

LOT 2
DP 861499

LOT 123
DP 12315

LOT 12
DP 1152001

No. 9
SINGLE STOREY
CEMENT RENDERED
BRICK HOUSE

Wall Legend

- Denotes New Timber Framed Wall
- Denotes New Masonry Wall
- Denotes Existing Wall
- Denotes Demolished Item

Rapid Plans
Building Design and Architectural Drafting

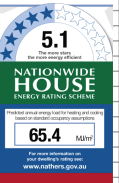
Rapid Plans www.rapidplans.com.au
PO Box 6193 Frenchs Forest DC NSW 2086
Fax : (02) 9905-8865
Mobile: 0414-945-024
Email : grega@rapidplans.com.au

bda BUILDING
DESIGNERS
AUSTRALIA NSW

NOTES

7 Waimea Street North Balgowlah is zoned R2 - Low Density Residential.
New Works to be constructed shown in Shaded/Blue.
7 Waimea Street North Balgowlah is not considered a heritage item.

Construction
Concrete & Timber Framed, Cladded & Masonry Walls
Roof Sheet Metal to have R4.0 Insulation
Insulation to External Cladded & Masonry Walls R2.5
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.



Certifying

The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Basix

Basix Certificate Number 985339S_2 & Nathers Cert No.0003410511
All Plans to be read in conjunction with Basix & Nathers Certificates
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.
Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Project North



DA APPLICATION ONLY NOT FOR CONSTRUCTION

The builder shall check and verify all dimensions and verify all errors and omissions to the designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

Client: Cameron & Sue Young
Project Name: Demolition of Existing Dwelling & Construction of New Dwelling
7 Waimea Street, North Balgowlah
2093

Lot 132 D.P. 12315

Drawing Title:

Site Plans - Site Plan

Site Plan

Scale: A3 as noted

Status: DA

Project No:

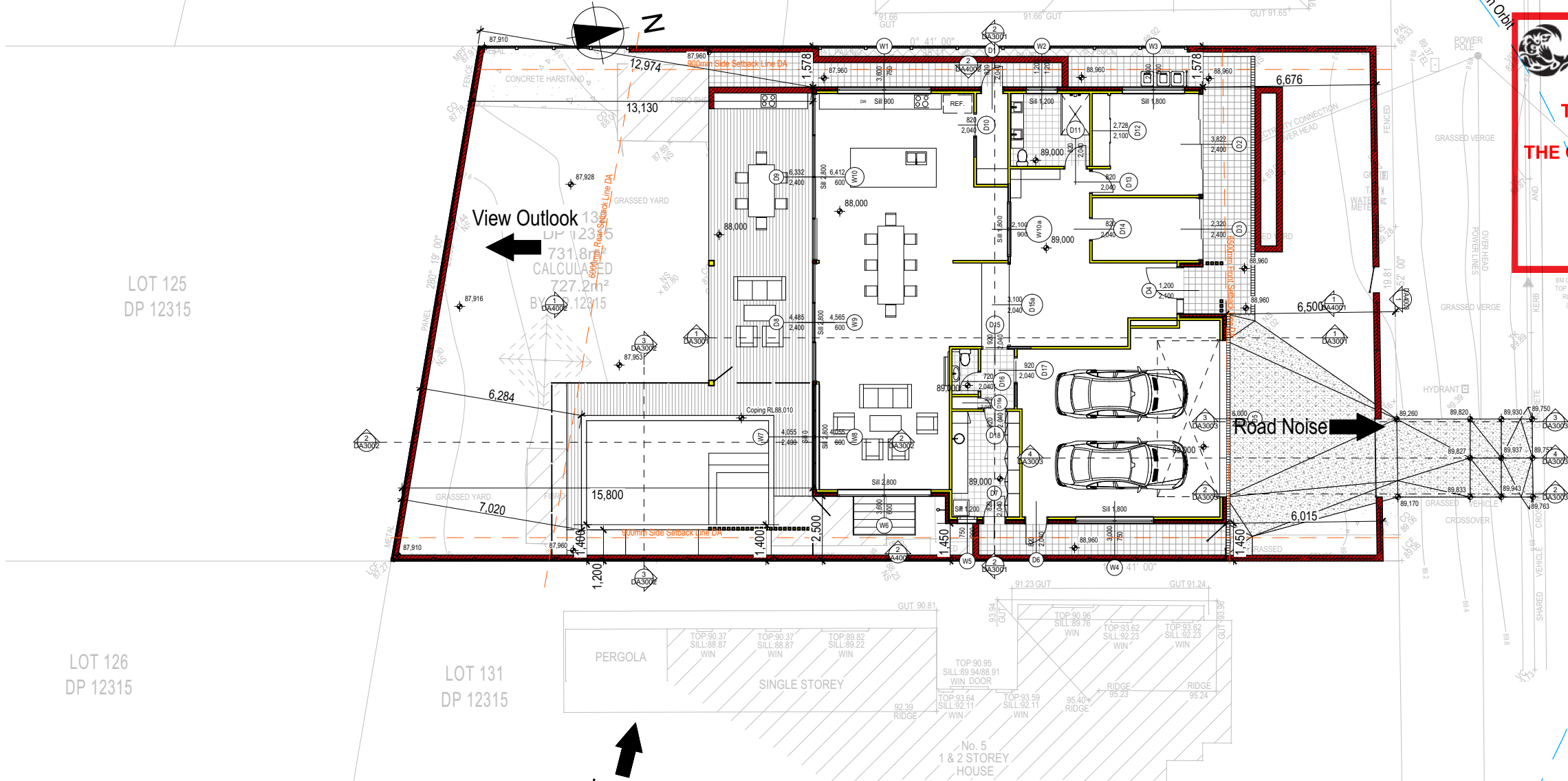
RP0618YOU

Date: 18-09-2019

Checked By: GBJ

Drawing No.

