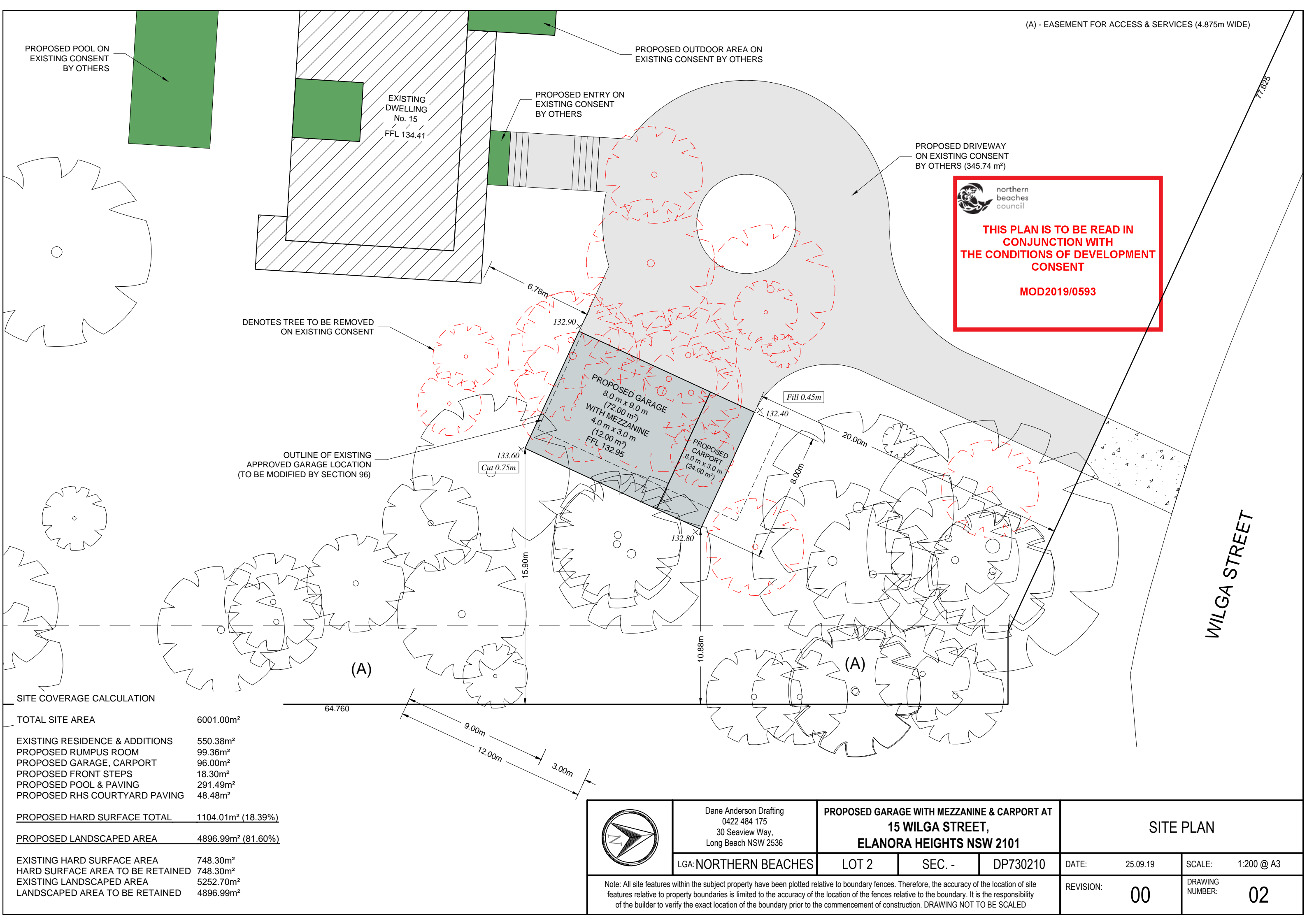


northern  
beaches  
council

**THIS PLAN IS TO BE READ IN  
CONJUNCTION WITH  
THE CONDITIONS OF DEVELOPMENT  
CONSENT**

**MOD2019/0593**

	Dane Anderson Drafting 0422 484 175 30 Seaview Way, Long Beach NSW 2536		PROPOSED GARAGE WITH MEZZANINE & CARPORT AT 15 WILGA STREET, ELANORA HEIGHTS NSW 2101			LOCATION PLAN	
	LGA: NORTHERN BEACHES	LOT 2	SEC. -	DP730210	DATE: 25.09.19	SCALE: 1:400 @ A3	
Note: All site features within the subject property have been plotted relative to boundary fences. Therefore, the accuracy of the location of site features relative to property boundaries is limited to the accuracy of the location of the fences relative to the boundary. It is the responsibility of the builder to verify the exact location of the boundary prior to the commencement of construction. DRAWING NOT TO BE SCALED					REVISION: 00	DRAWING NUMBER: 01	



(A) - EASEMENT FOR ACCESS & SERVICES (4.875m WIDE)

PROPOSED POOL ON  
EXISTING CONSENT  
BY OTHERS

PROPOSED OUTDOOR AREA ON  
EXISTING CONSENT BY OTHERS

