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STATEMENT OF ENVIRONMENTAL EFFECTS

11 Leinster Avenue, Killarney Heights NSW 2087

PROPOSED STEEL PERGOLA OVER EXISTING DECK

Prepared for:

Australian Outdoor Living

Date Prepared:

March 2019

Revision:

1.0

Northern Beaches Council Development Application #:

TBA

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Introduction

AusWide Consulting has prepared for Australian Outdoor Living a Statement of Environmental Effects for a proposed steel pergola over existing deck at 11 Leinster Avenue, Killarney Heights NSW. This Statement has been prepared to address the proposal in accordance with the *Environmental Planning and Assessment Act 1979*, Warringah Local Environmental Plan 2011 and Warringah Development Control Plan 2011. Northern Beaches Council shall be referred to as the Local Government Authority throughout this report. This Statement should be read in conjunction with design drawings and associated reports prepared by other parties.

Background and Existing Conditions

The subject land is located within Northern Beaches Council Local Government Area (LGA). The property is also known as LOT 518/DP218576 within Zone R2 Low Density Residential Area and is approximately trapezoid shaped and has a total site area of 708.2m². The property is currently developed and situated on the South side of Leinster Avenue. The property currently has frontage, driveway and pedestrian access onto of Leinster Avenue.



Figure 1: Location of the Subject Property

Source: Google maps (March 2019)

The property is located within Zone R2 low Density Residential Area and subject to the planning policy, Warringah Local Environmental Plan 2011. There are a few other land uses in the wider area consisting of; E1 National Parks & nature Parks, RE1 Public Recreation, and B1 Neighbourhood Centre. The only local public transport available is the local bus service, whilst the Sydney Kingsford Smith International Airport is to the far South.

