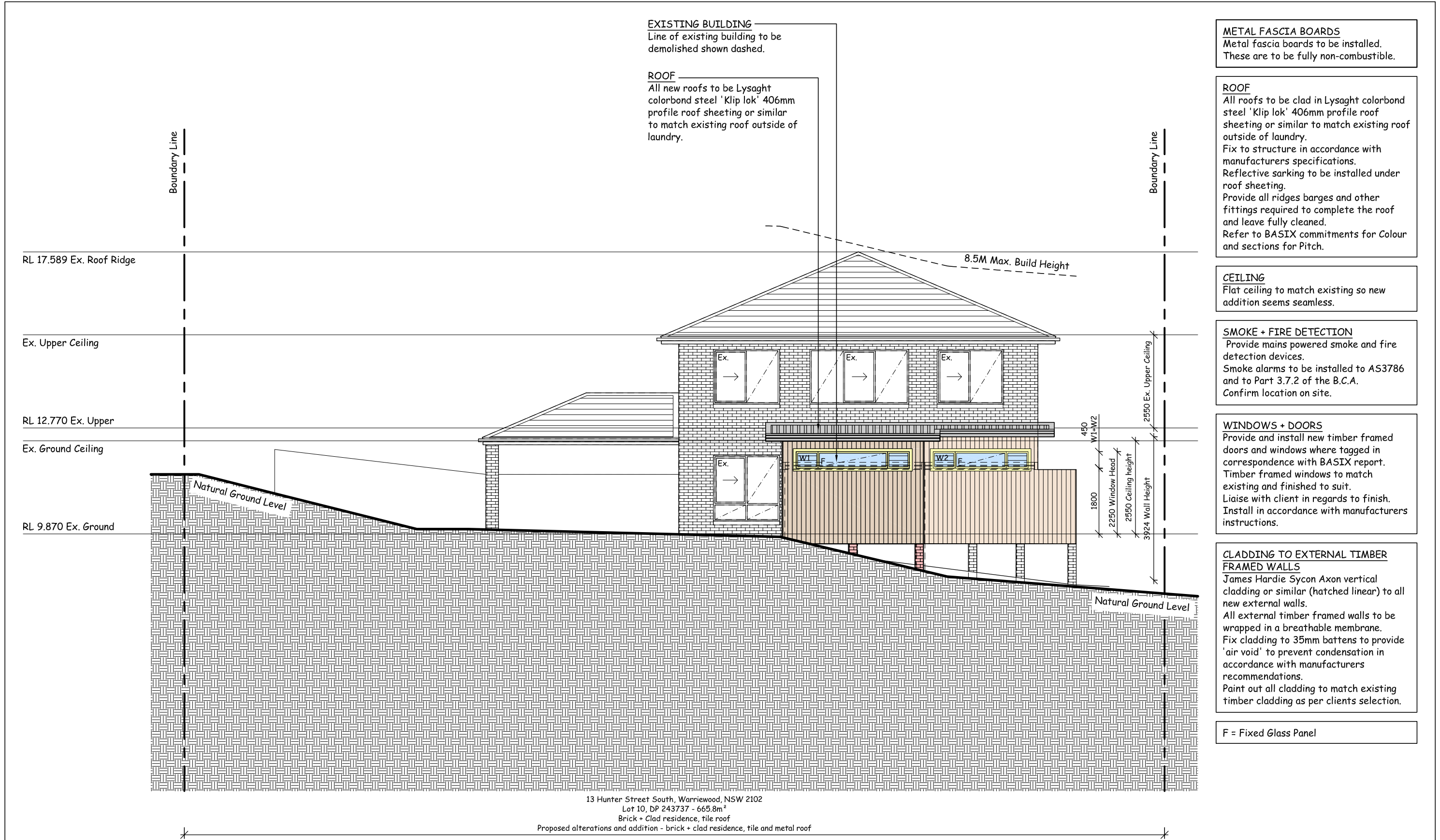
All new bedroom windows, where the floor level of the room is 2.0m or more above outside finished ground level, must be supplied with either permanently fixed robust mesh screens or permanent window locks which prevent the window from opening more than 125mm, if the lowest openable portion of the window is within 1.7m of the floor, in accordance with N.C.C. requirements, for child safety.

All Bedroom windows facing side boundaries are to be <2m<sup>2</sup>

# Denotes window requiring additional shading device to BASIX certification requirements.  
Refer to BASIX certificate for details.

GLAZING NOTE  
Window load classification to all new windows and glazed doors to be confirmed by the engineer prior to ordering and installation.  
To be installed in accordance with AS4055-2012.





Elevation - North East



**BALUSTRADE**  
Infill section of existing balustrade to hide angle of new roof.  
Balustrade to all three sides to be clad in same way.  
balustrade to be clad in James Hardie Sycon Axon vertical cladding or similar to match new addition.  
Install to N.C.C. requirements.  
Minimum 1m high from finished floor level.

**DOOR D3**  
Carefully remove existing pivot entry door (middle panel below) and insert as Door D3.  
Refer to plan for further clarification



**WINDOW TRIMS**  
Provide timber trims to all new windows in timber framed external walls.  
Trims to clients selection



**METAL FASCIA BOARDS**  
Metal fascia boards to be installed.  
These are to be fully non-combustible.

**ROOF**  
All roofs to be clad in Lysaght colorbond steel 'Klip lok' 406mm profile roof sheeting or similar to match existing roof outside of laundry.  
Fix to structure in accordance with manufacturers specifications.  
Reflective sarking to be installed under roof sheeting.  
Provide all ridges barges and other fittings required to complete the roof and leave fully cleaned.  
Refer to BASIX commitments for Colour and sections for Pitch.

**CEILING**  
Flat ceiling to match existing so new addition seems seamless.

**SMOKE + FIRE DETECTION**  
Provide mains powered smoke and fire detection devices.  
Smoke alarms to be installed to AS3786 and to Part 3.7.2 of the B.C.A.  
Confirm location on site.

**WINDOWS + DOORS**  
Provide and install new timber framed doors and windows where tagged in correspondence with BASIX report.  
Timber framed windows to match existing and finished to suit.  
Liaise with client in regards to finish.  
Install in accordance with manufacturers instructions.