EXISTING  
DWELLING  
No. 15  
FFL 134.41

PROPOSED ENTRY ON  
EXISTING CONSENT  
BY OTHERS

PROPOSED DRIVEWAY  
ON EXISTING CONSENT  
BY OTHERS (345.74 m²)



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MOD2019/0593

DENOTES TREE TO BE REMOVED  
ON EXISTING CONSENT

OUTLINE OF EXISTING  
APPROVED GARAGE LOCATION  
(TO BE MODIFIED BY SECTION 96)

PROPOSED GARAGE  
8.0 m x 9.0 m  
(72.00 m²)  
WITH MEZZANINE  
4.0 m x 3.0 m  
(12.00 m²)  
FFL 132.95

PROPOSED  
CARPORT  
8.0 m x 3.0 m  
(24.00 m²)

Fill 0.45m

WILGA STREET

SITE COVERAGE CALCULATION

TOTAL SITE AREA	6001.00m²
EXISTING RESIDENCE & ADDITIONS	550.38m²
PROPOSED RUMPUS ROOM	99.36m²
PROPOSED GARAGE, CARPORT	96.00m²
PROPOSED FRONT STEPS	18.30m²
PROPOSED POOL & PAVING	291.49m²
PROPOSED RHS COURTYARD PAVING	48.48m²

PROPOSED HARD SURFACE TOTAL	1104.01m² (18.39%)
PROPOSED LANDSCAPED AREA	4896.99m² (81.60%)

EXISTING HARD SURFACE AREA	748.30m²
HARD SURFACE AREA TO BE RETAINED	748.30m²
EXISTING LANDSCAPED AREA	5252.70m²
LANDSCAPED AREA TO BE RETAINED	4896.99m²