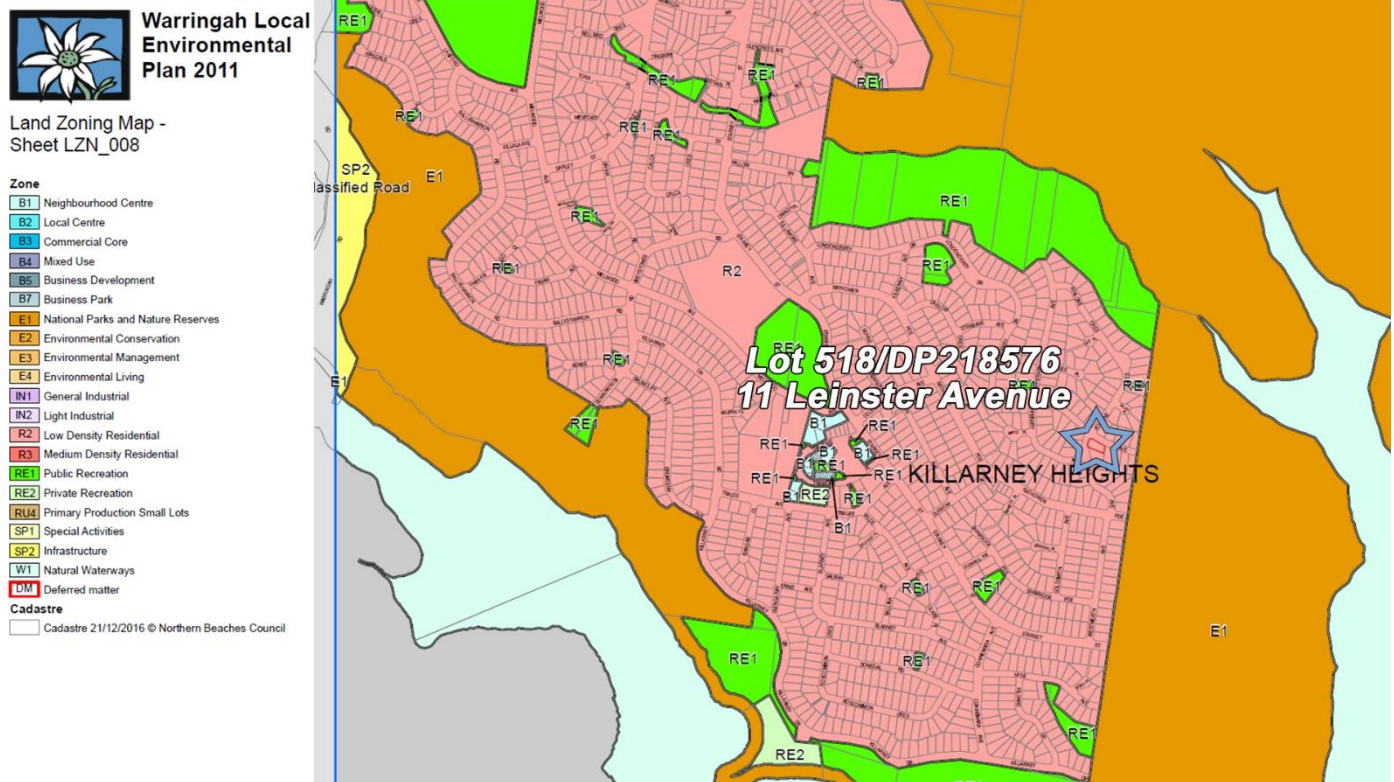


Figure 2: Local Zoning Plan of the Subject Property

Source: Warringah Local Environmental Plan 2011 website (March 2019)

URL Ref: https://www.legislation.nsw.gov.au/maps/f57e35dd-99b7-40b6-9016-b301d628b2a9/1800_COM_LZN_008_020_20161221.pdf

Development Proposal

The development is for the proposed steel pergola over existing rear deck. (15m²) steel pergola consisting of; 50mm Insulated ribbed roof, Metal beam 150mm x 65mm QTY (1), Metal beam 100mm x 65mm QTY (1), Metal posts 90mm x 90mm QTY (2), Downlights QTY (4), Fascia upstand brackets QTY (3), 2 Degree roof pitch and High front gutter. 3,000mm maximum length x 5,000mm width Connected to existing building with fascia upstand bracket, as per manufacturing spec. Power for the downlights will go through the roof space/eave at this point (**Ref: Figures 6 & 7**). Gutters and downpipes will be connected to the existing sewage connection with all necessary electrical works. The proposed works are clearly shown in the architectural drawings.

Site Analysis

The site and context analysis demonstrates an understanding of the site. There is expected to be minimal impact on the local built area and natural environment. The development will be carried out using best practices, sustainable design methodology and constructed using high quality materials. The proposal provides an excellent opportunity to further improve the outdoor amenity of the site.



Figure 3: Street View of the Subject Property
Source: Google Maps (Edited Imagery September 2013)









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Figure 5: View of the Area for the Proposed Pergola
Source: Australian Outdoor Living (March 2019)

