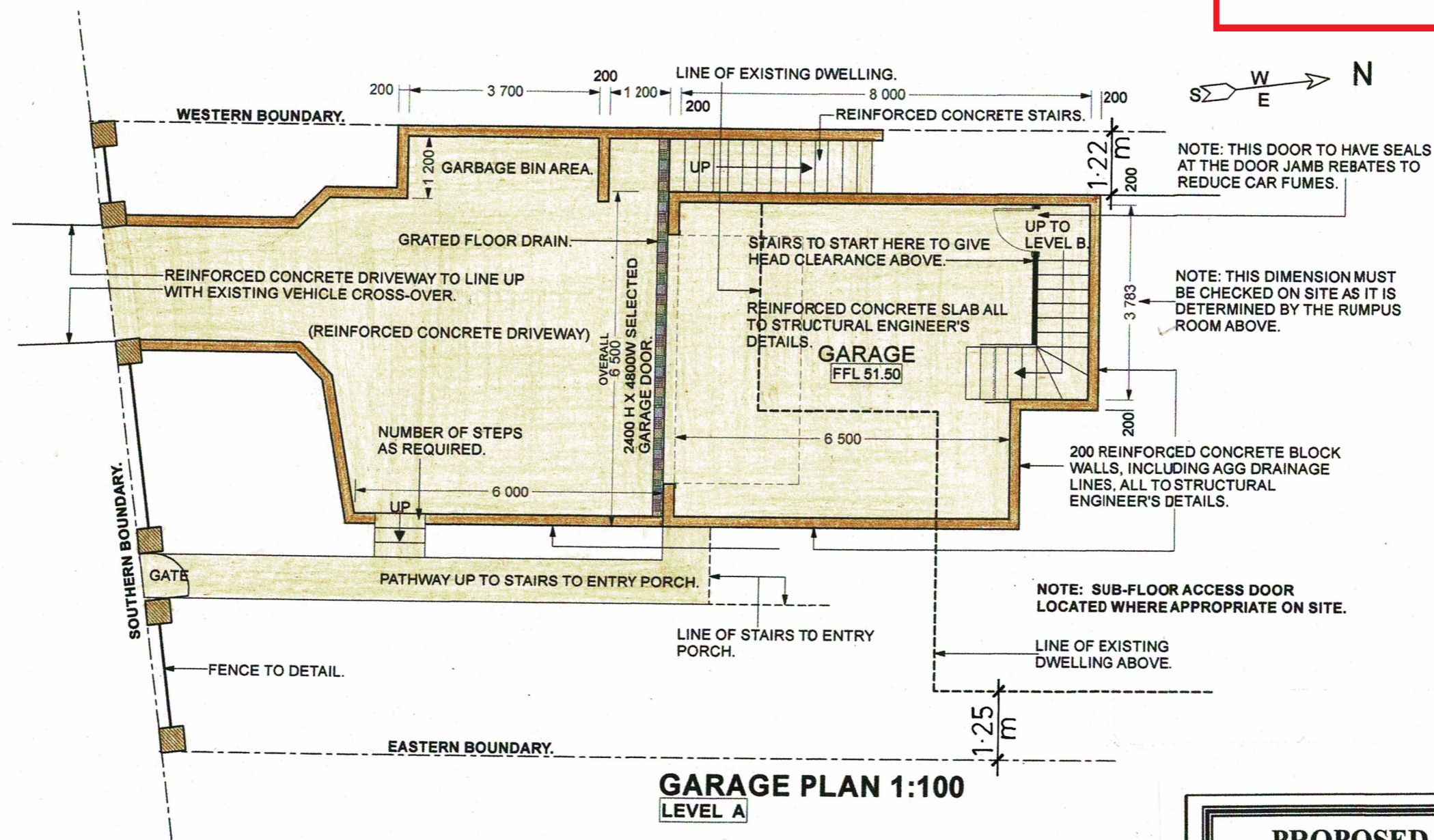




THIS PLAN IS TO BE READ IN  
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CONSENT

DA2022/0669

WORROBIL STREET



PROPOSED ADDITIONS AT  
12 WORROBIL STREET,  
NORTH BALGOWLAH for  
MR. D. & MRS. M. FARLEY.

