



THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT

DA2022/0033

0006852792 29 Nov 2021

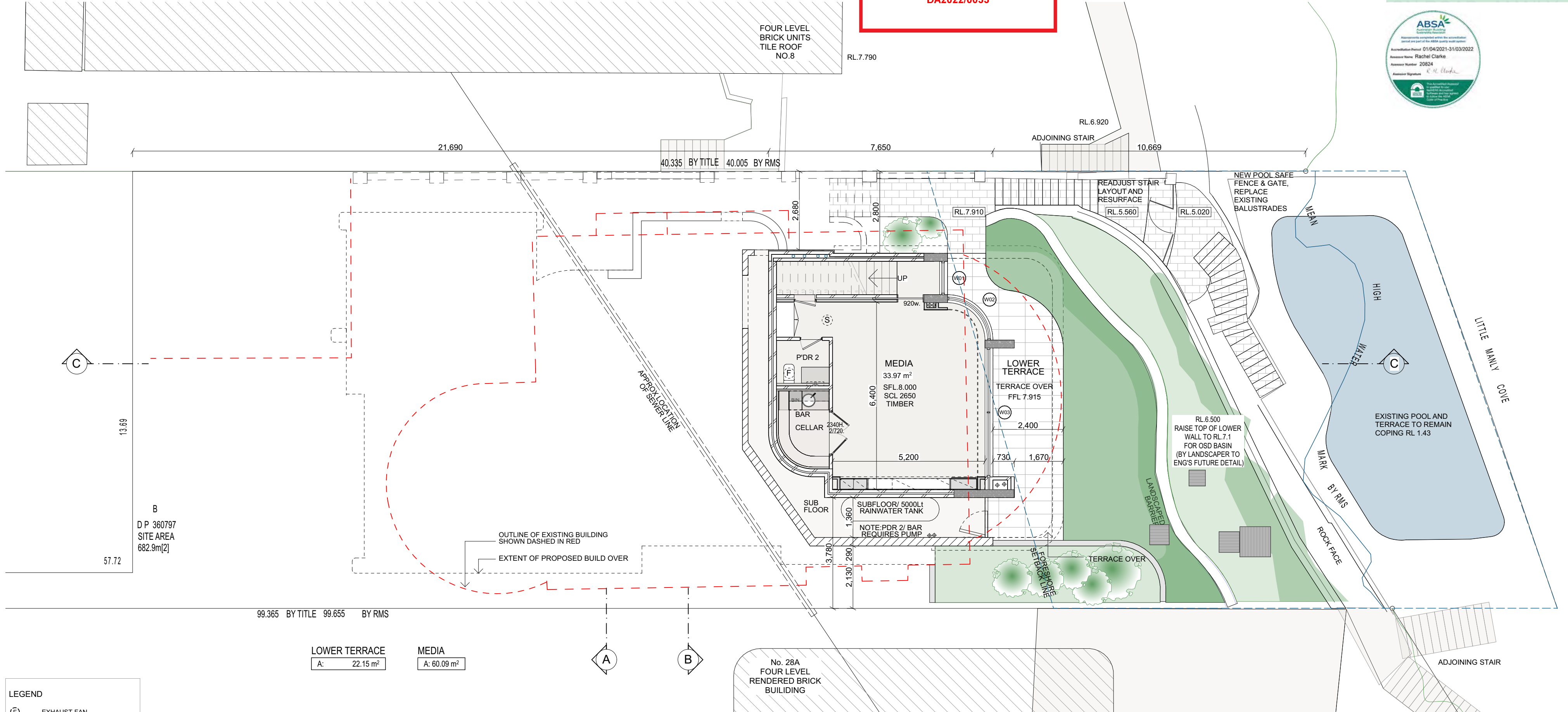
Assessor Rachel Clarke
Accreditation No. 20824

Address
30A Addison Road, Manly,
NSW, 2095

63.3
M²

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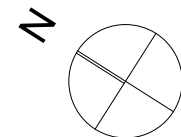
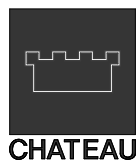
LEGEND

