

RALSTON ROAD PALM BEACH

LOT 4 / LOT 5 DP 14048, 26 RALSTON ROAD, PALM BEACH NSW 2108

DRAWING SCHEDULE

A001	COVER SHEET
A010	EXISTING SITE PLAN
A011	SITE PLAN
A100	CUT & FILL PLAN
A200	LOWER GROUND FLOOR PLAN
A201	GROUND FLOOR PLAN
A202	FIRST FLOOR PLAN
A203	ROOF PLAN
A300	ELEVATIONS - SHEET 01
A301	ELEVATIONS - SHEET 02
A302	ELEVATIONS - SHEET 03
A310	SECTIONS
A900	SHADOW DIAGRAMS - SHEET 01
A901	SHADOW DIAGRAMS - SHEET 02
A902	SHADOW DIAGRAMS - SHEET 03
A903	SHADOW DIAGRAMS - SHEET 04

BASIX Certificate

Building Sustainability Index www.basix.nsw.gov.au




Single Dwelling

Certificate number: 10650405

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 06/10/2017 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary
Date of issue: Monday, 23 December 2019
To be valid, this certificate must be lodged within 3 months of the date of issue.



Project summary			
Project name	Palm Beach 2		
Street address	26, lot 4 Ralston Street Palm Beach 2108		
Local Government Area	Northern Beaches Council		
Plan type and plan number	deposited 14048		
Lot no.	4		
Section no.	10		
Project type	separate dwelling house		
No. of bedrooms	5		
Project score			
Water		42	Target 40
Thermal Comfort		Pass	Target Pass
Energy		56	Target 50

Certificate Prepared by	
Name / Company Name:	Integroco Consulting Pty Ltd
ABN (if applicable):	42630013008

Project address	
Project name	Palm Beach 2
Street address	26, lot 4 Ralston Street Palm Beach 2108
Local Government Area	Northern Beaches Council
Plan type and plan number	Deposited Plan 14048
Lot no.	4
Section no.	10
Project type	
Project type	separate dwelling house
No. of bedrooms	5
Site details	
Site area (m ²)	732
Roof area (m ²)	184
Conditioned floor area (m ²)	236.0
Unconditioned floor area (m ²)	8.0
Total area of garden and lawn (m ²)	320

Assessor details and thermal loads			
Assessor number	BDAN191921		
Certificate number	000445610-01		
Climate zone	56		
Area adjusted cooling load (MJ/m ² /year)	24		
Area adjusted heating load (MJ/m ² /year)	40		
Project score			
Water	✓ 42	Target 40	
Thermal Comfort	✓ Pass	Target Pass	
Energy	✓ 56	Target 50	

BASIX Certificate

Building Sustainability Index www.basix.nsw.gov.au

Single Dwelling

Certificate number: 10550365

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 06/10/2017 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary
Date of issue: Monday, 23 December 2019
To be valid, this certificate must be lodged within 3 months of the date of issue.



Project summary			
Project name	Palm Beach 1		
Street address	26, lot 5 Ralston Street Palm Beach 2108		
Local Government Area	Northern Beaches Council		
Plan type and plan number	deposited 14048		
Lot no.	5		
Section no.	10		
Project type	separate dwelling house		
No. of bedrooms	5		
Project score			
Water	✓ 42	Target 40	
Thermal Comfort	✓ Pass	Target Pass	
Energy	✓ 56	Target 50	

Certificate Prepared by	
Name / Company Name:	Integroco Consulting Pty Ltd
ABN (if applicable):	42630013008

Project address	
Project name	Palm Beach 1
Street address	26, lot 5 Ralston Street Palm Beach 2108
Local Government Area	Northern Beaches Council
Plan type and plan number	Deposited Plan 14048
Lot no.	5
Section no.	10
Project type	
Project type	separate dwelling house
No. of bedrooms	5
Site details	
Site area (m ²)	768
Roof area (m ²)	184
Conditioned floor area (m ²)	260.0
Unconditioned floor area (m ²)	14.0
Total area of garden and lawn (m ²)	320

Assessor details and thermal loads			
Assessor number	BDAN191921		
Certificate number	000445628		
Climate zone	56		
Area adjusted cooling load (MJ/m ² /year)	19		
Area adjusted heating load (MJ/m ² /year)	43		
Project score			
Water	✓ 42	Target 40	
Thermal Comfort	✓ Pass	Target Pass	
Energy	✓ 56	Target 50	

Water Commitments	Show on CC/CDC plans & specs
Landscape The applicant must plant indigenous or low water use species of vegetation throughout 100 square metres of the site.	✓
Fixtures The applicant must install showerheads with a minimum rating of 4 star (> 6 but <= 7.5 Lit/min plus spray force and/or coverage tests) in all showers in the development. The applicant must install a toilet flushing system with a minimum rating of 4 star in each toilet in the development. The applicant must install taps with a minimum rating of 5 star in the kitchen in the development. The applicant must install basin taps with a minimum rating of 5 star in each bathroom in the development.	✓ ✓ ✓ ✓
Alternative water Rainwater tank: The applicant must install a rainwater tank of at least 3000 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities. The applicant must configure the rainwater tank to collect rain runoff from at least 184 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam). The applicant must connect the rainwater tank to: • the cold water tap that supplies each clothes washer in the development • at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply). • a tap that is located within 10 metres of the swimming pool in the development.	✓ ✓ ✓ ✓ ✓

Swimming pool	Show on CC/CDC plans & specs
Water Commitments The swimming pool must not have a volume greater than 20 kilolitres. The swimming pool must be outdoors.	✓ ✓

Thermal Comfort Commitments	Show on CC/CDC plans & specs
Simulation Method The applicant must attach the certificate referred to under "Assessor Details" on the front page of this BASIX certificate (the "Assessor Certificate") to the development application and construction certificate application for the proposed development (or, if the applicant is applying for a complying development certificate for the proposed development, to that application). The applicant must also attach the Assessor Certificate to the application for an occupation certificate for the proposed development. The Assessor Certificate must have been issued by an Accredited Assessor in accordance with the Thermal Comfort Protocol. The details of the proposed development on the Assessor Certificate must be consistent with the details shown in this BASIX certificate, including the Cooling and Heating loads shown on the front page of this certificate. The applicant must show on the plans accompanying the development application for the proposed development, all matters which the Assessor Certificate requires to be shown on those plans. Those plans must bear a stamp of endorsement from the Accredited Assessor to certify that this is the case. The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), all thermal performance specifications set out in the Assessor Certificate, and all aspects of the proposed development which were used to calculate those specifications. The applicant must construct the development in accordance with all thermal performance specifications set out in the Assessor Certificate, and in accordance with those aspects of the development application or application for a complying development certificate which were used to calculate those specifications. Where there is an in-slab heating or cooling system, the applicant must install insulation with an R-value of not less than 1.0 around the vertical edges of the perimeter of the slab, and underneath the slab if it is a suspended floor. The applicant must construct the floors and walls of the dwelling in accordance with the specifications listed in the table below.	✓ ✓ ✓ ✓ ✓ ✓ ✓

Floor and wall construction	Area
floor - concrete slab on ground	95.0 square metres
floor - suspended floorjoist subfloor	39.0 square metres

Energy Commitments	Show on CC/CDC plans & specs
Hot water The applicant must install the following hot water system in the development, or a system with a higher energy rating: gas instantaneous with a performance of 5 stars.	✓
Cooling system The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: 1-phase airconditioning. Energy rating: 2 Star (old label) The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom: 1-phase airconditioning. Energy rating: 2 Star (old label)	✓ ✓
Heating system The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area: 1-phase airconditioning. Energy rating: 2 Star (old label) The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 bedroom: 1-phase airconditioning. Energy rating: 2 Star (old label)	✓ ✓
Ventilation The applicant must install the following exhaust systems in the development: At least 1 Bathroom: individual fan, ducted to facade or roof. Operation control: manual switch on/off Kitchen: individual fan, ducted to facade or roof. Operation control: manual switch on/off Laundry: individual fan, ducted to facade or roof. Operation control: manual switch on/off	✓ ✓ ✓ ✓

Artificial lighting The applicant must ensure that the "primary type of artificial lighting" is fluorescent or light emitting diode (LED) lighting in each of the following rooms, and where the word "dedicated" appears, the fittings for those lights must only be capable of accepting fluorescent or light emitting diode (LED) lamps: • at least 4 of the bedrooms / study; dedicated • at least 3 of the living / dining rooms; dedicated • the kitchen; dedicated • all bathrooms/toilets; dedicated • the laundry; dedicated • all hallways; dedicated	✓ ✓ ✓ ✓ ✓ ✓
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Natural lighting The applicant must install a window and/or skylight in the kitchen of the dwelling for natural lighting. The applicant must install a window and/or skylight in 3 bathroom(s)/toilet(s) in the development for natural lighting.	✓ ✓
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Swimming pool The applicant must install the following heating system for the swimming pool in the development (or alternatively must not install any heating system for the swimming pool): solar only The applicant must show on the plans accompanying the development application for the proposed development, all matters which the Assessor Certificate requires to be shown on those plans. Those plans must bear a stamp of endorsement from the Accredited Assessor to certify that this is the case. The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), all thermal performance specifications set out in the Assessor Certificate, and all aspects of the proposed development which were used to calculate those specifications.	✓ ✓
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Alternative energy The applicant must install a photovoltaic system with the capacity to generate at least 1 peak kilowatts of electricity as part of the development. The applicant must connect this system to the development's electrical system.	✓
Other The applicant must install a gas cooktop & electric oven in the kitchen of the dwelling. The applicant must install a fixed outdoor clothes drying line as part of the development.	✓ ✓

