

# DEVELOPMENT PROPOSAL

DP: **1004511**  
 LOT No. **422**  
 SITE AREA: **1601.00MSQ.**  
 EXIST. GFA: **170.00MSQ.**  
 PROPOSED GFA: **188.00MSQ**  
 MAX. BUILDING HEIGHT: **8.5M**

NEW WORKS:  
**NEW SPA AND EXTENSION**  
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LEGEND:  
 EXISTING BUILDING OUTLINE  
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 SMOKE ALARMS TO COMPLY WITH AS 3786  
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## BASIX Certificate

Building Sustainability Index www.basix.nsw.gov.au

**Alterations and Additions**  
 Certificate number: A1772660  
 This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the conditions set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 10/05/2009 published by the Department. This document is available at www.basix.nsw.gov.au

Project address	
Project name	1720A, 32 Nareen Parade
Street address	32 NAREEN, NORTH NARRABEEN 2101
Local Government Area	Northern Beaches Council
Plan type and number	Deepest Plan DP-1004511
Lot number	422
Section number	
Project type	
Dwelling type	Dwelling house (detached)
Type of alteration and addition	The relevant development code for my renovation work is 800.500 or more, and includes a pool (and/or spa).
N/A	N/A
Certificate Prepared by	
Name / Company Name	Max Brightwell
ABN (if applicable)	9597024084

Construction	Show on DA Plans	Show on CC/CDC Plans & Specs	Certifier Check
<b>Insulation requirements</b> The applicant must construct the new or altered construction (floor(s), walls, and ceiling(s)) in accordance with the specifications listed in the table below, except that additional insulation is not required where the area of new construction is less than 2sqm. (a) insulation specified is not required for parts of altered construction where insulation already exists.	✓	✓	✓
<b>Exterior walls</b>			
Additional insulation required (R value)			
Other (type/condition)			
concrete slab on ground floor	Nil	Nil	Nil
external wall: framed (weatherboard, brick, masonry etc)	R1.30 (or R1.70 including construction)		
flat ceiling, flat roof, overwater/groundwater element	ceiling: R1.82 (up), roof: half insulation	light (bare absorption < 0.475)	

Glazing requirements	Show on DA Plans	Show on CC/CDC Plans & Specs	Certifier Check			
<b>Windows and glazed doors:</b> The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overhauling specifications must be satisfied for each window and glazed door. The following requirements must also be satisfied in relation to each window and glazed door: Each window or glazed door with standard aluminium or timber frames and single clear or tinted glass may either match the description, or have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Measurement Testing Council (NMTTC) conditions. Each window or glazed door with improved frames, or polycarbonate glass, or clear or tinted glass, or clear or tinted glass, or tinted or polycarbonate glass must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Measurement Testing Council (NMTTC) conditions. The drawings is provided for information only. Alternative systems with complying U-value and SHGC may be substituted.	✓	✓	✓			
<b>Windows and glazed doors glazing requirements</b>						
Window/member	Orientation	Area of glass including frame (m <sup>2</sup> )	Overhauling height (m)	Overhauling distance (m)	Shading device	Frame and glass type
W1	NW	1	0	0	none	aluminium, single low-iron frame, U-value 5.8, SHGC 0.30
D1	SW	0.8	0	0	none	standard aluminium, single clear, or U-value 7.05, SHGC 0.75
D2	SW	0.8	0	0	none	standard aluminium, single clear, or U-value 7.05, SHGC 0.75

Pool and Spa	Show on DA Plans	Show on CC/CDC Plans & Specs	Certifier Check
<b>Rainwater tank</b> The applicant must install a rainwater tank of at least 710 L per litre on the site. The rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities. The applicant must configure the rainwater tank to collect rainwater runoff from at least 35 square metres of roof area. The applicant must connect the rainwater tank to a tap located within 10 metres of the edge of the pool.	✓	✓	✓
<b>Outdoor swimming pool</b> The swimming pool must be outdoors. The swimming pool must not have a capacity greater than 8 kilolitres. The swimming pool must have a pool cover. The applicant must install a pool pump timer for the swimming pool. The applicant must install the following heating system for the swimming pool that is part of the development: electric heat pump.	✓	✓	✓

Fixtures and systems	Show on DA Plans	Show on CC/CDC Plans & Specs	Certifier Check
<b>Lighting</b> The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light emitting diode (LED) lamps.	✓	✓	✓

THE DEVELOPMENT IS REQUIRED TO BE CARRIED OUT IN ACCORDANCE WITH ALL RELEVANT AUSTRALIAN STANDARDS.

BUILDER TO ENSURE SET-OUT/CHECK SURVEYS TO ENSURE COMPLIANCE WITH ALL APPROVED SETBACKS AND RLS AS PER THE APPROVED PLANS

NATIONAL CONSTRUCTION CODE, AUSTRALIAN STANDARDS, COUNCIL REQUIREMENTS & OTHER CODES:  
 ALL BUILDING WORK TO BE IN ACCORDANCE WITH NCC, COUNCIL CODES AND ALL RELEVANT AUSTRALIAN STANDARDS INCLUDING, BUT NOT LIMITED TO :  
 - AS 1684 - RESIDENTIAL TIMBER FRAMED CONSTRUCTION  
 - AS 2047:2014 - WINDOWS AND EXTERNAL GLAZED DOORS IN BUILDINGS  
 - AS 2870:2011 - RESIDENTIAL SLABS AND FOOTINGS  
 - AS/NZS 3000:2007 - WIRING RULES  
 - AS/NZS 3500.5:2000 - NATIONAL PLUMBING AND DRAINAGE  
 - AS 3660.1:2014 - TERMITE MANAGEMENT  
 - AS 3700-2011 - MASONRY STRUCTURES  
 - AS 3740-2010 - WATERPROOFING OF DOMESTIC WET AREAS  
 - AS/NZS 2918-2018 DOMESTIC SOLID FUEL BURNING APPLIANCES  
 - AS 4100-1998 - STEEL STRUCTURES  
 - NORTHERN BEACHES COUNCIL DRIVEWAY SPECIFICATIONS  
 - SYDNEY WATER TECHNICAL GUIDELINES: BUILDING OVER AND ADJACENT TO PIPE ASSETS

GENERAL NOTES  
 \*BUILDER TO CONFIRM ALL LEVELS AND DIMENSIONS ON SITE BEFORE WORK BEGINS  
 ALL WORK TO BE IN ACCORDANCE WITH LOCAL AUTHORITIES REQUIREMENTS AND S.C.A. REQUIREMENTS.  
 \*CONNECT DPS TO EXISTING STORMWATER SYSTEM  
 ALL STRUCTURAL DETAILS TO ENGINEERS SPECIFICATIONS



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ALL WORKS TO SWIMMING POOL BARRIER ARE TO COMPLY WITH NSW SWIMMING POOLS ACT, REGULATIONS, (NCC) BCA AND AUSTRALIAN STANDARDS AS-1926.1 - 2012, AS-1926.2 2007 & AS - 1288-2006, ELECTRICAL AS - 3000-2018. BUILDER AND INSTALLERS TO CONFIRM ALL MEASUREMENTS AND LOCATIONS AT TIMES OF FINAL SITE MEASURE, AND THEY ARE FULLY RESPONSIBLE FOR INSTALLING A COMPLIANT SWIMMING POOL BARRIER.

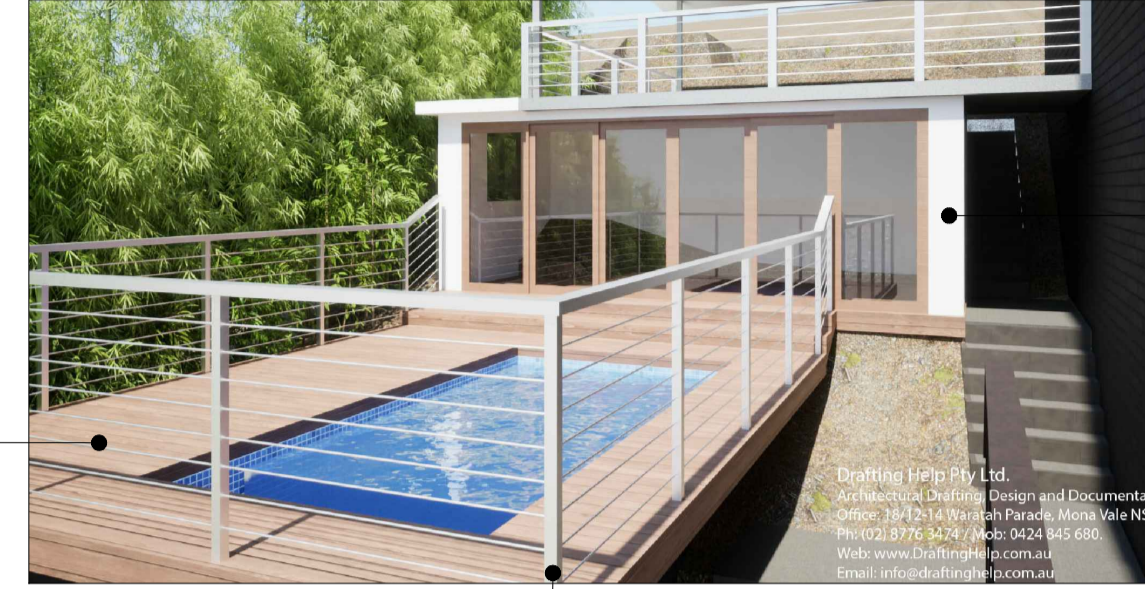
AUSTRALIAN STANDARDS (INCLUDING BUT NOT LIMITED TO):  
 SWIMMING POOLS ACT 1992;  
 D02921/0959 PAGE 12 OF 25  
 SWIMMING POOLS AMENDMENT ACT 2009;  
 SWIMMING POOLS REGULATION 2018  
 AUSTRALIAN STANDARD AS1926 SWIMMING POOL SAFETY  
 AUSTRALIAN STANDARD AS1926.1 PART 1: SAFETY BARRIERS FOR SWIMMING POOLS  
 (V1) AUSTRALIAN STANDARD AS1926.2 PART 2: LOCATION OF SAFETY BARRIERS FOR SWIMMING POOLS

SWIMMING POOL FENCING AND WARNING NOTICES (RESUSCITATION CHART) SHALL BE MANUFACTURED, DESIGNED, CONSTRUCTED, LOCATED AND MAINTAINED IN ACCORDANCE WITH THE SWIMMING POOLS ACT 1992 AND REGULATIONS. THE FENCING AND WARNING NOTICES (RESUSCITATION CHART) SHALL BE PERMANENT STRUCTURES.

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THIS DEVELOPMENT IS REQUIRED TO BE CARRIED OUT IN ACCORDANCE WITH ALL AUSTRALIAN STANDARDS



NEW WALLS - FC SHEET, WHITE

NEW COMPOSITE DECKING, 140MM WIDE BOARDS, TIMBER GRAIN AND FINISH

NEW STAINLESS STEEL BALUSTRADE WITH WIRE

- Brickwork shall comply with AS 3700.  
All brickwork shall be solidly bonded and laid on a full bed of 10mm mortar with all joints filled. Wall ties spaced at 460mm, cts horizontally and 610mm, cts vertically or vice-versa and within 300mm of articulation joints, to comply with AS 2699.
- Subfloor ventilation:  
- 150mm, min. bearer to ground clearance for strip flooring.  
- 200mm, min. bearer to ground clearance for sheet flooring.  
- Minimum 7500mm<sup>2</sup>/Metre of external masonry venter wall.  
- Minimum 22000mm<sup>2</sup>/Metre of internal dwarf walls.  
- Weep holes at max. 1200mm, centres to comply with AS 3700.
- Damp-proof courses to be an approved waterproof cement mortar or bituminous paper placed 75mm, below floor level.  
A second course to be laid 1 or 2 brick courses higher.
- Fibrebox inserts shall be installed in accordance with manufacturers specifications and in accordance with AS 2918.
- Top soil and all organic matter to be removed from under where a concrete slab-on-ground is to be poured.
- Structural steel and concrete to comply with the Structural Engineer's design and computations and shall take precedence over instructions on this plan.
- Reinforced concrete to be min. 25MPa, complying with AS 2870 - 1996, (unless directed otherwise by structural Engineer) and:  
- Trench mesh for concrete footings to be lapped a min. 500mm, and have a top and/or bottom cover of min. 50mm, unless directed otherwise by Engineer.  
- Fabric mesh to be lapped a minimum of 225mm, and have a minimum top and/or bottom cover of 25mm, unless directed otherwise by Engineer.
- Excavation of trenches for footings, drainage, sewerage, etc., to be in accordance with the requirements of the local Controlling Authorities.
- Smoke detectors to comply with AS 3786 and must also comply with the BCA 3.7.2.
- All glazing to comply with AS 1288-2006.
- From information provided, the design wind speed is N3 (41m/s).
- No part of any building to encroach Site or Title boundaries.
- Provide Bush fire preventative measures where required by local Council.
- Stair design:  
- Risers 190mm, Maximum 115mm, Minimum 255mm, Maximum 245mm, Minimum 255mm.  
- Treads 190mm, Maximum 115mm, Minimum 255mm, Maximum 245mm, Minimum 255mm.  
- Handrail to be constant in size throughout the flight.  
- Ensure gap between treads does not exceed 125mm, or provide infills to block access if larger.  
- Min. 2000mm, vertical head clearance when measured from the nosing of the tread.  
- Stair to be min. 750mm, wide when measured clear of all obstructions.  
- Handrail to be a constant minimum 865mm high above the nosing of treads and minimum 1000mm, high above all landings, balconies and the like that exceed 1000mm, above the finished adjacent ground or floor level.  
- Balustrades and rails, etc., to have max. spacing of 125mm.  
- Wire balustrading to comply with Table 3.9.2.1 of the BCA.
- Figured dimensions shall always take precedence over scale.
- Termite prevention works must be in accordance with AS 3660.1 - 2000.
- For buildings in close proximity to the sea, ensure that all steelwork, brick cavity ties, steel lintels, etc. that are embedded or fixed into masonry, be protected in accordance with AS 1650 or AS 3700-1988 Table 2.2, hot dipped galvanised iron, stainless steel or cadmium coated.
- The Builder to take all measures necessary to ensure the stability of new and/or existing structures during construction and generally ensure the watertightness of all works during construction.
- These plans have been prepared for the exclusive use of the customer and only for the purpose expressly notified to the author. Any other person who uses or relies on these plans without the written consent of Avalon Granny Flats does so at their own risk and no responsibility is accepted by Avalon Granny Flats for such use and/or reliance.
- DO NOT SCALE OFF DRAWINGS.  
The Owner/Builder and/or subcontractor to confirm all dimensions, setbacks and levels prior to commencing construction, ordering materials or preparing shop drawings and shall be responsible for ensuring that all building works conform to the Building Code of Australia, AS codes (current editions) Building regulations, local by-laws and Town Planning requirements. All discrepancies must be referred to this office for clarification.
- COPYRIGHT WARNING.  
This plan is the exclusive property of Avalon Granny Flats and must not be used, reproduced or copied, wholly or in part. Any infringement of the Copyright will result in legal action being taken against both the Owner and/or Builder.
- These notes are neither exhaustive nor a substitute for regulations, statutory requirements, building practice or contractual obligations and unless expressly stated otherwise, are provided only as a guide.  
No responsibility is accepted for their use.