- EXHAUST FAN
- TASTIC FANLIGHT/HEATER
- SMOKE DETECTOR

- BASIX COMMITMENTS:**
- External walls -
 - cavity brick with 20mm XPS polystyrene insulation to ground floor (excluding curved wall sections),
 - formed concrete with 20mm XPS polystyrene to roof access (including curved wall section)
 - no additional insulation required to lower ground and first floor external walls
 - Windows:
 - Sliding doors - aluminium framed low e double glazing, U=2.5, SHGC=0.53 (including vertical glazing part of roof box)
 - Hinged doors - aluminium framed low e double glazing, U=3.4, SHGC=0.41
 - Awning windows - aluminium framed low e double glazing, U=4.3, SHGC=0.36
 - Sashless windows - aluminium framed low e double glazing, U=3.5, SHGC=0.48
 - Fixed windows - aluminium framed low e double glazing, U=2.5, SHGC=0.51
 - Curved windows - aluminium framed low e double glazing, U2.9, SHGC=0.56
 - Internal walls -
 - single skin brick,
 - plasterboard lined, or
 - cavity brick, plasterboard lined
 - provide 20mm XPS polystyrene to walls adjacent to subfloor areas
 - Floors -
 - wafile pod slab on ground,
 - suspended slab with R2.5 insulation to parts of ground floor and to first floor, default floor covering or as shown.
 - Ceiling - plasterboard with R4.0 where adjacent to roof slab above
 - Roof - concrete slab
 - Skylights -
 - Velux fixed double glazed low e, U=2.7, SHGC=0.24
 - Velux ventilated double glazed low e, U=2.5, SHGC=0.21 (including roof part of roof access box)
 - 5000L rainwater tank collecting at least 85m² of roof area
 - Rainwater used for laundry cold water connection point and for outdoor use
 - 5 star rated instantaneous HWS
 - 3-Phase air conditioning throughout
 - 4.5 star rated gas fixed flue heater to living area
 - Gas cooktop & electric oven
 - 10.0kW solar PV system

WINDOW LIST LOWER GROUND FLOOR			
ID	W01	W02	W03
2D Plan Preview			
OUTSIDE VIEW			

CHATEAU ARCHITECTS + BUILDERS
56 CECIL AVE. CASTLE HILL 2154
P. 9634 6888 F. 9899 3145
ABN 76021061877



REV M 16/08/2022 STORMWATER INFO UPDATED

SHAMIA RESIDENCE
30A ADDISON ROAD MANLY
LOT B DP 360797

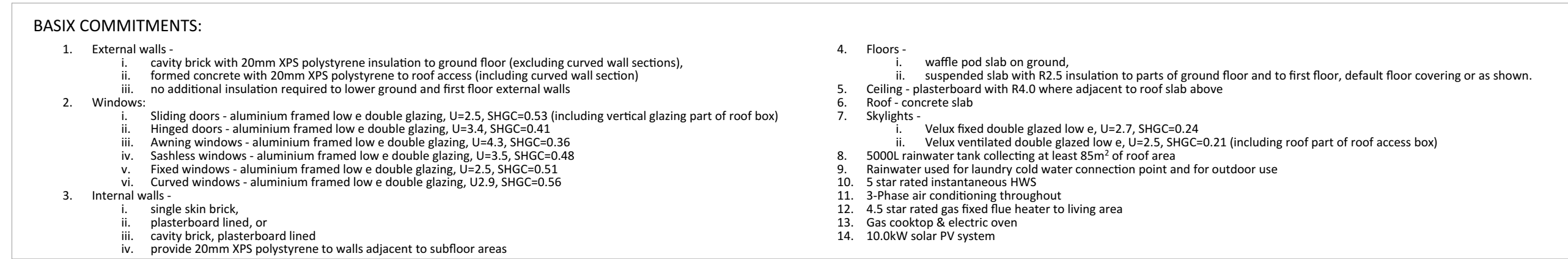
BASEMENT LEVEL

SCALE:
PUBLISHED DATE:
DRAWN:

1:100 @A2
14.01.2022
PARISA SOLTANI

SHEET No.
DA 03

REV
M

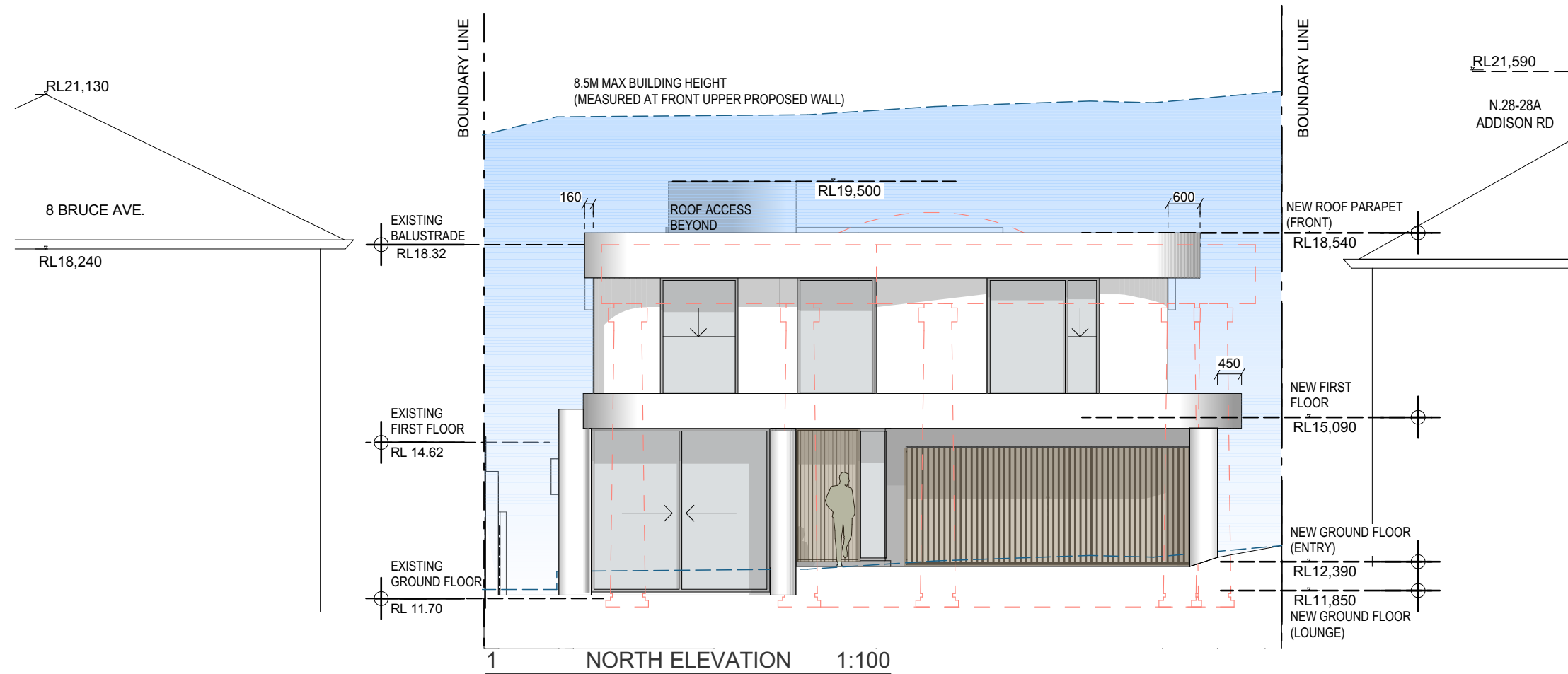


northern
beaches
council

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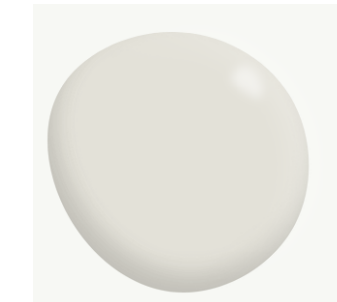
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MATERIAL AND FINISHES:

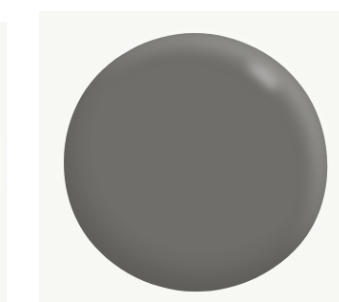
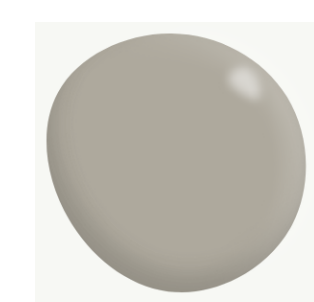
MAIN RENDER:
DULUX WHITE EXCHANGE HALF
SW1B4 OR SIMILAR



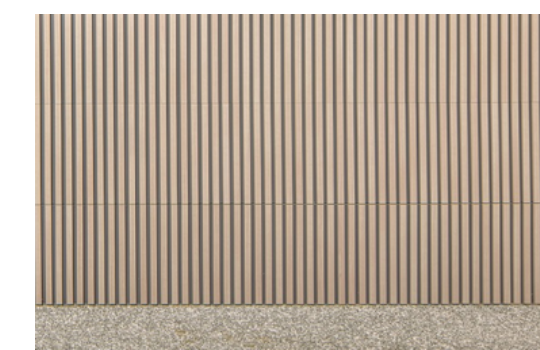
STONE CLADDING:
SAREEN STONE 'SUMMIT' CLADDING