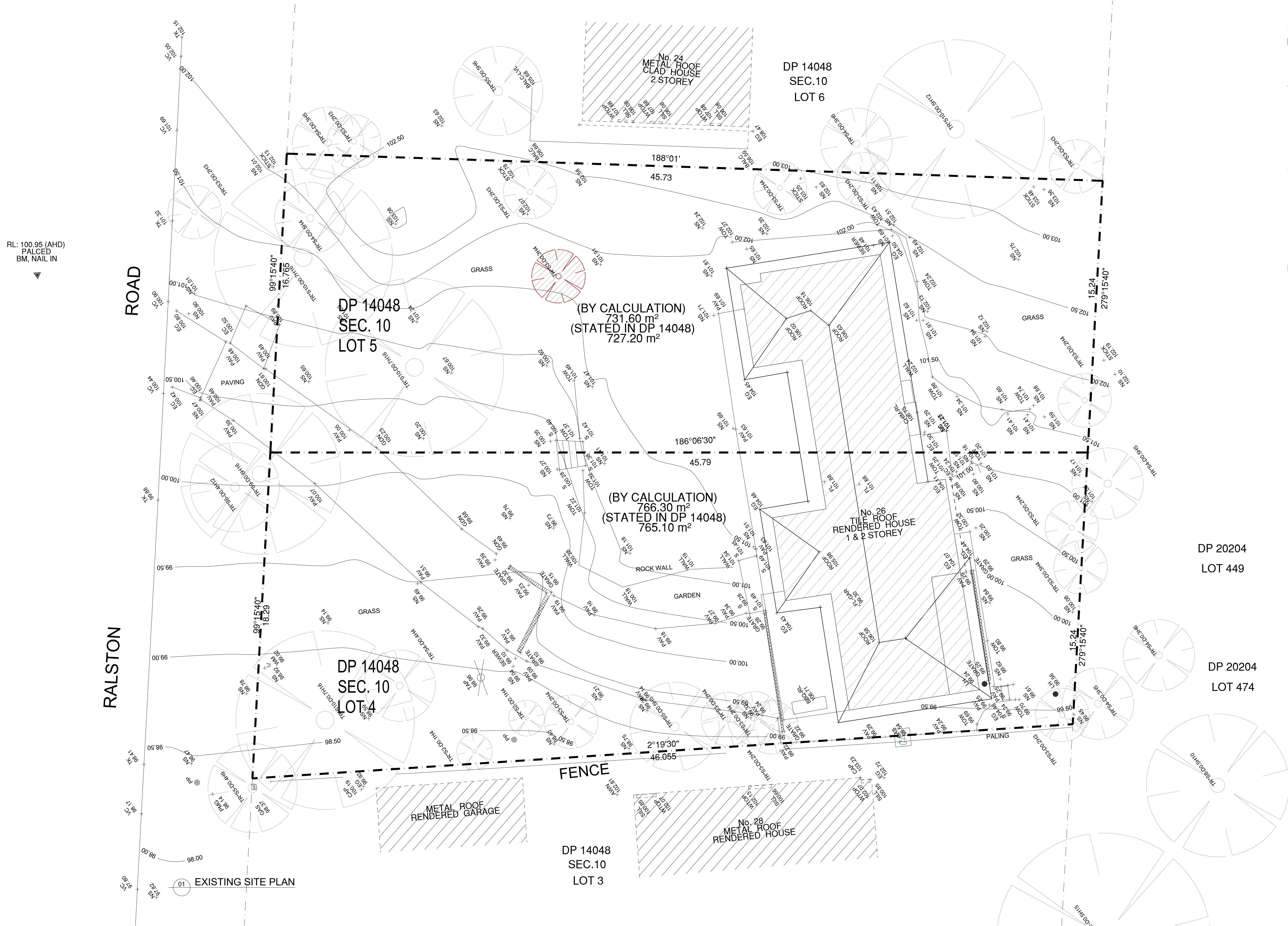
Water Commitments	Show on CC/CDC plans & specs
Landscape The applicant must plant indigenous or low water use species of vegetation throughout 100 square metres of the site.	✓
Fixtures The applicant must install showerheads with a minimum rating of 4 star (> 6 but <= 7.5 Lit/min plus spray force and/or coverage tests) in all showers in the development. The applicant must install a toilet flushing system with a minimum rating of 4 star in each toilet in the development. The applicant must install taps with a minimum rating of 5 star in the kitchen in the development. The applicant must install basin taps with a minimum rating of 5 star in each bathroom in the development.	✓ ✓ ✓ ✓
Alternative water Rainwater tank: The applicant must install a rainwater tank of at least 3000 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities. The applicant must configure the rainwater tank to collect rain runoff from at least 184 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam). The applicant must connect the rainwater tank to: • the cold water tap that supplies each clothes washer in the development • at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply). • a tap that is located within 10 metres of the swimming pool in the development.	✓ ✓ ✓ ✓ ✓

Swimming pool	Show on CC/CDC plans & specs
Water Commitments The swimming pool must not have a volume greater than 20 kilolitres. The swimming pool must be outdoors.	✓ ✓

Thermal Comfort Commitments	Show on CC/CDC plans & specs
Simulation Method The applicant must attach the certificate referred to under "Assessor Details" on the front page of this BASIX certificate (the "Assessor Certificate") to the development application and construction certificate application for the proposed development (or, if the applicant is applying for a complying development certificate for the proposed development, to that application). The applicant must also attach the Assessor Certificate to the application for an occupation certificate for the proposed development. The Assessor Certificate must have been issued by an Accredited Assessor in accordance with the Thermal Comfort Protocol. The details of the proposed development on the Assessor Certificate must be consistent with the details shown in this BASIX certificate, including the Cooling and Heating loads shown on the front page of this certificate. The applicant must show on the plans accompanying the development application for the proposed development, all matters which the Assessor Certificate requires to be shown on those plans. Those plans must bear a stamp of endorsement from the Accredited Assessor to certify that this is the case. The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), all thermal performance specifications set out in the Assessor Certificate, and all aspects of the proposed development which were used to calculate those specifications. The applicant must construct the development in accordance with all thermal performance specifications set out in the Assessor Certificate, and in accordance with those aspects of the development application or application for a complying development certificate which were used to calculate those specifications. Where there is an in-slab heating or cooling system, the applicant must install insulation with an R-value of not less than 1.0 around the vertical edges of the perimeter of the slab, and underneath the slab if it is a suspended floor. The applicant must construct the floors and walls of the dwelling in accordance with the specifications listed in the table below.	✓ ✓ ✓ ✓ ✓ ✓ ✓

Floor and wall construction	Area
floor - concrete slab on ground	72.0 square metres
floor - suspended floorjoist subfloor	63.0 square metres

Legend	
In these commitments, "applicant" means the person carrying out the development.	
Commitments identified with a ✓ in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).	
Commitments identified with a ✓ in the "Show on CC/CDC plans and specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.	
Commitments identified with a ✓ in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate (either interim or final) for the development may be issued.	



LEGEND - SITE

- EXISTING BUILDING
- GRID SETOUT

LEGEND - TREE

- TREE: EXISTING TO BE REMOVED
- TREE: EXISTING TO BE RETAINED

LEGEND - KEY

- DOOR NUMBER
- DOWN PIPE
- EXISTING LEVEL
- FINISHED FLOOR LEVEL
- FIRE HOSE REEL
- PROPOSED LEVEL
- TACTILE GROUND SURFACE INDICATOR
- WINDOW NUMBER

RL: 100.95 (AHD)
PALCED
BM, NAIL IN

DP 20204
LOT 449

DP 20204
LOT 474

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NOMINATED ARCHITECTS
TONY GRAY 5303 & PAUL GOOSELL 6726
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02	23.12.05	S4.55 APPLICATION ISSUE
01	22.05.05	PRELIMINARY ISSUES
ISSUE	DATE	AMENDMENTS

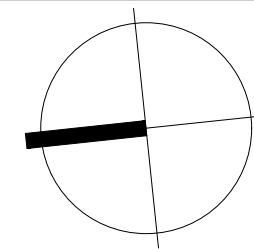
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CLIENT
TONY & GEORGINA NASSIF