32 NAREEN PARADE  
 NORTH NARRABEEN  
 2102

ARCHITECTURAL DRAFTING  
 3D VISUALISATION  
 DEVELOPMENT APPLICATION  
 ASSISTANCE  
 COUNCIL COMPLIANT PLANS

LEGEND:  
 EXISTING BUILDING OUTLINE  
 PROPOSED WORK

General Notes

proudly supporting bear cottage

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Project Name and Address  
 Date: 27-Sep-21  
 Scale: AS SHOWN  
 Sheet: CVR

DP No.: 1004511

LOT No.: 422

A ISSUED FOR DA Sep. 27, 21

No. Revision/Issue Date

DRAFTINGHELP  
 5470 Sydney Rd  
 Stagshead 2003 NSW  
 www.draftinghelp.com.au  
 02 87763474

Project Name and Address  
 DEAN DALLWITZ  
 32 NAREEN PARADE  
 NORTH NARRABEEN  
 2102

# DEVELOPMENT PROPOSAL

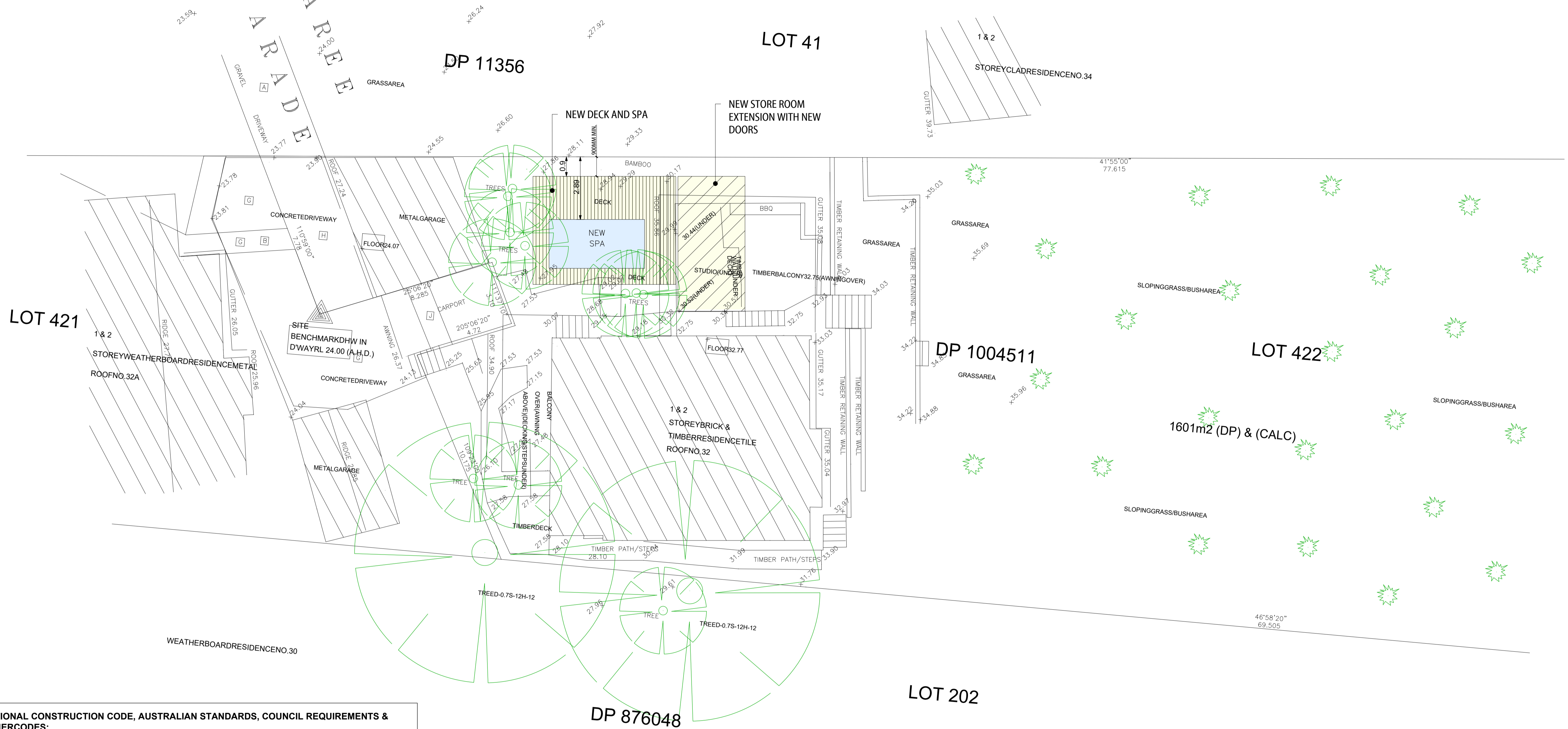
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 PROPOSED GFA: 188.00MSQ  
 MAX. BUILDING HEIGHT: 8.5M

NEW WORKS:  
**NEW SPA AND EXTENSION**

LEGEND:

EXISTING BUILDING OUTLINE

SMOKE ALARMS TO COMPLY WITH AS 3786

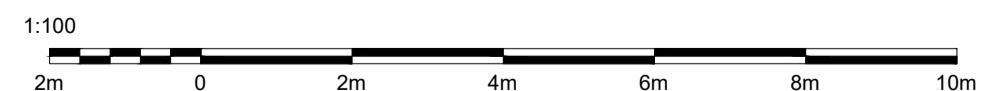


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**SITE PLAN**  
 SCALE 1:100

**32 NAREEN PARADE  
 NORTH NARRABEEN  
 2102**

ARCHITECTURAL DRAFTING  
 3D VISUALISATION  
 DEVELOPMENT APPLICATION  
 ASSISTANCE  
 COUNCIL COMPLIANT PLANS

LEGEND:  
 EXISTING BUILDING OUTLINE  
 PROPOSED WORK

General Notes

PROUDLY SUPPORTING **BEAR COLTAGE**

Project Additions and Alterations  
 Date: 27-Sep-22  
 Scale: AS SHOWN

Sheet **1**

DP No: 1004511  
 LOT No: 422

No.	Revision/Issue	Date
A	ISSUED FOR DA	Sep. 27, 22

**dh DRAFTING HELP**  
 5470 Sydney Rd  
 Stagshead 2093 NSW  
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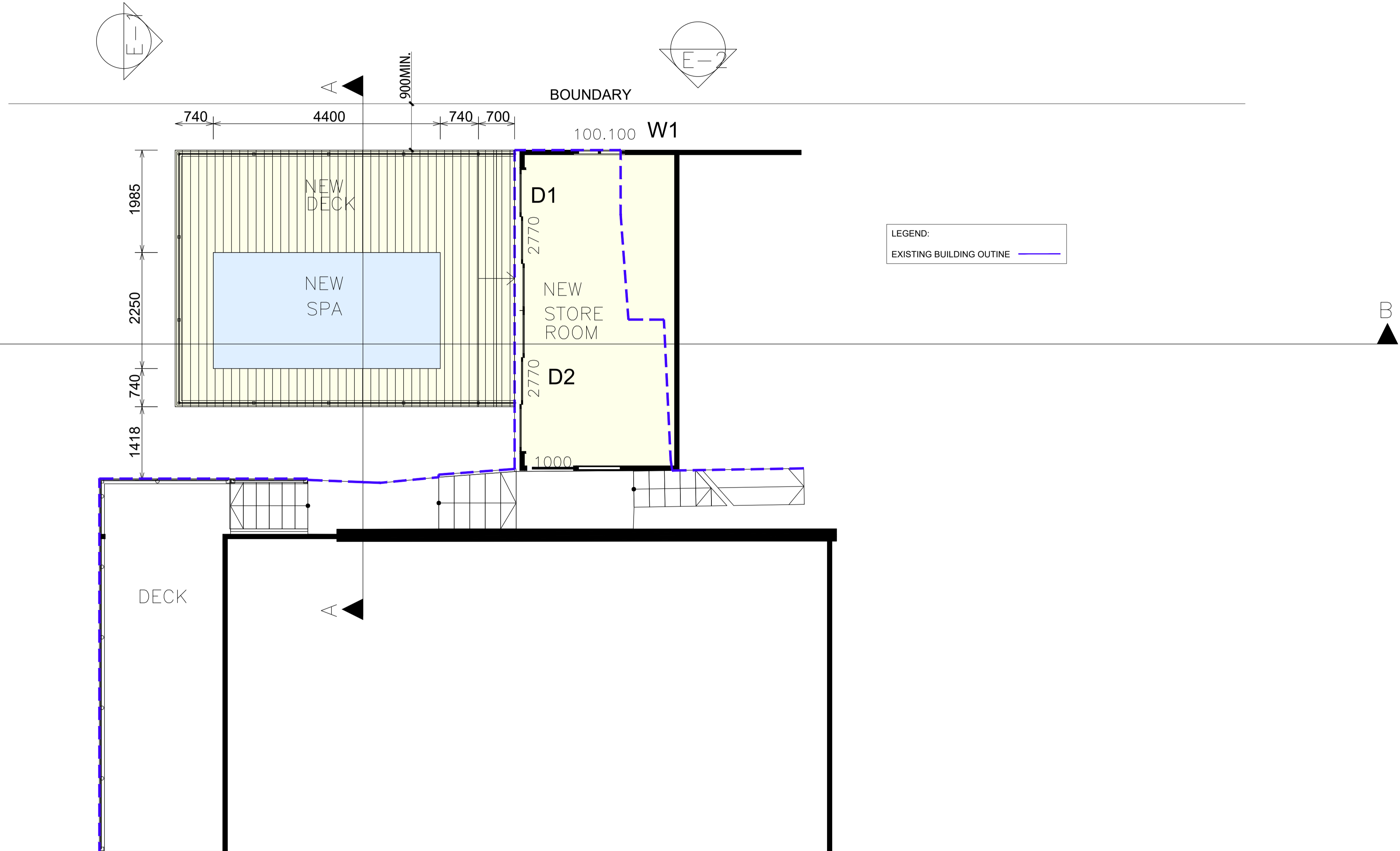
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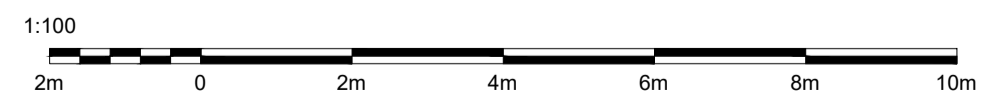
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**LOWER FLOOR PLAN - PROPOSED**  
 SCALE 1:100

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Project ADDITIONS AND ALTERATIONS	Sheet
Date 27-Sep-22	<b>2</b>
Scale AS SHOWN	

DP No. 1004511  
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A	ISSUED FOR DA	Sep. 27, 22
No.	Revision/Issue	Date