**CLADDING TO EXTERNAL TIMBER FRAMED WALLS**  
James Hardie Sycon Axon vertical cladding or similar (hatched linear) to all new external walls.  
All external timber framed walls to be wrapped in a breathable membrane.  
Fix cladding to 35mm battens to provide 'air void' to prevent condensation in accordance with manufacturers recommendations.  
Paint out all cladding to match existing timber cladding as per clients selection.

F = Fixed Glass Panel

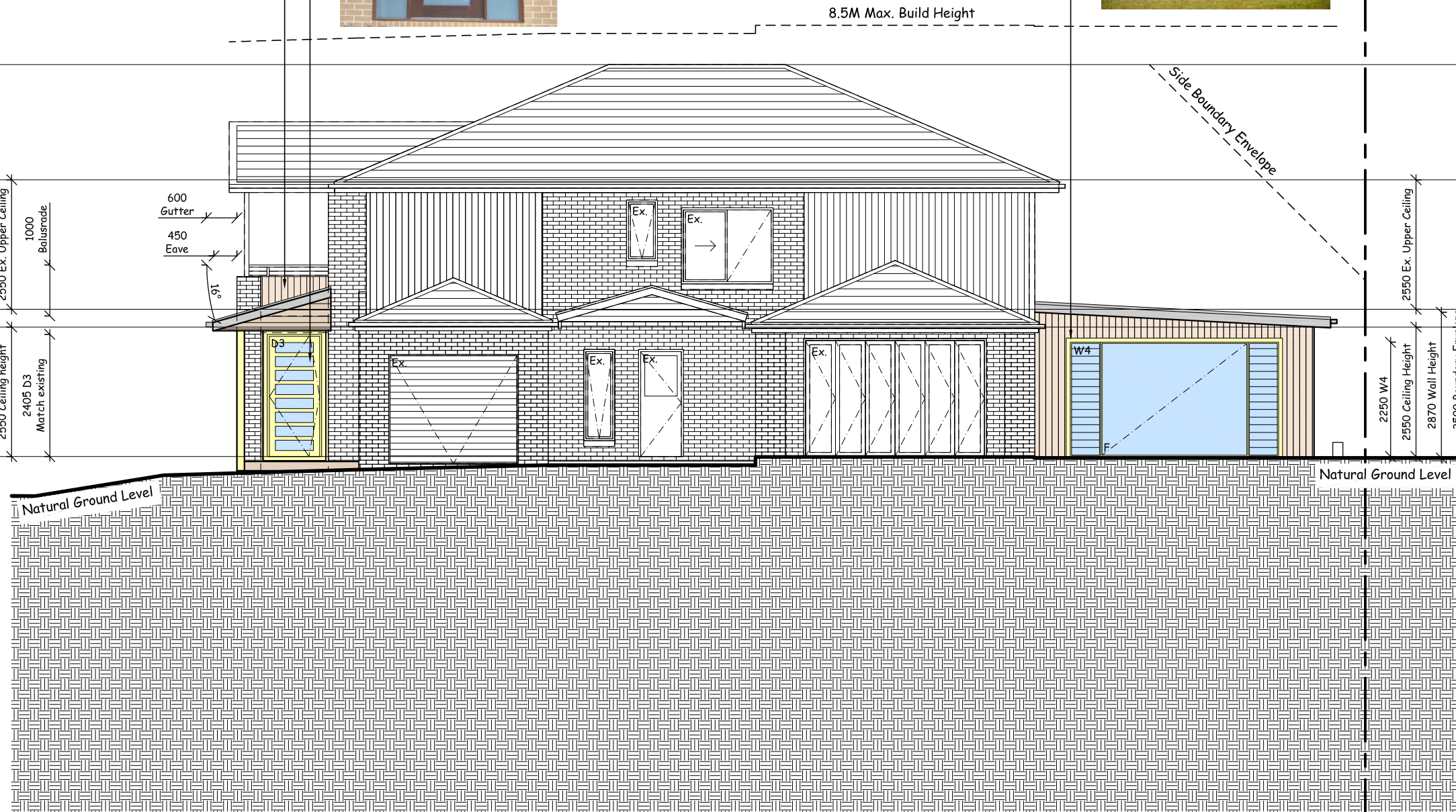
RL 17.589 Ex. Roof Ridge

Ex. Upper Ceiling

RL 12.770 Ex. Upper

Ex. Ground Ceiling

RL 9.870 Ex. Ground



13 Hunter Street South, Warriewood, NSW 2102  
Lot 10, DP 243737 - 665.8m<sup>2</sup>  
Brick + Clad residence, tile roof  
Proposed alterations and addition - brick + clad residence, tile and metal roof

## Elevation - South East



**METAL FASCIA BOARDS**  
Metal fascia boards to be installed.  
These are to be fully non-combustible.

**ROOF**  
All roofs to be clad in Lysaght colorbond steel 'Klip lok' 406mm profile roof sheeting or similar to match existing roof outside of laundry.  
Fix to structure in accordance with manufacturers specifications.  
Reflective sarking to be installed under roof sheeting.  
Provide all ridges barges and other fittings required to complete the roof and leave fully cleaned.  
Refer to BASIX commitments for Colour and sections for Pitch.