PROJECT
RALSTON RD
PALM BEACH

TITLE
EXISTING SITE PLAN



SCALE
1:100 @ A1 / 1:200 @ A3

APPROVED
DRAWN JC
CHECKED TG

DATE
APRIL 2022

STATUS
S4:55

PROJECT NUMBER
19031

DRAWING NUMBER

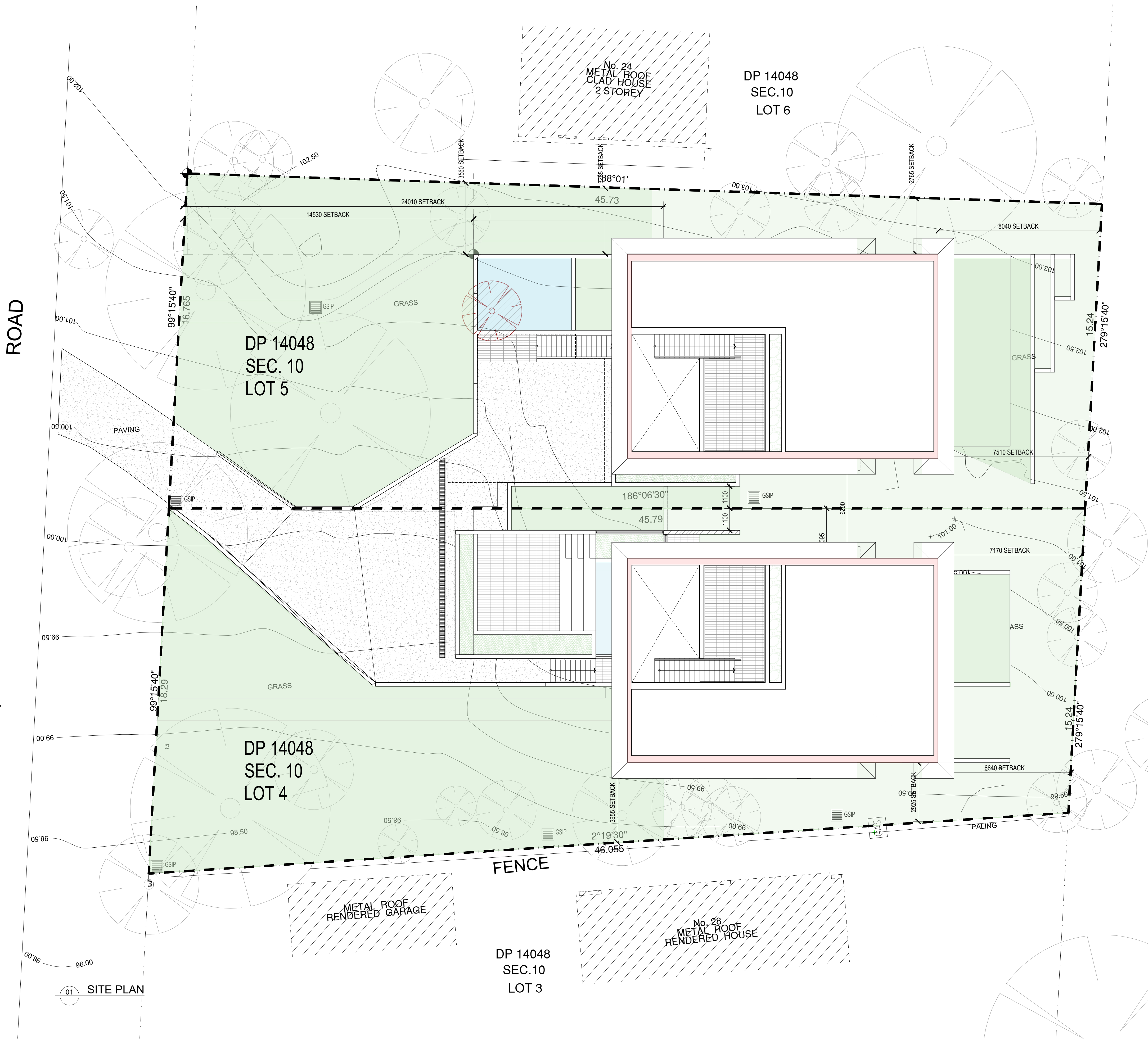
ISSUE

02
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Lot 4 / Lot 5 DP 14048, 26 Ralston Road, PALM BEACH NSW 2108

ROAD

RALSTON



01 SITE PLAN

LEGEND - KEY

- 01 DOOR NUMBER
- DP DOWN PIPE
- EXISTING LEVEL
- FFL 3200 FINISHED FLOOR LEVEL
- FIRE HOSE REEL
- PROPOSED LEVEL
- TACTILE GROUND SURFACE INDICATOR
- 01 WINDOW NUMBER
- 5RS 01 ROLLER SHUTTER
- CONCRETE BLOCK WALLS
- TIMBER STUD FRAME
- FW FLOOR WASTE
- GSIP GRATED SURFACE INLET PIT
- VP VENT PIPE

LEGEND - TREE

- TREE: EXISTING TO BE REMOVED
- TREE: EXISTING TO BE RETAINED

NOTES:

- BUILDING HEIGHT INCREASED FOR FLOOR TO FLOOR & CEILING HEIGHT COMPLIANCE

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ABN: 56 120 779 106
NOMINATED ARCHITECTS:
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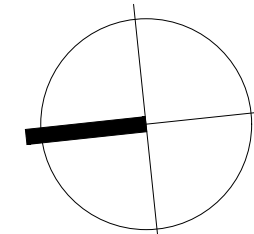
ISSUE	DATE	AMENDMENTS
06	23.12.05	S4.55 APPLICATION ISSUE
05	23.08.28	S4.55 MODIFICATIONS ADJUSTED

CLIENT
TONY & GEORGINA NASSIF

PROJECT
RALSTON RD
PALM BEACH

Lot 4 / Lot 5 DP 14048, 26 Ralston Road, PALM BEACH NSW 2108

TITLE
SITE PLAN



SCALE 1:100 @ A1 / 1:200 @ A3

APPROVED
DRAWN JC
CHECKED TG
DATE APRIL 2022
STATUS S4:55

PROJECT NUMBER 19031
DRAWING NUMBER

A011

ISSUE

06

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ROAD

RALSTON

B
A310

C
A310

A
A310

B
A310

C
A310

A
A310

01 GROUND FLOOR PLAN

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02	23.12.05	S4.55 APPLICATION ISSUE
01	23.11.06	S4.55 MODIFICATIONS FOR CONSULTANTS
ISSUE	DATE	AMENDMENTS

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PROJECT
RALSTON RD
PALM BEACH

Lot 4 / Lot 5 DP 14048, 26 Ralston Road, PALM BEACH NSW 2108

TITLE
CUT AND FILL
PLAN

SCALE
1:100 @ A1 / 1:200 @ A3

APPROVED
DRAWN
CHECKED
DATE
STATUS

JC-HJ
TG
APRIL 2022
S4:55

PROJECT NUMBER
DRAWING NUMBER

19031
A100

ISSUE
02

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architects

LEGEND - KEY

- 01
100
DOOR NUMBER
- DP
DOWN PIPE
- EXISTING LEVEL
- FFL 3200
FINISHED FLOOR LEVEL
- FIRE HOSE REEL
- PROPOSED LEVEL
- TACTILE GROUND SURFACE INDICATOR
- 01
100
WINDOW NUMBER
- 5 RS
01
ROLLER SHUTTER
- CONCRETE BLOCK WALLS
- TIMBER STUD FRAME
- FW
FLOOR WASTE
- GSIP
GRATED SURFACE INLET PIT
- VP
VENT PIPE

LEGEND - TREE

- TREE: EXISTING TO BE REMOVED
- TREE: EXISTING TO BE RETAINED

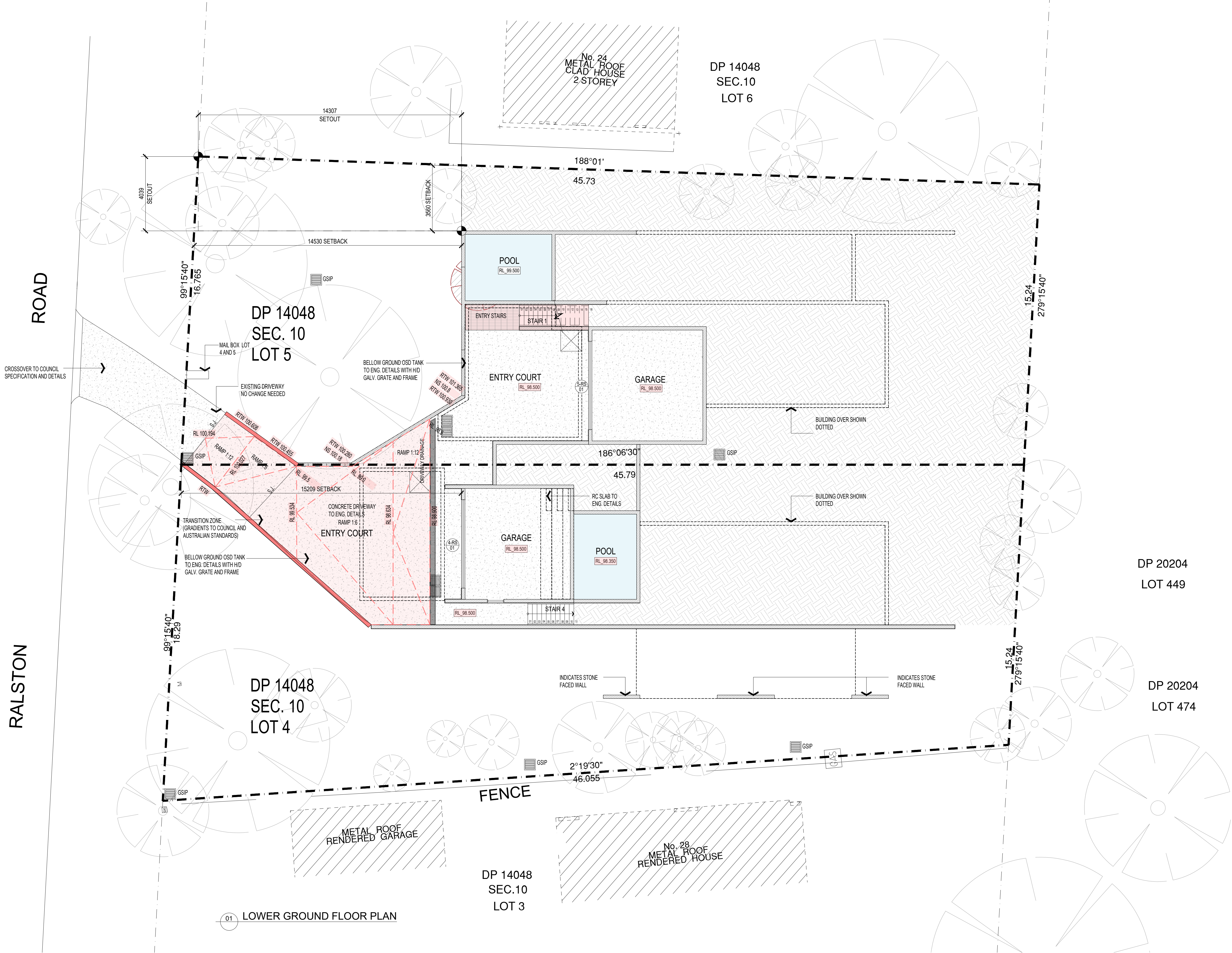
NOTES:

- FOR WATERPROOFING DETAILS REFER DRAWINGS A800 TO A805

- S4.55 MODIFICATION
- ALL LOWER GROUND LEVEL TO BE DROPPED 500mm
 - APPROVED ACCESS DRIVEWAY TO BE RE GRADIENTED

LEGEND - CUT AND FILL

- DEEP CUT
- MED. CUT
- SMALL CUT
- SMALL FILL



LEGEND - KEY

- 01 L00 DOOR NUMBER
- DP DOWN PIPE
- EXISTING LEVEL
- FFL 3200 FINISHED FLOOR LEVEL
- FIRE HOSE REEL
- PROPOSED LEVEL
- TACTILE GROUND SURFACE INDICATOR
- 01 L00 WINDOW NUMBER
- 5 RS 01 ROLLER SHUTTER
- CONCRETE BLOCK WALLS
- TIMBER STUD FRAME
- FW FLOOR WASTE
- GSIP GRATED SURFACE INLET PIT
- VP VENT PIPE

LEGEND - TREE

- TREE: EXISTING TO BE REMOVED
- TREE: EXISTING TO BE RETAINED

NOTES:

- FOR WATERPROOFING DETAILS REFER DRAWINGS A800 TO A805

- S4.55 MODIFICATION
- ALL LOWER GROUND LEVEL TO BE DROPPED 500mm
 - APPROVED ACCESS DRIVEWAY TO BE RE GRADIENTED

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08	23.12.05	S4.55 APPLICATION ISSUE
07	23.09.29	S4.55 MODIFICATIONS FOR CONSULTANTS
06	23.09.04	CLIENT ISSUE
05	23.08.28	S4.55 MODIFICATIONS ADJUSTED
04	22.09.26	S4.55 MODIFICATIONS HIGHLIGHTED
03	22.09.10	CLIENT ISSUE
02	22.08.08	DA AMENDMENTS
01	22.05.05	PRELIMINARY ISSUES
ISSUE	DATE	AMENDMENTS

CLIENT
TONY & GEORGINA NASSIF

PROJECT
RALSTON RD
PALM BEACH

TITLE
LOWER GROUND
FLOOR PLAN

SCALE
1:100 @ A1 / 1:200 @ A3

APPROVED
DRAWN
CHECKED
DATE
STATUS

JC HJ
TG
APRIL 2022
S4:55

PROJECT NUMBER
19031

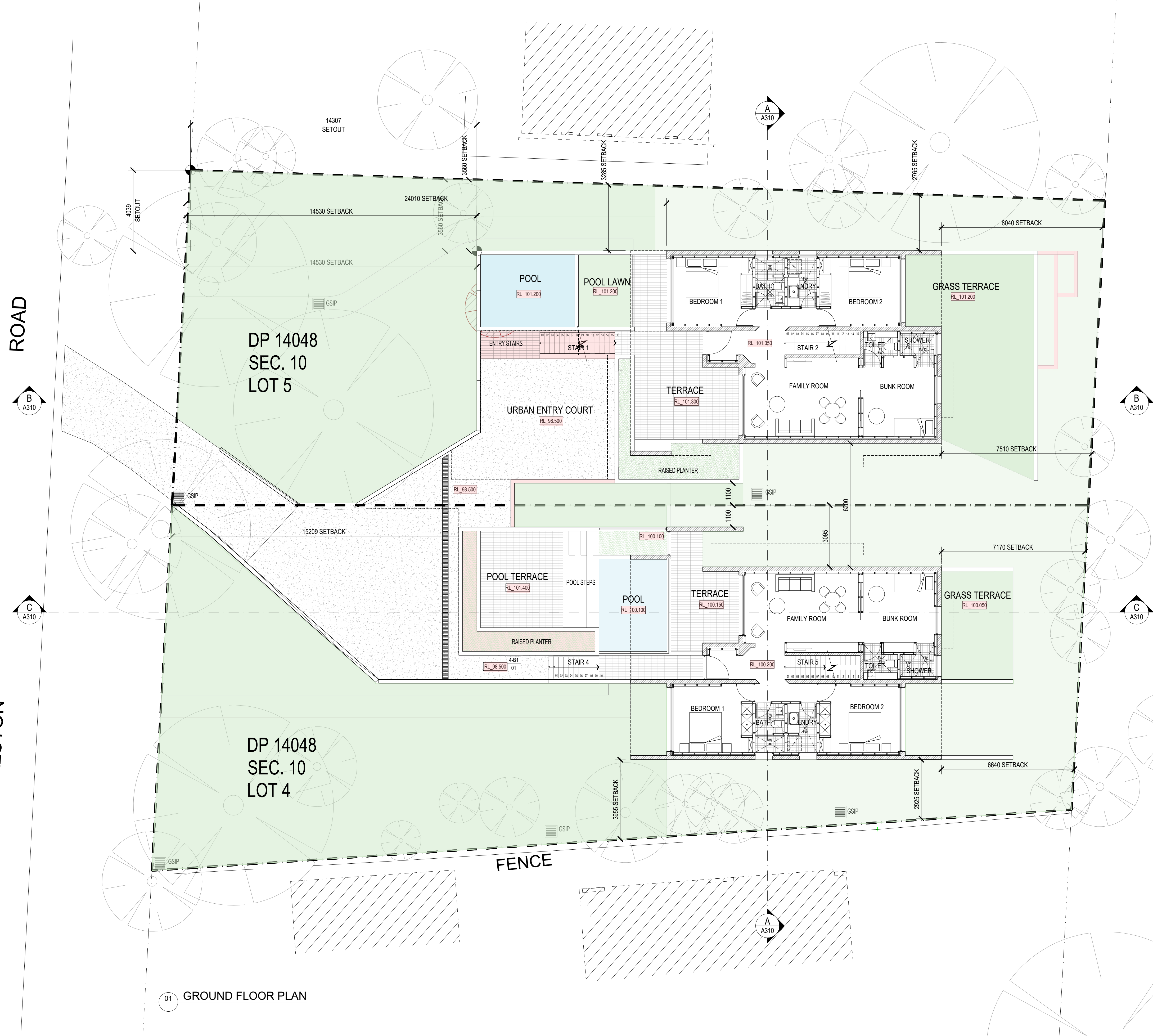
DRAWING NUMBER

A200

08

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Lot 4 / Lot 5 DP 14048, 26 Ralston Road, PALM BEACH NSW 2108



01 GROUND FLOOR PLAN

LEGEND - KEY

- 01 DOOR NUMBER
- DP DOWN PIPE
- EXISTING LEVEL
- FFL 3200 FINISHED FLOOR LEVEL
- FIRE HOSE REEL
- PROPOSED LEVEL
- TACTILE GROUND SURFACE INDICATOR
- 01 WINDOW NUMBER
- 5RS 01 ROLLER SHUTTER
- CONCRETE BLOCK WALLS
- TIMBER STUD FRAME
- FW FLOOR WASTE
- GSIP GRATED SURFACE INLET PIT
- VP VENT PIPE

LEGEND - TREE

- TREE: EXISTING TO BE REMOVED
- TREE: EXISTING TO BE RETAINED

NOTES:

- FOR WATERPROOFING DETAILS REFER DRAWINGS A800 TO A805

- S4.55 MODIFICATION
- ALL LOWER GROUND LEVEL TO BE DROPPED 500mm
 - APPROVED ACCESS DRIVEWAY TO BE RE-CONCRETED

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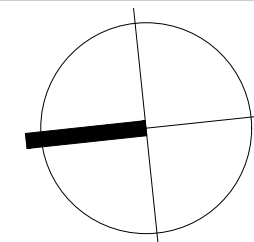
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08	23.12.05	S4.55 APPLICATION ISSUE
07	23.11.06	S4.55 MODIFICATIONS FOR CONSULTANTS 2
06	23.09.29	S4.55 MODIFICATIONS FOR CONSULTANTS
05	23.08.28	S4.55 MODIFICATIONS ADJUSTED
04	22.09.26	S4.55 MODIFICATIONS HIGHLIGHTED
03	22.08.10	CLIENT ISSUE
02	22.06.08	DA AMENDMENTS
01	22.05.05	PRELIMINARY ISSUES
ISSUE	DATE	AMENDMENTS

CLIENT
TONY & GEORGINA NASSIF

PROJECT
RALSTON RD
PALM BEACH

TITLE
GROUND FLOOR
PLAN



SCALE 1:100 @ A1 / 1:200 @ A3
APPROVED
DRAWN JC-HJ
CHECKED TG
DATE APRIL 2022
STATUS S4:55

PROJECT NUMBER 19031
DRAWING NUMBER

A201

08

ISSUE

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Lot 4 / Lot 5 DP 14048, 26 Ralston Road, PALM BEACH NSW 2108



LEGEND - KEY

- 01/100 DOOR NUMBER
- DP DOWN PIPE
- EXISTING LEVEL
- FFL 3200 FINISHED FLOOR LEVEL
- FIRE HOSE REEL
- PROPOSED LEVEL
- TACTILE GROUND SURFACE INDICATOR
- 01/100 WINDOW NUMBER
- 5RS/01 ROLLER SHUTTER
- CONCRETE BLOCK WALLS
- TIMBER STUD FRAME
- FW FLOOR WASTE
- GSIP GRATED SURFACE INLET PIT
- VP VENT PIPE

LEGEND - TREE

- TREE: EXISTING TO BE REMOVED
- TREE: EXISTING TO BE RETAINED

NOTES:

- FOR WATERPROOFING DETAILS REFER DRAWINGS A800 TO A805
- S4.55 MODIFICATION
- FINISHED FLOOR LEVEL INCREASE

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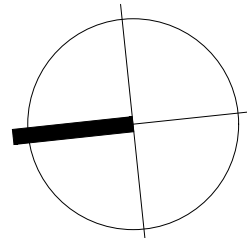
ISSUE	DATE	AMENDMENTS
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TONY & GEORGINA NASSIF