DA1003



1
Site Plan
1:200

Water Commitments
Landscape
The applicant must plant indigenous or low water use species of vegetation throughout 250 square metres of the site.
Fixtures
The applicant must install showerheads with a minimum rating of 3 star (> 4.5 but <= 6 L/min) in all showers in the development.
The applicant must install a toilet flushing system with a minimum rating of 3 star in each toilet in the development.
The applicant must install taps with a minimum rating of 3 star in the kitchen in the development.
The applicant must install basin taps with a minimum rating of 3 star in each bathroom in the development.
Alternative water
Rainwater tank
The applicant must install a rainwater tank of at least 3000 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.
The applicant must configure the rainwater tank to collect rain runoff from at least 310 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam).
The applicant must configure the rainwater tank so that overflow is diverted to a stormwater tank.
The applicant must connect the rainwater tank to:
• all toilets in the development
• at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.)
• a tap that is located within 10 metres of the swimming pool in the development

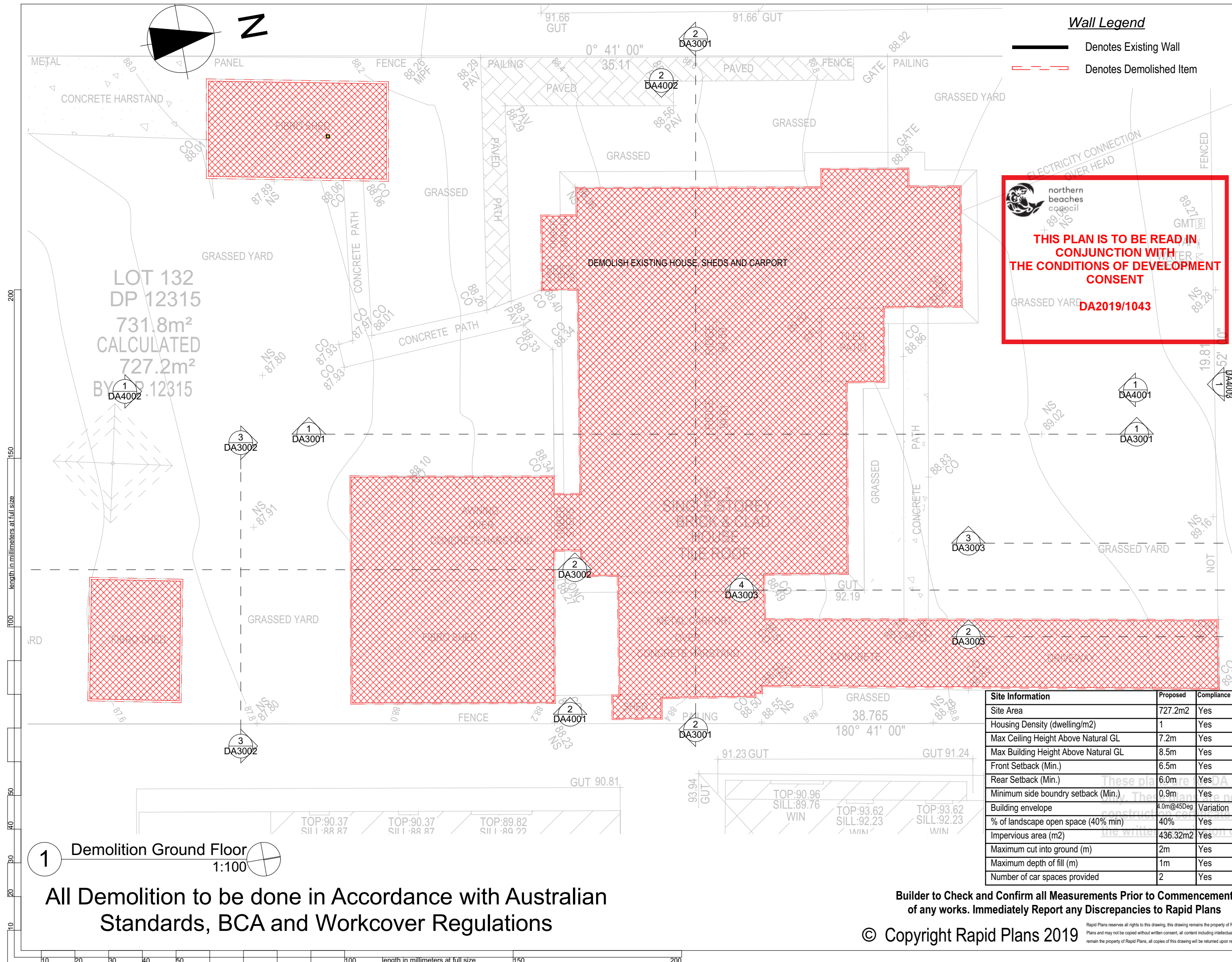
• a tap that is located within 10 metres of the outdoor spa in the development
Stormwater tank
The applicant must install a stormwater tank with a capacity of at least 8000 litres on the site. This stormwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.
The applicant must configure the stormwater tank to collect overflow from the rainwater tank.
The applicant must configure the stormwater tank to collect runoff from:
• at least 310 square metres of roof area of the development (excluding the area of the roof which drains to any rainwater tank or private dam)
• at least 130 square metres of impervious areas
The applicant must connect the stormwater tank to:
• a sub-surface or non-aerosol irrigation system, or if the stormwater has been appropriately treated in accordance with applicable regulatory requirements, to at least one outdoor tap in the development (Note: NSWHealth does not recommend that stormwater be used to irrigate edible plants which are consumed raw.)
Swimming pool
The swimming pool must not have a volume greater than 42 kilolitres.
The swimming pool must have a pool cover.
The swimming pool must be outdoors.
Outdoor Spa
The spa must not have a volume greater than 9 kilolitres.
The spa must have a spa cover.
The spa must be shaded.