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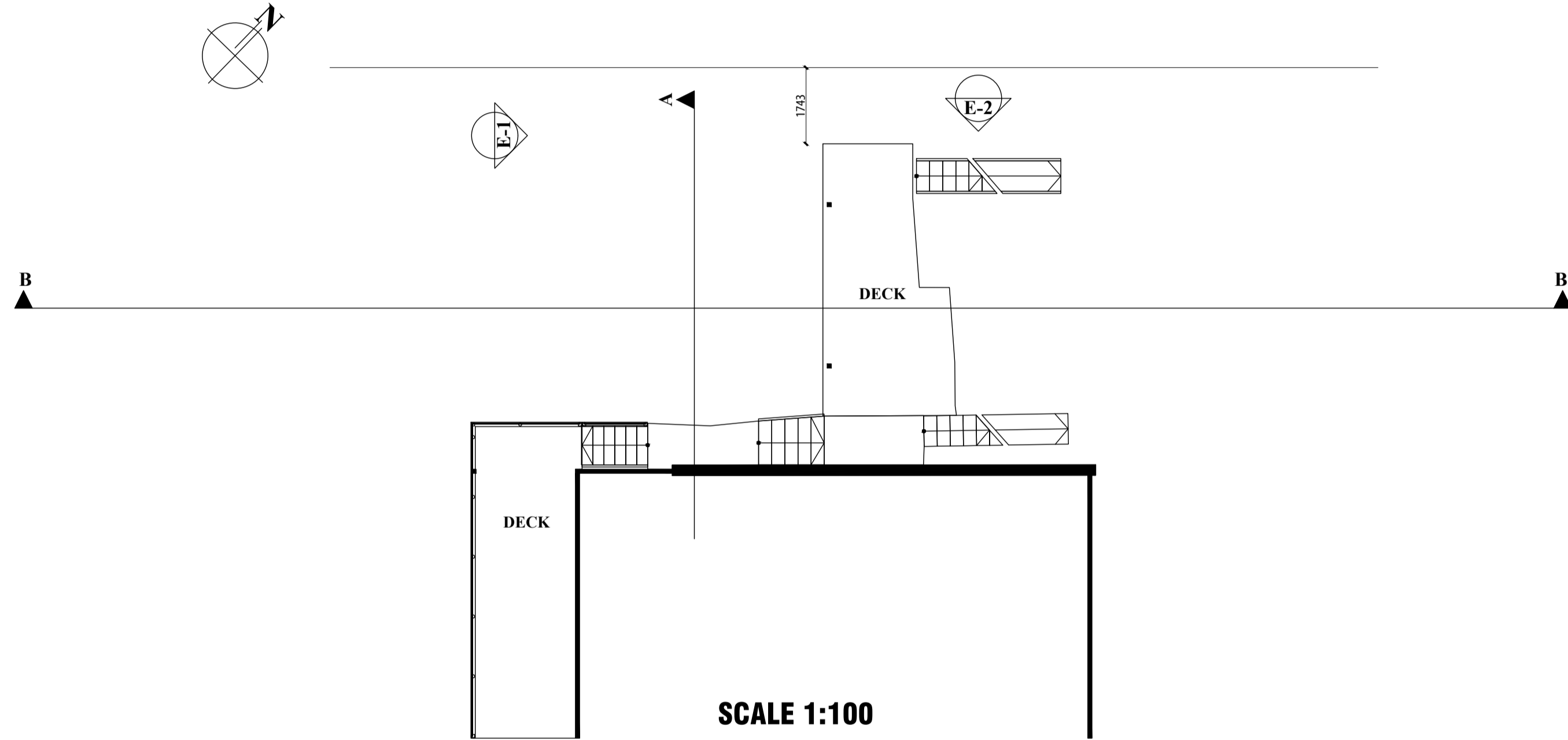
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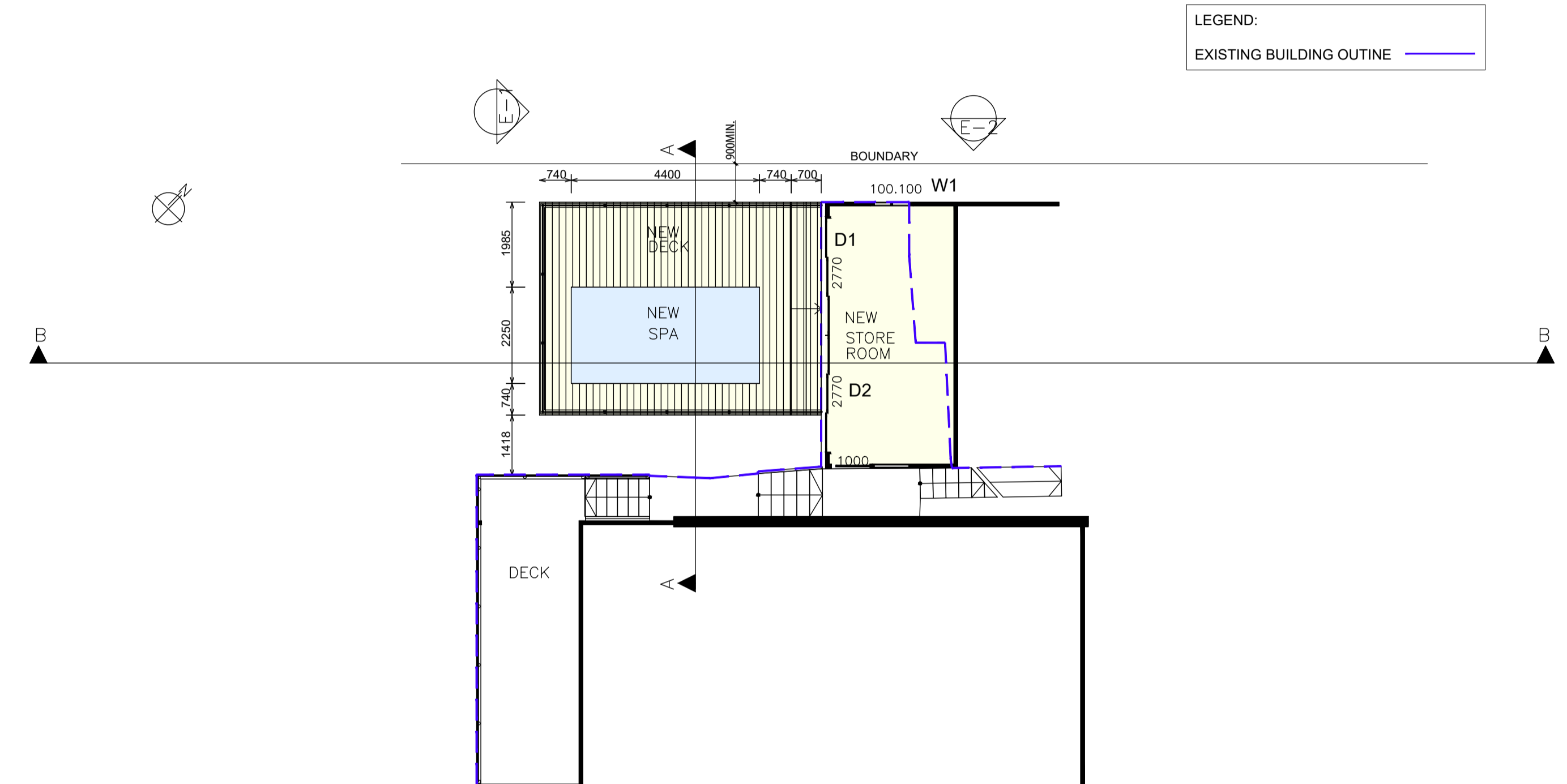
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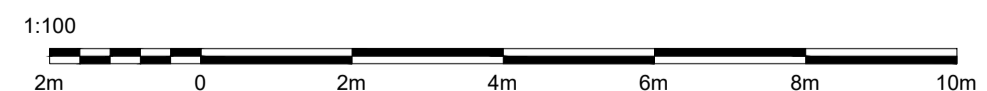


**LOWER FLOOR PLAN - EXISTING**



**LOWER FLOOR PLAN - PROPOSED**  
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Project Additions and Alterations	Sheet
Date: 27-Sep-22	<b>3</b>
Scale: AS SHOWN	

DP No: 1004511  
 LOT No: 422

No.	Revision/Issue	Date
A	ISSUED FOR DA	Sep. 27, 22

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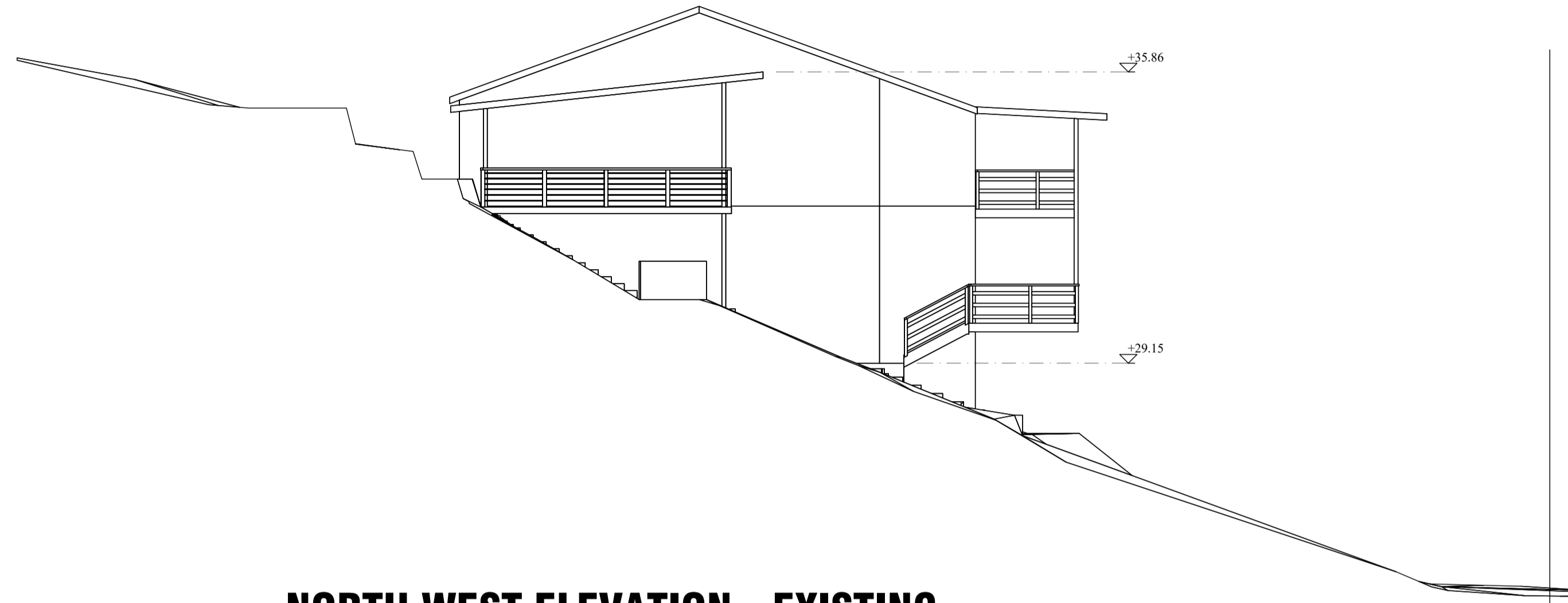
Project Name and Address  
**DEAN DALLWITZ  
 32 NAREEN PARADE  
 NORTH NARRABEEN  
 2102**

# DEVELOPMENT PROPOSAL

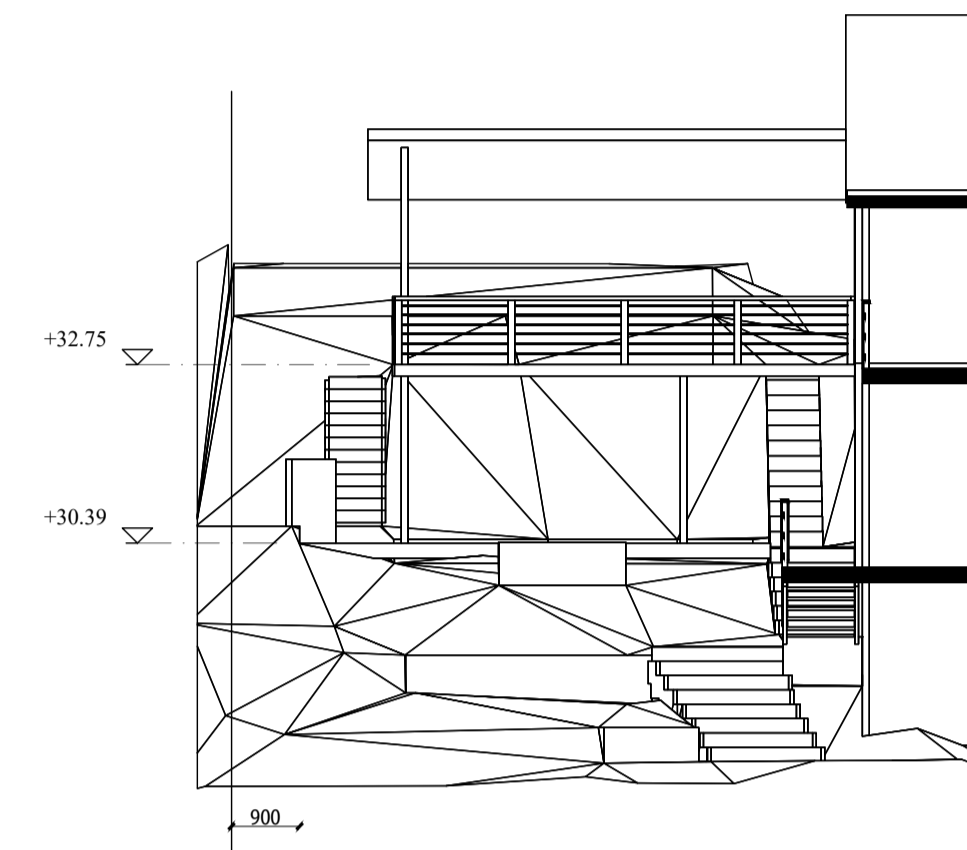
DP: 1004511  
 LOT No. 422  
 SITE AREA: 1601.00MSQ.  
 EXIST. GFA: 170.00MSQ.  
 PROPOSED GFA: 188.00MSQ  
 MAX. BUILDING HEIGHT: 8.5M

NEW WORKS:  
**NEW SPA AND EXTENSION**  
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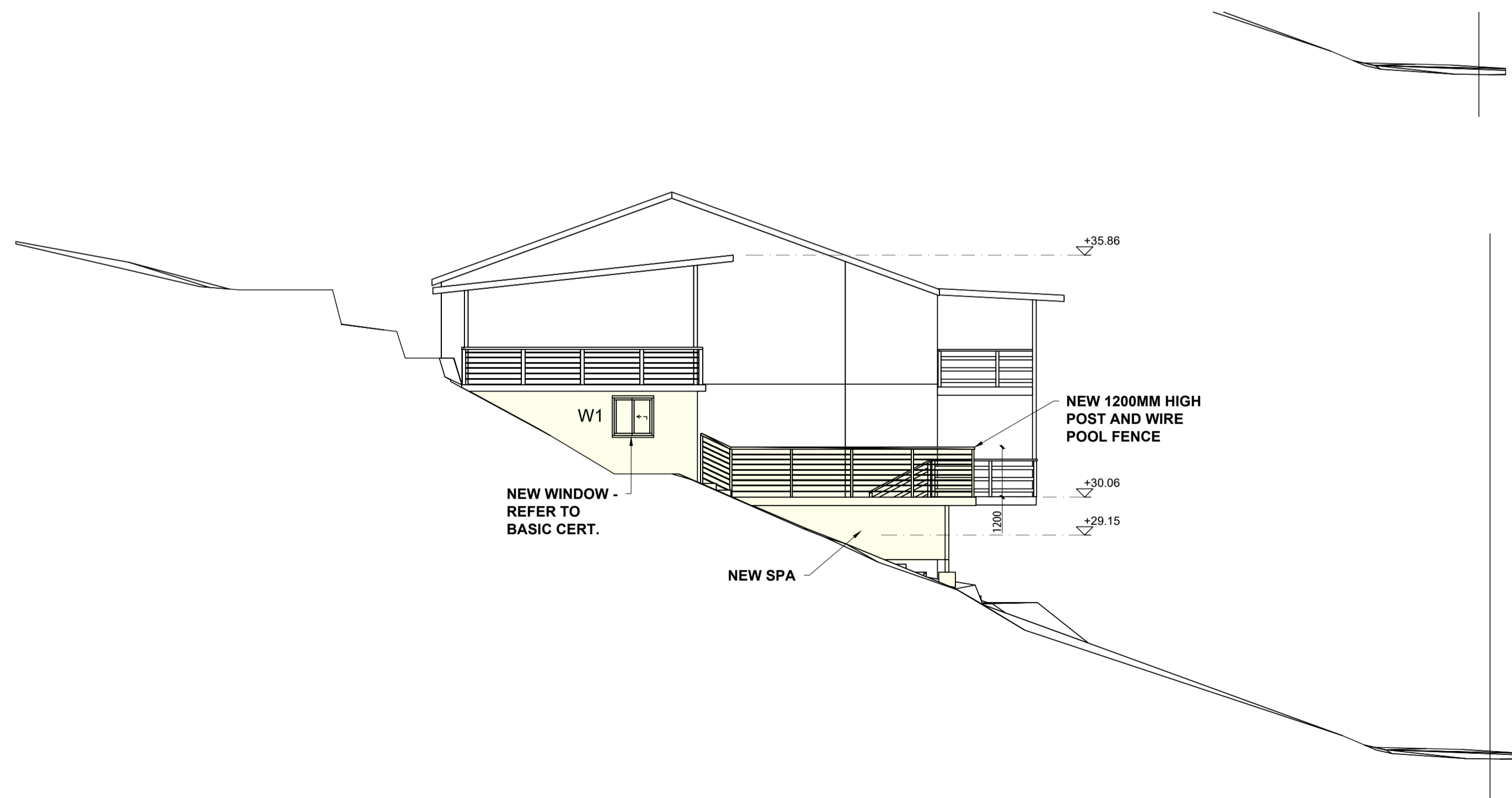
LEGEND:  
 EXISTING BUILDING OUTLINE  
 SMOKE ALARMS TO COMPLY WITH AS 3786