RALSTON RD
PALM BEACH

Lot 4 / Lot 5 DP 14048, 26 Ralston Road, PALM BEACH NSW 2108

FIRST FLOOR PLAN



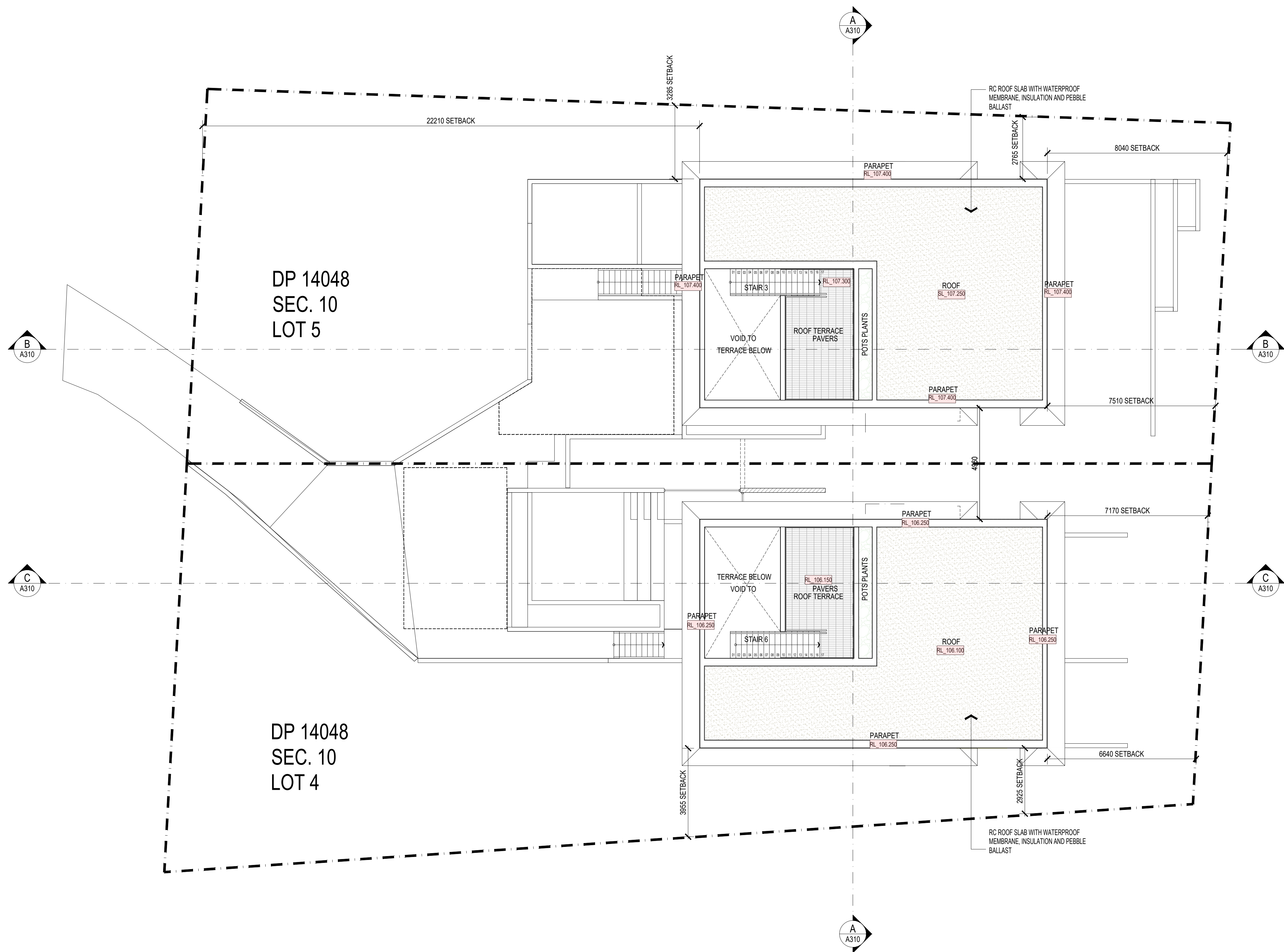
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APPROVED JC
DRAWN TG
CHECKED
DATE APRIL 2022
STATUS S4.55

19031

A202

07

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01 ROOF PLAN

LEGEND - KEY

- 01/100 DOOR NUMBER
- DP DOWN PIPE
- EXISTING LEVEL
- FFL_3200 FINISHED FLOOR LEVEL
- FHR FIRE HOSE REEL
- PROPOSED LEVEL
- TACTILE GROUND SURFACE INDICATOR
- 01/100 WINDOW NUMBER
- 5RS/01 ROLLER SHUTTER
- CONCRETE BLOCK WALLS
- Timber Stud Frame
- FW FLOOR WASTE
- GSIP GRATED SURFACE INLET PIT
- VP VENT PIPE

LEGEND - TREE

- TREE: EXISTING TO BE REMOVED
- TREE: EXISTING TO BE RETAINED

NOTES:

- FOR WATERPROOFING DETAILS REFER DRAWINGS A800 TO A805
- RL TO ROOF INCREASED BY 450MM

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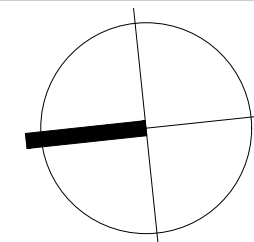
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03	22.08.10	CLIENT ISSUE
02	22.06.08	DA AMENDMENTS
01	22.05.05	PRELIMINARY ISSUES

CLIENT
TONY & GEORGINA NASSIF

PROJECT
RALSTON RD
PALM BEACH

Lot 4 / Lot 5 DP 14048, 26 Ralston Road, PALM BEACH NSW 2108

TITLE
ROOF PLAN



SCALE 1:100 @ A1 / 1:200 @ A3
APPROVED JC
DRAWN TG
CHECKED
DATE APRIL 2022
STATUS S4:55

PROJECT NUMBER 19031
DRAWING NUMBER

19031

A203

07

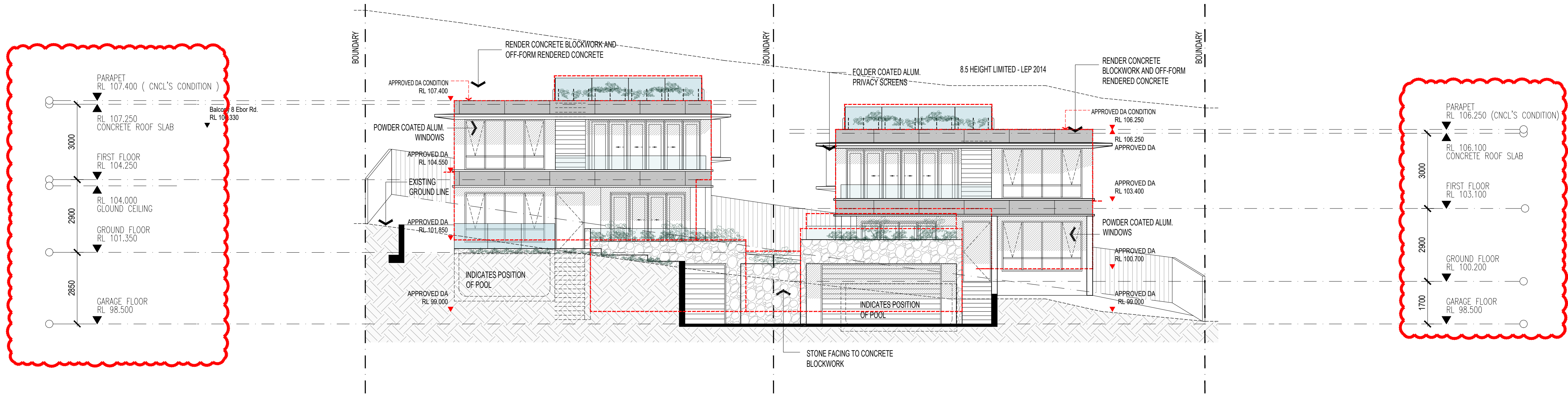
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NOTES:

1. BUILDING HEIGHT INCREASED FOR FLOOR TO FLOOR & CEILING HEIGHT COMPLIANCE

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01 NORTH ELEVATIONS - LOT 05 & 04



02 SOUTH ELEVATIONS - LOT 04 & 05

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01	22.05.05	PRELIMINARY ISSUES
ISSUE	DATE	AMENDMENTS

CLIENT
TONY & GEORGINA NASSIF

PROJECT
RALSTON RD
PALM BEACH

TITLE
ELEVATIONS
SHEET 01

SCALE: 1:100 @ A1 / 1:200 @ A3
APPROVED: JC
DRAWN: TG
CHECKED: JC
DATE: APRIL 2022
STATUS: S4:55

PROJECT NUMBER: 19031
DRAWING NUMBER: A300

ISSUE: 08

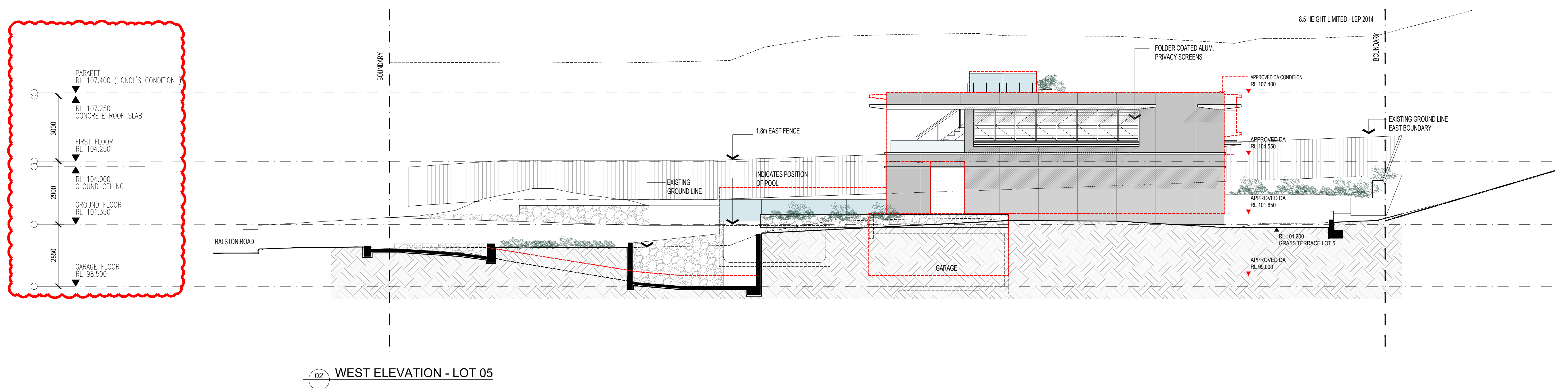
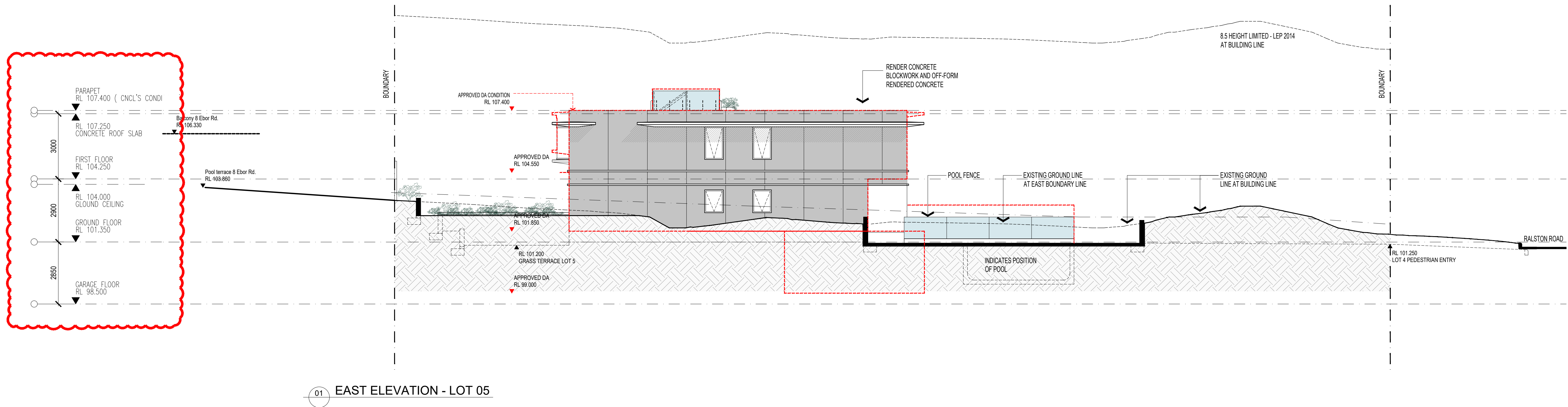
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NOTES:

1. BUILDING HEIGHT INCREASED FOR FLOOR TO FLOOR & CEILING HEIGHT COMPLIANCE

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01	22.05.05	PRELIMINARY ISSUES

CLIENT
TONY & GEORGINA NASSIF

PROJECT
RALSTON RD
PALM BEACH

TITLE
ELEVATIONS
SHEET 02 - LOT 05

Lot 4 / Lot 5 DP 14048, 26 Ralston Road, PALM BEACH NSW 2108

SCALE
1:100 @ A1 / 1:200 @ A3
APPROVED
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CHECKED TG
DATE APRIL 2022
STATUS S4:55

PROJECT NUMBER
DRAWING NUMBER

19031

A301

ISSUE

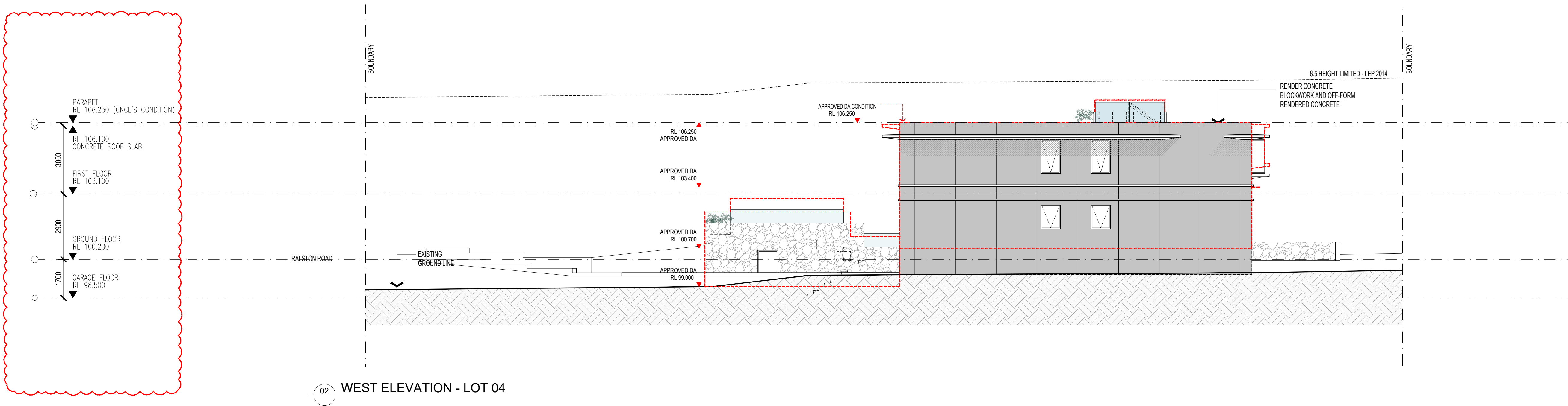
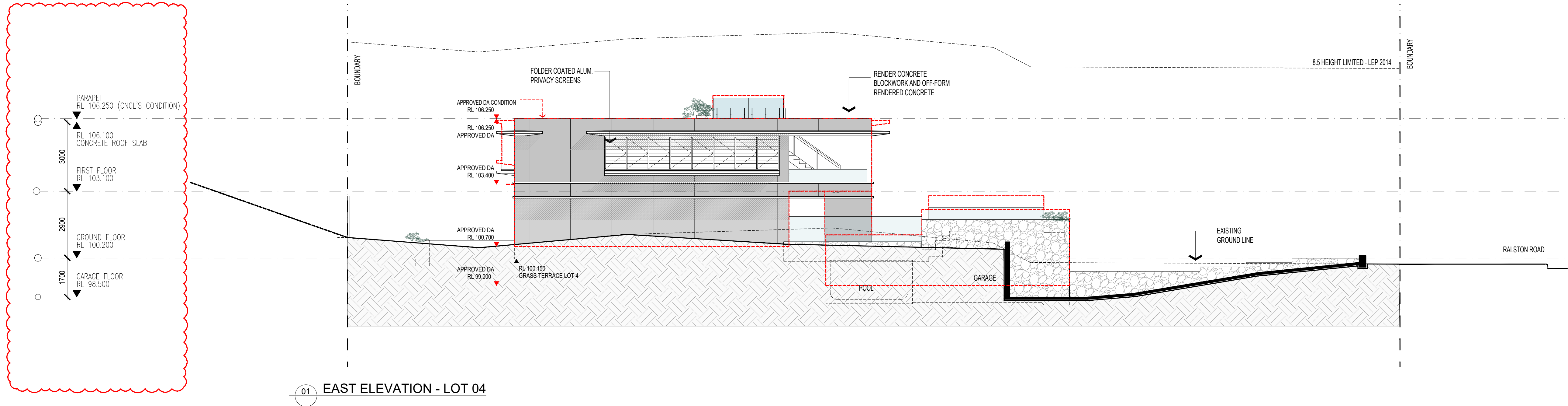
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03	22.08.10	CLIENT ISSUE
02	22.06.08	DA AMENDMENTS
01	22.05.05	PRELIMINARY ISSUES
00	22.05.05	AMENDMENTS

CLIENT
TONY & GEORGINA NASSIF

PROJECT
RALSTON RD
PALM BEACH

TITLE
ELEVATIONS
SHEET 03 - LOT 04

SCALE
1:100 @ A1 / 1:200 @ A3

APPROVED
DRAWN JC
CHECKED TG
DATE APRIL 2022
STATUS S4:55

PROJECT NUMBER
DRAWING NUMBER

19031

A302

07

ISSUE

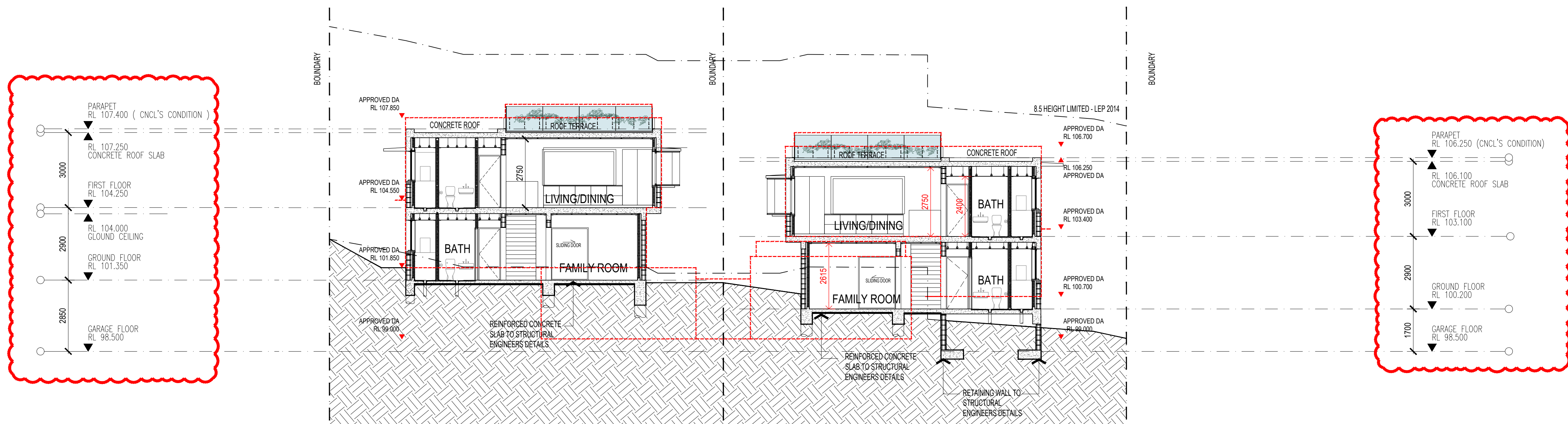
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Lot 4 / Lot 5 DP 14048 , 26 Ralston Road, PALM BEACH NSW 2108

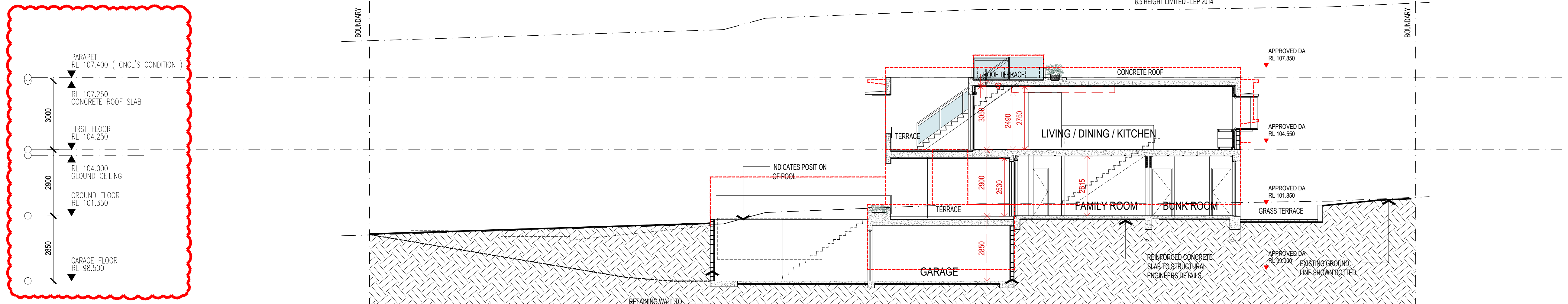
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- BUILDING HEIGHT INCREASED FOR FLOOR TO FLOOR & CEILING HEIGHT COMPLIANCE