**CEILING**  
Flat ceiling to match existing so new addition seems seamless.

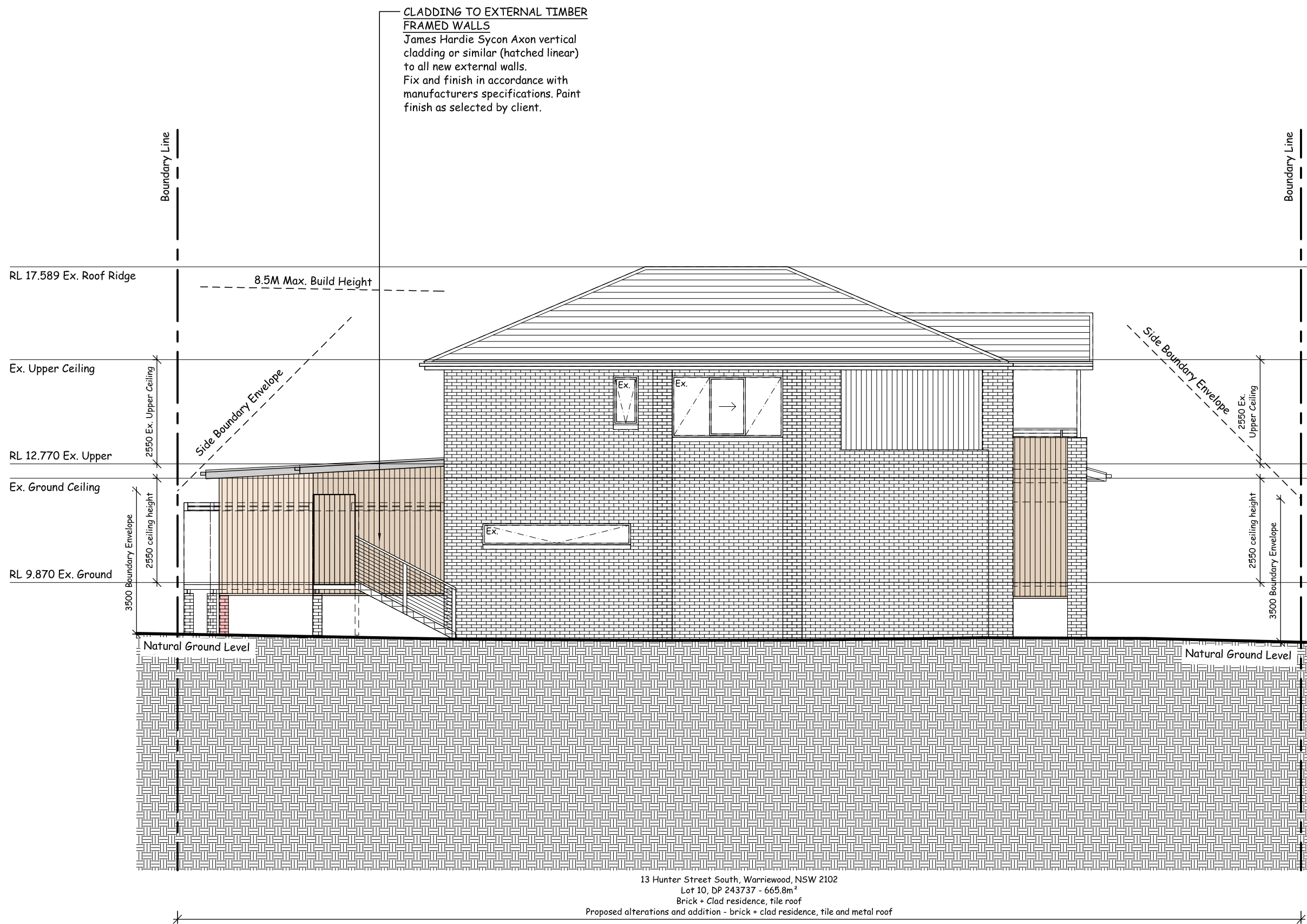
**SMOKE + FIRE DETECTION**  
Provide mains powered smoke and fire detection devices.  
Smoke alarms to be installed to AS3786 and to Part 3.7.2 of the B.C.A.  
Confirm location on site.

**WINDOWS + DOORS**  
Provide and install new timber framed doors and windows where tagged in correspondence with BASIX report.  
Timber framed windows to match existing and finished to suit.  
Liaise with client in regards to finish.  
Install in accordance with manufacturers instructions.

**CLADDING TO EXTERNAL TIMBER FRAMED WALLS**  
James Hardie Sycon Axon vertical cladding or similar (hatched linear) to all new external walls.  
All external timber framed walls to be wrapped in a breathable membrane.  
Fix cladding to 35mm battens to provide 'air void' to prevent condensation in accordance with manufacturers recommendations.  
Paint out all cladding to match existing timber cladding as per clients selection.

F = Fixed Glass Panel

Elevation - South West



**CLADDING TO EXTERNAL TIMBER  
FRAMED WALLS**  
James Hardie Sycon Axon vertical  
cladding or similar (hatched linear)  
to all new external walls.  
Fix and finish in accordance with  
manufacturers specifications. Paint  
finish as selected by client.

**METAL FASCIA BOARDS**  
Metal fascia boards to be installed.  
These are to be fully non-combustible.

**ROOF**  
All roofs to be clad in Lysaght colorbond  
steel 'Klip lok' 406mm profile roof  
sheeting or similar to match existing roof  
outside of laundry.  
Fix to structure in accordance with  
manufacturers specifications.  
Reflective sarking to be installed under  
roof sheeting.  
Provide all ridges barges and other  
fittings required to complete the roof  
and leave fully cleaned.  
Refer to BASIX commitments for Colour  
and sections for Pitch.

**CEILING**  
Flat ceiling to match existing so new  
addition seems seamless.

**SMOKE + FIRE DETECTION**  
Provide mains powered smoke and fire  
detection devices.  
Smoke alarms to be installed to AS3786  
and to Part 3.7.2 of the B.C.A.  
Confirm location on site.

**WINDOWS + DOORS**  
Provide and install new timber framed  
doors and windows where tagged in  
correspondence with BASIX report.  
Timber framed windows to match  
existing and finished to suit.  
Liaise with client in regards to finish.  
Install in accordance with manufacturers  
instructions.

**CLADDING TO EXTERNAL TIMBER  
FRAMED WALLS**  
James Hardie Sycon Axon vertical  
cladding or similar (hatched linear) to all  
new external walls.  
All external timber framed walls to be  
wrapped in a breathable membrane.  
Fix cladding to 35mm battens to provide  
'air void' to prevent condensation in  
accordance with manufacturers  
recommendations.  
Paint out all cladding to match existing  
timber cladding as per clients selection.

F = Fixed Glass Panel

13 Hunter Street South, Warriewood, NSW 2102  
Lot 10, DP 243737 - 665.8m<sup>2</sup>  
Brick + Clad residence, tile roof  
Proposed alterations and addition - brick + clad residence, tile and metal roof

# Elevation - North West





Site Location

Address:  
13 Hunter Street South, Warriewood, NSW, 2102

Titles:  
Lot 10 Sec DP 243737

Land Area:  
665.8 SqM

DCP - Pittwater Flood Risk Planning Map  
Low Risk Precinct

DCP - Pittwater Landscape Area Map  
Area 3

DCP - Pittwater Landscaping  
50% of the site.