Dane Anderson Drafting  
0422 484 175  
30 Seaview Way,  
Long Beach NSW 2536

PROPOSED GARAGE WITH MEZZANINE & CARPORT AT  
15 WILGA STREET,  
ELANORA HEIGHTS NSW 2101

SITE PLAN

LGA: NORTHERN BEACHES

LOT 2

SEC. -

DP730210

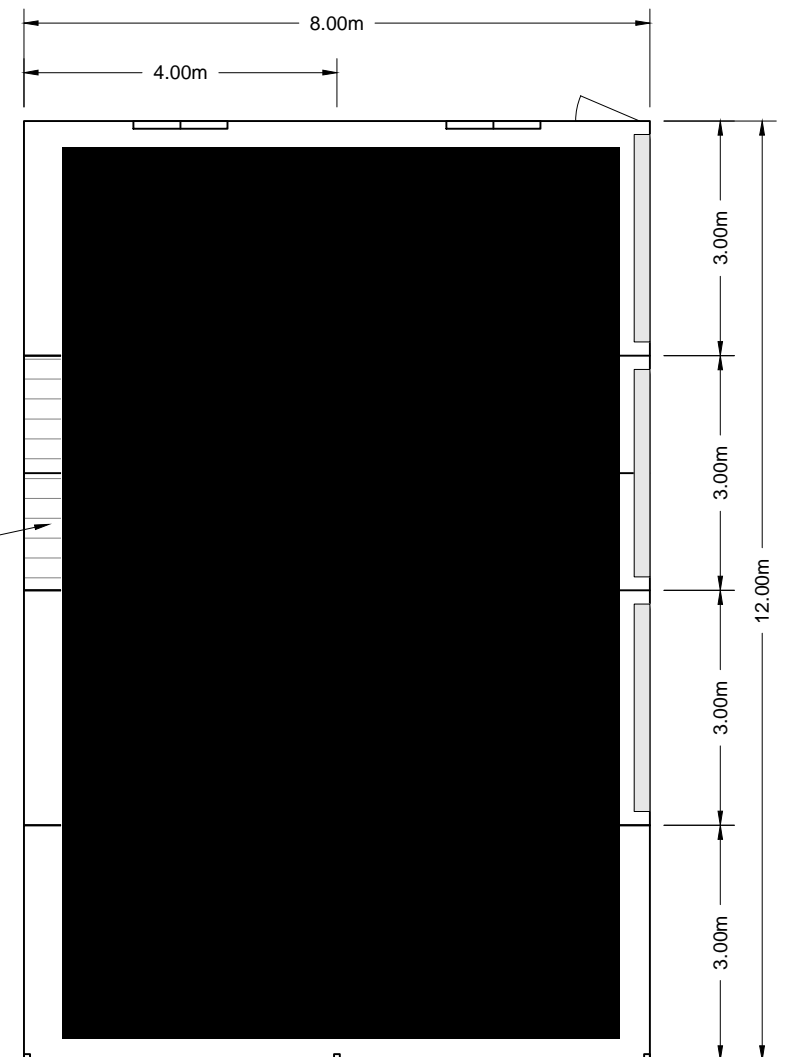
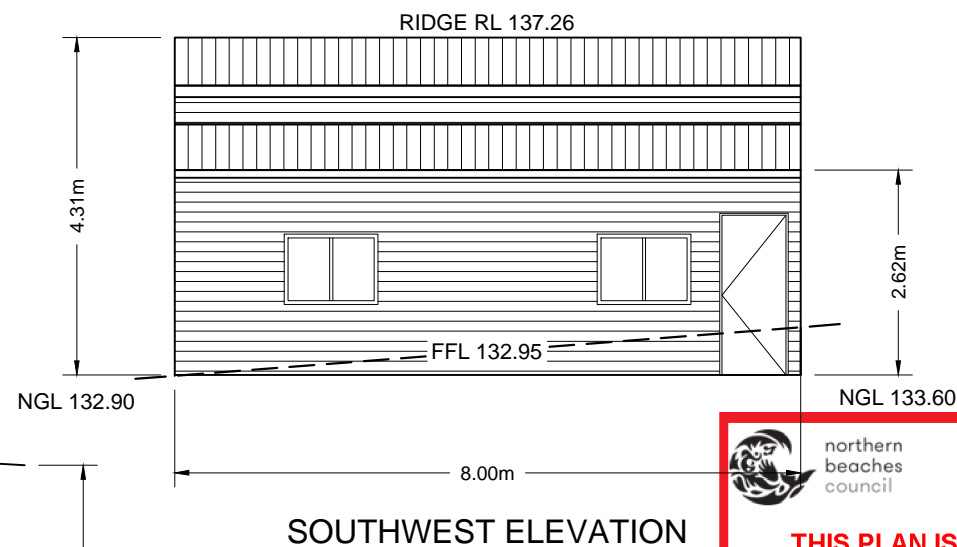