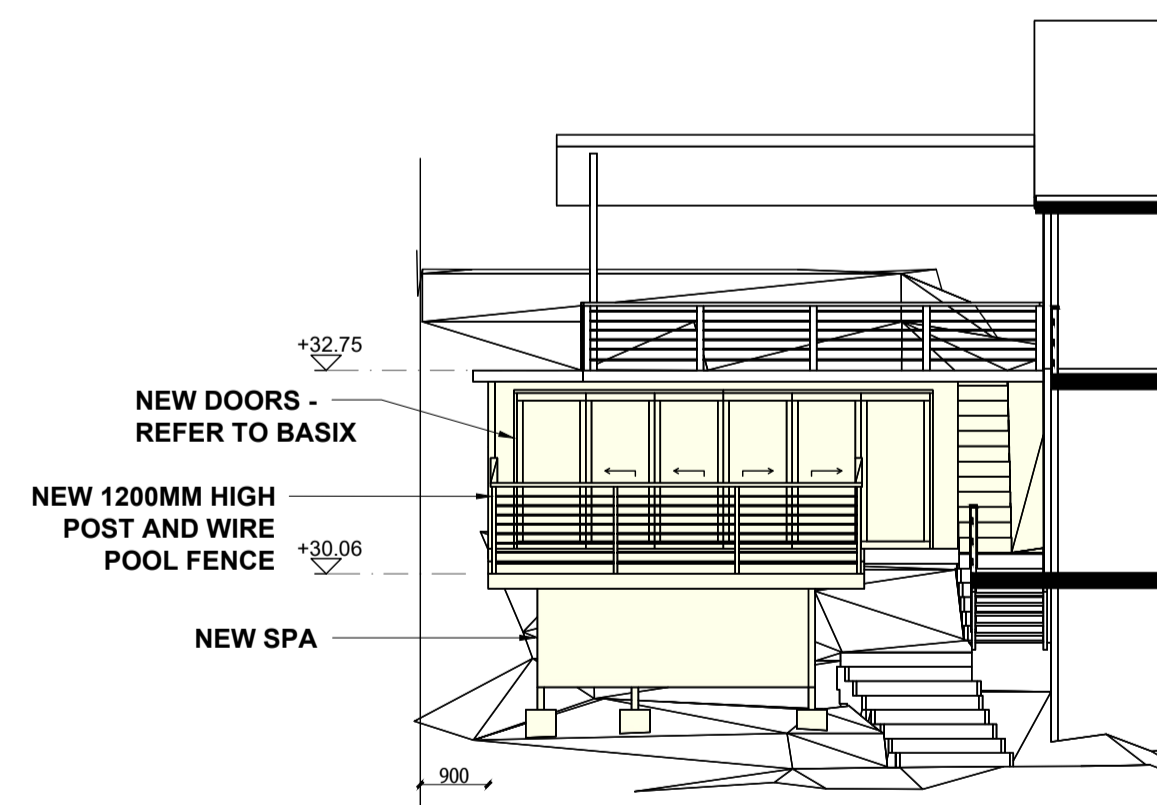
**NORTH WEST ELEVATION - EXISTING**  
 SCALE 1:100



**SOUTH WEST ELEVATION - EXISTING**  
 SCALE 1:100

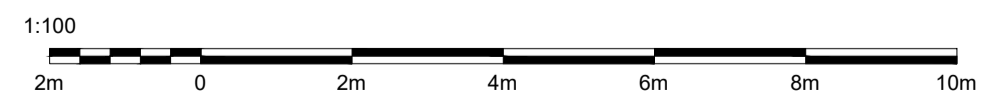


**NORTH WEST ELEVATION - PROPOSED**  
 SCALE 1:100



**SOUTH WEST ELEVATION - PROPOSED**  
 SCALE 1:100

**GENERAL NOTES**  
 \*BUILDER TO CONFIRM ALL LEVELS AND DIMENSIONS ON SITE BEFORE WORK BEGINS  
 \*ALL WORK TO BE IN ACCORDANCE WITH LOCAL AUTHORITIES REQUIREMENTS AND S.C.A. REQUIREMENTS.  
 \*CONNECT DPS TO EXISTING STORMWATER SYSTEM  
 \*ALL STRUCTURAL DETAILS TO ENGINEERS SPECIFICATIONS



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**32 NAREEN PARADE  
 NORTH NARRABEEN  
 2102**

ARCHITECTURAL DRAFTING  
 3D VISUALISATION  
 DEVELOPMENT APPLICATION  
 ASSISTANCE  
 COUNCIL COMPLIANT PLANS

LEGEND:  
 EXISTING BUILDING OUTLINE  
 PROPOSED WORK

General Notes

PROUDLY SUPPORTING BEAR COLTAGE

Project ADDITIONS AND ALTERATIONS  
 Date 27-Sep-22  
 Scale AS SHOWN

Sheet **4**

DP No. 1004511  
 LOT No. 422

No.	Revision/Issue	Date
A	ISSUED FOR DA	Sep. 27, 22

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Project Name and Address  
**DEAN DALLWITZ  
 32 NAREEN PARADE  
 NORTH NARRABEEN  
 2102**

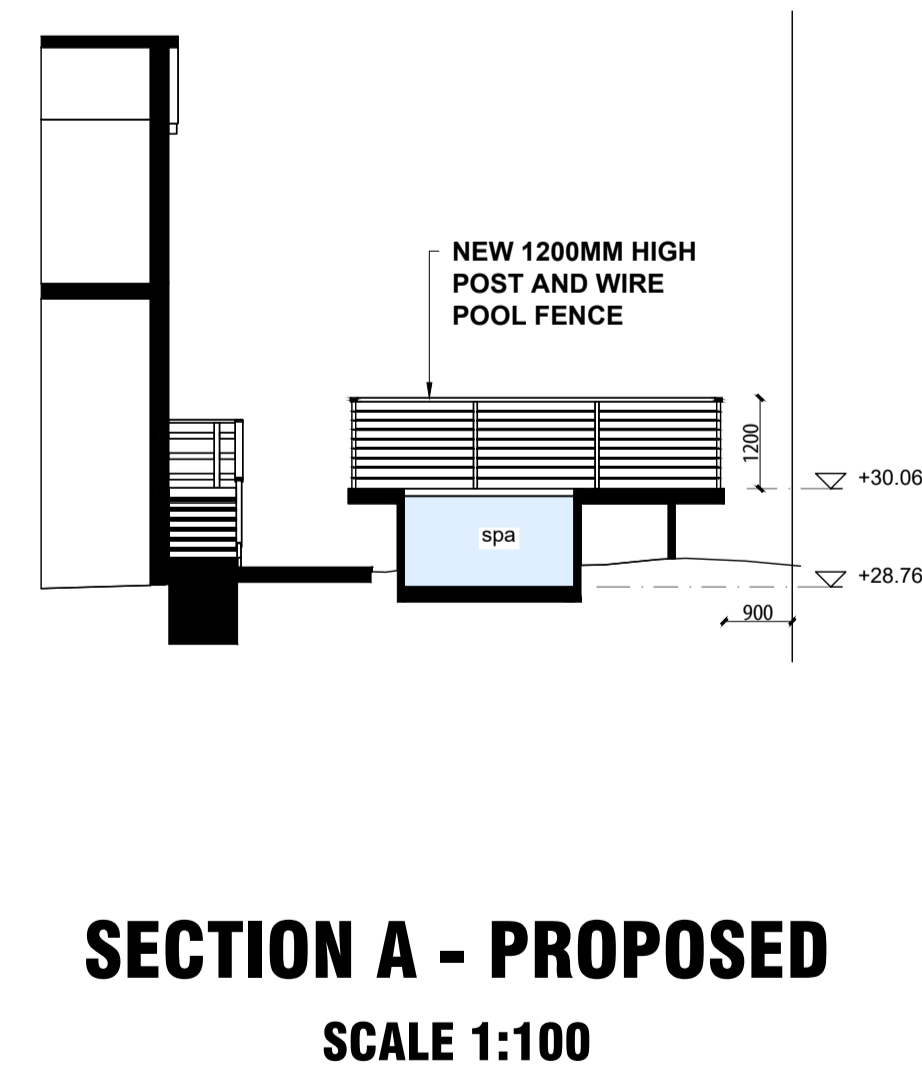
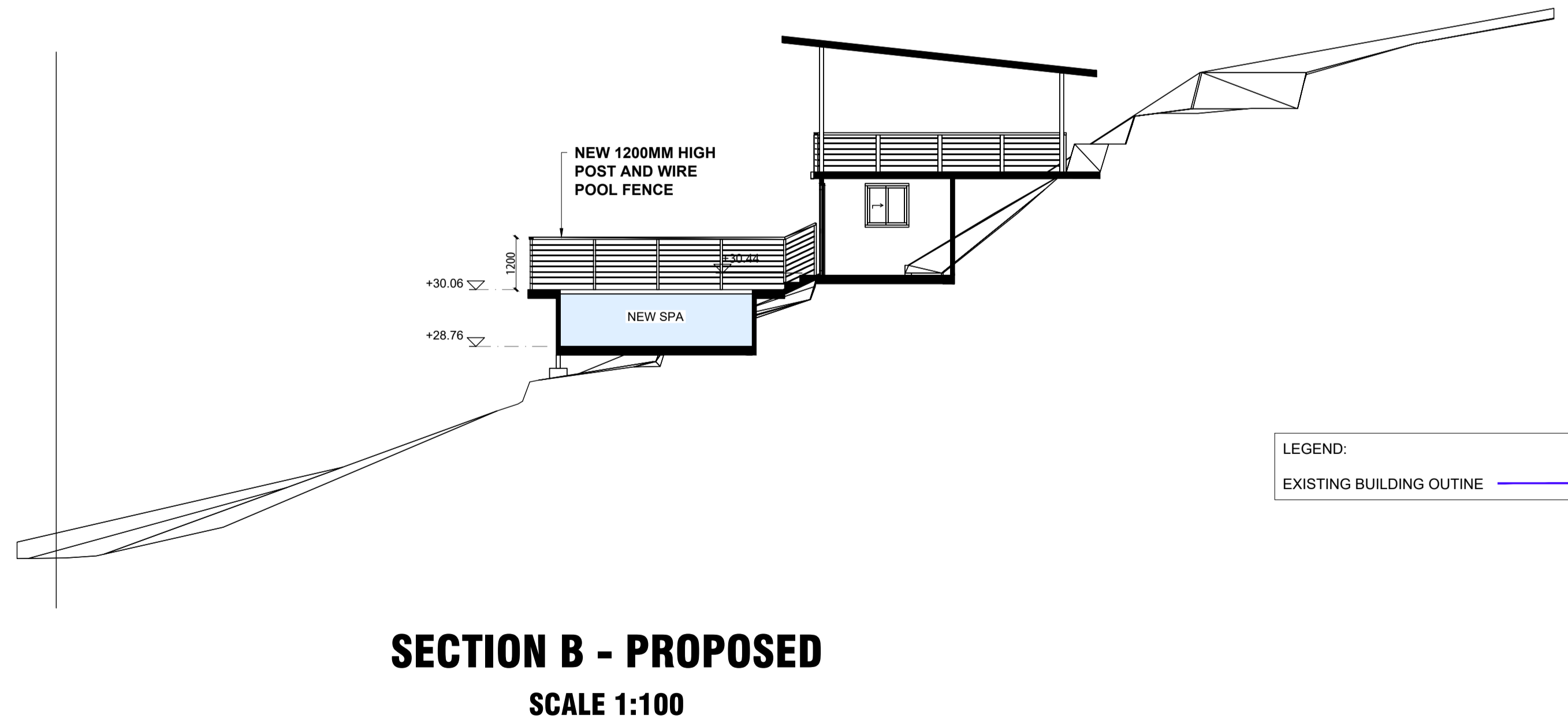
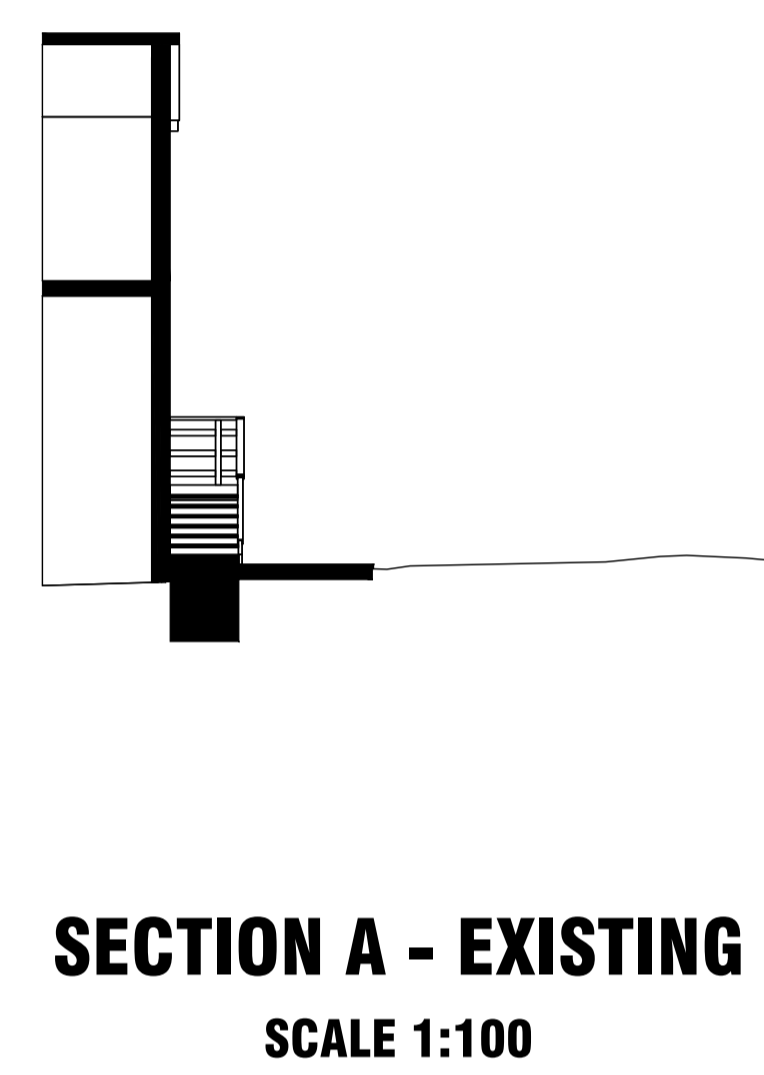
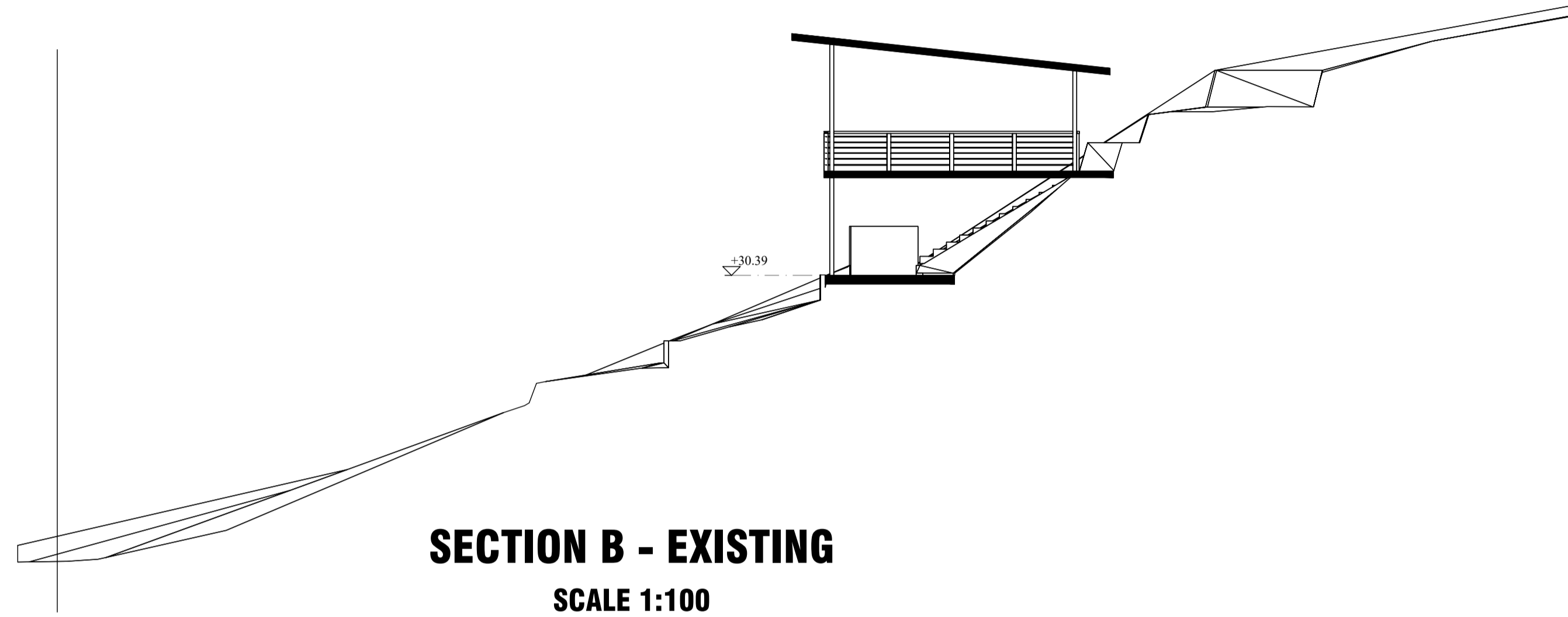
# DEVELOPMENT PROPOSAL