DCP - Private Open Space  
Minimum 80m<sup>2</sup> of private open space per dwelling at ground level, with no dimension less than 3 metres.  
No more than 75% of this private open space is to be provided in the front yard.

DCP - Pittwater Front Building Line  
6.5m /10m if adjoining Mona Vale Road

DCP - Pittwater Side Building Line  
One side: 1.0m  
Other side: 2.5m

DCP - Pittwater Rear Building Line  
6.5m

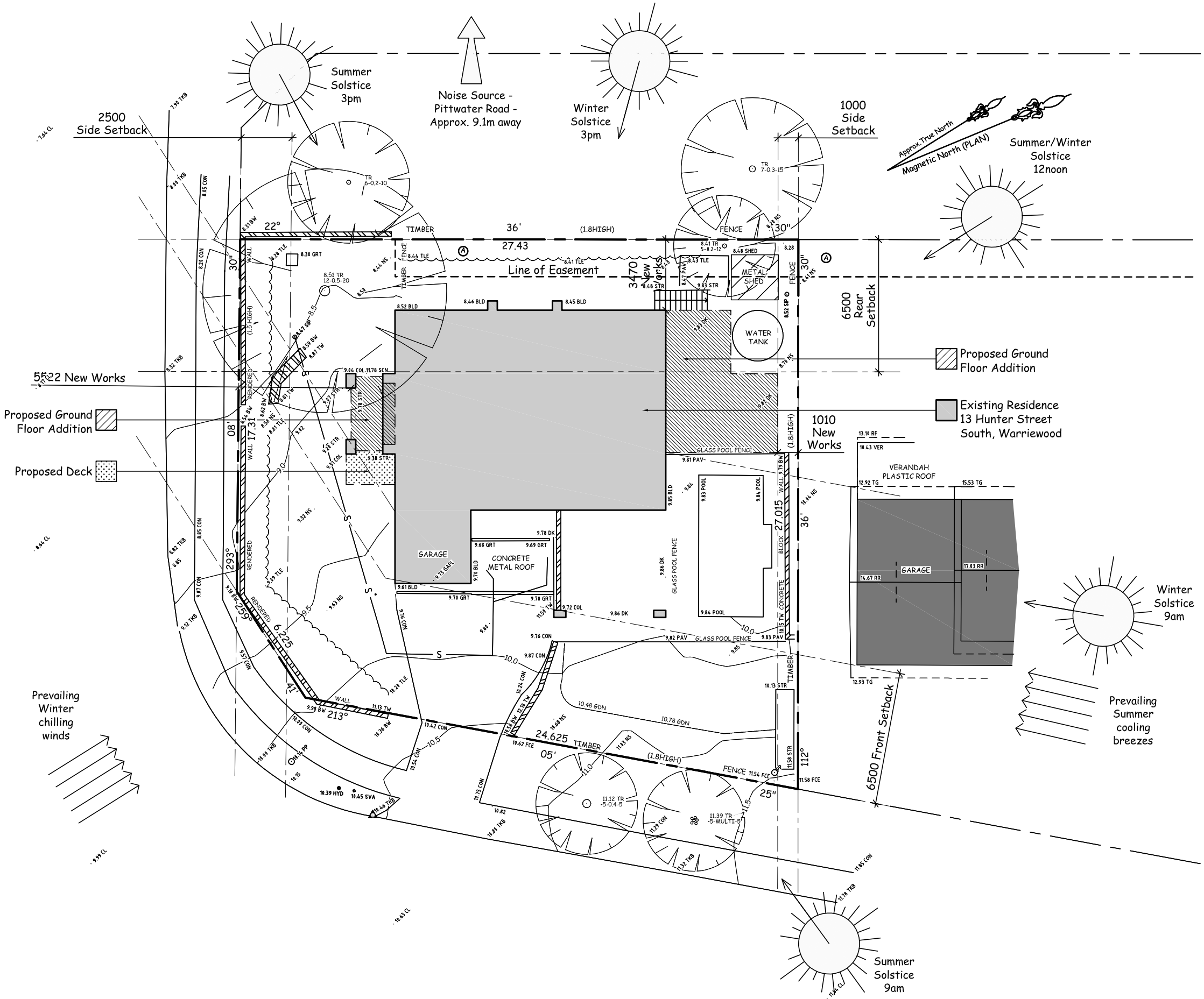
DCP - Pittwater Building Envelope  
Planes are to be projected at 45 degrees from a height of 3.5 metres above ground level (existing) at the side boundaries to the maximum building height

LEP - Pittwater Height of Buildings Area Map  
I - 8.5m

LEP - Pittwater Land Zoning Map  
R2 - Low Density Residential

LEP - Pittwater Lot Size Map  
K - 550m<sup>2</sup>

LEP - Pittwater Acid Sulfate Soils Map  
Class 5  
Works within 500 metres of adjacent Class 1, 2, 3 or 4 land that is below 5 metres Australian Height Datum and by which the watertable is likely to be lowered below 1 metre Australian Height Datum on adjacent Class 1, 2, 3 or 4 land.