Energy Commitments
Hot water
The applicant must install the following hot water system in the development, or a system with a higher energy rating: gas instantaneous with a performance of 5 stars.
Natural lighting
The applicant must install a window and/or skylight in the kitchen of the dwelling for natural lighting.
The applicant must install a window and/or skylight in 3 bathroom(s)/toilet(s) in the development for natural lighting.
Swimming pool
The applicant must install the following heating system for the swimming pool in the development (or alternatively must not install any heating system for the swimming pool): gas
The applicant must install a timer for the swimming pool pump in the development.
Outdoor spa
The applicant must install the following heating system for the spa in the development (or alternatively must not install any heating system for the spa): gas
The applicant must install a timer for the spa pump in the development.
Alternative energy
The applicant must install a photovoltaic system with the capacity to generate at least 4.8 peak kilowatts of electricity as part of the development. The applicant must connect this system to the development's electrical system.
Other
The applicant must install a gas cooktop & electric oven in the kitchen of the dwelling.

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

© Copyright Rapid Plans 2019

Rapid Plans reserves all rights to this drawing, this drawing remains the property of Rapid Plans and may not be copied without written consent, all content including intellectual, remain the property of Rapid Plans, all copies of this drawing will be returned upon request



Wall Legend

- Denotes Existing Wall
- Denotes Demolished Item

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT DA2019/1043

Site Information	Proposed	Compliance
Site Area	727.2m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Ceiling Height Above Natural GL	7.2m	Yes
Max Building Height Above Natural GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Yes
Minimum side boundary setback (Min.)	0.9m	Yes
Building envelope	4.0m@45Deg	Variation
% of landscape open space (40% min)	40%	Yes
Impervious area (m2)	436.32m2	Yes
Maximum cut into ground (m)	2m	Yes
Maximum depth of fill (m)	1m	Yes
Number of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

© Copyright Rapid Plans 2019

Rapid Plans reserves all rights to this drawing, this drawing remains the property of Rapid Plans and may not be copied without written consent, all content including intellectual, remain the property of Rapid Plans, all copies of this drawing will be returned upon request



Rapid Plans www.rapidplans.com.au
PO Box 6193 Frenchs Forest NSW 2086
Fax : (02) 9905-8865
Mobile: 0414-945-024
Email : gregg@rapidplans.com.au



BUILDING DESIGNERS AUSTRALIA NSW

NOTES
7 Waimea Street North Balgowlah is zoned R2 - Low Density Residential.
New Works to be constructed shown in Shaded/Blue.
7 Waimea Street North Balgowlah is not considered a heritage item.
Construction
Concrete & Timber Framed, Cladded & Masonry Walls.
Roof Sheet Metal to have R4.0 Insulation.
Insulation to External Cladded & Masonry Walls R2.5.
Refer to Engineers drawings for structural details.
All work to Engineers Specification and BCA.
Timber framing to BCA and AS 1684.
Termite Management to BCA and AS 3660.1.
Glazing to BCA and AS01288-2047.
Waterproofing to BCA and AS 3740.
New Lighting to have minimum of 40% compact fluorescent lamps.
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.



5.1
NATIONWIDE HOUSE ENERGY RATING SCHEME
65.4

Certifying
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans.
Basix
Basix Certificate Number 985339S_2 & Nathers Cert No.0003410511
All Plans to be read in conjunction with Basix & Nathers Certificates.
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.
Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Project North



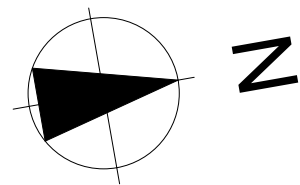
DA APPLICATION ONLY
NOT FOR CONSTRUCTION

The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

Client **Cameron & Sue Young**
Project Name
Demolition of Existing Dwelling & Construction of New Dwelling
7 Waimea Street, North Balgowlah
2093
Lot 132 D.P. 12315
Drawing Title:
Site Plans - Demolition Ground Floor Plan
Demolition Ground Floor

Scale: A3 as noted
Status: DA
Project No: **RP0618YOU**

Date: 18-09-2019
Checked By: **GBJ**
Drawing No: **DA1004**



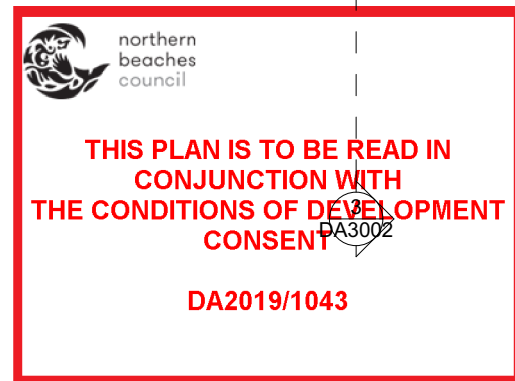
New Timber Framed Sheet
Metal Roof Pitch 3°

New Skylight To Manufacturers
Details

New Compressed Fibro &
Waterproofed Tiled Timber Deck
To BCA & AS1684 Below

Timber Framed High Tensile
Sheet Metal Roof Pitch 1°

New Timber Pergola To AS1684



Roof Plan
1:100

Water Commitments			
• a tap that is located within 10 metres of the outdoor spa in the development	Show on DA plans	Show on CCDC plans & specs	Certifier check
Stormwater tank			
The applicant must install a stormwater tank with a capacity of at least 8000 litres on the site. This stormwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.			
The applicant must configure the stormwater tank to collect overflow from the rainwater tank.			
The applicant must configure the stormwater tank to collect runoff from:			
• at least 310 square metres of roof area of the development (excluding the area of the roof which drains to any rainwater tank or provide dam)			
• at least 130 square metres of impervious areas			
The applicant must connect the stormwater tank to:			
• a sub-surface or non-aerosol irrigation system, or if the stormwater has been appropriately treated in accordance with applicable regulatory requirements, to at least one outdoor tap in the development (note: NSW Health does not recommend that stormwater be used to irrigate edible plants which are consumed raw.)			
Swimming pool			
The swimming pool must not have a volume greater than 42 kilolitres.			
The swimming pool must have a pool cover.			
The swimming pool must be outdoors.			
Outdoor Spa			
The spa must not have a volume greater than 9 kilolitres.			
The spa must have a spa cover.			
The spa must be shaded.			