DP: 1004511  
 LOT No. 422  
 SITE AREA: 1601.00MSQ.  
 EXIST. GFA: 170.00MSQ.  
 PROPOSED GFA: 188.00MSQ  
 MAX. BUILDING HEIGHT: 8.5M

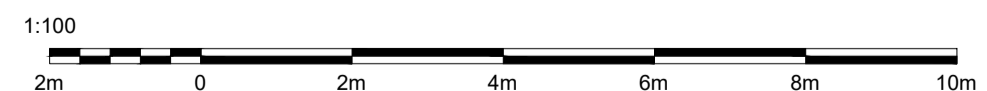
NEW WORKS:  
**NEW SPA AND EXTENSION**  
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LEGEND:  
 EXISTING BUILDING OUTLINE  
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SMOKE ALARMS TO COMPLY WITH AS 3786  
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**GENERAL NOTES**  
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**32 NAREEN PARADE  
 NORTH NARRABEEN  
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ARCHITECTURAL DRAFTING  
 3D VISUALISATION  
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LEGEND:  
 EXISTING BUILDING OUTLINE  
 PROPOSED WORK

General Notes

Project Additions and Alterations  
 Date: 27-Sep-22  
 Scale: AS SHOWN

Sheet **5**

DP No: 1004511  
 LOT No: 422

No.	Revision/Issue	Date
A	ISSUED FOR DA	Sep. 27, 22

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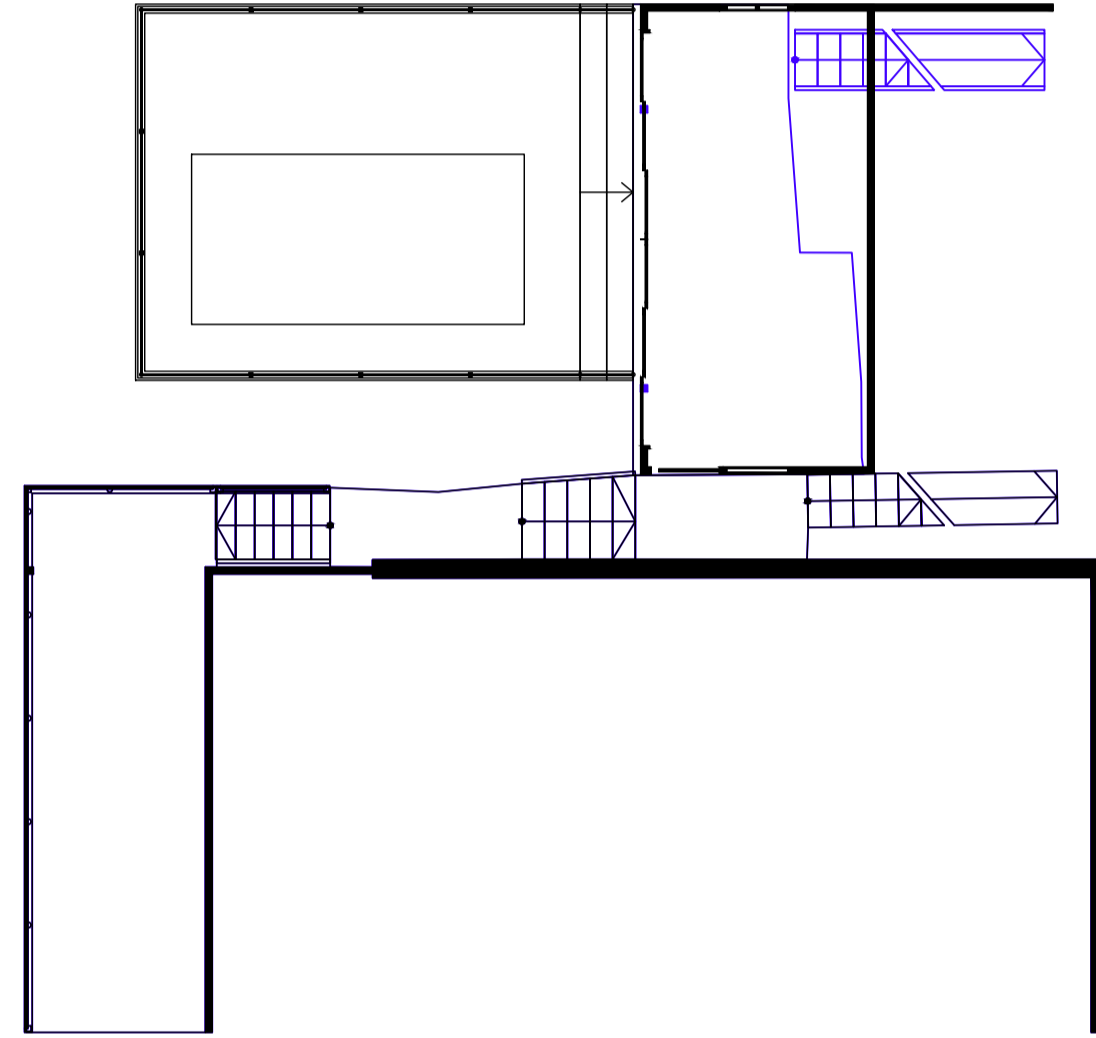
Project Name and Address  
**DEAN DALLWITZ  
 32 NAREEN PARADE  
 NORTH NARRABEEN  
 2102**

# DEVELOPMENT PROPOSAL

DP: 1004511  
 LOT No. 422  
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NEW WORKS:  
**NEW SPA AND EXTENSION**  
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LEGEND:  
 EXISTING BUILDING OUTLINE  
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 SMOKE ALARMS TO COMPLY WITH AS 3786  
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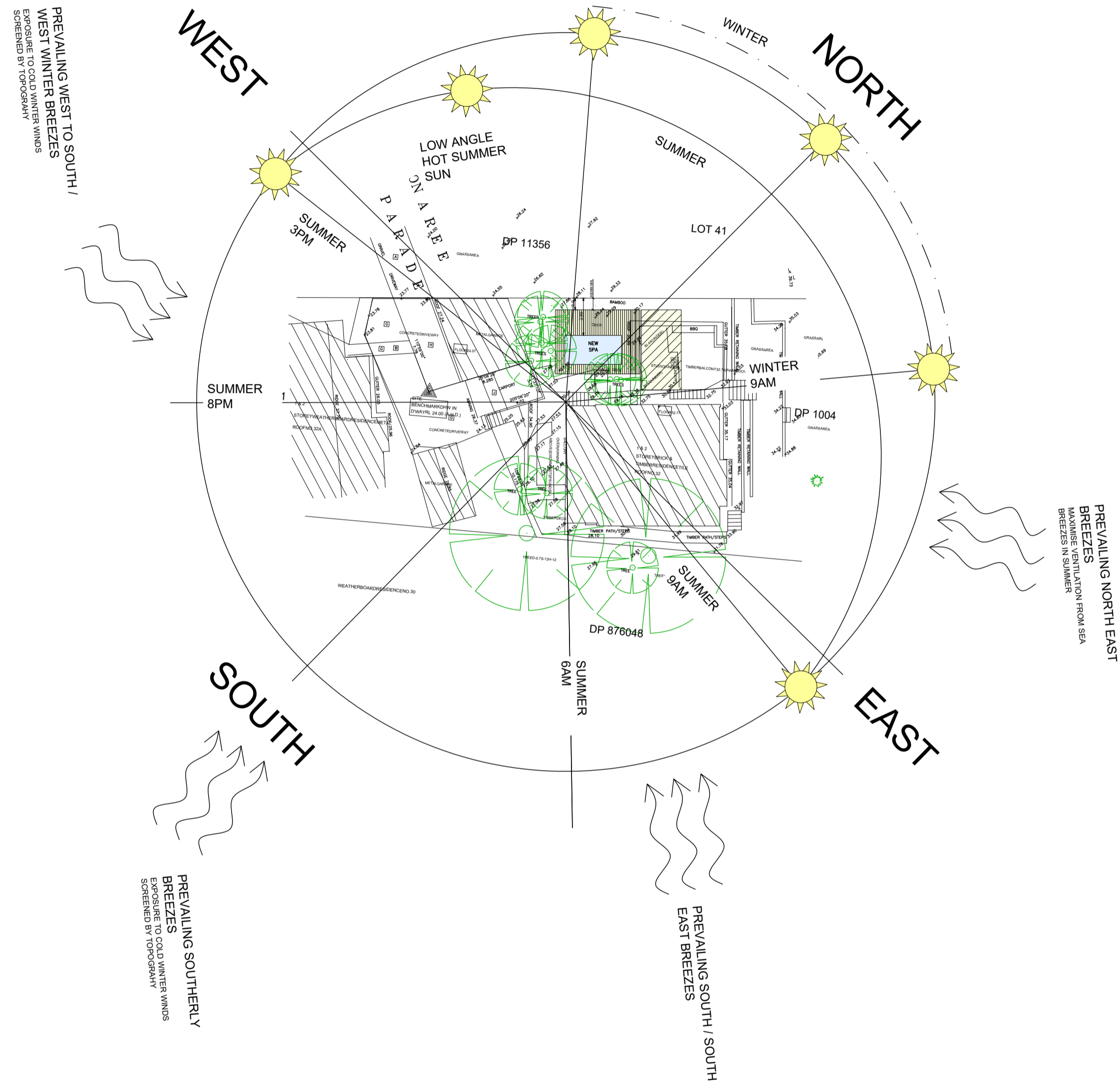
**DEMO PLAN**  
 SCALE 1:100

LEGEND:  
 EXISTING WORKS TO BE REMOVED



**GENERAL NOTES**  
 \*BUILDER TO CONFIRM ALL LEVELS AND DIMENSIONS ON SITE BEFORE WORK BEGINS  
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**SITE ANALYSIS PLAN**  
 SCALE NTS

**32 NAREEN PARADE  
 NORTH NARRABEEN  
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ARCHITECTURAL DRAFTING  
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LEGEND:  
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Project ADDITIONS AND ALTERATIONS	Sheet
Date 27-Sep-22	<b>6</b>
Scale AS SHOWN	