CODE

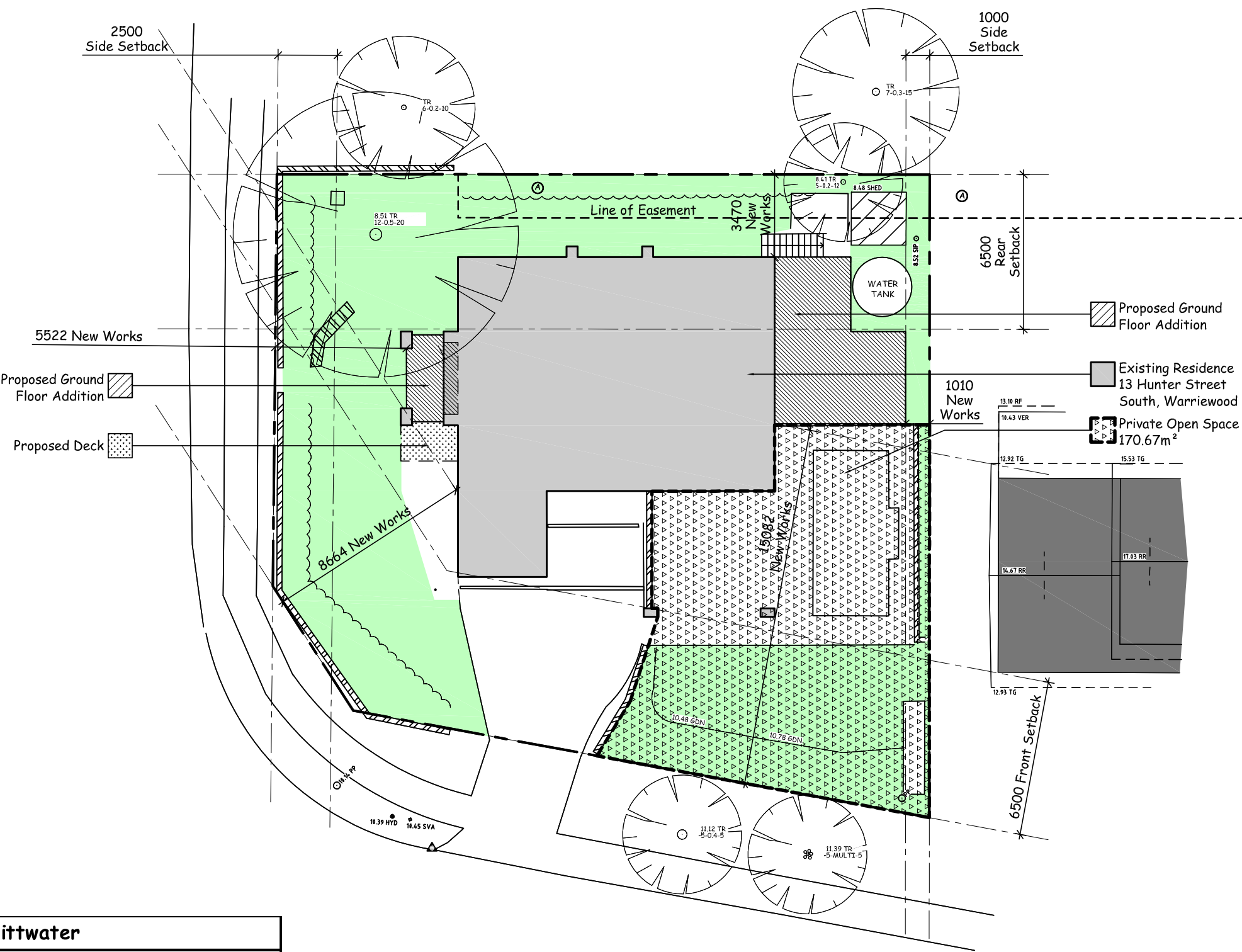
Existing Residence

Landscape area

Proposed Ground Floor Addition

Proposed Deck

Private open Space  
80m2 at 3m minimum



Site Calculations		Northern Beaches Council - Pittwater			
Site Area		665.8 m2			
	Existing		Proposed		Control      Complys
Residence	147.08 m2	22.09%	184.49 m2	27.71%	
Driveway	43.48 m2	6.53%	43.48 m2	6.53%	
Decks + Paving	155.99 m2	23.43%	129.58 m2	19.46%	
Site Coverage	346.55 m2	52.05%	357.55 m2	53.70%	
Pervious	319.25 m2	47.95%	308.25 m2	46.30%	
Landscaping	293.81 m2	44.13%	281.84 m2	42.33%	332.9 m2    50%    No. decrease of 1.8%/11.97m2



**SEDIMENT NOTE :**  
All Erosion and Sediment Control measures to be inspected and maintained daily by the site manager.  
Minimise disturbed areas, remove excess soil from excavated area as soon as possible.  
All material stockpile to be clear from drains, gutters and footpaths, or within sediment fence area.  
Drainage to be connected to storm water as soon as possible. If stored on site, it must be filtered before releasing into storm water system or waterways.  
Roads and footpaths to be swept daily.

**ON-SITE PRACTICES :**  
All trenches must be filled immediately after services are laid.  
Excess materials such as cement, water from tool cleaning, paintbrushes and brick and concrete slurry, must not be washed into storm water system. It's against the law to pollute waters with any solid, liquid or gas. Where possible, construct a depression or earth dam below brick, concrete or tile cutting. If this is not possible, pass waste water through a filtration system prior to release.

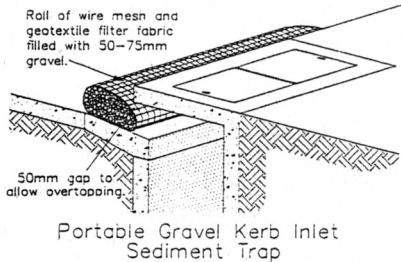
**SITE ACCESS :**  
Vehicular access to the site must be via a single entry point that is stabilised to prevent the tracking of sediment onto the roads and footpath. Soil, earth, mud, clay, concrete washing, paint or similar materials must be removed from the roadway, by means other than washing, on a daily basis.

**STOCKPILES :**  
All stockpiles are to be kept on-site where possible. Any materials placed on the footpaths or nature strips require council's permission.  
All stockpiles are to be placed away from the drainage lines and street gutters. It is best to locate these on the highest part of the site if possible. Place waterproof covering over stockpiles. If required provide diversion drain & bank around stockpiles.

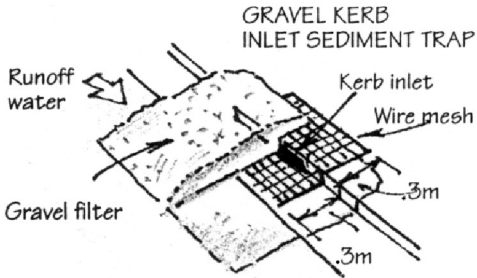
**SITE DISTURBANCE MINIMISATION :**  
This should be achieved by:  
restrict machinery and vehicle movement to the building footprint and access corridor.  
locating drainage lines close to the building within previously excavated areas  
confine storage areas to previously disturbed parts of the site, away from the drip-line of trees to be retained

**WASTE MINIMISATION :**  
This should be achieved by:  
ordering the right quantities of materials  
prefabrication of materials  
careful consideration of design to reduce the need for off-cuts  
co-ordination and sequencing of various trades

**DUST CONTROL :**  
To reduce dust generated by wind action, the removal of the top soil is to be minimised. To prevent dust generation, watering down of the site, especially during the movement of machinery is required.  
Where excavating into rock, keep the surface moist to minimise dust. Construct a gravel entry/exit point using blue metal and restrict all vehicle movements within the site to a minimum. Ensure wind breaks, such as existing fences are maintained during the construction phase until new landscaping is provided or reinstated. Prevent dust by covering stockpiles.