Energy Commitments			
• at least 1 of the living / dining rooms, dedicated	Show on DA plans	Show on CCDC plans & specs	Certifier check
• the kitchen, dedicated			
• all bathrooms/toilets, dedicated			
• the laundry, dedicated			
• all hallways, dedicated			
Natural lighting			
The applicant must install a window and/or skylight in the kitchen of the dwelling for natural lighting.			
The applicant must install a window and/or skylight in 3 bathroom(s)/toilet(s) in the development for natural lighting.			
Swimming pool			
The applicant must install the following heating system for the swimming pool in the development (or alternatively must not install any heating system for the swimming pool, gas)			
The applicant must install a timer for the swimming pool pump in the development.			
Outdoor spa			
The applicant must install the following heating system for the spa in the development (or alternatively must not install any heating system for the spa, gas)			
The applicant must install a timer for the spa pump in the development.			
Alternative energy			
The applicant must install a photovoltaic system with the capacity to generate at least 6.0 peak kilowatts of electricity as part of the development. The applicant must connect the system to the development's electrical system.			
Other			
The applicant must install a gas cooking & electric oven in the kitchen of the dwelling.			

BASIX Project Commitments	
Project:	Single dwelling
Address:	7 Waimea Street
Lot No / DP:	132/12315
Thermal Envelope	
External walls	Requirements
Brick veneer	Ground floor
Weatherboard	First floor
Internal walls	
Cavity wall, direct to plasterboard	All internal walls to garage
Cavity wall, direct to plasterboard	No insulation
Internal ceiling	R4.0 bulk insulation
Internal ceiling - plasterboard	No insulation
Roof	
Corrugated iron	Medium Colour (solar absorptance 0.475-0.7)
Asbestos blanket HP 9.5 (bulk + foil, reflector side down, anti glare veil)	
Floor	
Concrete slab on ground	No insulation
Suspended timber	R4.0 bulk insulation
Windows	
Aluminium Frame ALUM-002-01	All Bathrooms and garage
Aluminium Frame ALUM-004-01	Kitchen/Living highlight windows (doors)
Aluminium Frame ALUM-004-01	U-value 4.4 and SHGC 0.59 for Group B windows (double hung, fixed, louvers and sliding type windows/doors)
Aluminium Frame ALUM-004-01	U-value 4.4 and SHGC 0.59 for Group B windows (double hung, fixed, louvers and sliding type windows/doors)
Overshadowing details	Adapting units calculated into model calculations
Site	Orientation of nominal north elevation
	As shown on plans

Timber Framed High
Tensile Sheet Metal Roof
Pitch 1°

Min. 4.8kW Photovoltaic
Solar Panels To Basix
Requirements

Parapet Wall. Roof Within

Parapet Wall. Roof Within

Timber Framed High
Tensile Sheet Metal Roof
Pitch 1°

Step Down In Roof

Site Information	Proposed	Compliance
Site Area	727.2m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Ceiling Height Above Natural GL	7.2m	Yes
Max Building Height Above Natural GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Yes
Minimum side boundary setback (Min.)	0.9m	Yes
Building envelope	4.0m@45Deg	Variation
% of landscape open space (40% min)	40%	Yes
Impervious area (m2)	436.32m2	Yes
Maximum cut into ground (m)	2m	Yes
Maximum depth of fill (m)	1m	Yes
Number of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement
of any works. Immediately Report any Discrepancies to Rapid Plans

© Copyright Rapid Plans 2019

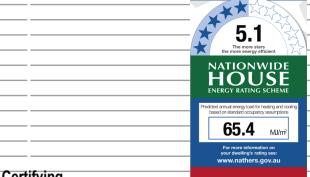
Rapid Plans reserves all rights to this drawing, this drawing remains the property of Rapid Plans and may not be copied without written consent, all content including intellectual, remain the property of Rapid Plans, all copies of this drawing will be returned upon request

Rapid Plans
Building Design and Architectural Drafting

Rapid Plans www.rapidplans.com.au
PO Box 6193 Frenchs Forest DC NSW 2086
Fax : (02) 9905-8865
Mobile: 0414-945-024
Email : grega@rapidplans.com.au



NOTES
7 Waimea Street North Balgowlah is zoned R2 - Low Density Residential.
New Works to be constructed shown in Shaded/Blue.
7 Waimea Street North Balgowlah is not considered a heritage item.
Construction
Concrete & Timber Framed, Cladded & Masonry Walls.
Roof Sheet Metal to have R4.0 Insulation.
Insulation to External Cladded & Masonry Walls R2.5.
Refer to Engineers drawings for structural details.
All work to Engineers Specification and BCA.
Timber framing to BCA and AS 1684.
Termite Management to BCA and AS 3660.1.
Glazing to BCA and AS01288-2047.
Waterproofing to BCA and AS 3740.
New Lighting to have minimum of 40% compact fluorescent lamps.
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.



Certifying
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans.
Basix
Basix Certificate Number 985339S 2 & Nathers Cert No.0003410511
All Plans to be read in conjunction with Basix & Nathers Certificates.
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.
Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Project North

DA APPLICATION ONLY
NOT FOR CONSTRUCTION

The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

Client: Cameron & Sue Young
Project Name:
Demolition of Existing Dwelling & Construction of New Dwelling
7 Waimea Street, North Balgowlah
2093

Lot 132 D.P. 12315

Drawing Title:

Plans - Roof Plan

Roof Plan

Scale: A3 as noted

Status: DA

Project No:

RP0618YOU

Drawing No.