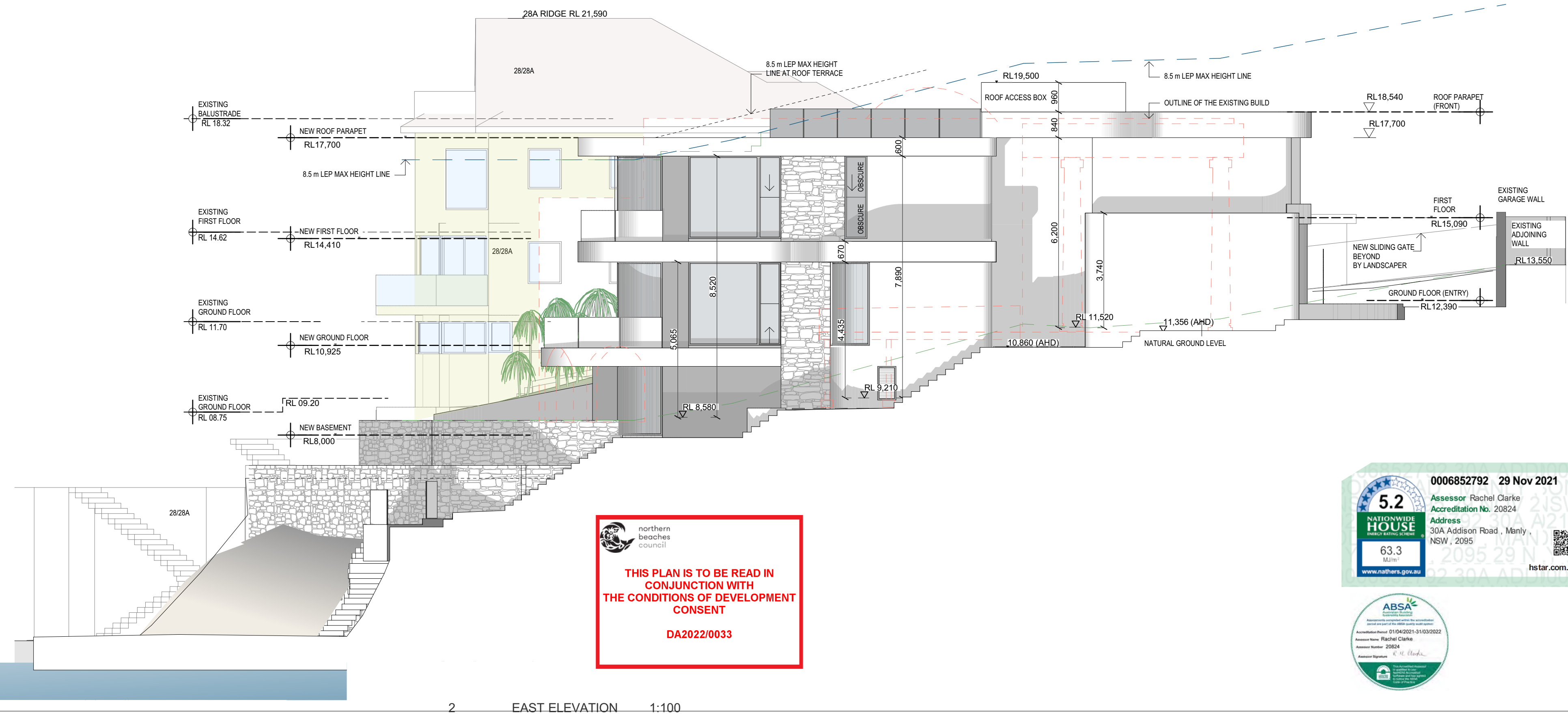
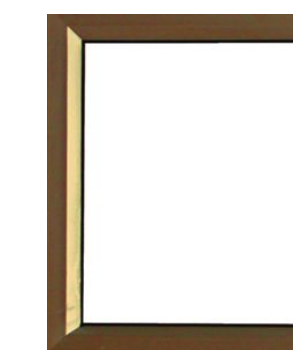
CONTRAST COLOUR:
DULUX SPIRITED FALCON SN4A7 &
PEWTER FRAME SN4H6 OR SIMILAR