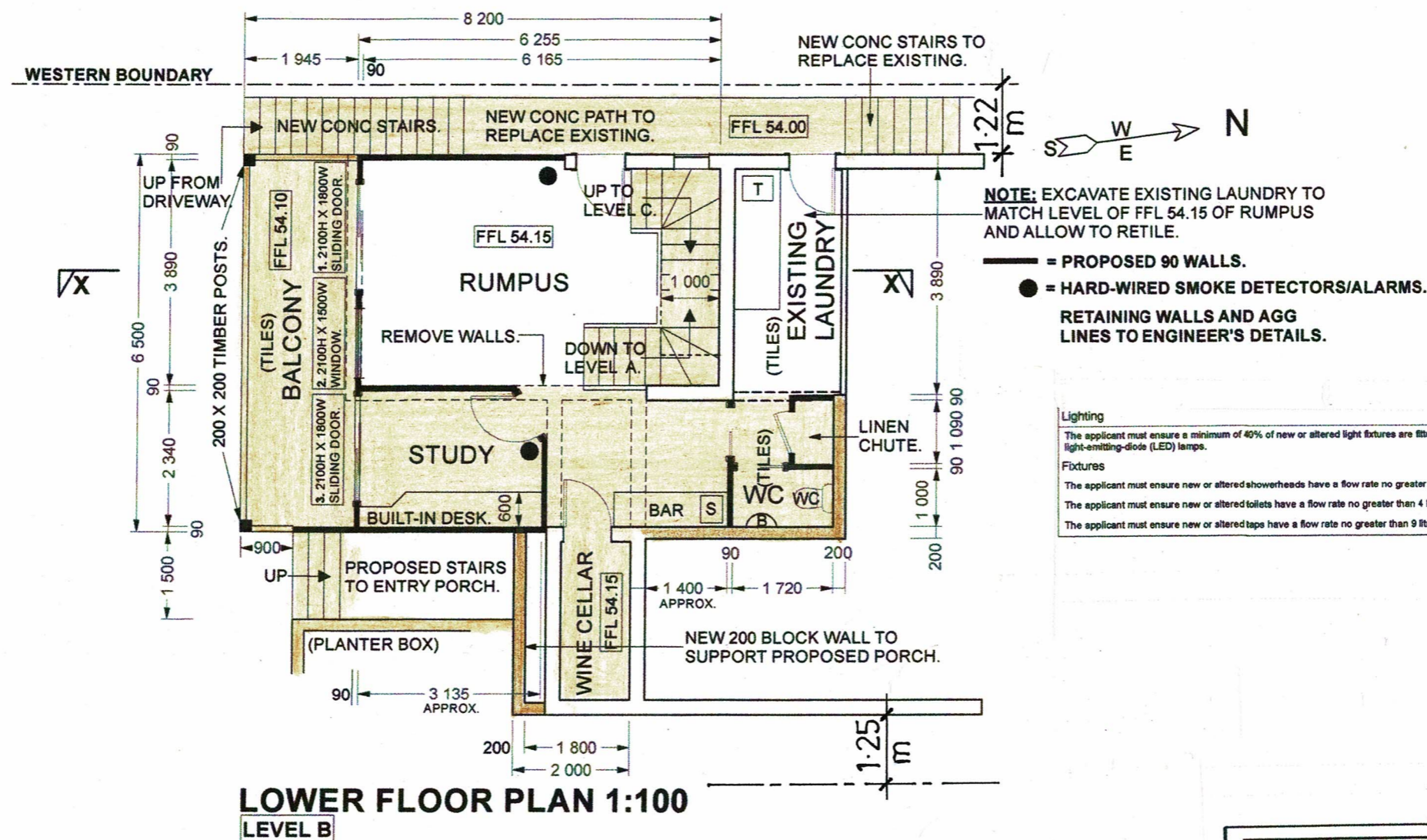
Designed by: Living Architectural Planning.  
P. O. Box 455, Wahroonga NSW 2076.

Date: February 2022  
Issue: 'A'

Reference: AF0222  
Sheet 1 of 10.