DA2003

Date: 18-09-2019

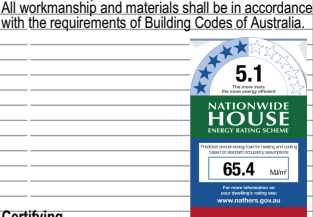
Checked By: GBJ

Drawing No.

DA2003

NOTES
7 Waimea Street North Balgowlah is zoned R2 - Low Density Residential.
New Works to be constructed shown in Shaded/Blue.
7 Waimea Street North Balgowlah is not considered a heritage item.

Construction
Concrete & Timber Framed, Cladded & Masonry Walls.
Roof Sheet Metal to have R4.0 Insulation.
Insulation to External Cladded & Masonry Walls R2.5.
Refer to Engineers drawings for structural details.
All work to Engineers Specification and BCA.
Timber framing to BCA and AS 1684.
Termite Management to BCA and AS 3660.1.
Glazing to BCA and AS01288-2047.
Waterproofing to BCA and AS 3740.
New Lighting to have minimum of 40% compact fluorescent lamps.
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.



Certifying
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans.

Basix
Basix Certificate Number 985339S_2 & Nathers Cert No.0003410511
All Plans to be read in conjunction with Basix & Nathers Certificates.
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.
Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Project North



DA APPLICATION ONLY NOT FOR CONSTRUCTION

The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

Client: Cameron & Sue Young
Project Name: Demolition of Existing Dwelling & Construction of New Dwelling
7 Waimea Street, North Balgowlah
2093

Lot 132 D.P. 12315

Drawing Title:

Elevations - Elevations 1

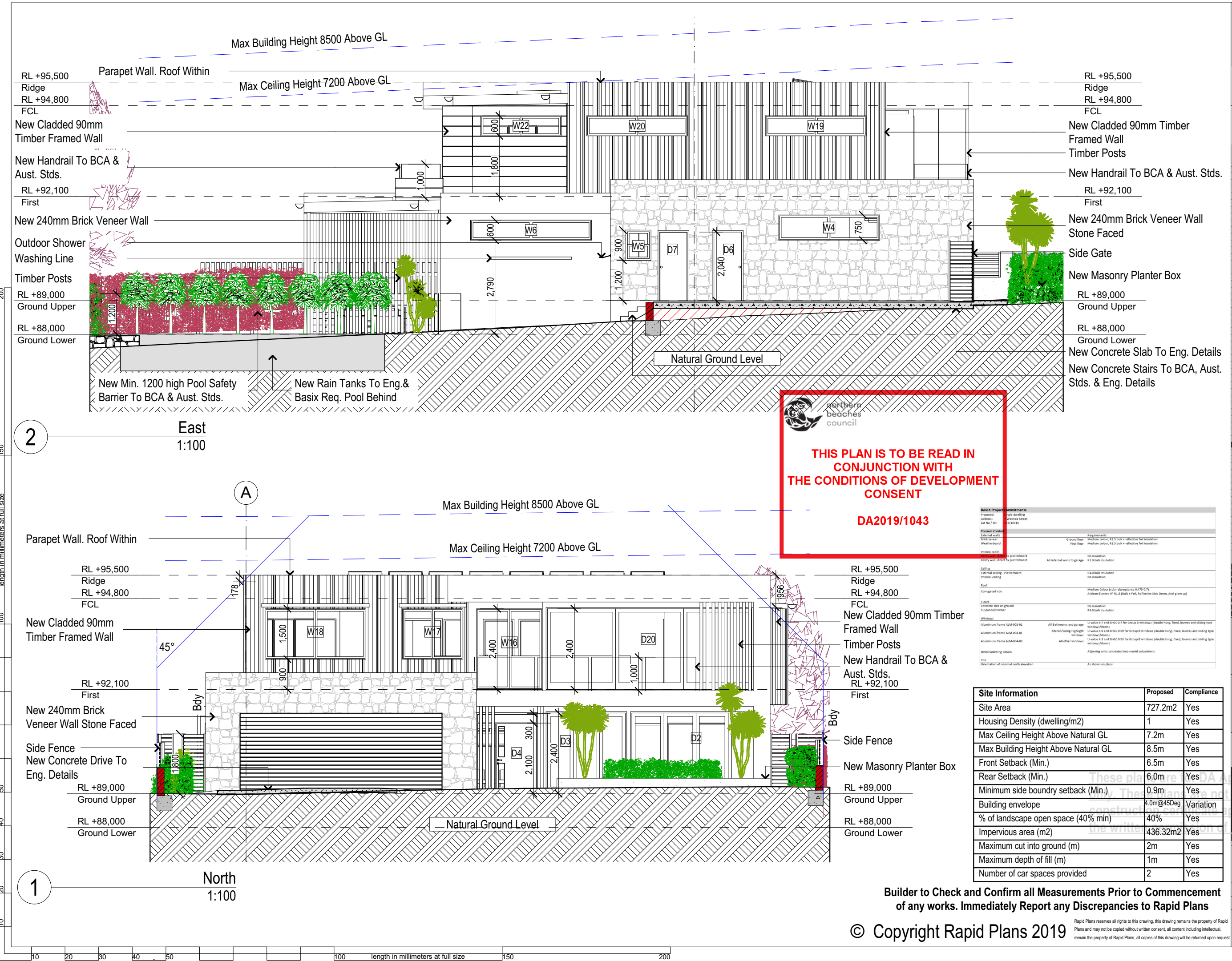
North, East

Scale: A3 as noted Date: 18-09-2019

Status: DA Checked By: GBJ

Project No: RP0618YOU

Drawing No: DA4001



Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

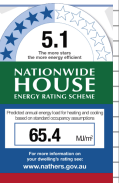
© Copyright Rapid Plans 2019

Rapid Plans reserves all rights to this drawing, this drawing remains the property of Rapid Plans and may not be copied without written consent, all content including intellectual, remain the property of Rapid Plans, all copies of this drawing will be returned upon request

NOTES

7 Waimea Street North Balgowlah is zoned R2 - Low Density Residential.
New Works to be constructed shown in Shaded/Blue.
7 Waimea Street North Balgowlah is not considered a heritage item.