GARAGE AND ENTRY DOOR:
VERTICAL SLATS



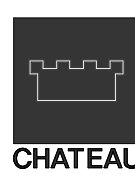
WINDOW FRAMES:
ANODISED ALUMINIUM



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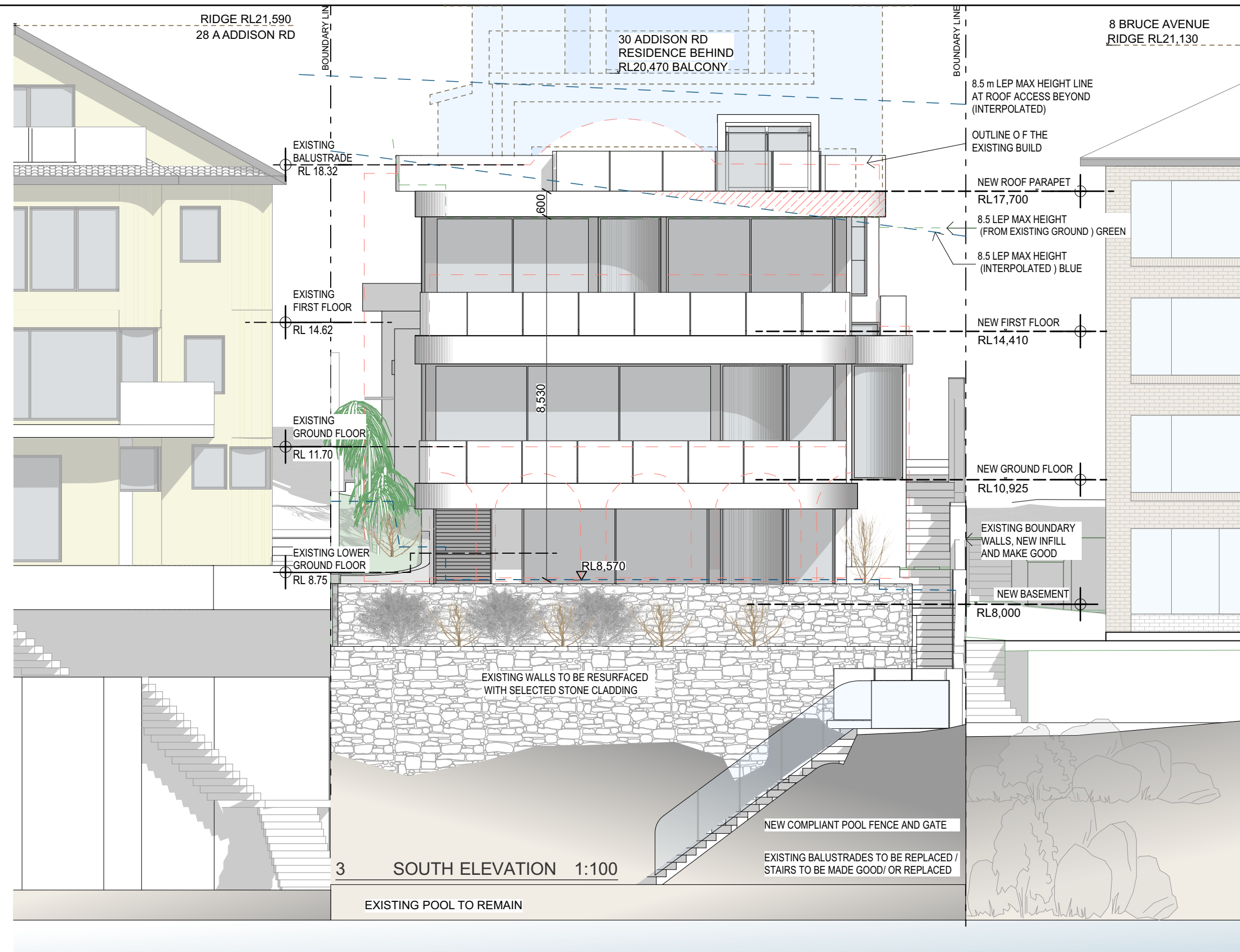
**ELEVATIONS 1 & 2 (NORTH AND EAST) & MATERIAL/
FINISHES SCHEDULE**