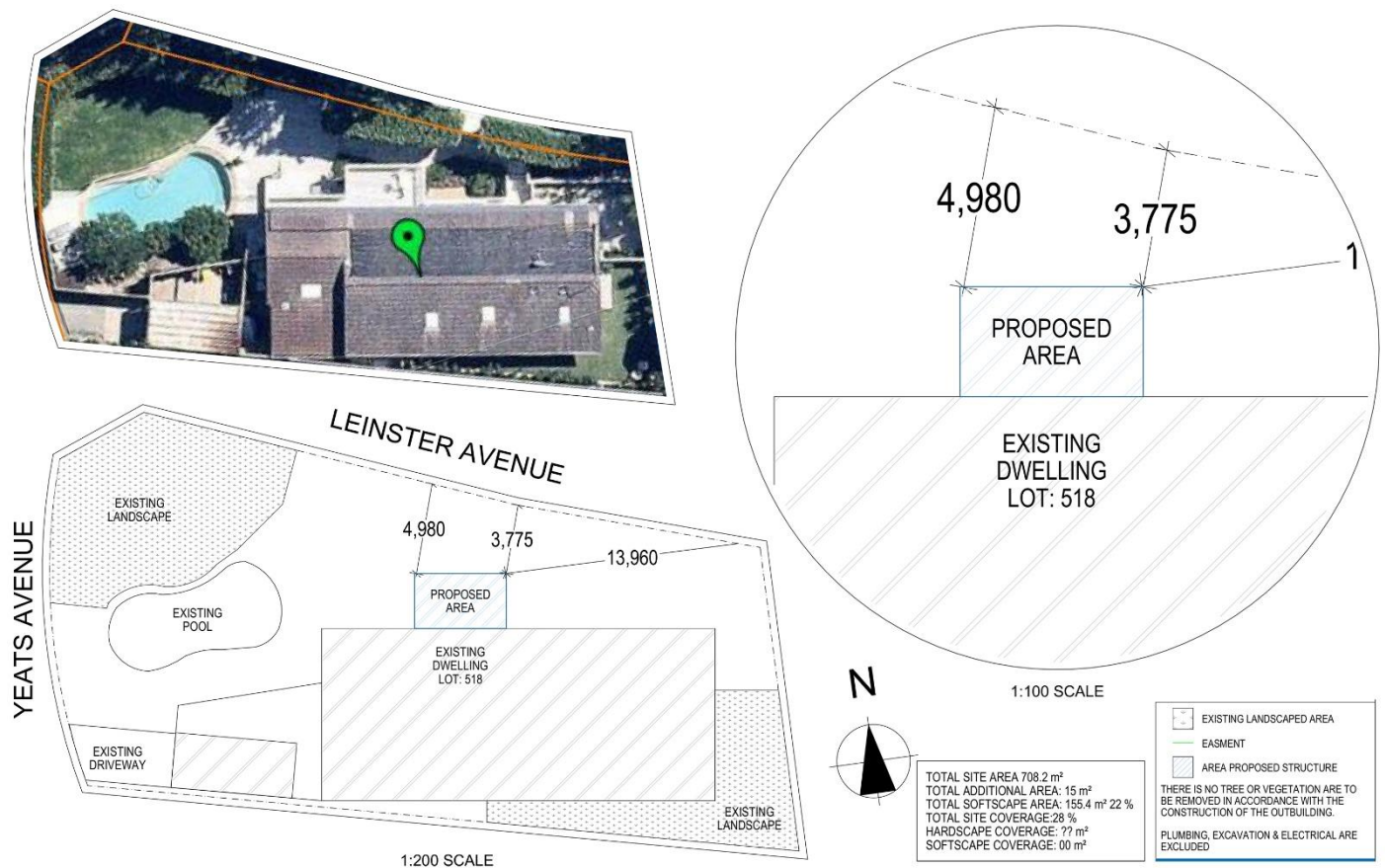
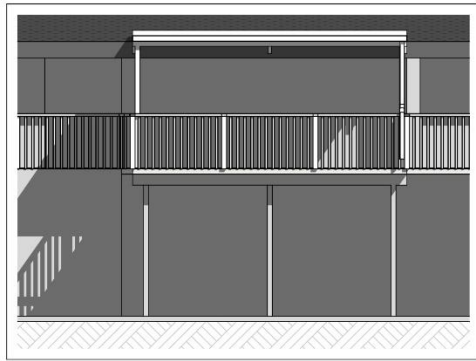
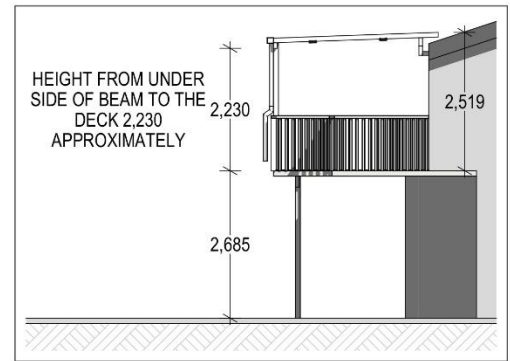