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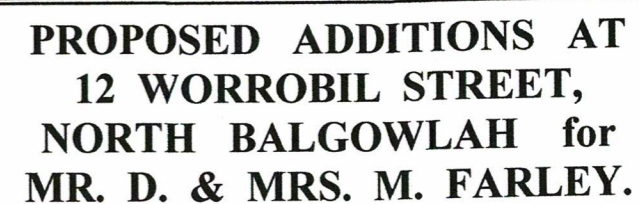


**PROPOSED ADDITIONS AT  
12 WORROBIL STREET,  
NORTH BALGOWLAH for  
MR. D. & MRS. M. FARLEY.**

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Sheet 2 of 10.

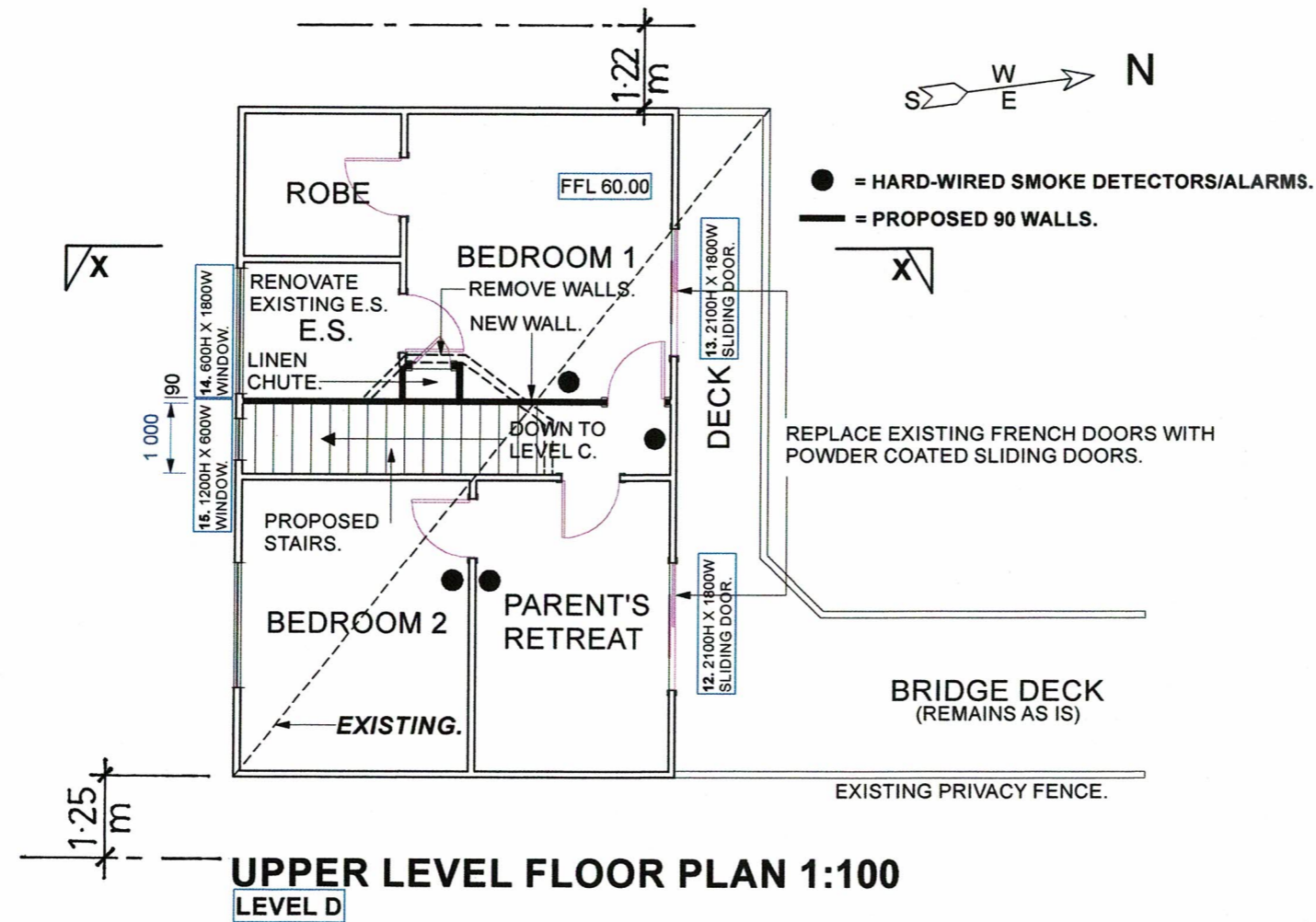


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Sheet 3 of 10.