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14.01.2022
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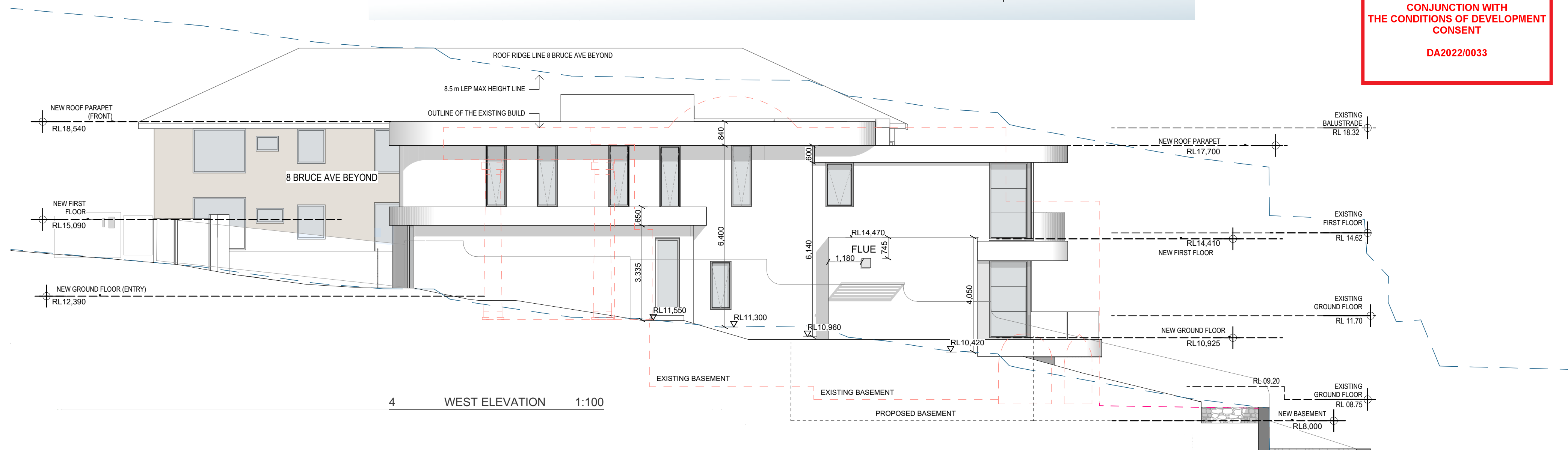
SHEET No.
DA 07