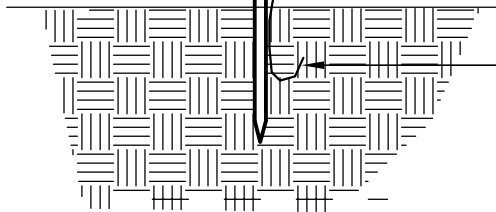
The trap involves a roll of wire mesh and geotextile filter fabric filled with gravel in front of the kerb inlet. It has the benefit of being portable and easily removed for cleaning. Ensure that there is a gap at the top to allow overtopping and prevent flooding.



**GUTTER PROTECTION :**  
Provide protection to downhill grate in gutter by means of sand bags or blue metal wrapped in geotextile fabric. When soil or sand builds up around this sediment barrier, the material should be relocated back to the site for disposal.



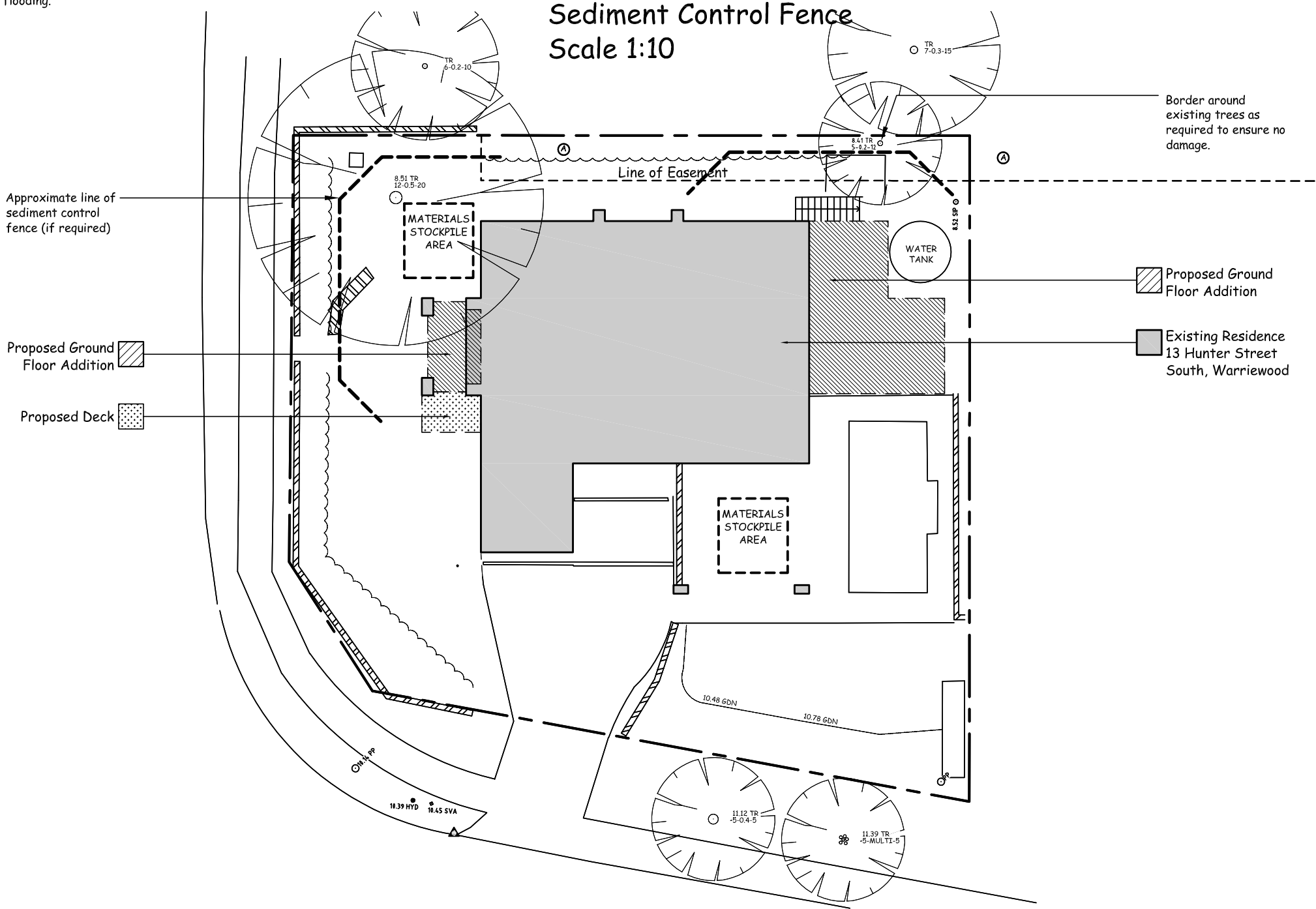
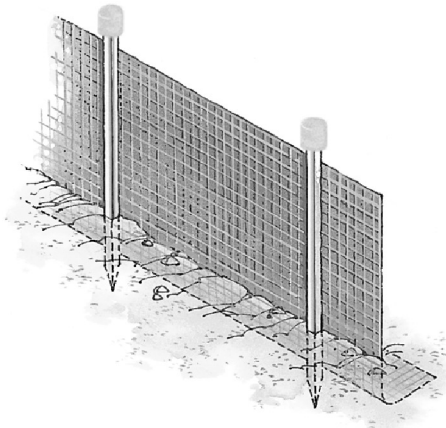
Star picket