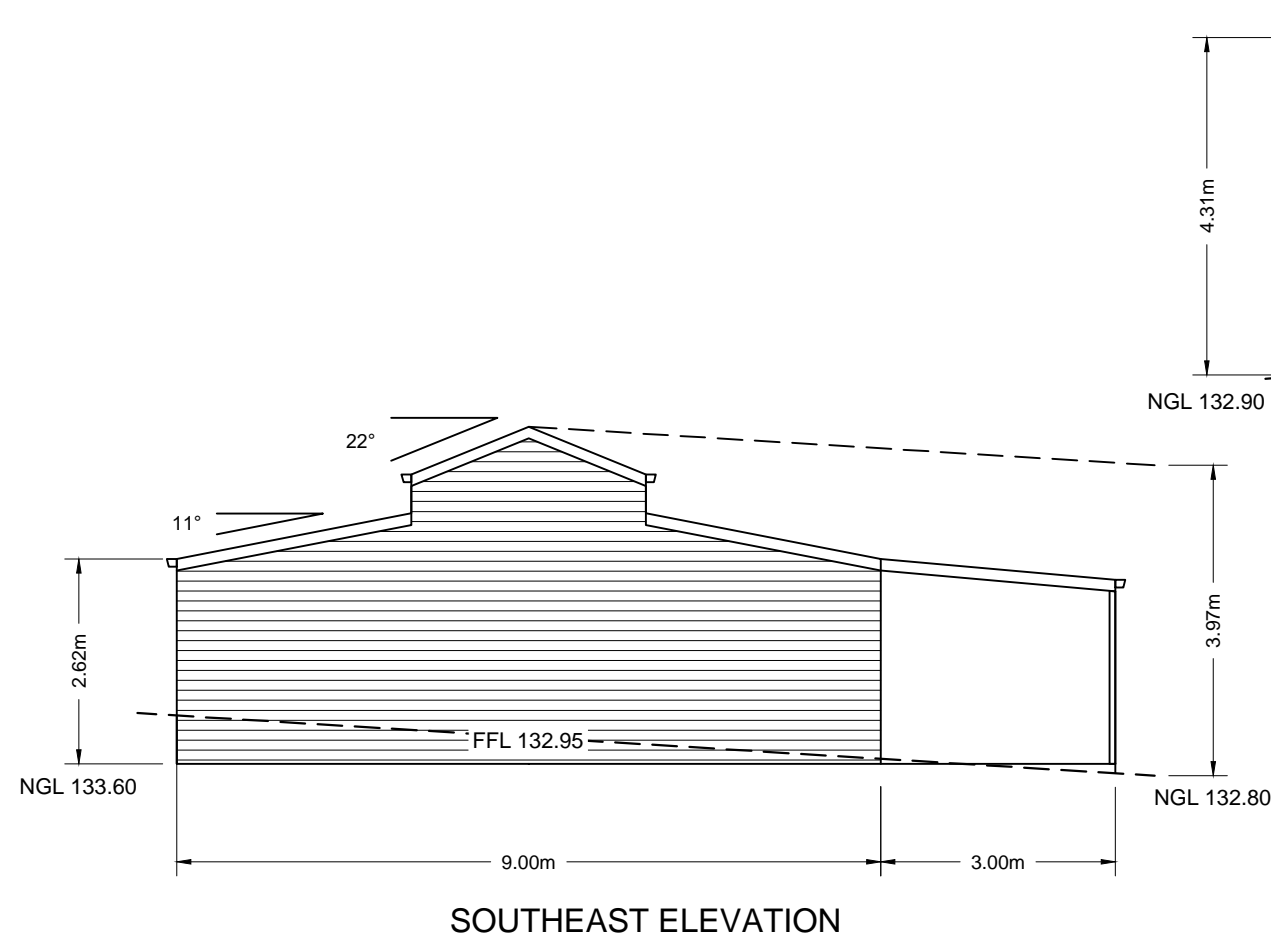
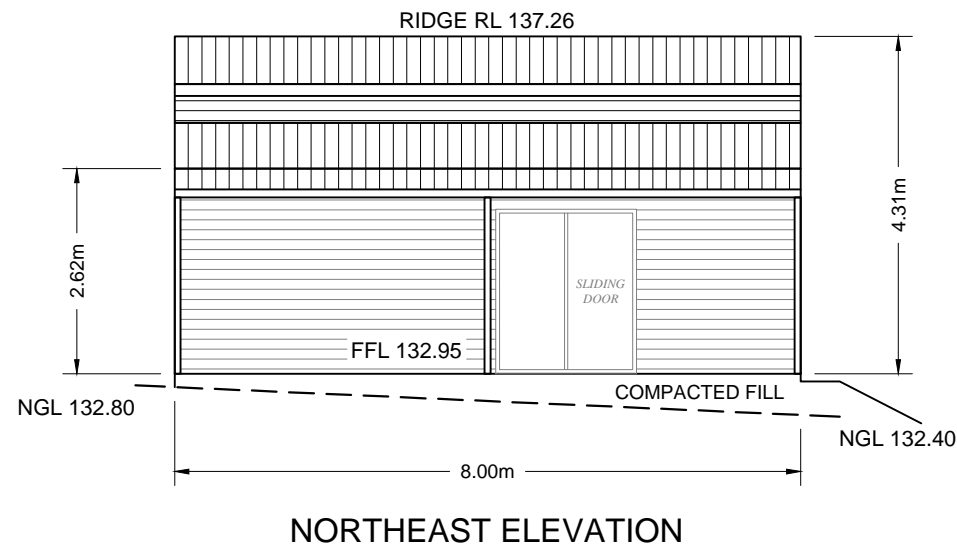
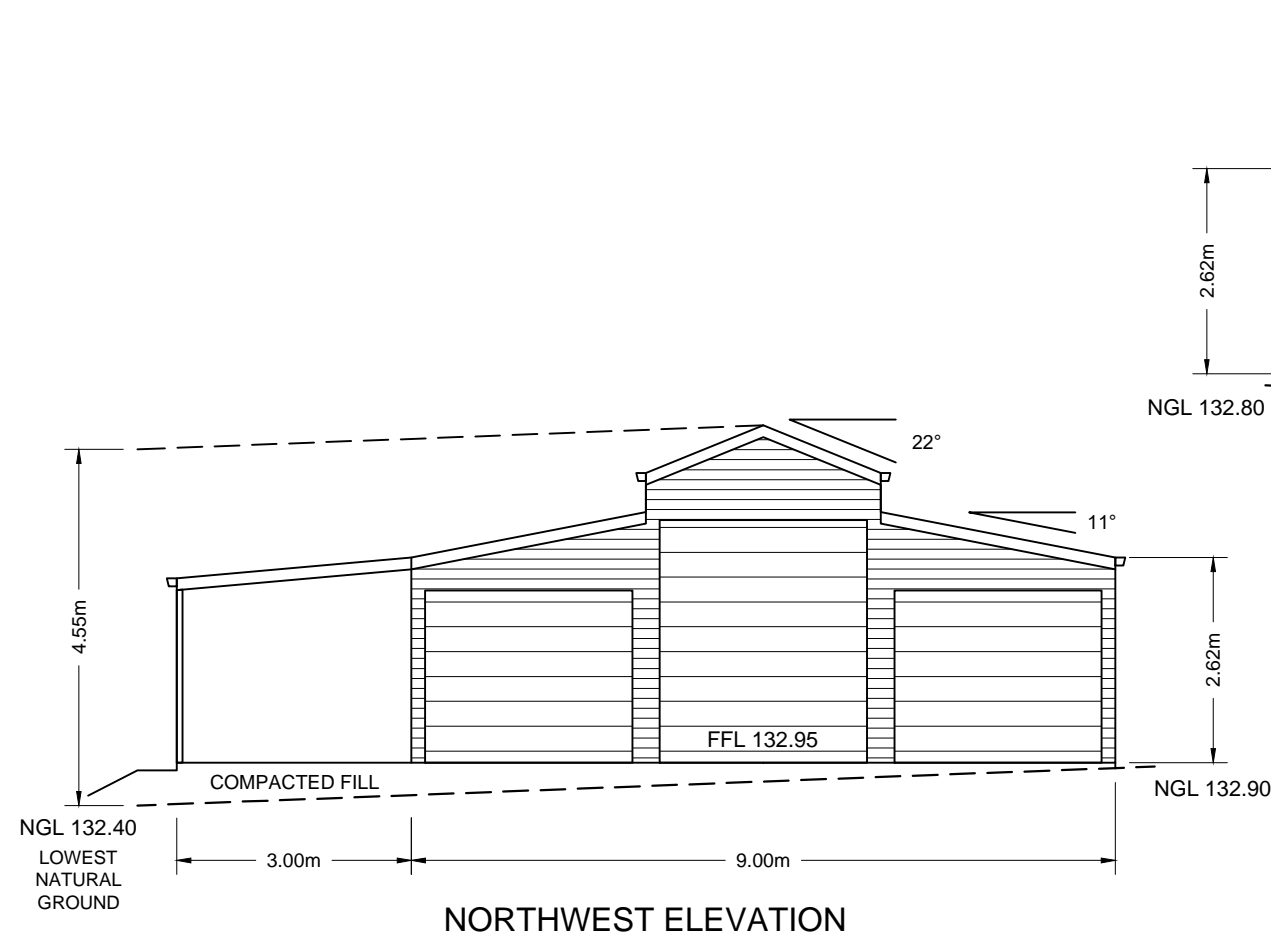
DATE: 25.09.19