DP No. 1004511  
 LOT No. 422

A	ISSUED FOR DA	Sep. 27, 22
No.	Revision/Issue	Date

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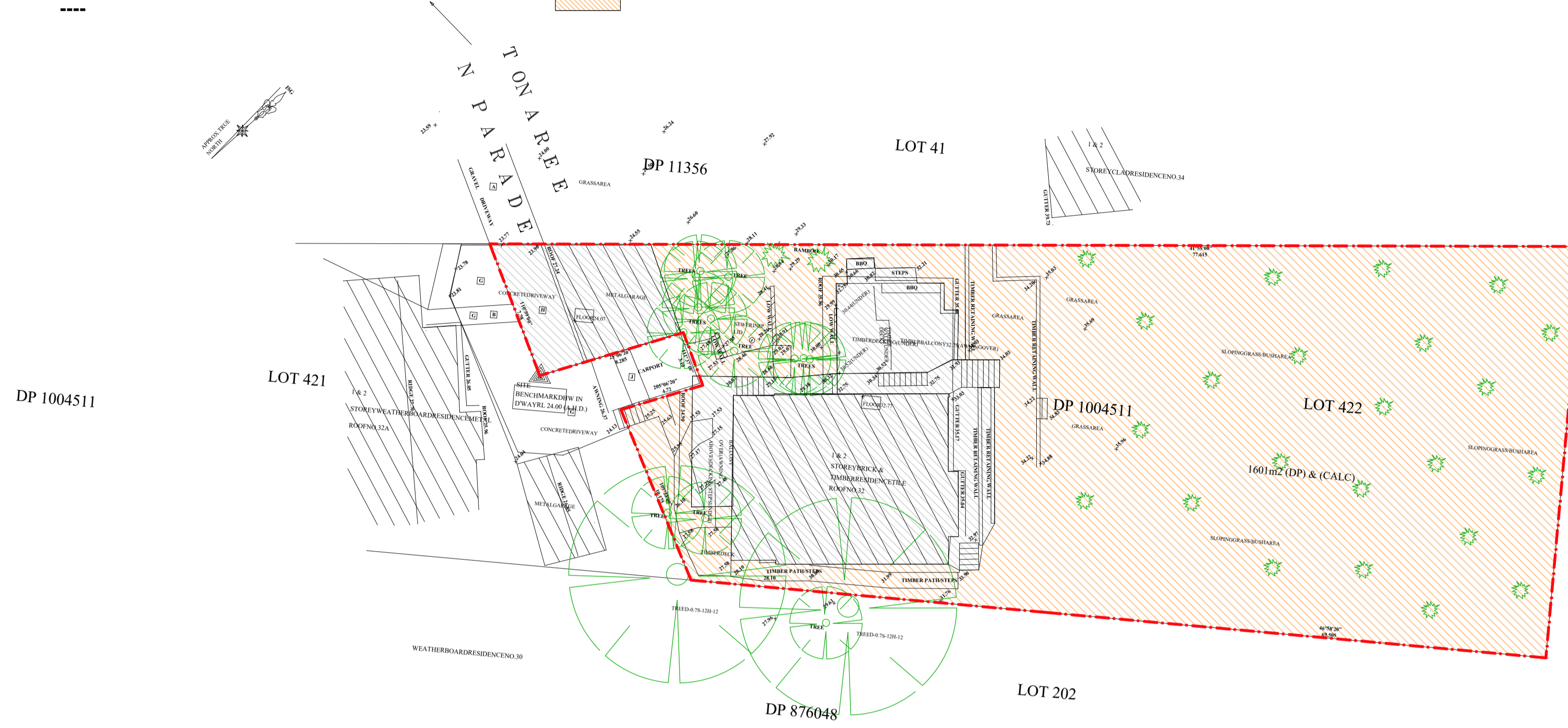
Project Name and Address  
**DEAN DALLWITZ  
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# DEVELOPMENT PROPOSAL

DP: 1004511  
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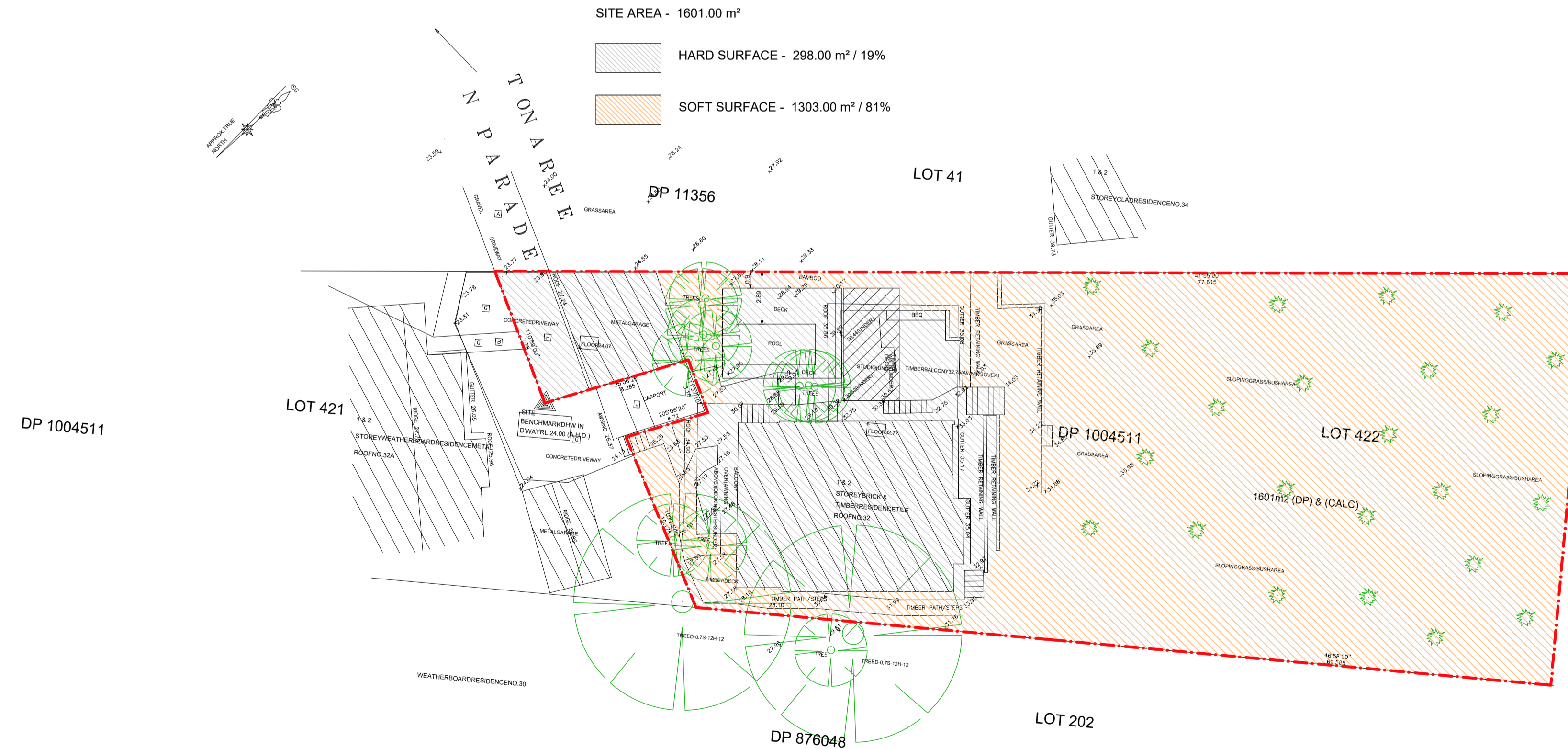
NEW WORKS:  
**NEW SPA AND EXTENSION**  
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LEGEND:  
 SITE AREA - 1601.00MSQ  
 HARD SURFACE - 257.00 m<sup>2</sup> / 16%  
 SMOKE ALARMS TO COMPLY WITH AS 3786  
 SOFT SURFACE - 1344.00 m<sup>2</sup> / 84%



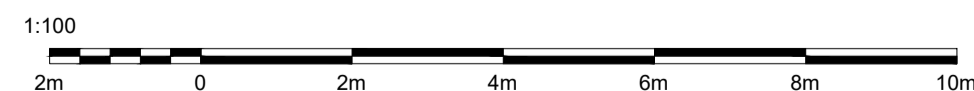
**LANDUSE DIAGRAM - EXISTING**  
 SCALE 1:200

SITE AREA - 1601.00 m<sup>2</sup>  
 HARD SURFACE - 298.00 m<sup>2</sup> / 19%  
 SOFT SURFACE - 1303.00 m<sup>2</sup> / 81%



**LANDUSE DIAGRAM - PROPOSED**  
 SCALE 1:200

**GENERAL NOTES**  
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ARCHITECTURAL DRAFTING  
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 DEVELOPMENT APPLICATION  
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 COUNCIL COMPLIANT PLANS

LEGEND:  
 EXISTING BUILDING OUTLINE  
 PROPOSED WORK

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Project ADDITIONS AND ALTERATIONS  
 Date 27-Sep-22  
 Scale AS SHOWN

DP No. 1004511  
 LOT No. 422

No.	Revision/Issue	Date
A	ISSUED FOR DA	Sep. 27, 22

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**DEAN DALLWITZ  
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 NORTH NARRABEEN  
 2102**

Sheet **7**



# DEVELOPMENT PROPOSAL

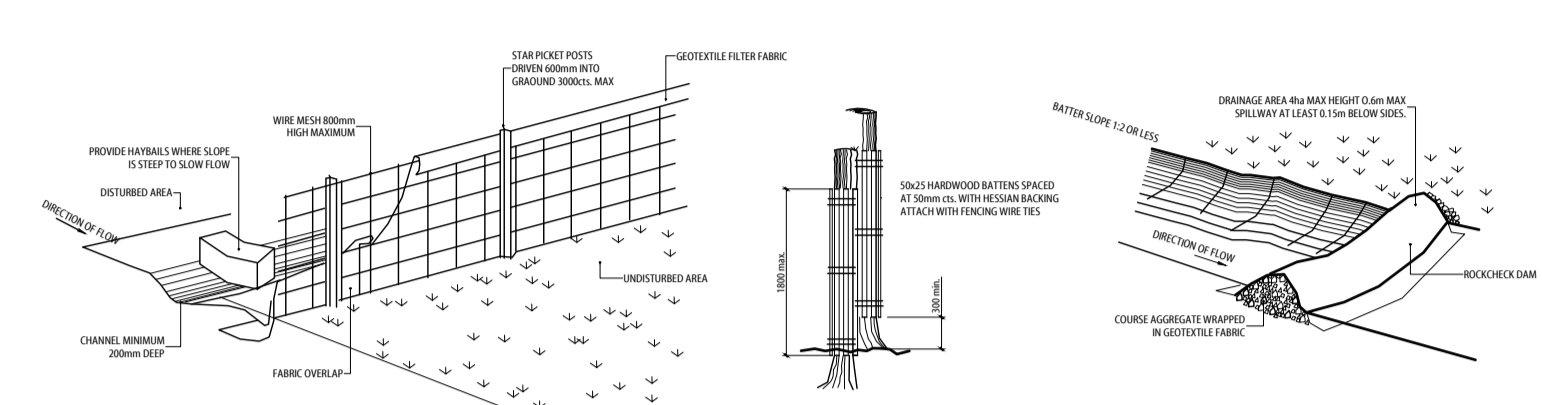
DP: **1004511**  
 LOT No. **422**  
 SITE AREA: **1601.00MSQ.**  
 EXIST. GFA: **170.00MSQ.**  
 PROPOSED GFA: **188.00MSQ**  
 MAX. BUILDING HEIGHT: **8.5M**

NEW WORKS:  
**NEW SPA AND EXTENSION**

**LEGEND:**

EXISTING BUILDING OUTLINE

SMOKE ALARMS TO COMPLY WITH AS 3786



**Designated Site Manager/Builder**  
 MUST BE A REGISTERED PROFESSIONAL ENGINEER OR ARCHITECT WITH A CURRENT PRACTICE CERTIFICATE AND MUST BE A MEMBER OF THE PROFESSIONAL ENGINEERING BOARD OF AUSTRALIA (PEB) OR THE ARCHITECTS BOARD OF AUSTRALIA (ABA).

**Topsoil Management**  
 ALL TOPSOIL TO BE REMOVED AND STORED IN A DESIGNATED AREA. TOPSOIL TO BE STORED IN A DESIGNATED AREA AND COVERED WITH A TARP OR OTHER MEANS TO PREVENT EROSION AND POLLUTION.

**Building Material Stacking**  
 BUILDING MATERIALS TO BE STORED IN A DESIGNATED AREA AND COVERED WITH A TARP OR OTHER MEANS TO PREVENT EROSION AND POLLUTION.

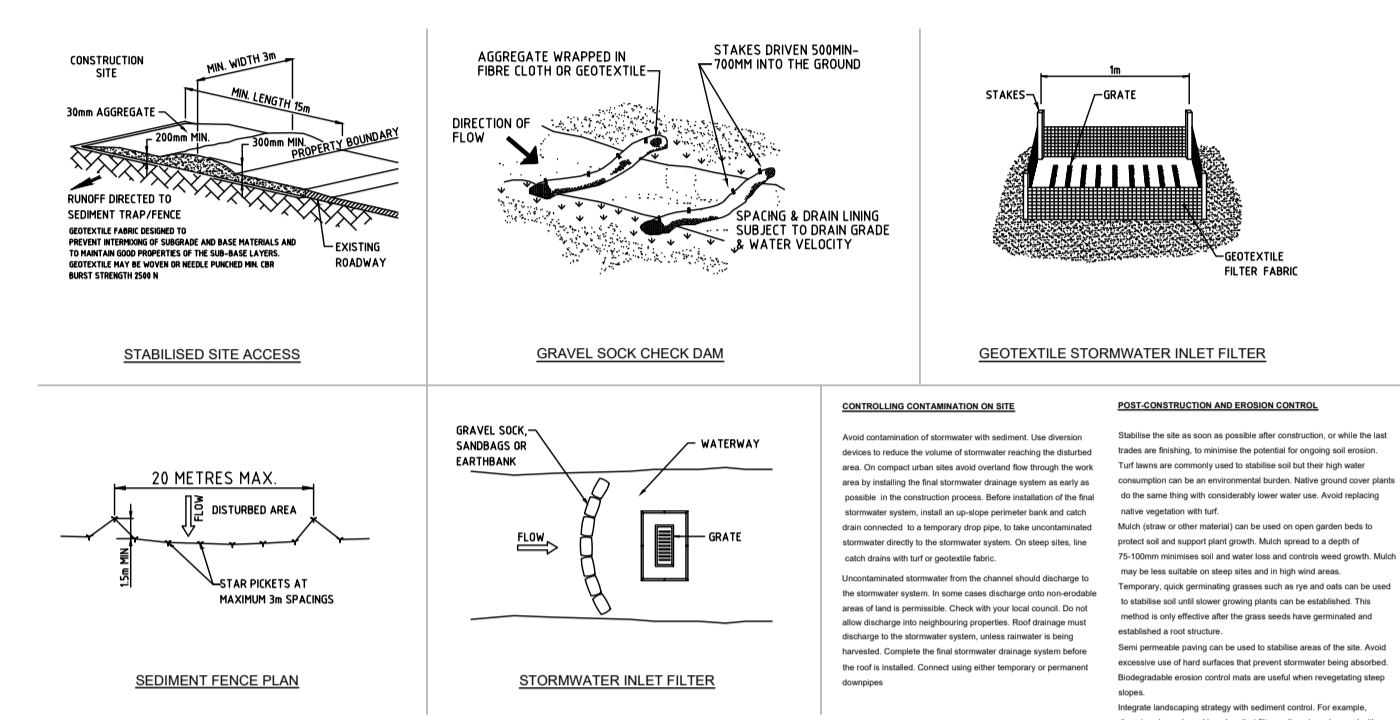
**Sediment Fences**  
 SEDIMENT FENCES TO BE INSTALLED AT ALL EXITS FROM THE SITE AND AT ALL EXITS FROM THE DISTURBED AREA.