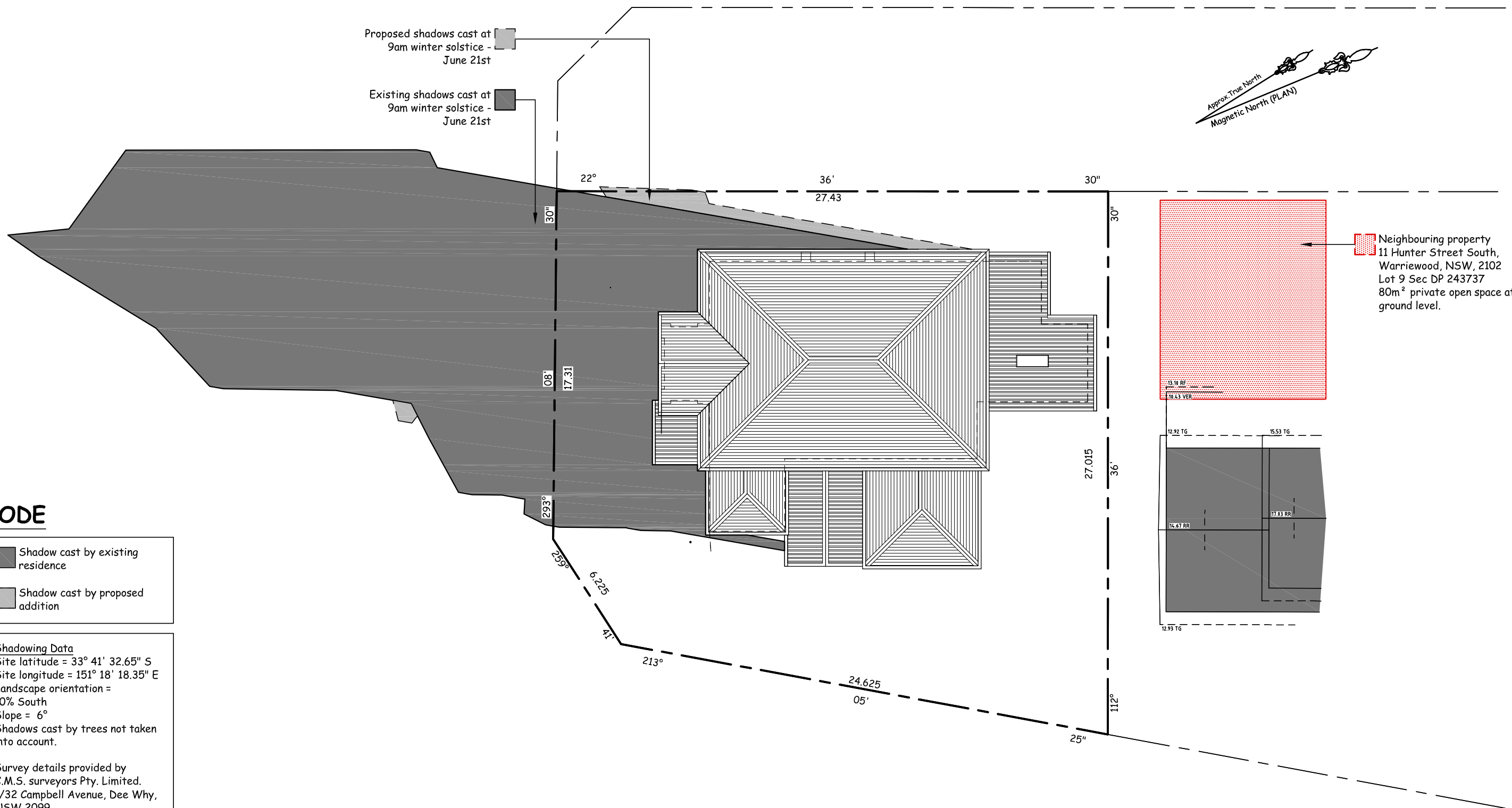
The fabric to the three lengths of horizontal fencing wire.

Geotextile fabric

Bury the end of the fabric min. 150 into the ground.







CODE

- Shadow cast by existing residence
- Shadow cast by proposed addition

Shadowing Data  
Site latitude = 33° 41' 32.65" S  
Site longitude = 151° 18' 18.35" E  
Landscape orientation = 10% South  
Slope = 6°  
Shadows cast by trees not taken into account.

Survey details provided by  
C.M.S. surveyors Pty. Limited.  
1/32 Campbell Avenue, Dee Why,  
NSW 2099

Note:  
No existing or new shadows are cast on neighbour at 9am/12noon or 3pm winter solstis - June 21st.

CODE

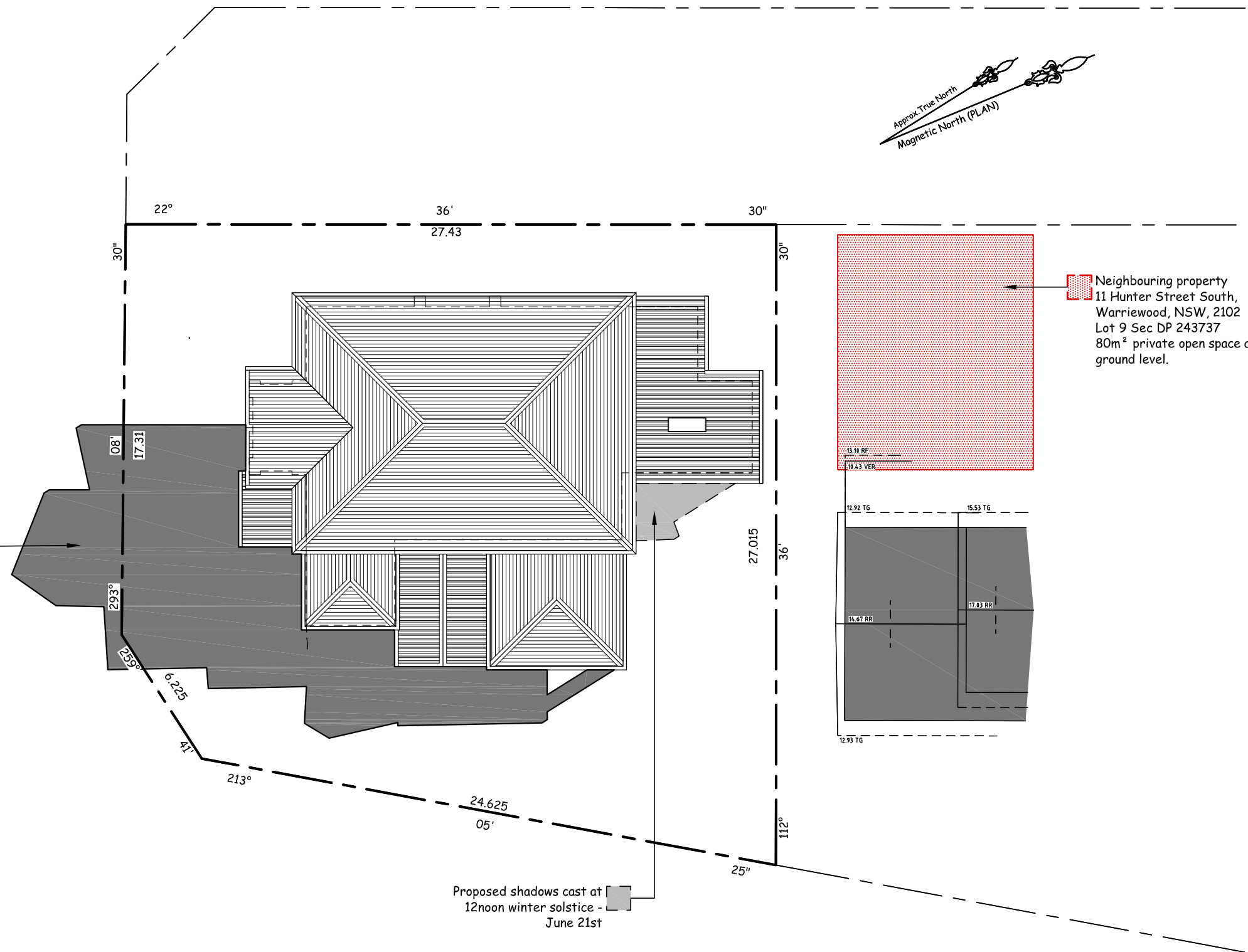
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Note:  
No existing or new shadows are cast on neighbour at 9am/12noon or 3pm winter solstis - June 21st.