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Windows and glazed doors glazing requirements						
Window / door no.	Orientation	Area of glass inc. frame (m <sup>2</sup> )	Height (m)	Distance (m)	Shading device	Frame and glass type
W1	S	3.78	0	0	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W2	S	3.15	0	0	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W3	S	3.78	0	0	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W4	S	2.16	0	0	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W5	S	2.16	0	0	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W6	E	1.08	0	0	projection/height above sill ratio >=0.43	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W7	E	1.2	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W8	S	4.32	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W9	N	13.44	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W10	N	3.9	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W11	W	1.08	0	0	projection/height above sill ratio >=0.43	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W12	N	3.78	0	0	projection/height above sill ratio >=0.29	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
W13	N	3.78	0	0	projection/height above sill ratio >=0.29	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
W14	S	1.08	0	0	projection/height above sill ratio >=0.43	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W15	S	0.72	0	0	projection/height above sill ratio >=0.43	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)

**PROPOSED ADDITIONS AT  
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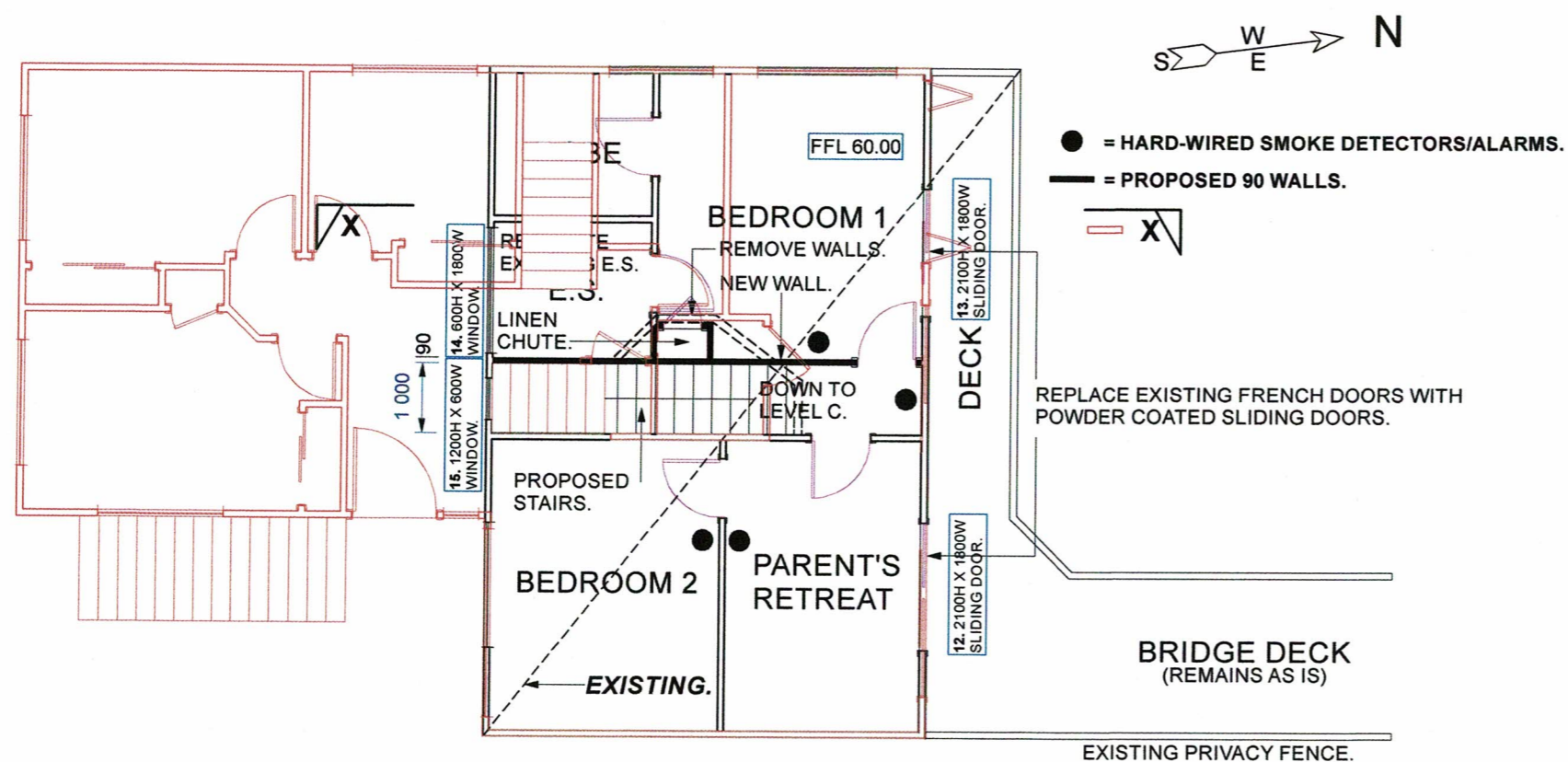
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Issue: 'A'