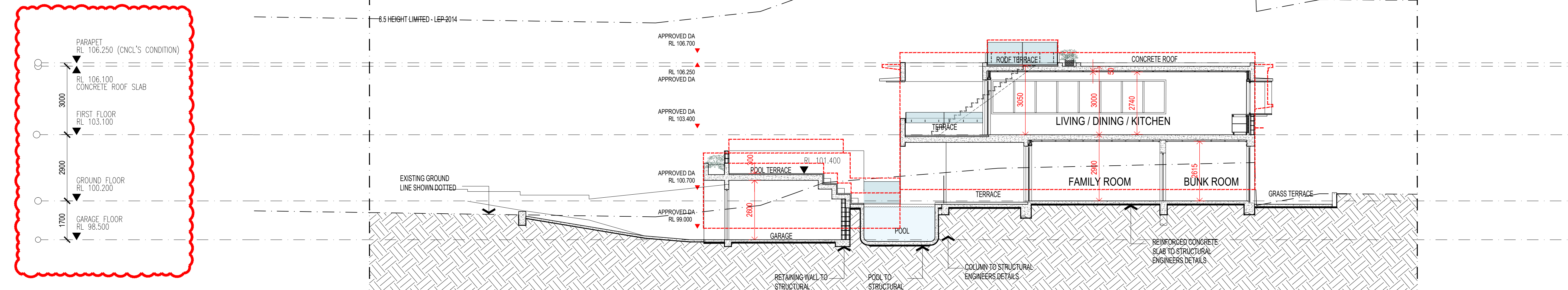
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01 SECTION A - LOT 05 & 04



02 SECTION B - LOT 05



03 SECTION C - LOT 04

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01	22.05.05	PRELIMINARY ISSUES

CLIENT
TONY & GEORGINA NASSIFPROJECT
RALSTON RD
PALM BEACHTITLE
SECTIONS -
LOT 05 & 04

Lot 4 / Lot 5 DP 14048, 26 Ralston Road, PALM BEACH NSW 2108

SCALE 1:100 @ A1 / 1:200 @ A3
APPROVED
DRAWN JC
CHECKED TG
DATE APRIL 2022
STATUS S4:55

PROJECT NUMBER
DRAWING NUMBER

19031

A310

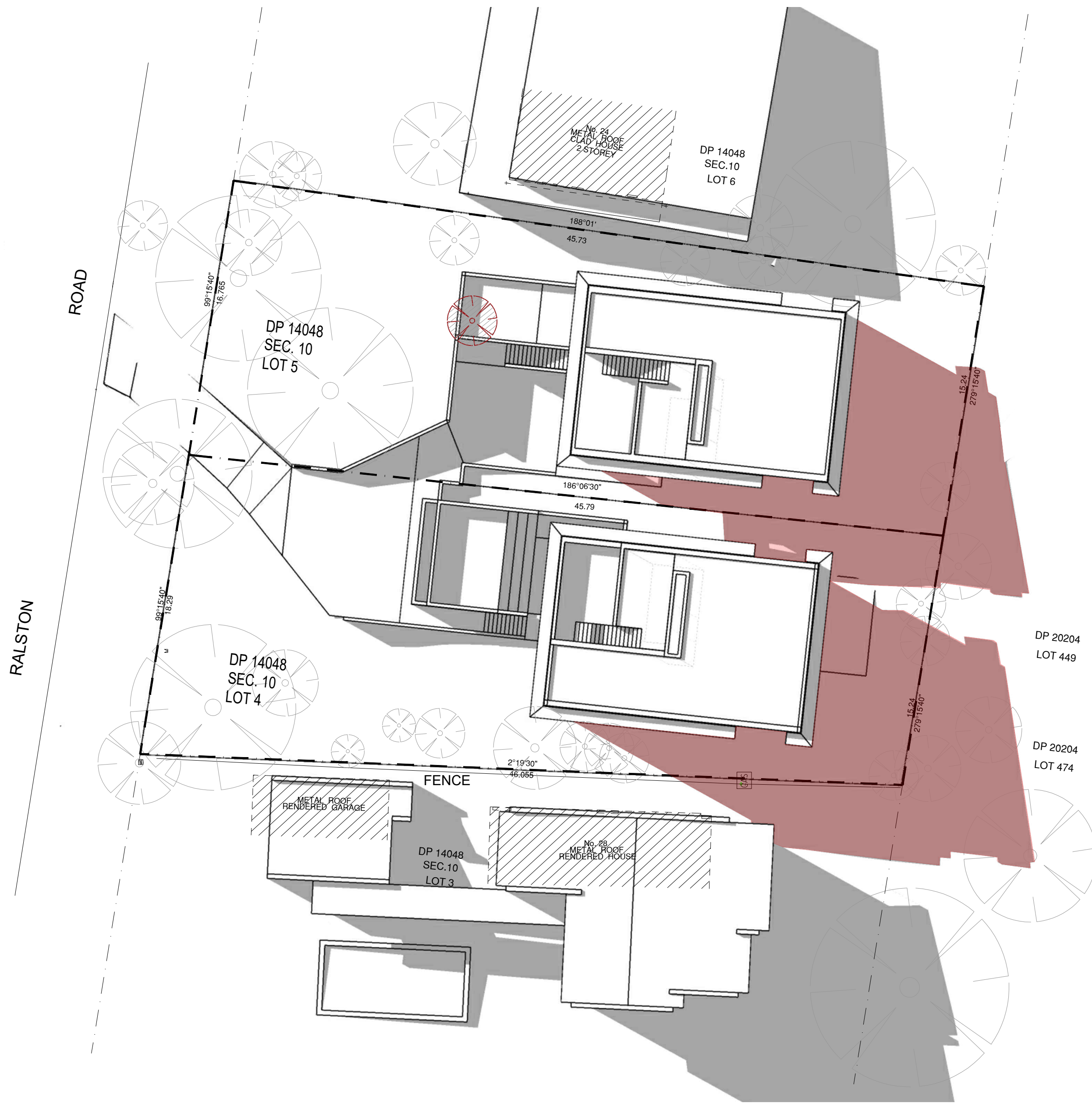
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JUNE_21st_10am

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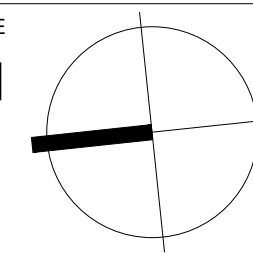
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02	22.06.08	DA AMENDMENTS
01	22.05.05	PRELIMINARY ISSUES

CLIENT
TONY & GEORGINA NASSIF

PROJECT
RALSTON RD
PALM BEACH

TITLE
SHADOW DIAGRAMS_SH_01



SCALE 1:200 @ A1

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DATE APRIL 2022
STATUS S4:55

PROJECT NUMBER 19031
DRAWING NUMBER

A900

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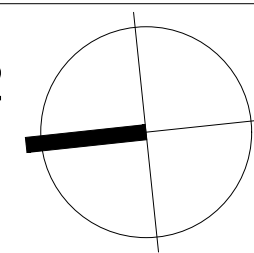
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01	22.05.05	PRELIMINARY ISSUES
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TONY & GEORGINA NASSIF