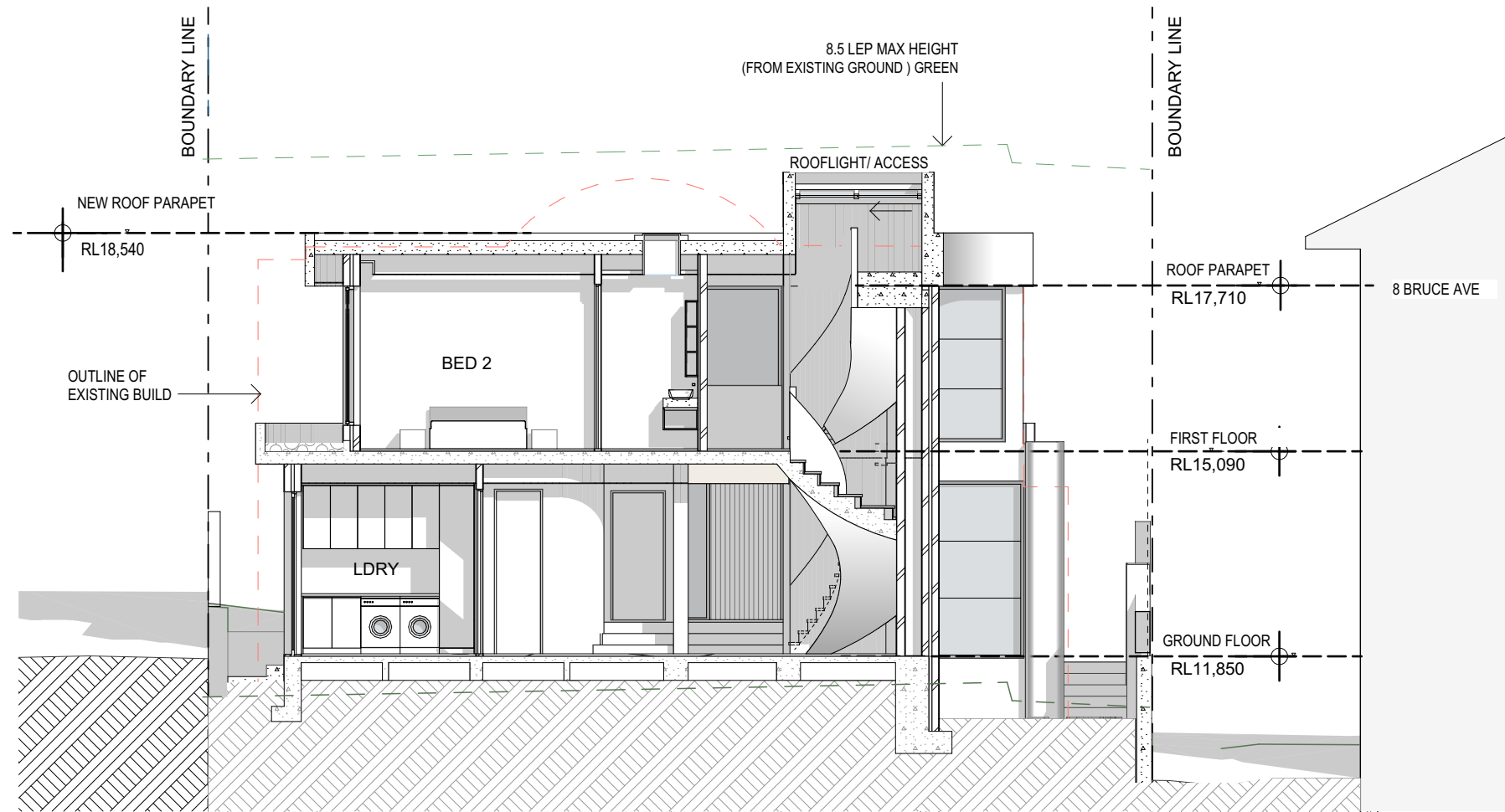
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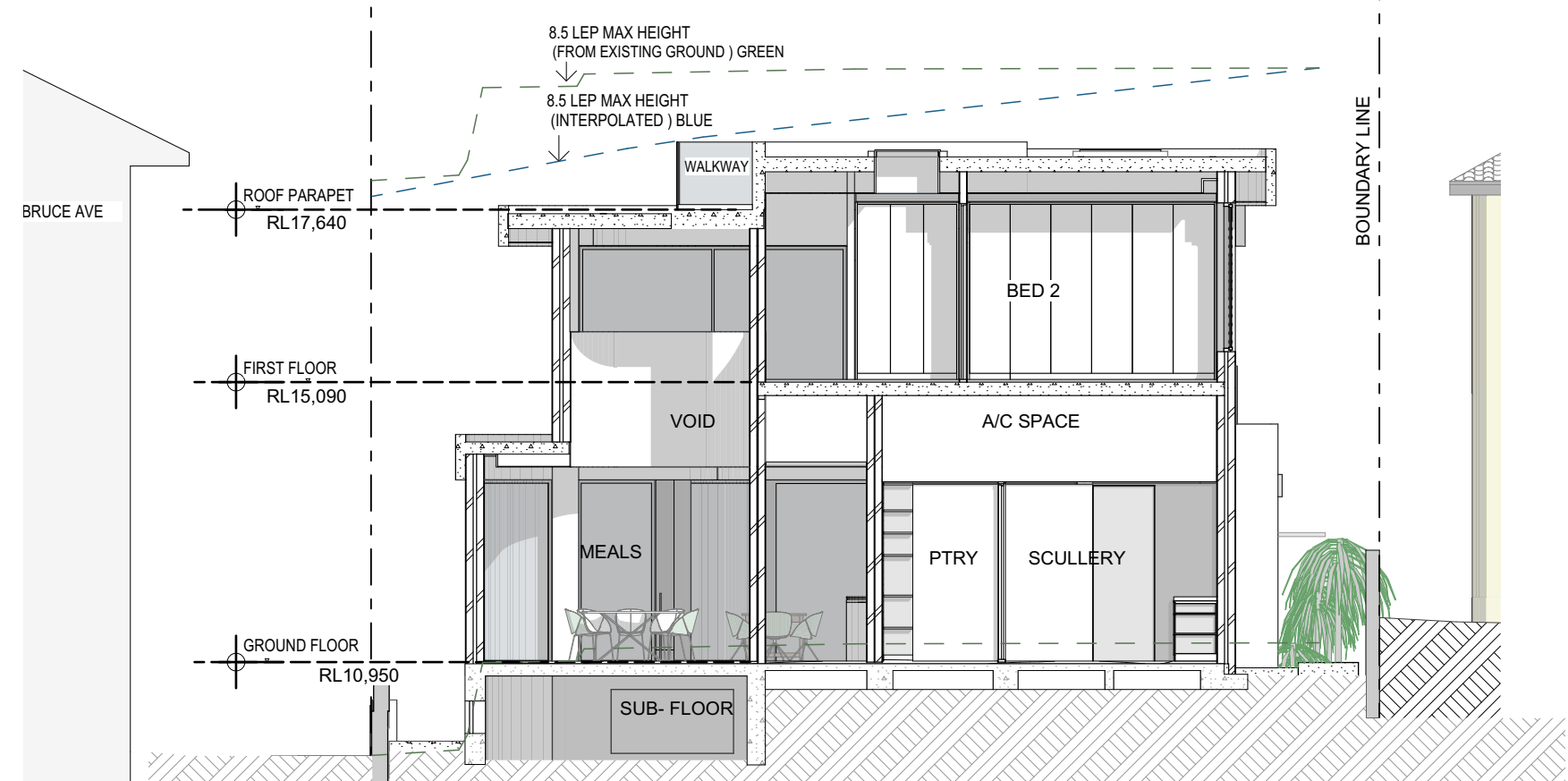
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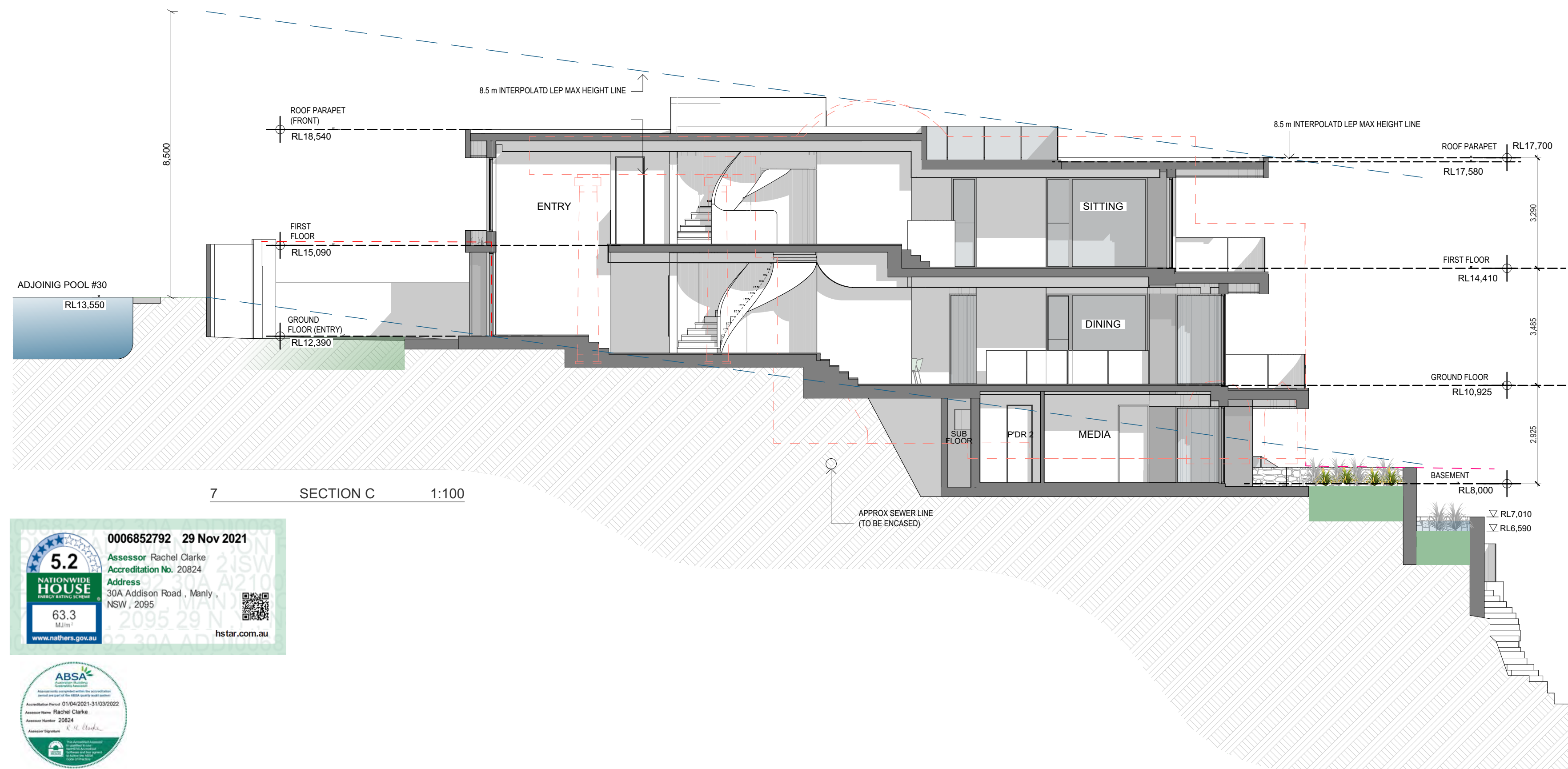




5 SECTION A 1:100



6 SECTION B 1:100



7 SECTION C 1:100

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5.2
NATIONWIDE HOUSE ENERGY RATING SCHEME

63.3
Mm

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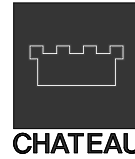
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SECTIONS A, B AND C

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14.01.2022
PARISA SOLTANI

SHEET No.
DA 09

REV
L