Sheet 4 of 10.

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MID LEVEL 'C' BELOW SHOWN IN RED.

UPPER LEVEL FLOOR PLAN 1:100

LEVEL D

PROPOSED ADDITIONS AT  
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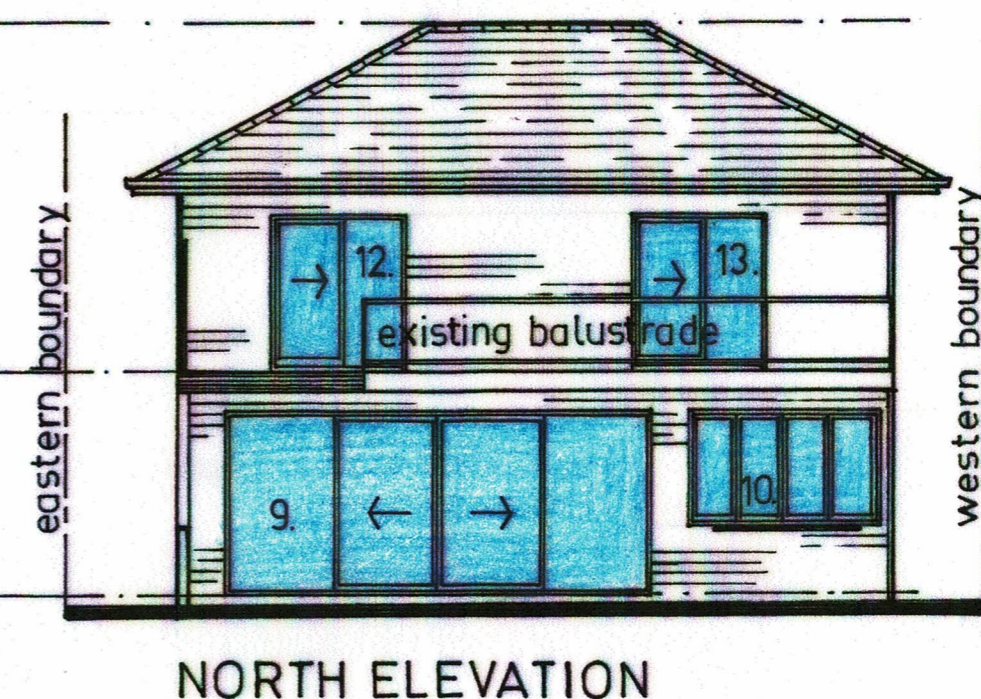
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Sheet 5 of 10.