Existing shadows cast at 12noon winter solstice - June 21st



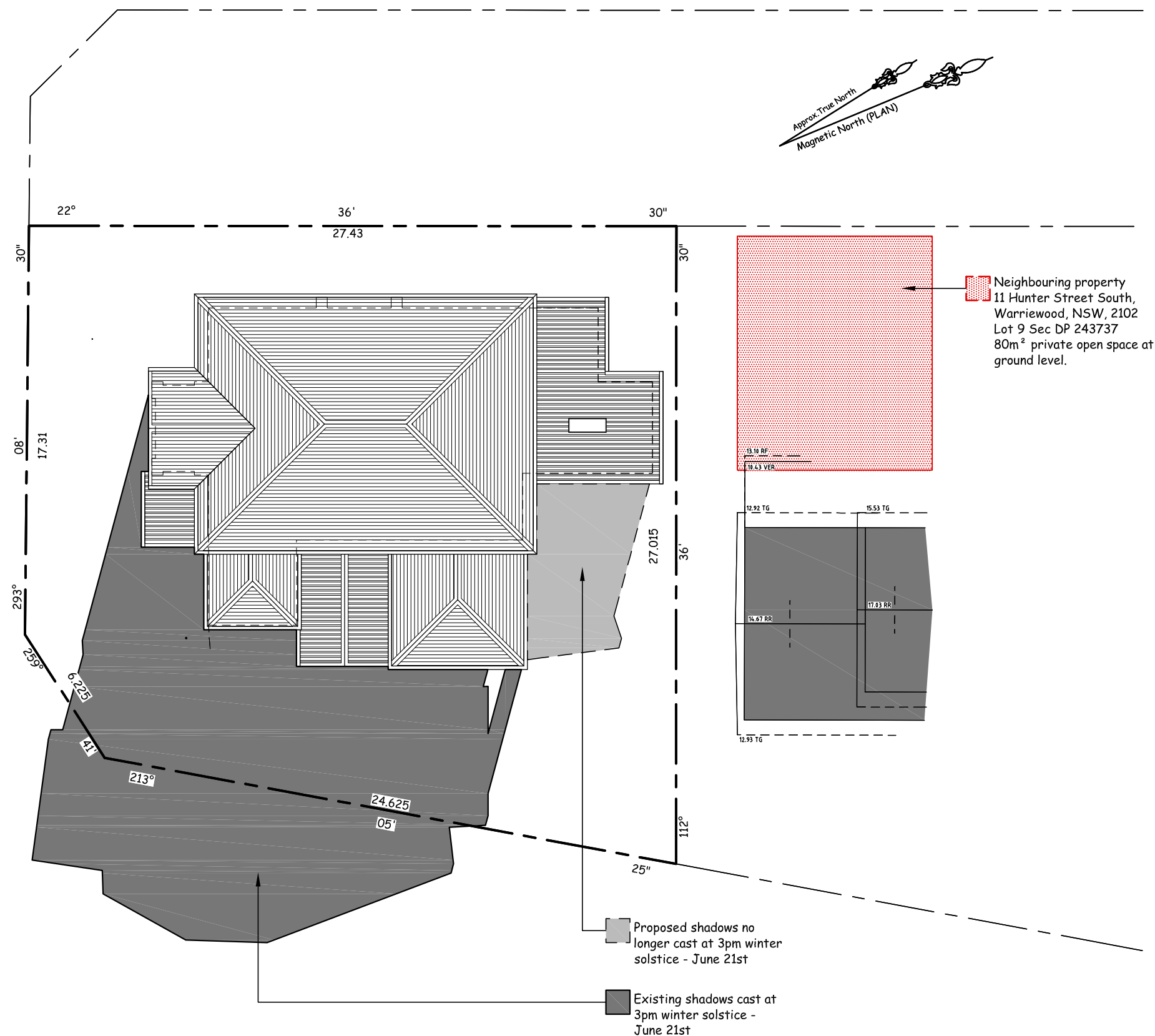
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Site longitude = 151° 18' 18.35" E  
Landscape orientation = 10% South  
Slope = 6°  
Shadows cast by trees not taken into account.

Survey details provided by  
C.M.S. surveyors Pty. Limited.  
1/32 Campbell Avenue, Dee Why,  
NSW 2099

Note:  
No existing or new shadows are  
cast on neighbour at 9am/12noon  
or 3pm winter solstis - June 21st.





All new down pipes + rainwater tank are to be connected to the existing storm water system that discharges to an existing council water collection system.