Figure 6: Site Plan of the Proposed Pergola
Source: Australian Outdoor Living (March 2019)



NORTH ELEVATION



WEST ELEVATION

SPECIFICATIONS

MATERIAL	COLOUR
ROOF - UPPER SIDE	OFF WHITE
ROOF - LOWER SIDE	OFF WHITE
BEAM	THREDBO WHITE
POST	THREDBO WHITE
GUTTER	THREDBO WHITE
DOWNPIPE	THREDBO WHITE
FLASHING	THREDBO WHITE
FASCIA UPSTAND BRACKET	THREDBO WHITE

ROOF:

50mm INSULATED RIBBED ROOF
 METAL BEAM 150X65 QTY (1)
 METAL BEAM 100X65 QTY (1)
 METAL POSTS 90X90 QTY (2)
 DOWNLIGHTS QTY (4)
 FASCIA UPSTAND BRACKETS QTY (3)
 2 DEGREE ROOF PITCH
 HIGH FRONT GUTTER

PROPOSAL SIZE IN SQUARE METERS:

ROOF 15 m²

VARIATIONS: (NIL)

THERE IS NO TREE OR VEGETATION ARE TO BE REMOVED IN ACCORDANCE WITH THE CONSTRUCTION OF THE OUTBUILDING.

PLUMBING, EXCAVATION & ELECTRICAL ARE EXCLUDED

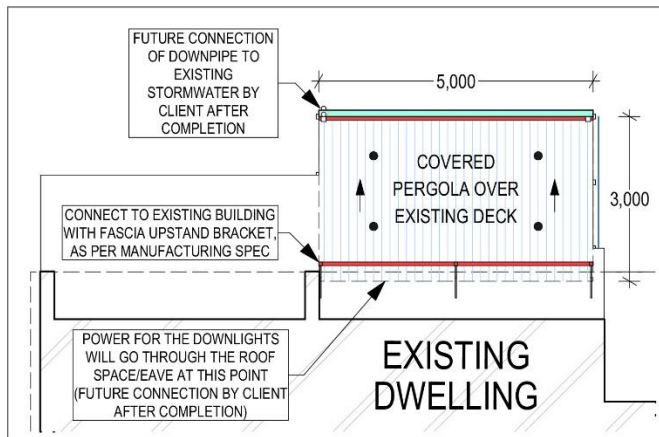


Figure 7: Roof & Elevations Plan of the proposed Pergola

Source: Australian Outdoor Living (March 2019)

Environmental Assessment

The proposal has been assessed under Section 79C (1) of the *Environmental Planning and Assessment Amendment Act, 1979*.

Section 79C (1)(a) Environmental Planning Instruments and Development Control Plan

Zone R2 Low Density Residential

1 Objectives of zone

- To provide for the housing needs of the community within a low density residential environment.
- To enable other land uses that provide facilities or services to meet the day to day needs of residents.
- To ensure that low density residential environments are characterised by landscaped settings that are in harmony with the natural environment of Warringah.

2 Permitted without consent

Home-based child care; Home occupations

3 Permitted with consent

Bed and breakfast accommodation; Boarding houses; Boat sheds; Building identification signs; Business identification signs; Child care centres; Community facilities; Dwelling houses; Educational establishments; Emergency services facilities; Environmental protection works; Exhibition homes; Group homes; Health consulting rooms; Home businesses; Hospitals; Places of public worship; Recreation areas; Respite day care centres; Roads; Secondary dwellings; Veterinary hospitals

4 Prohibited

Any development not specified in item 2 or 3

Response:

In consideration of objectives as stated above, the proposal is for the proposed steel pergola over existing deck in an R2 Low Density Residential area which is considered permissible.

There is expected to be minimal impact on the proposed local built area and natural environment. The development will be carried out using best practices, sustainable design methodology and constructed using high quality materials.