**Vehicle Movements**  
 ALL VEHICLE MOVEMENTS TO BE LIMITED TO THE DESIGNATED DRIVEWAY AND TO BE LIMITED TO THE DESIGNATED DRIVEWAY.

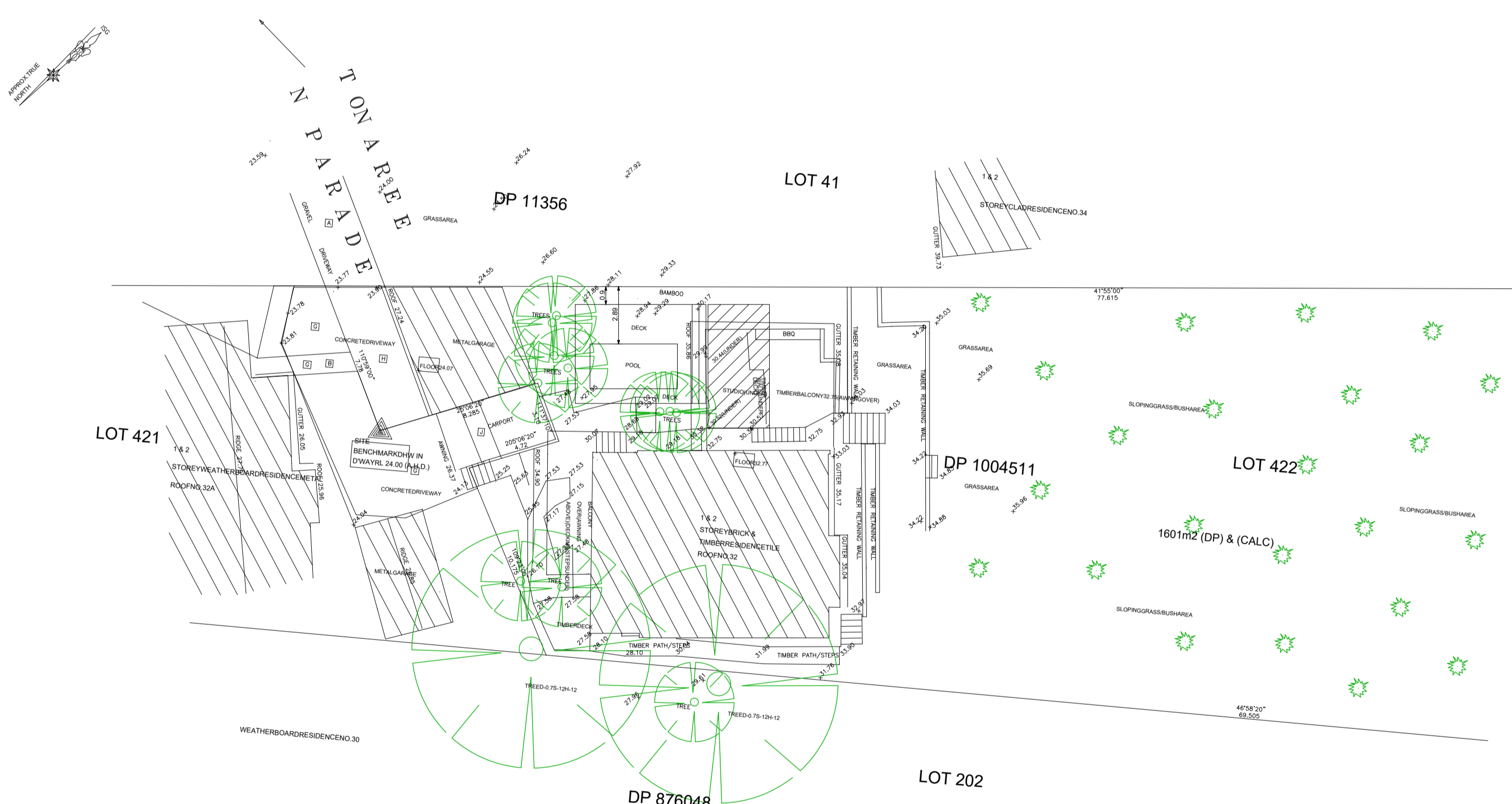
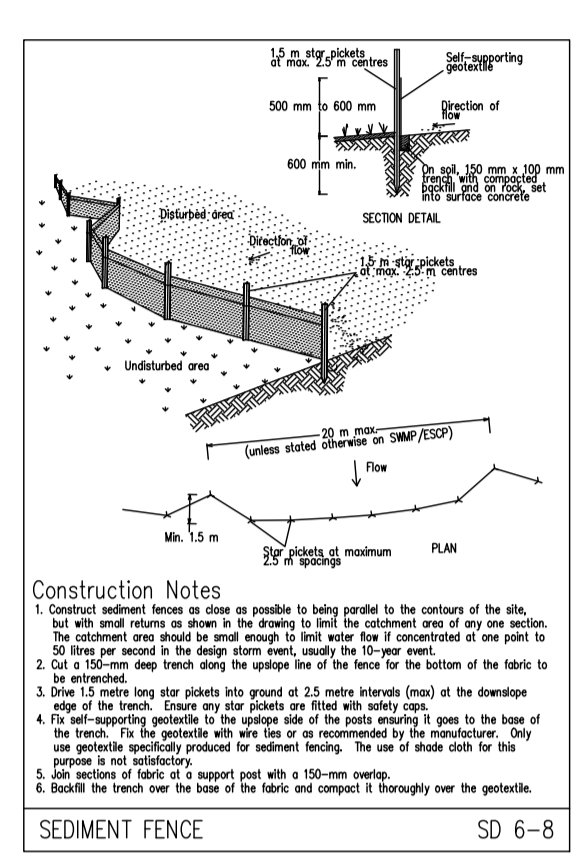
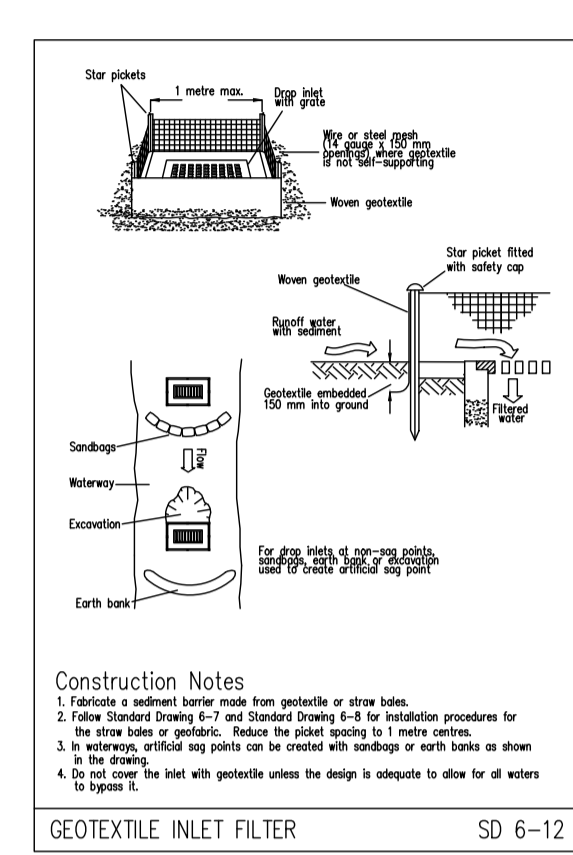
**Sediment Traps**  
 SEDIMENT TRAPS TO BE INSTALLED AT ALL EXITS FROM THE SITE AND AT ALL EXITS FROM THE DISTURBED AREA.

**Erosion & Sediment Controls**  
 EROSION AND SEDIMENT CONTROLS TO BE INSTALLED AT ALL EXITS FROM THE SITE AND AT ALL EXITS FROM THE DISTURBED AREA.

**Dust Control**  
 DUST CONTROL MEASURES TO BE INSTALLED AT ALL EXITS FROM THE SITE AND AT ALL EXITS FROM THE DISTURBED AREA.

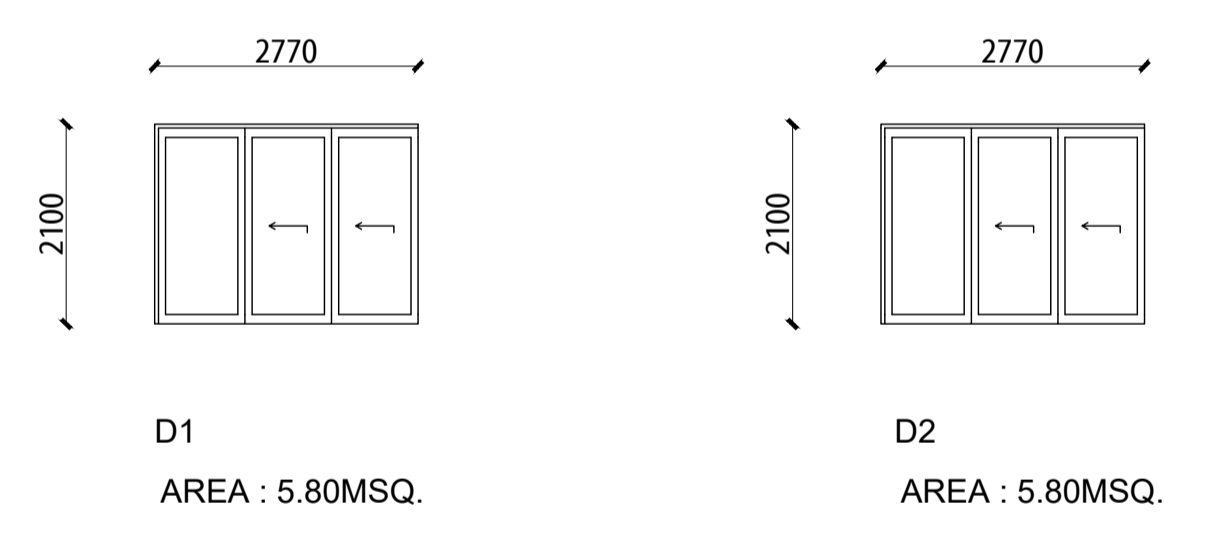


SEDIMENT & EROSION CONTROL - ADDITIONAL DETAILS TO BE FOLLOWED BY SITE MANAGER / CONSTRUCTION WORKERS

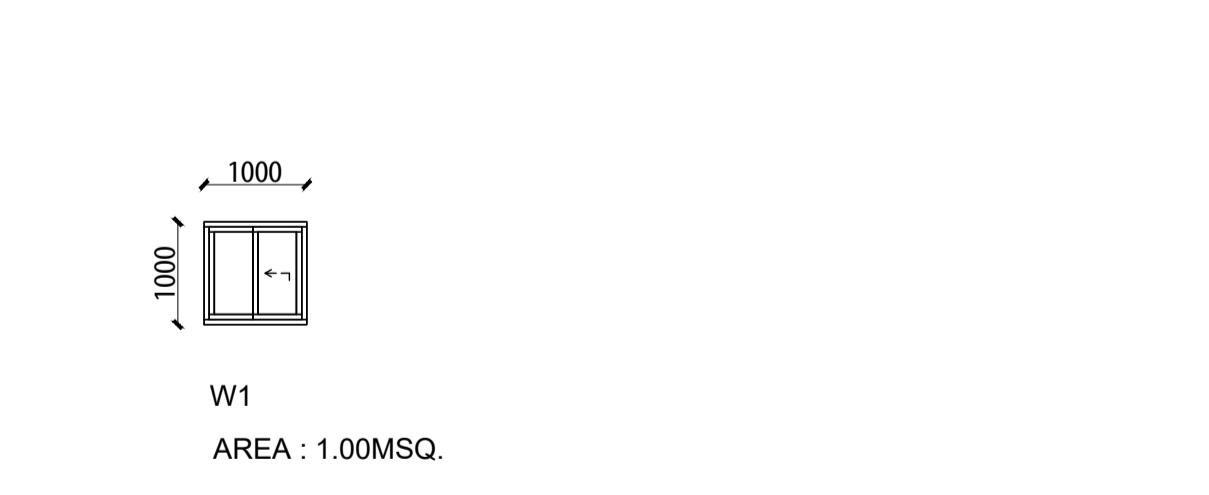


## NEW WINDOWS AND DOORS FOR BASIX

### EAST ELEVATION



### NORTH WEST ELEVATION



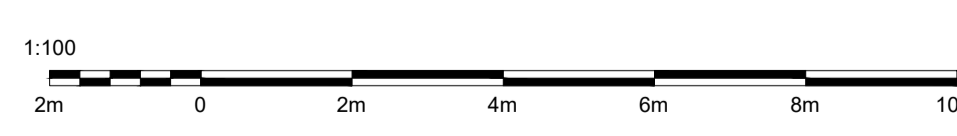
**GENERAL NOTES**

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CONNECT DIPS TO EXISTING STORMWATER SYSTEM.

ALL STRUCTURAL DETAILS TO ENGINEERS SPECIFICATIONS.