Construction
Concrete & Timber Framed, Cladded & Masonry Walls
Roof Sheet Metal to have R4.0 Insulation
Insulation to External Cladded & Masonry Walls R2.5
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.



Certifying

The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Basix

Basix Certificate Number 985339S_2 & Nathers Cert No.0003410511
All Plans to be read in conjunction with Basix & Nathers Certificates
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Project North



DA APPLICATION ONLY
NOT FOR CONSTRUCTION

The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

Client Cameron & Sue Young
Project Name
Demolition of Existing Dwelling & Construction of New Dwelling
7 Waimea Street, North Balgowlah
2093

Lot 132 D.P. 12315

Drawing Title:

Elevations - Elevations 2

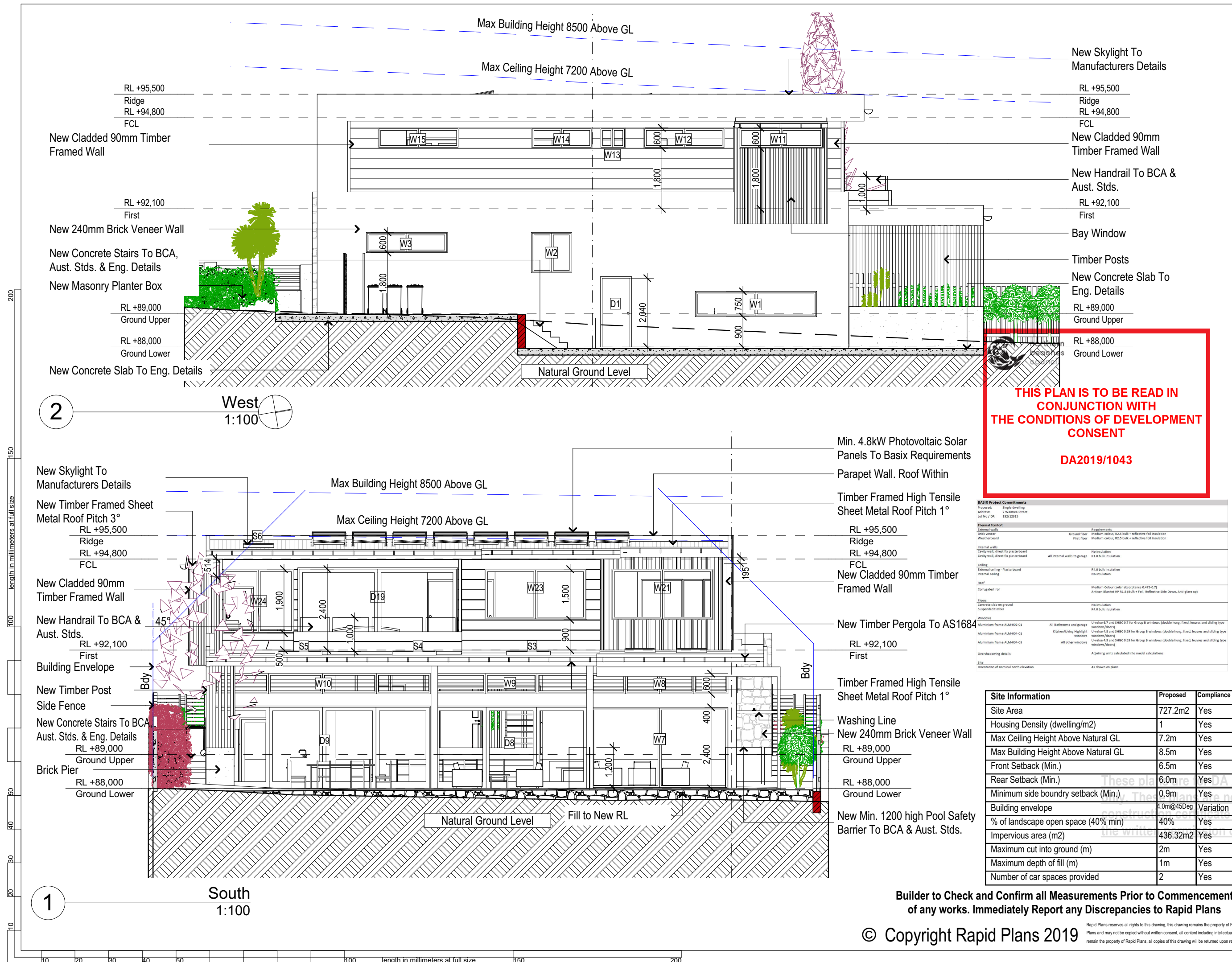
South, West

Scale: A3 as noted Date: 18-09-2019

Status: DA Checked By: GBJ

Project No: RP0618YOU Drawing No:

DA4002



THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT
DA2019/1043

BASIX Project Commitments	
Proposed:	Single dwelling
Address:	7 Waimea Street
Lot No / DP:	132/12315
Thermal Comfort	
External walls	Requirements
Brick veneer	Ground floor: Medium colour, R2.3 bulk + reflective foil insulation
Weatherboard	First floor: Medium colour, R2.0 bulk + reflective foil insulation
Internal walls	Requirements
Cavity wall, direct fix plasterboard	No insulation
Cavity wall, direct fix plasterboard	All internal walls to garage: R1.0 bulk insulation
Ceiling	Requirements
External ceiling - Plasterboard	R4.0 bulk insulation
Internal ceiling	No insulation
Roof	Requirements
Corrugated iron	Medium colour (solar absorptance 0.475-0.7)
Concrete slab on ground	Anticon Blaster UP R1.8 (Bulk + Foil, Reflective Side Down, Anti-glare up)
Suspended timber	No insulation
Floors	Requirements
Aluminum frame ALUM-002-01	All Bathrooms and garage: U-value 0.7 and SHGC 0.7 for Group B windows (double hung, fixed, louvers and sliding type windows/doors)
Aluminum frame ALUM-004-01	Kitchen/Living Highlight windows (double hung, fixed, louvers and sliding type windows/doors)
Aluminum frame ALUM-004-01	U-value 0.8 and SHGC 0.59 for Group B windows (double hung, fixed, louvers and sliding type windows/doors)
Aluminum frame ALUM-004-01	U-value 0.8 and SHGC 0.59 for Group B windows (double hung, fixed, louvers and sliding type windows/doors)
Overhanging details	Adjoining units calculated into model calculations
Site	Orientation of nominal north elevation
Orientation of nominal north elevation	As shown on plans