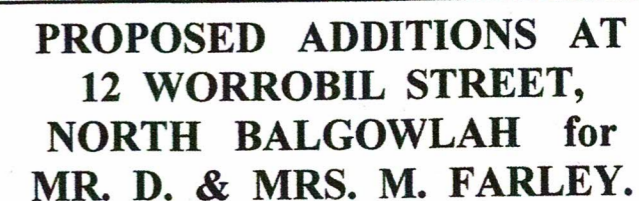


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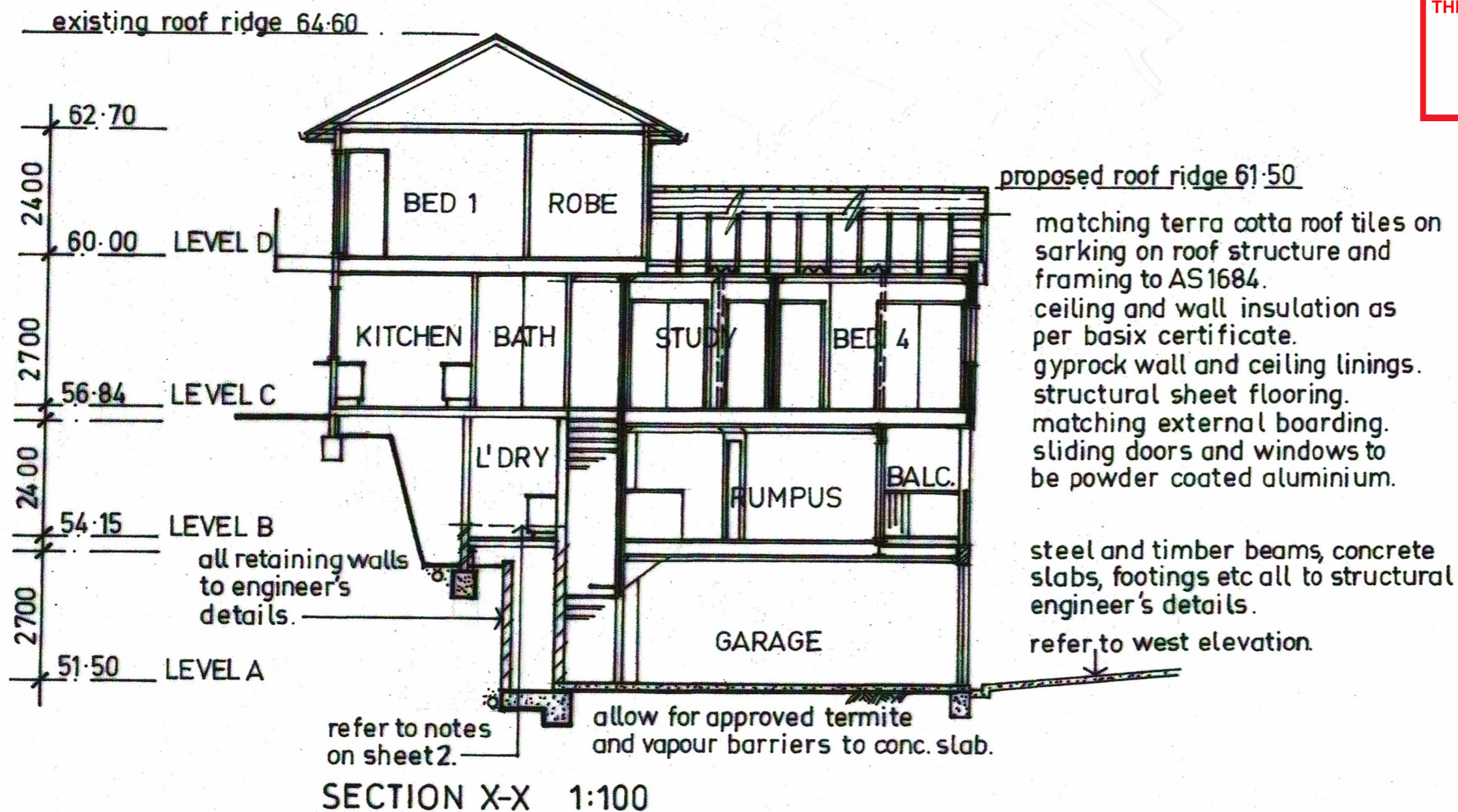
Reference: AF0222  
Sheet 6 of 10.



Reference: AF0222  
Sheet 7 of 10.



Reference: AF0222  
Sheet 8 of 10.



Insulation requirements		
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m <sup>2</sup> , b) insulation specified is not required for parts of altered construction where insulation already exists.		
Construction	Additional insulation required (R-value)	Other specifications
suspended floor above garage: framed (R0.7).	nil	
floor above existing dwelling or building.	nil	
external wall: framed (weatherboard, fibre, metal clad)	R1.30 (or R1.70 including construction)	
flat ceiling, pitched roof	ceiling: R2.50 (up), roof: foil/sarking	medium (solar absorptance 0.475 - 0.70)