SCALE: 1:200 @ A3

REVISION: 00

DRAWING  
NUMBER: 02

Note: All site features within the subject property have been plotted relative to boundary fences. Therefore, the accuracy of the location of site features relative to property boundaries is limited to the accuracy of the location of the fences relative to the boundary. It is the responsibility of the builder to verify the exact location of the boundary prior to the commencement of construction. DRAWING NOT TO BE SCALED



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**MOD2019/0593**

COLOUR SCHEDULE  
WALLS - COLORBOND SURFMIST  
ROOF - COLORBOND SHALE GREY  
DOORS - COLORBOND SURFMIST

	Dane Anderson Drafting 0422 484 175 30 Seaview Way, Long Beach NSW 2536		PROPOSED GARAGE WITH MEZZANINE & CARPORT AT 15 WILGA STREET, ELANORA HEIGHTS NSW 2101			FLOOR PLAN & ELEVATIONS	
	LGA: NORTHERN BEACHES	LOT 2	SEC. -	DP730210	DATE: 25.09.19	SCALE: 1:100 @ A3	
Note: All site features within the subject property have been plotted relative to boundary fences. Therefore, the accuracy of the location of site features relative to property boundaries is limited to the accuracy of the location of the fences relative to the boundary. It is the responsibility of the builder to verify the exact location of the boundary prior to the commencement of construction. DRAWING NOT TO BE SCALED					REVISION: 00	DRAWING NUMBER: 05	

## COLOUR SCHEDULE

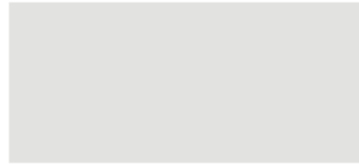
**NAME:** Gremmo Homes  
**JOB #:** 19021  
**ADDRESS:** 15 Wilga Street  
ELANORA HEIGHTS NSW 2154

### COLORBOND – SURFMIST:

Walls

Doors

Surfmist®



### COLORBOND – SHALE GREY:

Roof

Shale Grey®



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**MOD2019/0593**