Site Information	Proposed	Compliance
Site Area	727.2m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Height Above Natural GL	7.2m	Yes
Max Building Height Above Natural GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Yes
Minimum side boundary setback (Min.)	0.9m	Yes
Building envelope	4.0m@45Deg	Variation
% of landscape open space (40% min)	40%	Yes
Impervious area (m ²)	436.32m ²	Yes
Maximum cut into ground (m)	2m	Yes
Maximum depth of fill (m)	1m	Yes
Number of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

© Copyright Rapid Plans 2019

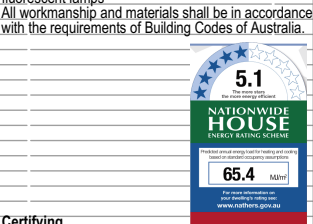
Rapid Plans reserves all rights to this drawing, this drawing remains the property of Rapid Plans and may not be copied without written consent, all content including intellectual, remain the property of Rapid Plans, all copies of this drawing will be returned upon request

NOTES

7 Waimea Street North Balgowlah is zoned R2 - Low Density Residential.
New Works to be constructed shown in Shaded/Blue.
7 Waimea Street North Balgowlah is not considered a heritage item.

Construction

Concrete & Timber Framed, Cladded & Masonry Walls.
Roof Sheet Metal to have R4.0 Insulation.
Insulation to External Cladded & Masonry Walls R2.5.
Refer to Engineers drawings for structural details.
All work to Engineers Specification and BCA.
Timber framing to BCA and AS 1684.
Termite Management to BCA and AS 3660.1.
Glazing to BCA and AS01288-2047.
Waterproofing to BCA and AS 3740.
New Lighting to have minimum of 40% compact fluorescent lamps.
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.



Certifying

The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans.

Basix

Basix Certificate Number 985339S, 2 & Nathers Cert No.0003410511

All Plans to be read in conjunction with Basix & Nathers Certificates.

The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.

Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Project North



DA APPLICATION ONLY NOT FOR CONSTRUCTION

The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

Client: Cameron & Sue Young
Project Name: Demolition of Existing Dwelling & Construction of New Dwelling
7 Waimea Street, North Balgowlah
2093

Lot 132 D.P. 12315

Drawing Title:

Elevations - Elevation Front Fence

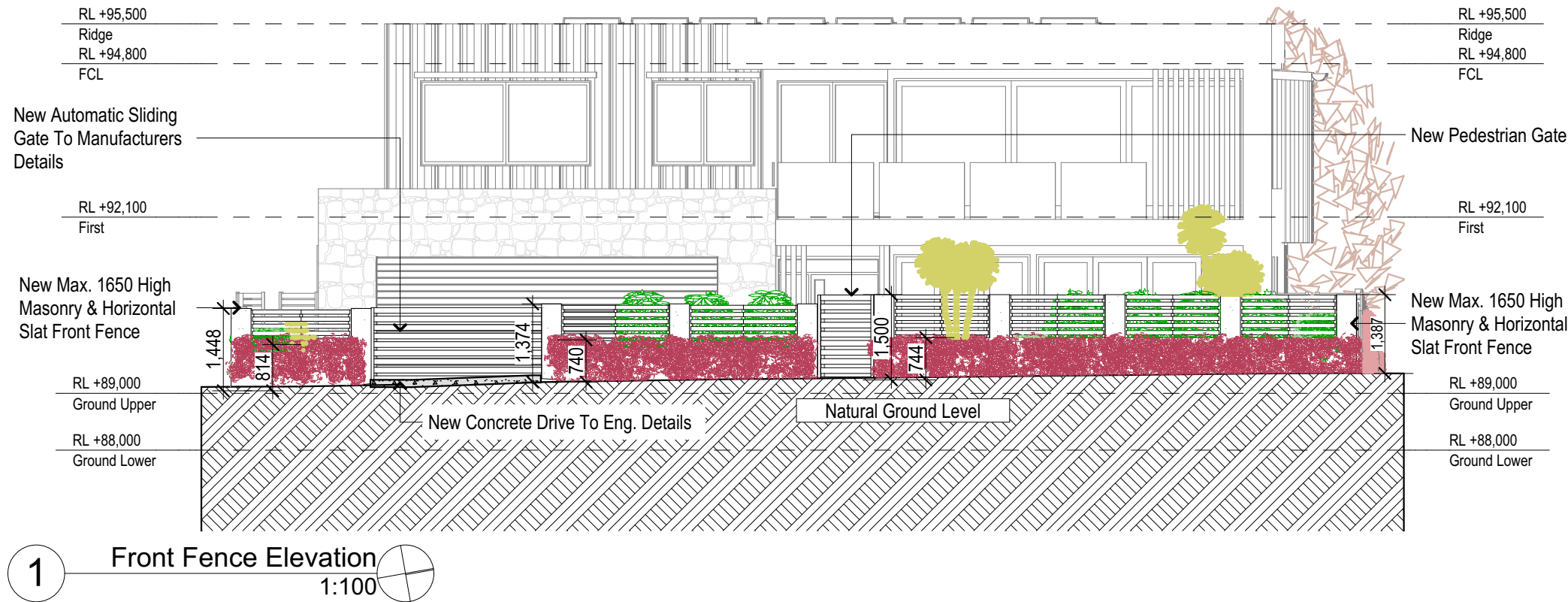
Front Fence Elevation

Scale: A3 as noted Date: 18-09-2019

Status: DA Checked By: GBJ

Project No: Drawing No:

RP0618YOU DA4003



Typical Type Sliding Gate System. Easy Gate or Similar

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT
DA2019/1043

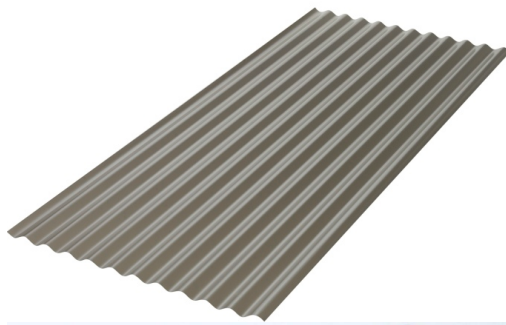


Site Information	Proposed	Compliance
Site Area	727.2m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Height Above Natural GL	7.2m	Yes
Max Building Height Above Natural GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Yes
Minimum side boundary setback (Min.)	0.9m	Yes
Building envelope	4.0m@45Deg	Variation
% of landscape open space (40% min)	40%	Yes
Impervious area (m ²)	436.32m ²	Yes
Maximum cut into ground (m)	2m	Yes
Maximum depth of fill (m)	1m	Yes
Number of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

© Copyright Rapid Plans 2019

Rapid Plans reserves all rights to this drawing, this drawing remains the property of Rapid Plans and may not be copied without written consent, all content including intellectual, remain the property of Rapid Plans, all copies of this drawing will be returned upon request



Denotes Sheet Metal Roof (Typical).
Owner To Confirm Type & Colour



Denotes Cladded Wall (Typical).
Owner To Confirm Type & Colour



Denotes Rendered Wall (Typical).
Owner To Confirm Type & Colour



Denotes Stone Faced Wall (Typical).
Owner To Confirm Type & Colour



Denotes Front Boundary Fence (Typical).
Owner To Confirm Type & Colour



Denotes Handrail (Typical). Owner To
Confirm Type & Colour



Denotes Pool Safety Barrier (Typical).
Owner To Confirm Type & Colour



Denotes Alloy Doors (Typical). Owner
To Confirm Type & Colour



Denotes Alloy Windows (Typical).
Owner To Confirm Type & Colour



Denotes Concrete
Drive (Typical).
Owner To Confirm
Type & Colour

**THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT**

DA2019/1043

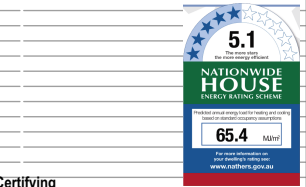
Site Information	Proposed	Compliance
Site Area	727.2m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Ceiling Height Above Natural GL	7.2m	Yes
Max Building Height Above Natural GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Yes
Minimum side boundry setback (Min.)	0.9m	Yes
Building envelope	4.0m@45Deg	Variation
% of landscape open space (40% min)	40%	Yes
Impervious area (m2)	436.32m2	Yes
Maximum cut into ground (m)	2m	Yes
Maximum depth of fill (m)	1m	Yes
Number of car spaces provided	2	Yes

**Builder to Check and Confirm all Measurements Prior to Commencement
of any works. Immediately Report any Discrepancies to Rapid Plans**

© Copyright Rapid Plans 2019

Rapid Plans reserves all rights to this drawing, this drawing remains the property of Rapid
Plans and may not be copied without written consent, all content including intellectual,
remain the property of Rapid Plans, all copies of this drawing will be returned upon request

NOTES
7 Waimea Street North Balgowlah is zoned R2 - Low
Density Residential.
New Works to be constructed shown in Shaded/Blue.
7 Waimea Street North Balgowlah
is not considered a heritage item.
Construction
Concrete & Timber Framed, Cladded & Masonry Walls
Roof Sheet Metal to have R4.0 Insulation
Insulation to External Cladded & Masonry Walls R2.5
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact
fluorescent lamps
All workmanship and materials shall be in accordance
with the requirements of Building Codes of Australia.



Certifying
The DA Application Only plans are for DA
Application purposes only. These plans are not to be
used for the construction certificate application by
any Certifying Authority without the written
permission of Rapid Plans or the supply of
authorised Construction Certificate drawings by
Rapid Plans
Basix
Basix Certificate Number 985339S_2 & Nathers Cert
No.0003410511
All Plans to be read in conjunction with Basix &
Nathers Certificates
The applicant must construct the new or altered
construction (floors), walls, and ceilings/roofs) in
accordance with the specifications listed in
the table below, except that a) additional insulation
is not required where the area of new construction
is less than 2m2, b) insulation specified
is not required for parts of altered construction
where insulation already exists.
The applicant must install the windows, glazed
doors and shading devices, in accordance with
the specifications listed in the table below.
Relevant overshadowing specifications must be
satisfied for each window and glazed door.
For projections described in millimetres, the
leading edge of each eave, pergola, verandah,
balcony or awning must be no more than 500 mm
above the head of the window or glazed door and
no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of
the height and distance from the centre and the
base of the window and glazed door,

Project North

**DA APPLICATION
ONLY
NOT FOR CONSTRUCTION**

The builder shall check and verify all
dimensions and verify all errors and omissions to the
designer. Do not scale the drawings. Drawings shall
not be used for construction purposes until issued
by the Designer for construction.

Client **Cameron & Sue Young**
Project Name
**Demolition of Existing Dwelling &
Construction of New Dwelling**
7 Waimea Street, North Balgowlah
2093

Lot 132 D.P. 12315
Drawing Title:

Sunstudy - Material & Colour Sample Board

Scale: A3 as noted Date: 18-09-2019

Status: DA Checked By: GBJ

Project No: Drawing No:

RP0618YOU DA5002