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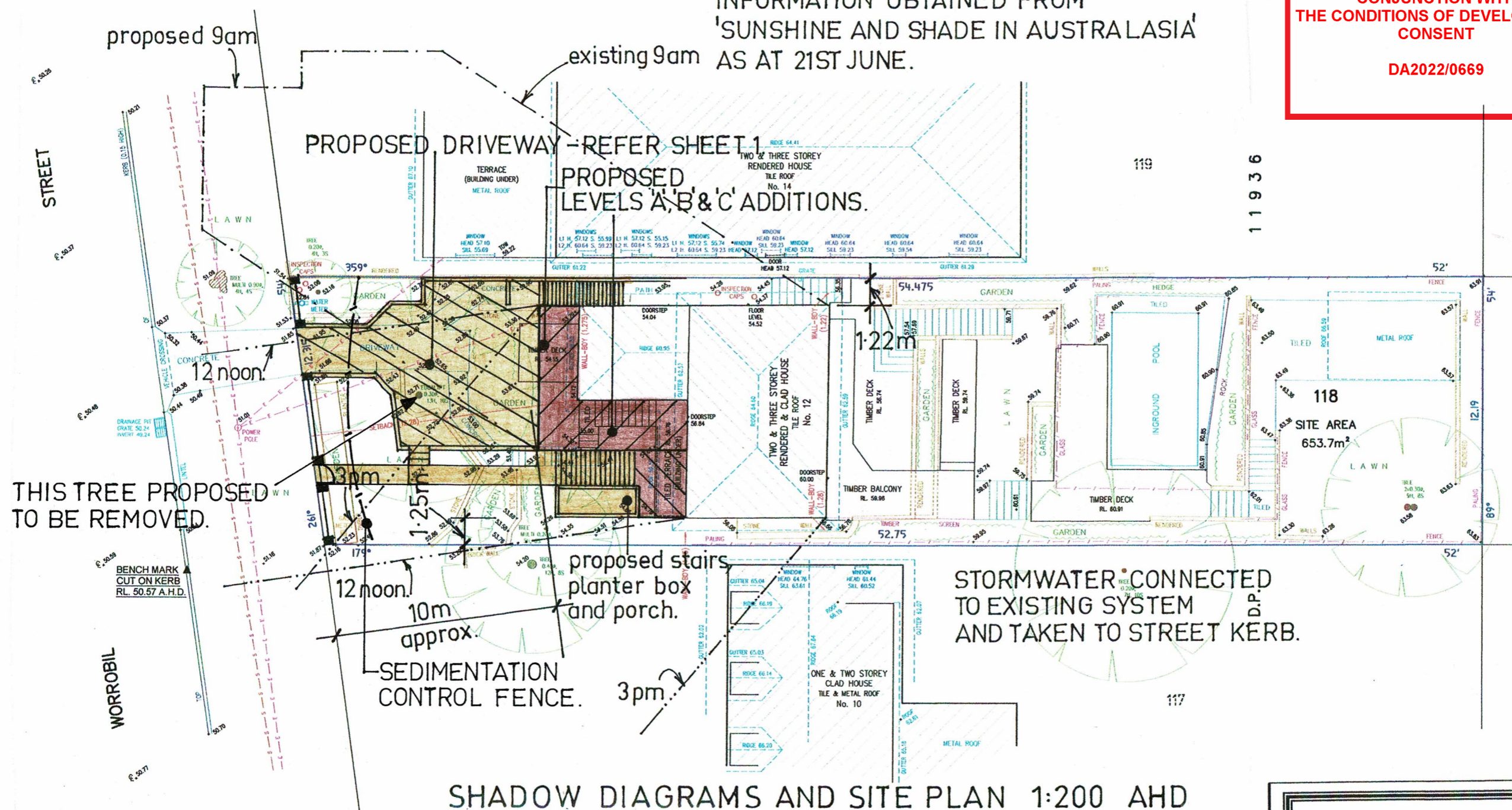
Sheet 9 of 10.



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INFORMATION OBTAINED FROM  
'SUNSHINE AND SHADE IN AUSTRALASIA'  
AS AT 21ST JUNE.



SHADOW DIAGRAMS AND SITE PLAN 1:200 AHD

CALCULATIONS:	M2
Land area:	653.70
Existing dwelling:	156.08
Proposed additions:	34.52
TOTAL :	190.60
Garage:	41.00
Balcony:	12.35
Driveway/bin area :	54.20

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