Section 79C (1)(b) Other Impacts of the Development

This section assesses the impact of the proposal in relation to the following issues, as required under section 79C (1)(b) of the EP & A Act.

Warringah Local Environment Plan 2011

4.3 Height of Buildings

(1) The objectives of this clause are as follows:

- (a) to ensure that buildings are compatible with the height and scale of surrounding and nearby development,
- (b) to minimise visual impact, disruption of views, loss of privacy and loss of solar access,
- (c) to minimise any adverse impact of development on the scenic quality of Warringah's coastal and bush environments,
- (d) to manage the visual impact of development when viewed from public places such as parks and reserves, roads and community facilities.

(2) The height of a building on any land is not to exceed the maximum height shown for the land on the [Height of Buildings Map](#).

(2A) If the [Height of Buildings Map](#) specifies, in relation to any land shown on that map, a Reduced Level for any building on that land, any such building is not to exceed the specified Reduced Level.

Response:

The operty is designated 'I' on the 'Height of Buildings Map' in the LEP. This designation has a maximum building height of 9.5m. The proposal is well below the maximum 9.5m building height with a maximum roof height of 4.95m.

4.4 Floor Space Ratio

Response:

NOT APPLICABLE.

Warringah Development Control Plan 2011

C9 Waste Management

Applies to Land

This control applies to land to which Warringah Local Environmental Plan 2011 applies.

Objectives

Requirements

- To facilitate sustainable waste management in a manner consistent with the principles of Ecologically
- To achieve waste avoidance, source separation and recycling of household and industrial/commercial waste. Sustainable Development (ESD).
- To design and locate waste storage and collection facilities which are convenient and easily accessible; safe; hygienic; of an adequate size, and with minimal adverse impacts on residents, surrounding neighbours, and pedestrian and vehicle movements.

- To ensure waste storage and collection facilities complement waste collection and management services, offered by Council and the private service providers and support on-going control for such standards and services.
- To minimise risks to health and safety associated with handling and disposal of waste and recycled material and ensure optimum hygiene.
- To minimise any adverse environmental impacts associated with the storage and collection of waste.
- To discourage illegal dumping.

All development that is, or includes, demolition and/or construction, must comply with the appropriate sections of the Waste Management Guidelines and all relevant Development Applications must be accompanied by a Waste Management Plan

Link: [Northern Beaches Council's Waste Management Guidelines](#)

Note The Waste Management Guidelines have been separated into different development types.
Eg: Demolition, Construction, Industrial, Mixed Use, Commercial, etc.

Response:

Waste materials created as a result of the works shall be sorted and stored correctly before removal to appropriately facility. All safety precautions will be enforced, and the work site shall be kept as orderly as possible. Ongoing waste shall be collected and stored in waste and recycling containers and collected by existing contractor/service. Non-Toxic Liquid waste shall be discharged to the existing sewer connection.

Section 79C (1)(c) Suitability of the Site for the Development

The site is suitable for the proposed development, owing largely to:

- Legally permissible business and meets the objectives of the R2 Zoned Area;
- Will not have significant environmental, social or economic impacts.

Section 79C (1)(e) Public Interest

The proposal will improve the utilisation and amenity of the existing dwelling and impose no adverse impacts upon surrounding residences.

Summary

It is concluded that the proposed steel pergola over existing deck is an appropriate proposal for the property at 11 Leinster Avenue, Killarney Heights NSW. The proposal is supported on the following grounds:

- A Development Application is submitted to Northern Beaches Council containing necessary drawings and reports. All associated documents referenced in this statement are to be provided with the Application;
- The proposal is suitable for the R2 Low Density Residential Living zone and meets the current zoning objectives;
- The proposal meets the requirements of Warringah Local Environmental Plan 2011, and Warringah Development Control Plan 2011;
- There will be no adverse social, economic or environmental impacts;
- The proposal is considered acceptable in terms of Section 79C of the *Environmental Planning and Assessment Act 1979*.