RALSTON RD
PALM BEACH

SHADOW DIAGRAMS_SH_02



SCALE 1:100 @ A1

APPROVED
DRAWN JC
CHECKED TG

DATE APRIL 2022
STATUS S4:55

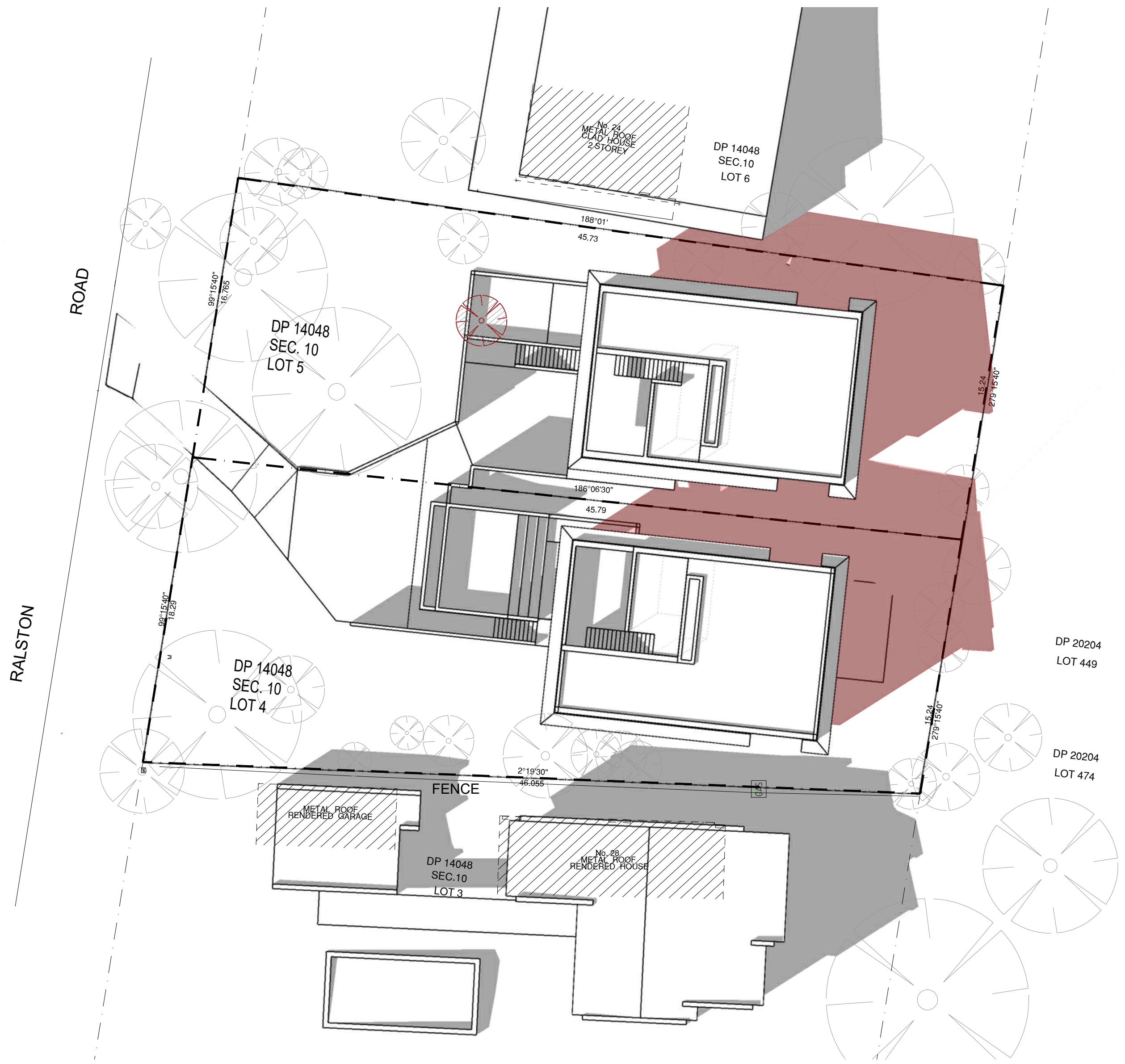
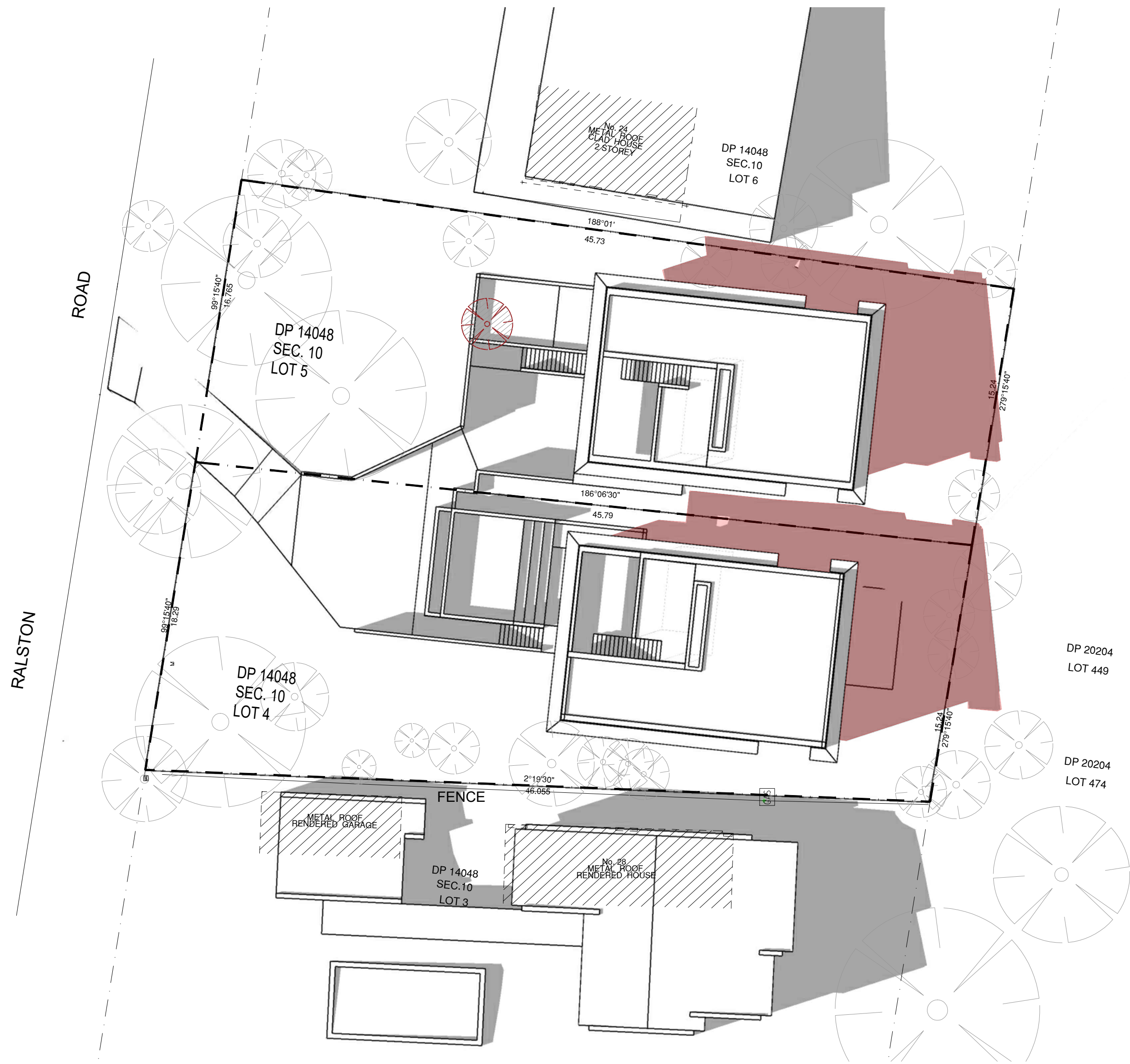
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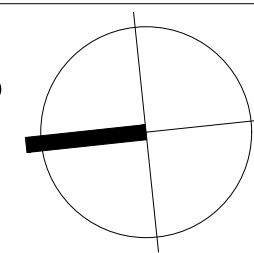
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CLIENT
TONY & GEORGINA NASSIF

PROJECT
RALSTON RD
PALM BEACH

TITLE
SHADOW DIAGRAMS_SH_03



SCALE 1:200 @ A1
APPROVED
DRAWN JC HJ
CHECKED TG
DATE APRIL 2022
STATUS S4:55

PROJECT NUMBER 19031
DRAWING NUMBER

19031

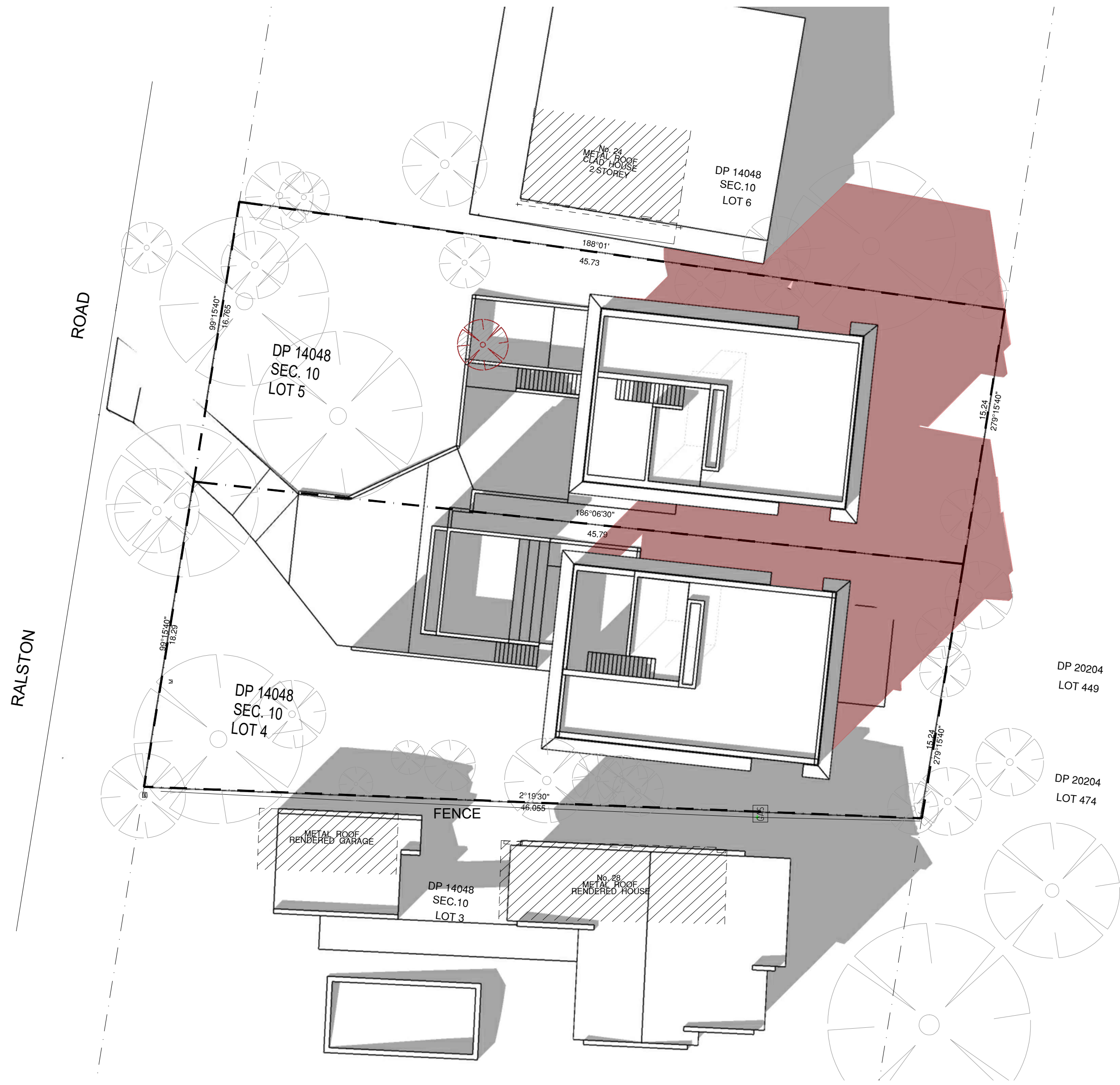
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ISSUE

06

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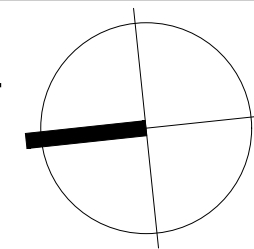
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00		AMENDMENTS

TONY & GEORGINA NASSIF

RALSTON RD
PALM BEACH

SHADOW DIAGRAMS_SH_04



SCALE 1:200 @ A1

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DRAWN JC HJ
CHECKED TG

DATE APRIL 2022
STATUS S4:55

PROJECT NUMBER 19031
DRAWING NUMBER A903

ISSUE 06

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