**NOTE: ALL WINDOWS AND DOORS MUST BE CHECKED AND MEASURED BY THE WINDOW / DOOR MANUFACTURER BEFORE ORDERING**

**32 NAREEN PARADE  
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**LEGEND:**

EXISTING BUILDING OUTLINE

PROPOSED WORK

General Notes

**Project Additions and Alterations**

Date: 27-Sep-21

Scale: AS SHOWN

Sheet: **8**

DP No.: 1004511

LOT No.: 422

A ISSUED FOR DA Sep. 27, 21

No. Revision/Issue Date

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 02 87763474

Project Name and Address

**DEAN DALLWITZ  
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 NORTH NARRABEEN  
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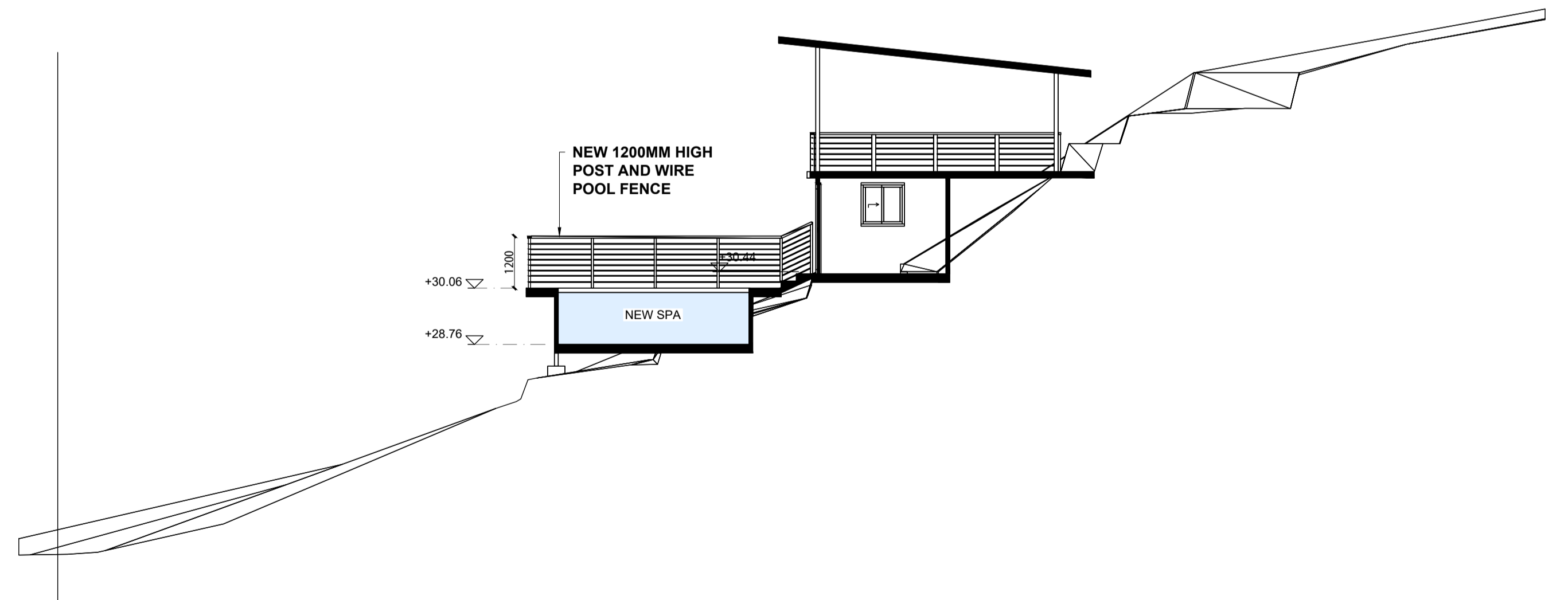
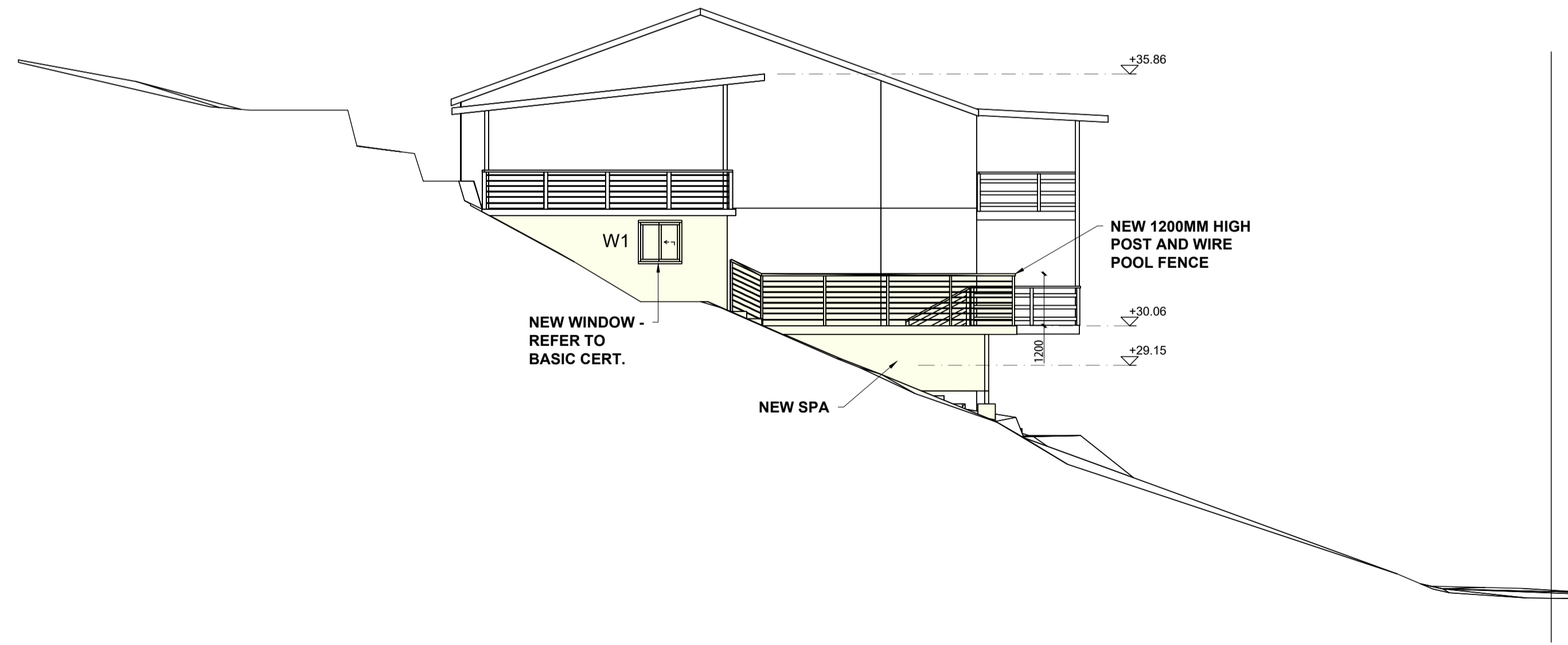
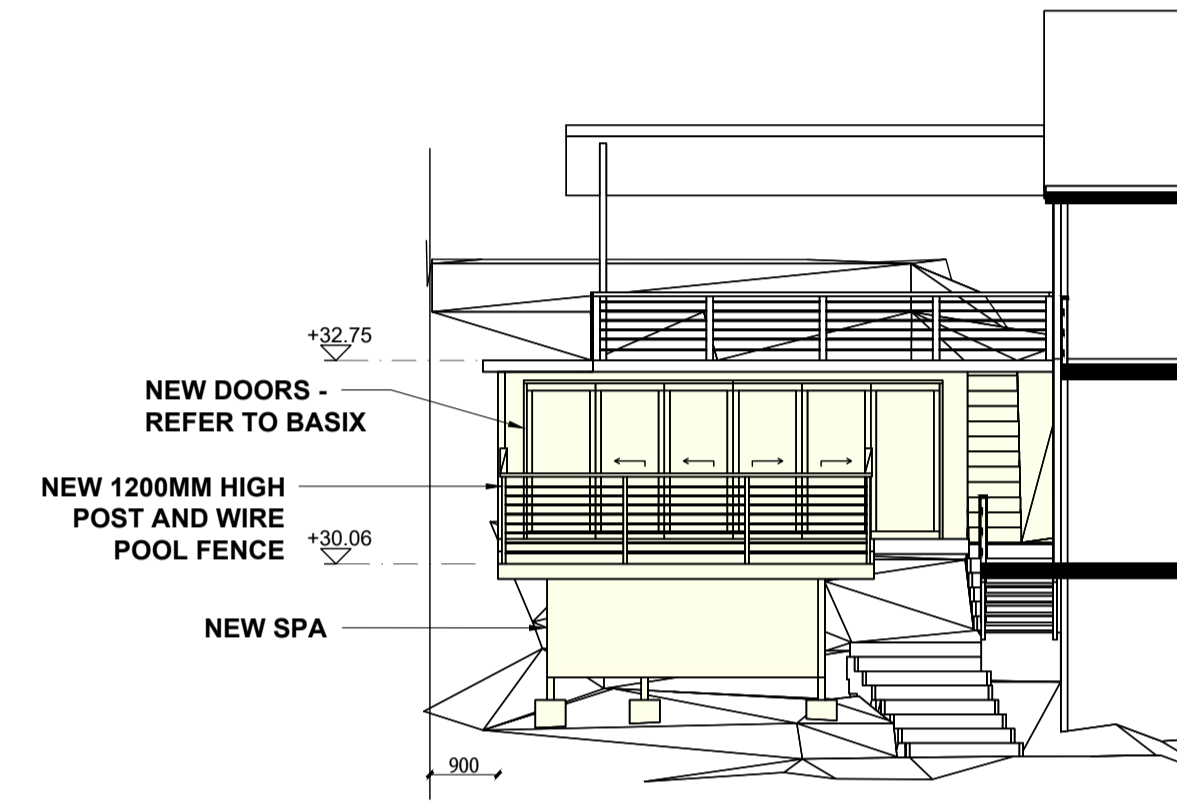
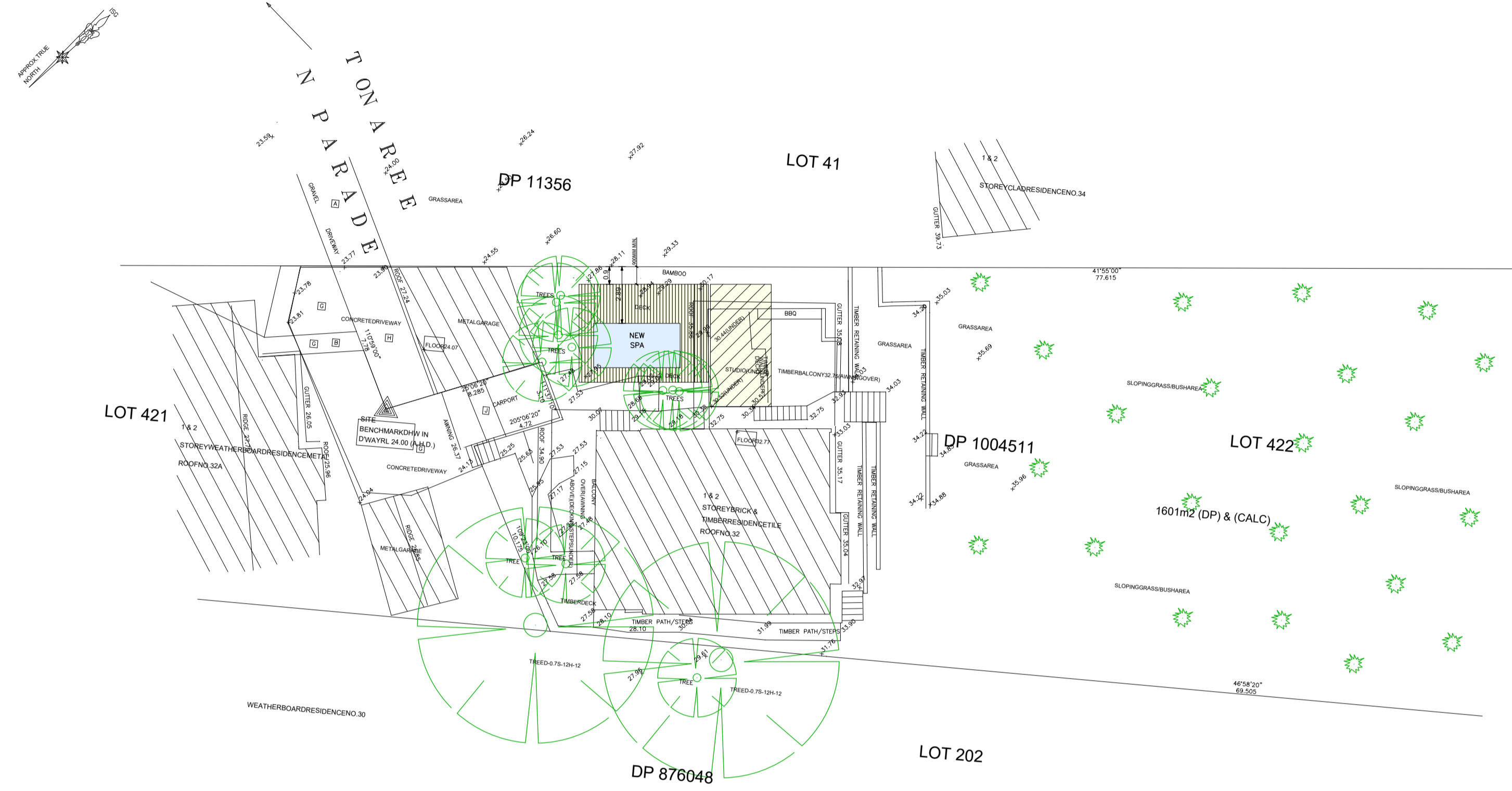
# DEVELOPMENT PROPOSAL

DP: 1004511  
 LOT No. 422  
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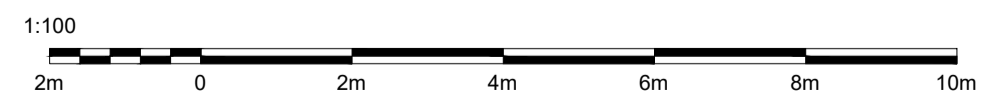
NEW WORKS:  
**NEW SPA AND EXTENSION**  
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LEGEND:  
 EXISTING BUILDING OUTLINE  
 SMOKE ALARMS TO COMPLY WITH AS 3786

# NOTIFICATION PLAN



**GENERAL NOTES**  
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**32 NAREEN PARADE  
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ARCHITECTURAL DRAFTING  
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General Notes

PROUDLY SUPPORTING BEAR COTTAGE

Project Additions and Alterations  
 Date: 27-Sep-21  
 Scale: AS SHOWN

Sheet 9

DP No: 1004511  
 LOT No: 422

No.	Revision/Issue	Date
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Project Name and Address  
**DEAN DALLWITZ  
 32 NAREEN PARADE  
 NORTH NARRABEEN  
 2102**